



NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

SUBDIVISION & LAND DEVELOPMENT APPLICATION

1.	Date of Application:	<u>2/20/2026</u>	TOWNSHIP USE ONLY	
2.	Date of Plan or Revision:	<u>1/20/2026</u>	Date Received:	<u>3/12/26 ddw</u>
3.	Application for (check all that apply):		Payment:	<u>600</u>
	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Prelim/Final
4.	Name of Subdivision or Land Development:	<u>454 New Galena Road</u>	Check #:	<u>214</u> <u>216</u>
5.	Location:	<u>New Galena Road and Sellersville Road</u>	Receipt #:	<u>19020</u> <u>19021</u>
6.	Tax Map Parcel #:	<u>26-001-073</u>	Escrow Amt:	<u>10000</u>
	Total Acreage:	Gross <u>15.7 Ac.</u>	PSA #:	
	Base Site Area:	<u>12.8 Ac.</u>		
7.	Net Buildable Site Area (from Section 2401):	<u>12.8 Ac.</u>		
8.	Zoning Requirements:			
	Zoning District:	<u>SR-2</u>	Minimum Lot Size:	<u>2 Ac.</u>
	Front Yard:	<u>50</u>	Side Yard:	<u>25</u>
	Rear Yard:		Maximum Density:	<u>--</u>
9.	Number of Lots or Dwelling Units:	<u>2</u>		
10.	Equitable Owner of Record of Land:	<u>Richard, Blake & Eileen Calvitti</u>		
	Address:	<u>454 New Galena Road</u>		
	Phone:	<u>215-779-6784</u>	E-mail:	<u>Mark@Calvitticompany.com</u>
11.	Applicant:	<u>Richard, Blake & Eileen Calvitti</u>		
	Address:	<u>454 New Galena Road</u>		
	Phone:	<u>215-779-6784</u>	E-mail:	<u>Mark@Calvitticompany.com</u>
12.	Attorney:	<u>Chelsey D. Crocker Jackman, Esq.</u>		
	Address:	<u>680 Middletown Boulevard, Langhorne PA 19047</u>		
	Phone:	<u>215-750-0110</u>	E-mail:	<u>cjackman@begleycarlin.com</u>
13.	Registered Engineer or Surveyor:	<u>Robert Cunningham, PE</u>		
	Address:	<u>409 East Butler Avenue, Unit 5 Doylestown, PA 18901</u>		
	Phone:	<u>215-586-3330</u>	E-mail:	<u>rob@hcengineering.net</u>
14.	Type of Water & Sewer:	<input type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Private Water	
		<input checked="" type="checkbox"/> Public Sewer	<input type="checkbox"/> Private Sewer	
15.	Proposed Use:	<u>Single Family Dwellings</u>		

This is to certify that I have read Article V of the New Britain Township Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of that Article to the best of my knowledge.

[Signature]
Signature of Applicant

[Signature]
Signature of Registered Engineer or Surveyor

SUBDIVISION & LAND DEVELOPMENT PLAN SUBMISSION CHECKLIST

Date of Application: 2/20/2026

Subdivision/Land Development Name: 454 New Galena Road

Address of Property: New Galena Road and Sellersville Road

Owner(s) Name: Richard, Blake & Eileen Calvitti

Applicant(s) Name: Richard, Blake & Eileen Calvitti

Tax Map Parcel Number: 26- 001-073

Plan Sets for New Britain Township - Folded to 8 1/2 x 11: (9 Full Size, 5 11x17)

- | | |
|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> NBT Board of Supervisors (Full Size) - 5 Copies | <input checked="" type="checkbox"/> NBT Planning Commission (11x17) - 2 Copies |
| <input checked="" type="checkbox"/> Township Engineer (Full Size) - 1 Copy | <input checked="" type="checkbox"/> NBT File (Full Size) - 2 Copies |
| <input checked="" type="checkbox"/> Fire Marshal (Full Size) - 1 Copy | <input checked="" type="checkbox"/> Digital Submission - Email or File Sharing Service |

Application Forms & Fees to be Submitted to the Township: *All applicants include these items or the application will be considered administratively incomplete and returned to the applicant. **Please also submit digital copies of all applicable forms/reports.***

- New Britain Township Subdivision and Land Development Application (1 Signed Original)
- Filing Fee according to the most current Fee Schedule adopted by Resolution
- Escrow Fee according to the most current Fee Schedule adopted by Resolution
- Contract for Professional Services Agreement (3 Signed Originals)
- Proof of Submission to Bucks County Planning Commission
- Proof of Submission to Bucks County Conservation District
- Proof of Submission to Water Authority (North Penn/North Wales/Aqua), if applicable
- Proof of Submission to Chalfont New Britain Joint Sewer Authority **OR** Buck County Department of Health
- Stormwater Management Report (2 Copies) (Digital Acceptable)
- PADEP Sewage Facilities Planning Module Application/Mailer approved by Sewer Authority or SEO (Original & 2 Copies)
- Traffic Impact Study, if applicable (2 Copies) (Digital Acceptable)
- PADOT Highway Occupancy Permit Plan/Application, if applicable (2 Copies)
- Community Impact Assessment Report, if applicable (4 Copies)
- Affidavit of Mailing Notification, Mailing Content & Post Property of SLD Application (§ 22-401.8 General Procedures)
- Township Road Opening Permit, if applicable
- Water Resource Impact Study, if applicable (2 Copies) (Digital Acceptable)
- Waiver Request Letter with Justification

Reviewed By: _____
Township Representative

Date: _____

**All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.*

****The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.****



NEW BRITAIN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT PROCEDURES INFORMATION FOR APPLICANTS

Applications:

All formal applications must be submitted to the Township Zoning Officer during regular office hours.

All required plans, fees and accompanying documentation must be submitted to the Township in accordance with the New Britain Township Plan Submission Checklist (attached). No application shall be considered complete without this information.

If the application is found to be incomplete, the Zoning Officer will advise the applicant, in writing, of the deficiencies within five (5) business days.

If the application is found to be complete, the application will be date-stamped and a letter will be forwarded to the applicant with the anticipated application processing dates and scheduled Planning Commission and Board of Supervisor's meeting dates. The application will then be distributed for review to the Township professional staff, boards, commissions and professional consultants.

If for any reason the Planning Commission does not meet within 30 days of the initial application filing approval date of the Township Zoning Officer, the Municipalities Planning Code (MPC) timetable for plan review processing will then automatically begin, unless waived by the applicant.

Review Process:

Upon receipt of the Township Engineer's review letter, it is recommended that the applicant conference with Township staff and/or the Township Engineer prior to the scheduled Planning Commission meeting when the Planning Commission would consider the application for a recommendation. During the conference, if it is determined that the application will require substantial revisions for compliance with Township ordinances, the Township staff and/or engineer will advise the applicant of an appropriate course of action for revising the application. An extension/waiver to the 90-day limit (attached to SALDO Application), as set forth by the MPC, may be necessary to allow sufficient time for the applicant to make necessary plan revisions and for Township staff and its engineer to review the revised application.

All revised applications must be resubmitted directly to the Township Zoning Officer. It shall be the responsibility of the applicant to submit the same number of revised plans to the Township as with the original application.

Recommendations and Plan Decisions:

The applicant is responsible for posting the property, notifying property owners within 1000ft (or adjoining owners for minor plans), and submitting an affidavit of mailing & the mailings content to the Township five days prior to the plans appearing before the Township Planning Commission (§ 22-401.8 General Procedures).

The Planning Commission in its review shall consider the comments, if submitted, of the Bucks County Planning Commission, Fire Marshal, Bucks County Conservation District and Township professional staff and consultants. At their anticipated monthly meeting, the Planning Commission may do any of the following:

- Recommend that the applicant address plan deficiencies or unresolved planning issues with Township staff.
- Recommend to the Board of Supervisors that the plan be approved with conditions and specifically list such conditions.
- Recommend to the Board of Supervisors that the plan be denied and specifically list the reasons for such a recommendation.

The Board of Supervisors shall take official action on all applications, after receiving the Township engineer's report and the recommendation by the Planning Commission and within the 90-day time limit, unless the applicant grants a time extension/waiver. The action of the Board of Supervisors shall be in writing and communicated to the applicant by mail within five (5) days following the date of the official action.



Record Plans:

Final record plans to be recorded must be submitted **directly to the Township Engineer** for review and execution prior to approval by the Board of Supervisors. The plans must include four (4) paper copies of the record plan(s). **All record plans must bear the original seal and signature and title of the professional engineer or land surveyor responsible for preparation of the plans and bear the notarized signature of the land owner(s).** At the time of record plan submission, five (5) complete paper sets of construction drawings should be submitted to the Township Engineer to be stamped approved for construction.

No final record plans shall be recorded for any project unless all of the following have been satisfied:

- All conditions of final approval have been met (including water and sewer approvals/agreement) and approved by Township Solicitor and Engineer.
- All required outside agency approvals/permits have been obtained.
- All Township legal, engineering, planning and administrative costs relative to the plan submission have been paid in full.
- The required financial security and developer's agreements have been executed and the construction escrow has been posted with the Township.

The Township Solicitor will record all final record plans at the Bucks County Courthouse. The Township will notify the applicant when the copies of the recorded plans are available to be picked up at the Township Zoning Office.

Contract for Professional Services Agreement and Professional Escrows:

The applicant shall be responsible for maintaining the original escrow balance relative to the escrow account established with the Township for the payment of Township incurred costs and fees on behalf of the applicant per the Contract for Professional Services Agreement. The Township shall forward an invoice to the applicant setting forth the amount deducted from said escrow account for payment of costs and fees. Within fourteen (14) days of the date of the invoice, the applicant shall remit the amount of the invoice to the Township, thereby bringing the balance of the escrow back to the original amount. In the event the applicant's escrow account balance falls below the original amount, the Township may direct its professionals and consultants to cease work on the applicant's submission until such time as the escrow account balance is restored to its original amount.

Any applicant who desires to meet with the Township's professionals or consultants prior to submitting a plan application shall execute a Contract for Professional Services Agreement with the Township and post an escrow amount to be determined therein to cover any costs incurred by the Township associated with the aforementioned consultations.

The applicant should also be advised that the Township has enacted a "Disclosure Ordinance No. 2001-09-01" which mandates that the seller of any lot divulge certain information to the purchaser of the lot prior to settlement.

****These guidelines may be amended from time to time, as needed.***




**NEW BRITAIN TOWNSHIP
90-DAY REVIEW PERIOD WAIVER**

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

Name of Subdivision/Land Development: 454 New Galena Road

Tax Map Parcel Number(s): 26- 001-073

Signature of Applicant:  Date: 2/20/26

Signature of Applicant: _____ Date: _____



SELLERSVILLE ROAD T-338

DEED BEARING S52°32'36"E 1000.57'
FOUND BEARING S53°00'00"E 1021.91'

LOT 1
431,690 SF
(9.91 AC)

LOT 2
183,427 SF
(4.21 AC)

FOUND BEARING N52°08'25"W 686.73'
DEED BEARING N51°49'08"W 686.73'

TOWNSHIP ENGINEER ACKNOWLEDGEMENT
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER ON THIS _____ DAY OF _____ 20____

ENGINEER: _____

PLANNING COMMISSION ACKNOWLEDGEMENT
BUCKS COUNTY PLANNING COMMISSION NOTATION BCPC NO _____
PROCESSED AND REVIEWED REPORT
PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE _____

REF: BING MAPS LOCATION MAP SCALE: 1"=1000'

OWNER SIGNATURE BLOCK & ACKNOWLEDGEMENT
TO ALL WHOM THESE PRESENTS MAY COME, KNOW YE THAT I, _____ HAS LAID OUT THE _____ OF _____ HAS LAID OUT UPON OUR LAND SITUATED IN THE TOWNSHIP OF NEW BRITAIN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS ACCORDING TO THIS PLAN WHICH IS INTENDED TO BE FORTHWITH RECORDED. WITNESS OUR HAND AND SEAL THIS _____ DAY OF _____ 20____

BY: _____
NAME: _____
TITLE: _____

ON THIS, THE _____ DAY OF _____ 20____ BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED _____ AND THAT HE, AS SUCH _____ BEING AUTHORIZED TO DO SO, EXECUTED THE WITHIN INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

SEAL _____ NOTARY PUBLIC _____

ENGINEER'S CERTIFICATION _____ COMMISSION EXPIRATION DATE _____

ROBERT CUNNINGHAM, P.E. REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ROBERT CUNNINGHAM, P.E. DATE _____
PA PE076424

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

BRIAN K. PATTERSON, PLS. DATE _____

RECORDER OF DEEDS ACKNOWLEDGEMENT
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF BUCKS, AT DOYLESTOWN, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THIS _____ DAY OF _____ 20____

BUCKS COUNTY RECORDER OF DEEDS

BOARD OF SUPERVISORS ACKNOWLEDGEMENT
THIS PLAN APPROVED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP THIS _____ DAY OF _____ 20____

OWNER CERTIFICATION FOR STORMWATER BMP'S
THE STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY NEW BRITAIN TOWNSHIP.

LOT AREA CALCULATIONS			
Proposed Lot 1 Area	SF	Acres	
Gross Site Area:	489,824	11.24	
Land Within R.O.W.:	58,134	1.33	
Lot Area:	431,690	9.91	
Land With Natural Resource Restriction:	72,745	1.67	
Net Buildable Area:	358,945	8.24	
Proposed Lot 2 Area	SF	Acres	
Gross Site Area:	195,438	4.49	
Land Within R.O.W.:	12,011	0.28	
Lot Area:	183,427	4.21	
Land With Natural Resource Restriction:	40,075	0.92	
Net Buildable Area:	143,352	3.29	

RESOURCE PROTECTION CALCULATIONS						
Natural Resources	Protection Ratio	Acres of Land in Resources (Ac.) Lot 1	Required Resource Protection Land (Ac.) Lot 1	Proposed Resource Protection Land (Ac.) Lot 1	Acres of Land in Resources (Ac.) Lot 2	Required Resource Protection Land (Ac.) Lot 2
Watercourses	100%	0.00	N/A	0.00	0.00	N/A
Riparian Buffer	100%	0.00	N/A	0.00	0.00	N/A
Floodplain	100%	0.00	N/A	0.00	0.00	N/A
Floodplain (Alluvial) Soils	100%	0.00	N/A	0.00	0.00	N/A
Wetlands	100%	0.00	N/A	0.00	0.00	N/A
Lakes and Ponds	100%	0.00	N/A	0.00	0.00	N/A
Wetlands Margins (25 FT to wetland)	80%	0.00	N/A	0.00	0.00	N/A
Woodlands (CR.WS.SR-1,SR-2,RR)	80%	1.92	1.54	1.92	1.05	0.84
Steep Slopes 8-15%	60%	0.09	0.05	0.09	0.13	0.08
Steep Slopes 15-25%	70%	0.05	0.03	0.05	0.01	0.01
Steep Slopes 25%+	85%	0.05	0.04	0.05	0.00	N/A

Total Land with Resource Restrictions	2.11	1.19
Total Land with 1.00 Protection Ratio	0.00	0.00
Total Resource Protection Land Required	1.67	0.92
Total Resource Protection Land Provided	2.11	1.19

- NOTES:
- BEING BUCKS COUNTY TAX MAP PARCEL NUMBER 26-001-073, CONTAINING 15.7314 ACRES OF LAND MORE OR LESS.
 - SUBJECT PROPERTY IS WITHIN SR-2 - SUBURBAN RESIDENTIAL DISTRICT.
 - REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM. A PA ONE CALL SHALL BE COMPLETED BEFORE CONSTRUCTION, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (1-800-242-1776).
 - A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BUCKS COUNTY MAP NO. 4201700286K, EFFECTIVE DATE 3/21/2017. NO NEW STREETS ARE PROPOSED AS PART OF THIS PROJECT.
 - DEED BOUNDARY INFORMATION IS TAKEN FROM A PLANSET TITLED "OVERALL SITE PLAN" PREPARED BY MARK G. HINTENLANG, P.E. DATED 11/21/11 LAST REVISED 6/12/12. SURVEY INFORMATION IS TAKEN FROM A SURVEY TITLED "AS-BUILT SURVEY" BY DENNIS M. LITZENBERGER, AND A PARTIAL FIELD SURVEY PERFORMED BY BRIAN K. PATTERSON, PLS ON DECEMBER 15, 2023.

LEGEND		
	PROPERTY LINE	
	PROPOSED BUILDING SETBACK	
	PROPOSED PROPERTY LINE	
	RIGHT-OF-WAY	
	EXISTING CONTOUR	
	SOILS	
	SOILS TEXT	
	STEEP SLOPES 8-15%	
	STEEP SLOPES 15-25%	
	STEEP SLOPES 25%+	

ACT 187 AS AMENDED

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA ACT 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.

TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITY LINES IN THE AREA.

CALL BEFORE YOU DIG!!
PENNSYLVANIA LAW REQUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING DAYS IN DESIGN STAGE - STOP & CALL -
Pennsylvania One Call System, Inc. 1-800-242-1776

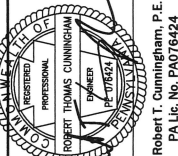
OWNER/APPLICANT:

RICHARD, BLAKE, & EILEEN CALVITTI
454 NEW GALENA ROAD
CHALFONT, PA 18914



454 NEW GALENA ROAD
PARCEL: 26-001-073
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

SUBDIVISION PLAN



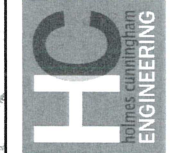
File No.
2183_C1.0 Subdivision.dwg

HCE Job 2183
Date 02/05/26
Scale 1"=50'
Designed RC
Sheet 1 of 6

Drawing No.
C1.0

CALL BEFORE YOU DIG!!
IF WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING DAYS IN DESIGN STAGE - STOP & CALL -
Pennsylvania One Call System, Inc. 1-800-242-1776
THIS PLAN IS APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO ANY EXCAVATION.

REVISIONS	Description	Date

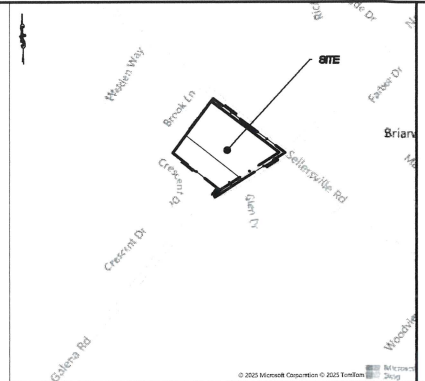


Holmes Cunningham LLC
409 E. Butler Ave., Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net

SELLERSVILLE ROAD T-338

DEED BEARING S52°32'36"E 1000.57'
FOUND BEARING S53°00'00"E 1021.91'

OWNER/APPLICANT:
RICHARD BLAKE, & EILEEN CALVITTI
454 NEW GALENA ROAD
CHALFONT, PA 18914



LIMIT OF DISTURBANCE = 0.97 ACRES

CRITICAL STAGES OF PCSM PLAN IMPLEMENTATION
THE INSTALLATION OF THE SUBSURFACE INFILTRATION BASIN WITH MRC SHALL BE OVERSEEN BY A LICENSED PROFESSIONAL ENGINEER OR THEIR DESIGNEE.
CONSTRUCTION SEQUENCE FOR PCSM BMPs
REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN DRAWING C1.3 FOR CONSTRUCTION SEQUENCE.

ACT 187 AS AMENDED
UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA ACT 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.
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1-800-242-1776

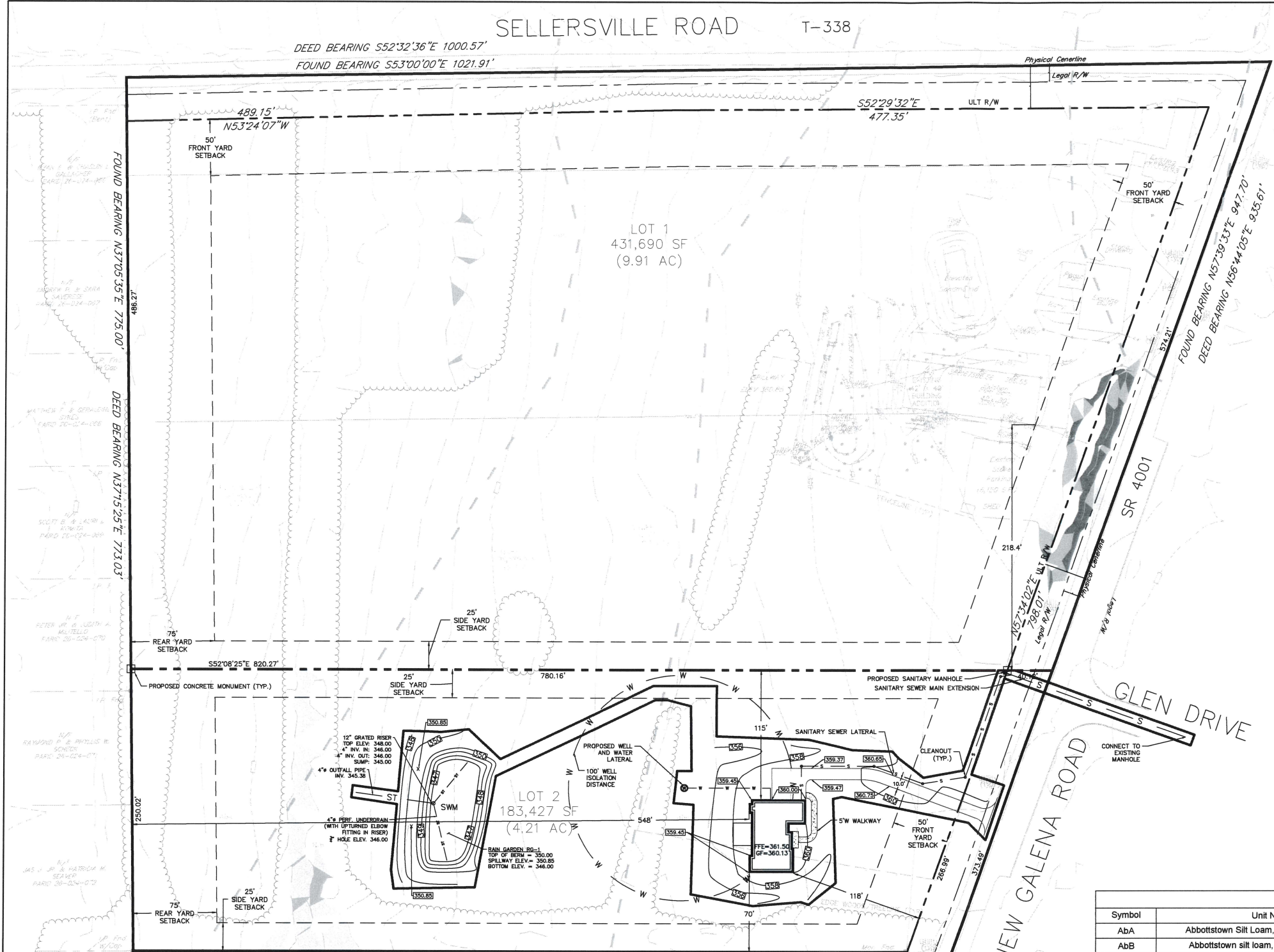


LEGEND

- PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- - - PROPOSED PROPERTY LINE
- - - RIGHT-OF-WAY
- EXISTING CONTOUR
- SOILS
- SOILS TEXT
- PROPOSED CONTOUR
- 185.2 x PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE MONUMENT
- S PROPOSED SANITARY SEWER MAIN
- - - PROPOSED SANITARY SEWER LATERAL
- - - PROPOSED WATER LATERAL
- PROPOSED WELL
- STEEP SLOPES 8-15%
- STEEP SLOPES 15-25%
- STEEP SLOPES 25%+
- PROPOSED BUILDING
- PROPOSED CONCRETE

Symbol	Unit Name	HSG	Hydric	Depth to Water	Depth to Bedrock
AbA	Abbottstown Silt Loam, 0 to 3 Percent Slopes	D	N	6-18 inches	46-50 inches
AbB	Abbottstown silt loam, 3 to 8 percent slopes	D	N	6-18 inches	40-60 inches
RIB	Reaville channery silt loam, 3 to 8 percent slopes	D	N	6-36 inches	20-40 inches
UmB	Urban land-Doylestown complex, 0 to 8 percent slopes	B/D	Y	0-6 inches	42-72 inches

FOUND BEARING N52°08'25"W 686.73'
DEED BEARING N51°49'08"W 686.73'



LOT AREA CALCULATIONS

Proposed Lot 1 Area	SF	Acres
Gross Site Area:	489,824	11.24
Land Within R.O.W.:	58,134	1.33
Lot Area:		0.00
Land With Natural Resource Restriction:	72,745	1.67
Net Buildable Area:	-72,745	-1.67
Proposed Lot 2 Area	SF	Acres
Gross Site Area:	195,438	4.49
Land Within R.O.W.:	12,011	0.28
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RESOURCE PROTECTION CALCULATIONS

Natural Resources	Protection Ratio	Acres of Land in Resources (Ac.) Lot 1	Required Resource Protection Land (Ac.) Lot 1	Proposed Resource Protection Land (Ac.) Lot 1	Acres of Land in Resources (Ac.) Lot 2	Required Resource Protection Land (Ac.) Lot 2	Proposed Resource Protection Land (Ac.) Lot 2
Watercourses	100%	0.00	N/A	0.00	0.00	N/A	0.00
Riparian Buffer	100%	0.00	N/A	0.00	0.00	N/A	0.00
Floodplain	100%	0.00	N/A	0.00	0.00	N/A	0.00
Floodplain (Alluvial) Soils	100%	0.00	N/A	0.00	0.00	N/A <td 0.00	
Wetlands	100%	0.00	N/A	0.00	0.00	N/A	0.00
Lakes and Ponds	100%	0.00	N/A	0.00	0.00	N/A	0.00
Wetlands Margins (25 FT to wetland)	80%	0.00	N/A	0.00	0.00	N/A	0.00
Woodlands (CRWS, SR-1, SR-2, RR)	80%	1.92	1.54	1.92	1.05	0.84	1.05
Steep Slopes 8-15%	60%	0.09	0.05	0.09	0.13	0.08	0.13
Steep Slopes 15-25%	70%	0.05	0.03	0.05	0.01	0.01	0.01
Steep Slopes 25%+	85%	0.05	0.04	0.05	0.00	N/A	0.00
Total Land with Resource Restrictions			2.11			1.19	
Total Land with 1.00 Protection Ratio			0.00			0.00	
Total Resource Protection Land Required			1.67			0.92	
Total Resource Protection Land Provided			2.11			1.19	

Zoning Table

ITEM	REQUIRED/PERMITTED	PROPOSED LOT 1	PROPOSED LOT 2	ORDINANCE SECTION
Permitted Uses	B1 Single Family Detached Dwelling	B1 Single Family Detached Dwelling	B1 Single Family Detached Dwelling	27-801.a
Requirements for: B1 Single Family Attached				
Max. Building Height	35 FT	<35	<35	27-802.a
Min. Lot Area	2 AC	10.33 AC	4.21 AC	27-802.b
Min. Lot Width At Setback	200 FT	572.4 FT	265.6 FT	27-802.b
Min. Lot Depth	200 FT	820.3 FT	686.7 FT	27-802.b
Min. Front Yard Setback	50 FT	0 FT (N)	116 FT	27-802.b
Min. Side Yard Setback	25 FT	218 FT	70 FT	27-802.b
Min. Rear Yard Setback	75 FT	728 FT	546 FT	27-802.b
Max. Building Coverage	15%	-14.13%	2.11%	27-802.b
Max. Lot Impervious Surface Coverage	25%	-44.06%	3.68%	27-802.b
Min. Off Street Parking	2 Spaces Per Dwelling Unit= 2 Spaces	2 Spaces	2 Spaces	27-2901.8

IMPERVIOUS COVERAGE TABLE

Existing Impervious Area	S.F.	Acres
Existing Buildings	10,281	0.24
Existing Driveway and Parking Area	20,362	0.47
Existing Walkways and Patios	1,386	0.03
Building Coverage	1,674	
Total Existing Impervious Coverage	32,049	0.74
Existing Impervious Coverage	5.21%	
Proposed Impervious Area Lot 1		
Existing Buildings and Features To Remain	10,281	0.24
Existing Driveway and Parking Area To Remain	20,362	0.47
Existing Walkways and Patios To Remain	1,386	0.03
Total Proposed Impervious Coverage	32,049	0.74
Total Proposed Impervious Coverage	-44.06%	
Proposed Impervious Area Lot 2		
Proposed Home and Patio	3,030	0.07
Proposed Driveway	2,246	0.05
Proposed Walkway	346	
Total Proposed Impervious Coverage	5,276	0.12
Total Proposed Impervious Coverage	3.68%	
Total Proposed Building Coverage	2.11%	

NOTES:
1. BEING BUCKS COUNTY TAX MAP PARCEL NUMBER 26-001-073, CONTAINING 15.7314 ACRES OF LAND MORE OR LESS.
2. SUBJECT PROPERTY IS WITHIN SR-2 - SUBURBAN RESIDENTIAL DISTRICT.
3. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM. A PA ONE CALL SHALL BE COMPLETED BEFORE CONSTRUCTION, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (1-800-242-1776).
4. A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BUCKS COUNTY MAP NO. 42017C0286K, EFFECTIVE DATE 3/21/2017.
5. NO NEW STREETS ARE PROPOSED AS PART OF THIS PROJECT.
6. DEED BOUNDARY INFORMATION IS TAKEN FROM A PLANSHEET TITLED "OVERALL SITE PLAN" PREPARED BY MARK G. HINTENLANG, P.E. DATED 11/21/11 LAST REVISED 6/12/12. SURVEY INFORMATION IS TAKEN FROM A SURVEY TITLED "AS-BUILT SURVEY" BY DENNIS M. LITZENBERGER, AND A PARTIAL FIELD SURVEY PERFORMED BY BRIAN K. PATTERSON, PLS ON DECEMBER 15, 2023.
7. THE STORMWATER FACILITY IS DESIGNED TO ROUTE 15,504 SF OF FUTURE IMPERVIOUS COVER FOR A TOTAL OF 21,780 SF OF IMPERVIOUS COVER.

Holmes Cunningham LLC
409 E. Butler Ave., Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net

HC ENGINEERING

REVISIONS

Date	Description

454 NEW GALENA ROAD
PARCEL: 26-001-073
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

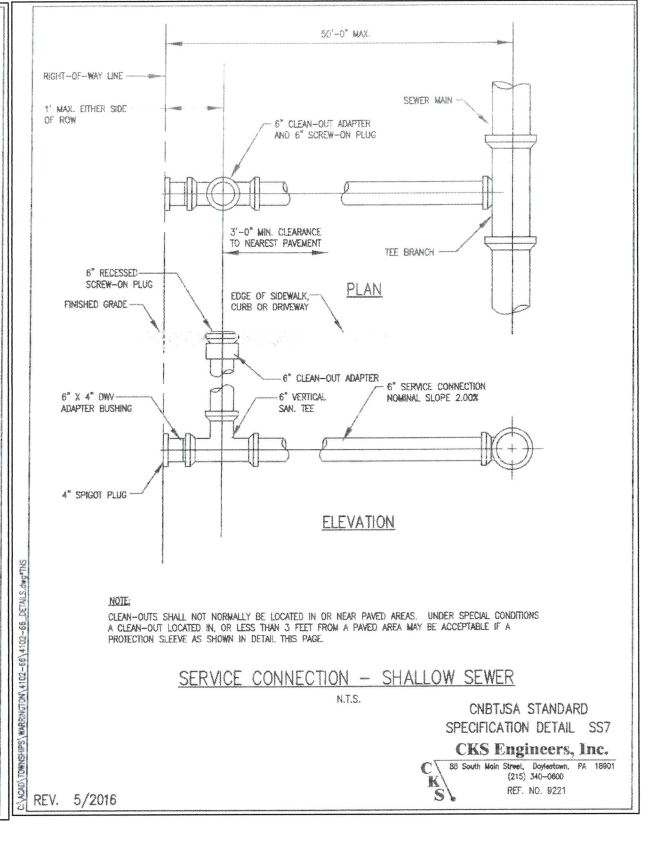
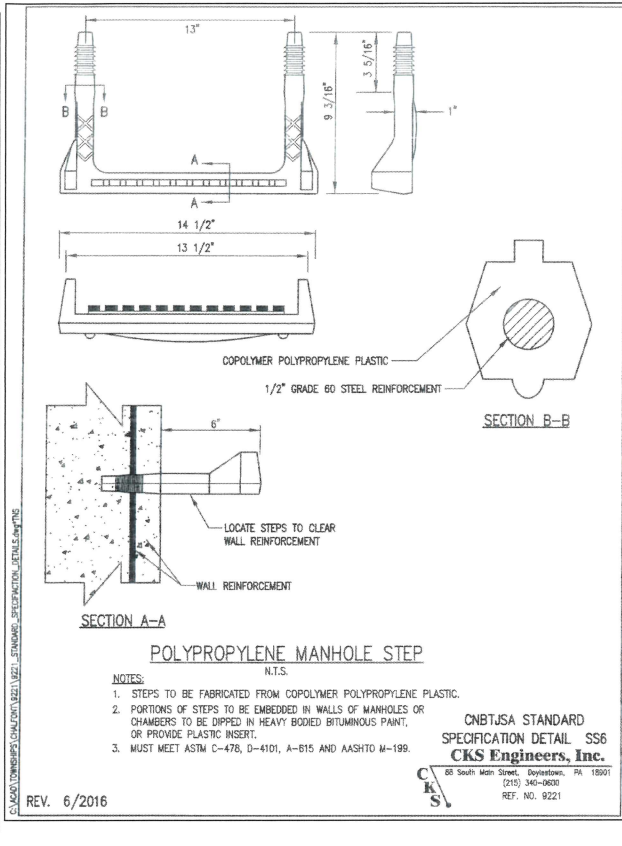
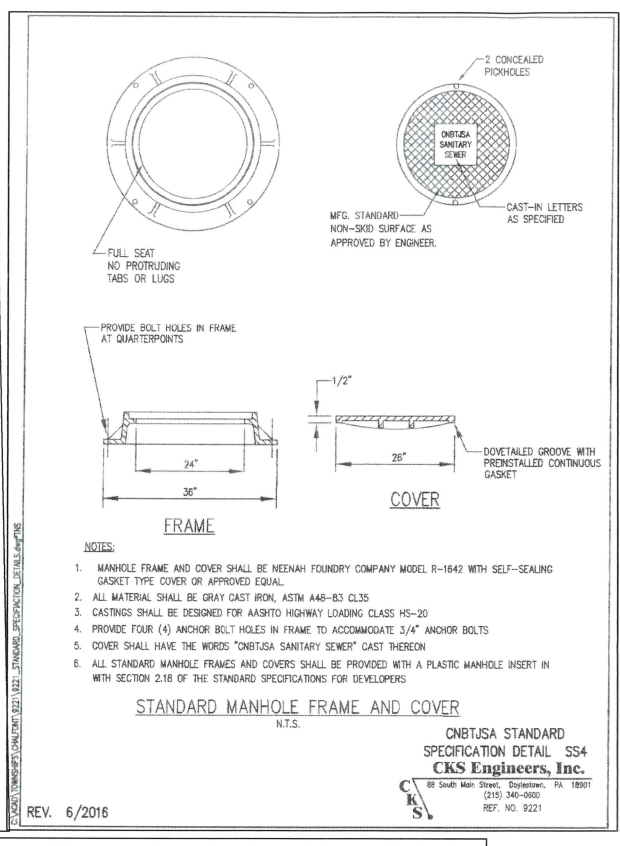
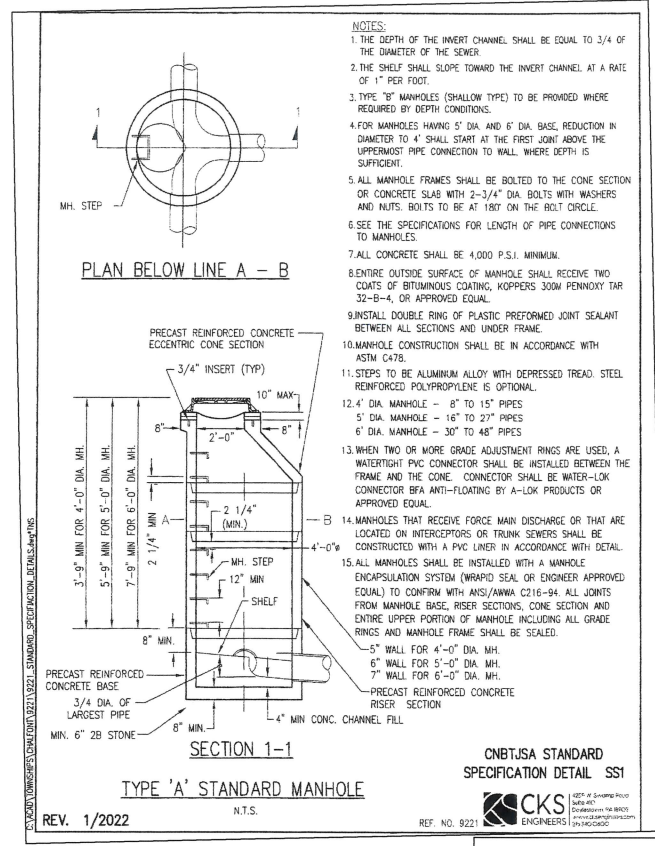
GRADING, DRAINAGE AND UTILITY PLAN

Robert T. Cunningham, P.E.
PA Lic. No. PA076024

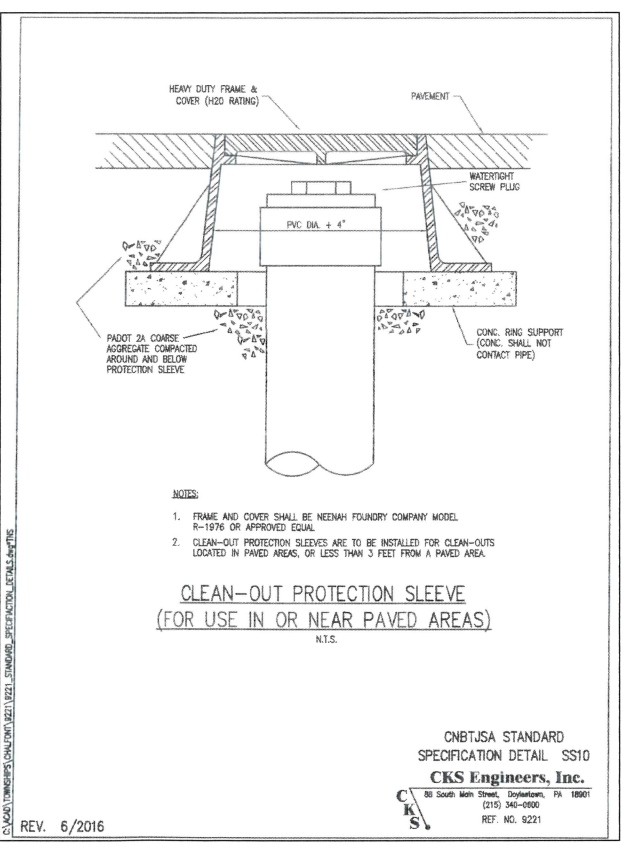
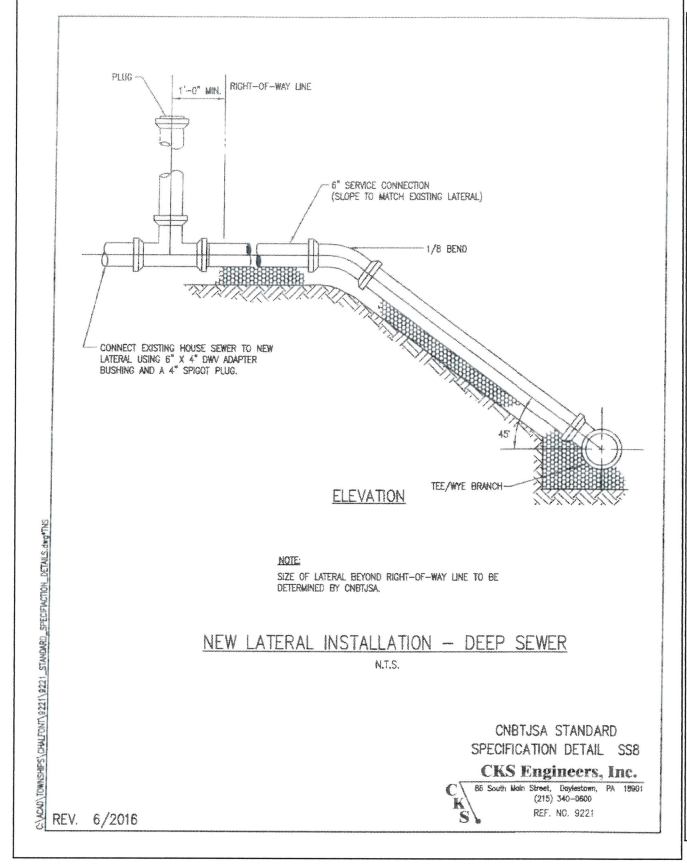
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Date 02/05/26
Scale 1"=50'
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Sheet 2 of 6

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- UTILITY NOTES**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 3. ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE OWNER, AT NO COST TO THE TOWNSHIP.
 4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITY SERVICE (WATER, SEWER, GAS AND ELECTRIC) TO THE PROPERTY AND ENSURE THAT THEY ARE PROPERLY DISCONNECTED FROM THE EXISTING UTILITIES AND RECONNECTED TO THE NEW SERVICES PROVIDED.
 5. THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 6. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
 7. ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
 8. ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
 9. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, UTILITY LOCATIONS, CATHODIC PROTECTION AND INVERTS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DISRUPTIONS TO EXISTING UTILITIES SERVICES. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 10. THE SANITARY SEWER MAINS ARE TO BE DEDICATED TO THE CHALFONT NEW BRITAIN SEWER AUTHORITY.
 11. THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER WORK WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY. THE CHALFONT NEW BRITAIN SEWER AUTHORITY IS TO BE CONTACTED ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR OR CONNECTING INTO ANY EXISTING SEWER FACILITIES.
 12. ALL SANITARY SEWER FACILITIES SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY SPECIFICATIONS.
 13. EIGHTEEN (18) INCHES VERTICAL CLEARANCE SHOULD BE PROVIDED AT ALL UTILITY CROSSINGS
 14. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
 15. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES.
 16. ALL PROPOSED WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, BITUMINOUS COATED DOUBLE CEMENT MORTAR LINED.
 17. ALL WATER FACILITIES WITHIN THIS DEVELOPMENT, INCLUDING THE WATER MAIN AND WATER SERVICE PIPING UP TO AND INCLUDING INDIVIDUAL CURB STOPS, ISOLATION VALVES AND FIRE HYDRANTS, SHALL BE OFFERED FOR DEDICATION TO THE NORTH PENN WATER AUTHORITY. ALL WATER PIPING AND ASSOCIATED APPURTENANCES DOWNSTREAM OF THESE FACILITIES TO THE INDIVIDUAL BUILDINGS SHALL BE PRIVATELY OWNED.
 18. ALL WATER MAIN FITTINGS AND VALVES SHALL BE MECHANICAL JOINT (RESTRAINED) AND THE FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DRAWING C2.3 FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
 19. PROPOSED 8" WATER MAIN SHALL BE CONNECTED TO EXISTING WATER MAIN IN NEW GALENA ROAD.
 20. ALL FIRE HYDRANTS AND VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
 21. THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF LANDSCAPING SHOULD DISTURBANCE BE REQUIRED FOR UTILITY REPAIRS.
 22. THE CONTRACTOR MUST CONTACT NPWA ONE WEEK PRIOR TO WATER MAIN CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATION NEAR AND CONNECTION TO EXISTING WATER MAIN.
 23. ALL WATER FACILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH NORTH PENN WATER AUTHORITY STANDARD SPECIFICATIONS.
 24. 18 INCHES OF VERTICAL CLEARANCE OR 10 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SANITARY SEWER AND ALL OTHER UTILITIES. OTHERWISE, CONCRETE ENCASEMENT OF THE SANITARY SEWER SHALL BE PROVIDED.
 25. THERE SHALL NOT BE BUILT, INSTALLED, CONSTRUCTED, PLANTED OR LOCATED ANY TEMPORARY OR PERMANENT BUILDINGS OR STRUCTURES INCLUDING INFILTRATION BASINS, OR ANY TREES, SHRUBS, OR OTHER LANDSCAPING WITHIN 10 FEET OF SANITARY SEWER FACILITIES, EXCEPT TREES, SHRUBS, AND OTHER LANDSCAPING WHICH WILL NOT GROW TO MORE THAN 6 FEET IN HEIGHT.
 26. SINCE THE PROJECT IS LOCATED IN THE MONTGOMERY HIGH PRESSURE ZONE, A PRESSURE REDUCING VALVE SHALL BE INSTALLED ON EACH WATER SERVICE.
 27. A MINIMUM OF 5 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE WATER MAIN AND ALL PARALLEL UTILITY LINES.
 28. A MINIMUM CLEARANCE OF 18 INCHES SHALL BE PROVIDED WHERE A WATER MAIN CROSSES ANOTHER UTILITY.
 29. ALL CURB STOPS WITHIN PAVED AREAS MUST BE PROVIDED WITH A VALVE BOX AND COVER FOR PROTECTION.
 30. WATER MAINS MUST BE SURVEY STAKED AT FIFTY (50) FOOT INTERVALS ALONG THE MAIN ALIGNMENT FOR STRAIGHT RUNS AND AT TWENTY-FIVE (25) FOOT INTERVALS ALONG CURVES. SURVEY STAKES MUST BE CLEARLY INSCRIBED WITH THE STATION POINTS, TOP OF FINAL GRADE, AND, WHEN APPLICABLE, FACE OF CURB. WHEN PIPELINE LOCATION IS USED FOR PLACEMENT OF SURVEY STAKES, THE STAKES SHALL BE OFFSET A MINIMUM OF TEN (10) FEET AND A MAXIMUM OF TWENTY (20) FEET FROM THE PIPELINE SO AS NOT TO INTERFERE WITH THE INSTALLATION OF THE PIPE.
 31. ALL WATER SERVICE CONNECTIONS, WATER MAIN CONNECTIONS AND SERVICE DISRUPTIONS REQUIRED FOR CONSTRUCTION OF THE NEW WATER FACILITIES WITHIN THIS DEVELOPMENT MUST BE COORDINATED WITH NORTH PENN WATER AUTHORITY. THE AUTHORITY MAY REQUIRE SOME OR ALL OF THESE CONNECTIONS OR DISRUPTIONS TO OCCUR OUTSIDE OF REGULAR WORKING HOURS. THE SPECIFIC HOURS DURING WHICH THESE CONNECTIONS OR DISRUPTIONS ARE TO BE MADE WILL BE AS DIRECTED BY THE AUTHORITY AND THE WORK SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE AUTHORITY.
 32. A UTILITY AND ACCESS EASEMENT IS PROPOSED ON THE PRIVATE DRIVE FOR INSPECTION AND MAINTENANCE OF THE PROPOSED WATER AND SANITARY SEWER SYSTEMS FOR ACCESS BY THE NORTH PENN WATER AUTHORITY.
 33. VALVE BOXES ARE TO BE INSTALLED FOR CURB STOPS LOCATED IN OR IMMEDIATELY ADJACENT TO PAVED AREAS.
 34. ALL SANITARY SEWER FACILITIES SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH CHALFONT NEW BRITAIN TOWNSHIP JOINT SEWER AUTHORITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR SANITARY SEWER FACILITIES (AUTHORITY'S STANDARDS).
 35. THE DEVELOPER/CONTRACTOR SHALL COORDINATE WITH THE NORTH PENN WATER AUTHORITY AND CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE DUTILITY TO DETERMINE WHETHER WATER & SEWER SERVICE CONNECTIONS OR STUBS ARE REQUIRED FOR THE EXISTING DWELLINGS (N/F FASTI & N/F CHRISTIANSEN) ADJACENT TO THE PROPOSED ROAD.



PROJECT #: R010565.0428
DATE: SEPTEMBER 2025
SCALE: N.T.S.
PM: JTF
SHEET: N/A N/A

TRANSITION COUPLING DETAIL

HRG
HERBERT, ROWLAND & GRUBIC, INC.
301 ALLENDALE ROAD
SUITE 200
KING OF PRUSSIA, PA 19380
484.466.7050 | hrg-inc.com

File No.
2183_C2.0 GR-DA-UT.dwg

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C2.1

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409 E. Butler Ave. Unit 5
Doylestown, PA 18001
(215) 586-3330
www.hcengineering.net

REVISIONS

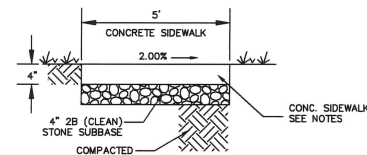
Date	Description

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454 NEW GALENA ROAD
PARCEL: 26-001-073
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

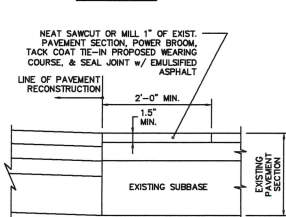
UTILITY NOTES AND DETAILS

Robert T. Cunningham, P.E.
PA Lic. No. PA076424



- NOTES:**
- SIDEWALK IS TO BE PROVIDED, PLACED, CURED AND FINISHED TO PENNDOT SPECIFICATIONS PUB. 408 (CURRENT EDITION), SECTIONS 704 AND 1001. TYPE AA CONCRETE (3,500 PSI, TWENTY-EIGHT-DAY STRENGTH) SHALL BE USED.
 - CONTRACTION JOINTS, SPACED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS, NOT TO EXCEED 5 FEET FOR SIDEWALKS TO BE FORMED BY DIVISION FLATES OR CUTTING GROOVE INTO CONCRETE SURFACE NOT LESS THAN 1/3 ENTIRE DEPTH OF SLAB.
 - DRAINAGE SLOPE TO BE MAINTAINED AT 2% TOWARDS CURB.
 - EXPANSION JOINTS TO BE ONE-HALF-INCH PRECLUDED, BITUMINOUS EXPANSION JOINT MATERIAL AT THIRTY-FOOT INTERVALS; NEXT TO BUILDINGS, POLES, STRUCTURES AND CURBS; AROUND INTERSECTIONS OF TWO WALKS; DRIVEWAY APRON JOINT TO WALL, CURB OR SIDEWALK AND AT ENDS OF ALL WALKS AND CURBS INCLUDING RADIUS CURBS.
 - MINIMUM NO. 9, SIX BY SIX MESH TO BE USED IN CONCRETE DRIVEWAY CONSTRUCTION.
 - CONTRACTION JOINTS ARE TO BE PLACED EVERY 5' AND EXPANSION JOINTS TO ARE TO BE PLACED EVERY 20'.
 - A 4" THICK 2B (CLEAN) STONE BASE IS REQUIRED.
 - CLASS AA CONCRETE IS TO BE USED FOR SIDEWALK CONSTRUCTION.

SIDEWALK

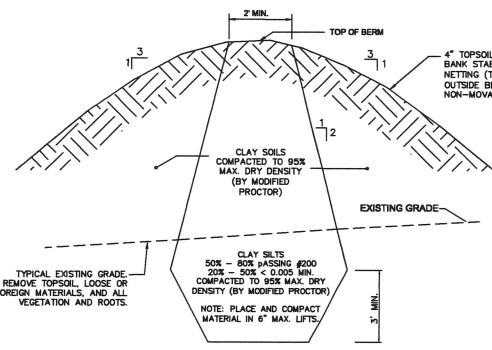


DRIVEWAY PAVEMENT TIE-IN

GRADING AND DRAINAGE NOTES

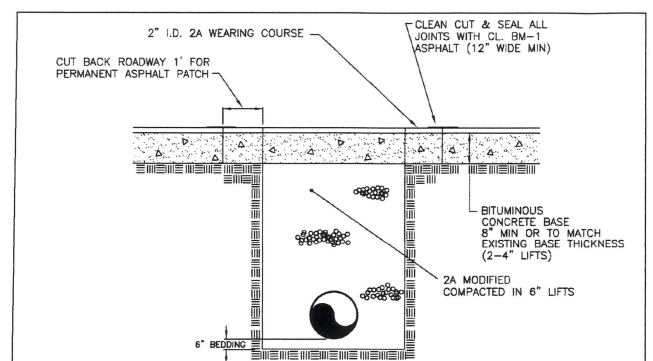
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE.

FILL AREA	% OF MAX. DENSITY
BUILDING FOOTPRINT	95%
PAVEMENT AND ROADWAYS	95%
SIDEWALKS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- PROTECTED SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH THE COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE AND TRUE TO GRADE AND CROSS SECTION.
- ALL STRIPPED TOPSOIL SHOULD BE REUSED ON SITE TO THE GREATEST EXTENT POSSIBLE. HOWEVER, PRIOR TO REMOVAL OF TOPSOIL FROM THE SITE PERMISSION SHOULD BE OBTAINED FROM THE MUNICIPALITY.
- THE MAXIMUM SLOPE IS THREE HORIZONTAL TO ONE VERTICAL (3H:1V). THE MINIMUM PERMITTED SLOPE IN LAWN AREAS IS 2% (50H:1V).
- ALL GRADING SHALL BE A MINIMUM OF 5' FROM THE PROPERTY LINE OR WITHIN THE ULTIMATE RIGHT-OF-WAY AS SHOWN/DEDICATED ON THE PENNDOT PLANS.
- ALL PROPOSED DWELLINGS SHALL HAVE ROOF DRAINS TIED INTO THEIR LOT'S RESPECTIVE STORMWATER BMP.



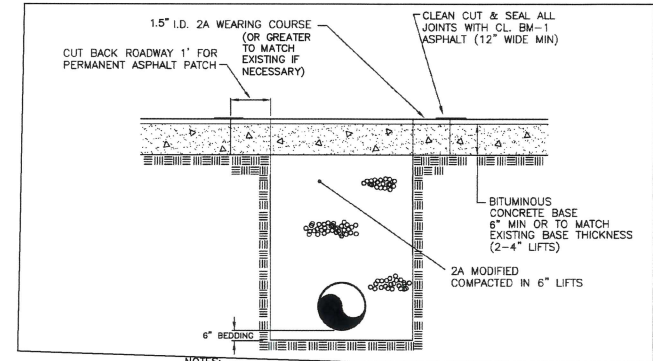
BASIN BERM AND KEYWAY TRENCH DETAIL

- STANDARD BASIN BERM CONSTRUCTION NOTES**
- SITE PREPARATION** - AREAS UNDER THE EMBANKMENT AND ANY STRUCTURES SHALL BE CLEARED, GRUBBED AND THE TOPSOIL STRIPPED TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBSTRUCTIONABLE MATERIAL IN ORDER TO FACILITATE CLEAN-OUT AND RESTORATION. THE POOL AREA WILL BE CLEARED OF ALL BRUSH AND EXCESS TREES.
 - CUT OFF TRENCH** - A CUT-OFF TRENCH WILL BE EXCAVATED ALONG THE BERM CENTERLINE BENEATH EARTH FILL EMBANKMENTS. THE MINIMUM DEPTH SHALL BE 3 FEET. THE CUT-OFF TRENCH SHALL EXTEND TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM WIDTH SHALL BE 8 FEET BUT WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS SHALL BE THE SAME AS THOSE FOR EMBANKMENTS. THE TRENCH SHALL BE KEPT FREE OF STANDING WATER DURING THE BACKFILLING OPERATIONS.
 - EMBANKMENT** - THE FILL MATERIAL SHALL BE TAKEN FROM SELECTED BORROW AREAS. IT SHALL BE FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS OR OTHER OBSTRUCTIONABLE MATERIAL AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHOULD CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET FOR PROPER COMPACTION. FILL MATERIAL MUST BE PLACED IN 6 TO 8 INCH LAYERS AND SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION MUST BE OBTAINED BY MECHANICAL SHEEP FOOT ROLLERS. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 5% HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT.



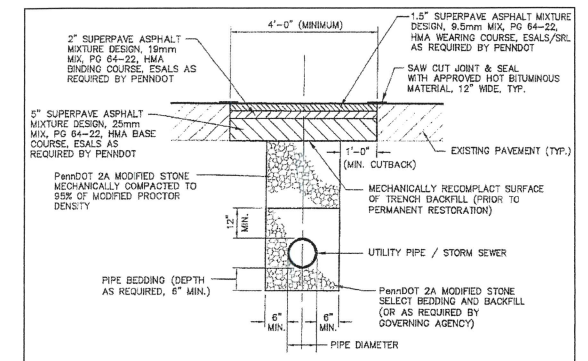
- NOTES:**
- ROADWAYS WILL BE PADDED TO PREVENT DAMAGE FROM BUCKETS OR OUTRIGGERS
 - ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH PENNDOT SPECIFICATIONS, FORM 408, CURRENT EDITION
 - FULL WIDTH OF ROAD SHOULDERS WILL BE COMPACTED WITH 2A MODIFIED WITHIN 3' OF ASPHALT ROAD SURFACE
 - COLD PATCH TEMPORARILY INSTALLED WITH PERMANENT RESTORATION WITHIN 90 DAYS
 - THIS SPEC WILL BE FOLLOWED UNLESS AMENDED BY AGREEMENT WITH TOWNSHIP
 - FINAL RESTORATION NO SOONER THAN 30 DAYS AFTER BACKFILL COMPACTION

TYPICAL MUNICIPAL ROADWAY RESTORATION



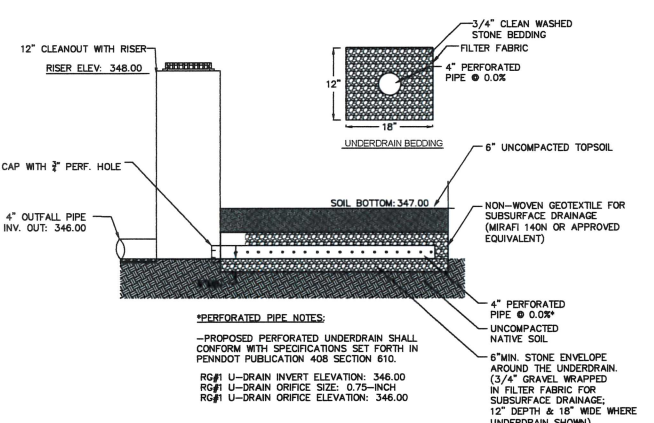
- NOTES:**
- ALL COURSES SHALL CONFORM TO PADOT 408 REQUIREMENTS
 - PAVEMENT SECTION TO BE USED FOR ALL STATE ROAD PAVING.

PENNDOT ROAD TRENCH RESTORATION

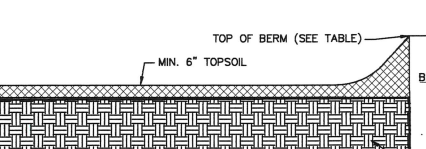


- NOTES:**
- BEFORE 90 DAYS, ROADS SHALL BE TEMPORARILY RESTORED WITH 2A COURSE AGGREGATE AND 2\"/>
 - RETAINED SUITABLE MATERIAL MAY BE USED AS BACKFILL FOR TRENCHES IN TOWNSHIP RIGHT-OF-WAY (OUTSIDE OF CARTWAY) WHEN MORE THAN THREE (3) FEET FROM EDGE OF EXISTING CARTWAY, CURB, AND/OR SIDEWALK.
 - MINIMUM WIDTH OF ALL RESTORATION SHALL BE FOUR (4) FEET.
 - COLD PATCH SHALL BE APPLIED ON ALL TRENCH RESTORATIONS (PRIOR TO 90 DAYS) WHEN BINDING OR BASE COURSE ARE NOT AVAILABLE DUE TO WEATHER CONDITIONS.
 - FOR PLASTIC UTILITIES, INSTALL DETECTION TAPE OVER PIPE AT TOP OF STONE BACKFILL.

UTILITY TRENCH RESTORATION WITHIN PAVED AREAS DETAIL



RAIN GARDEN UNDERDRAIN & OUTFALL DETAIL



RAIN GARDEN ELEVATIONS

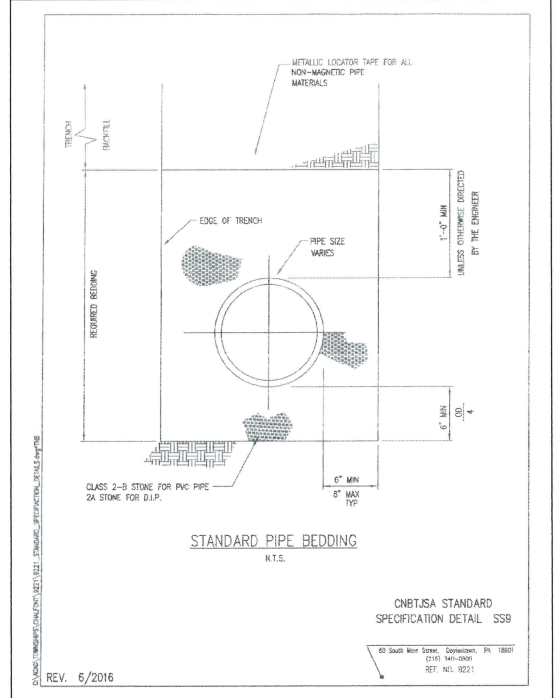
#	BMP INVERT	TOP OF BERM
Rg-1	347.00	348.85

RAIN GARDEN SOIL DETAIL

- RAIN GARDEN FLOOR SEEDING**
- SEED IN ERNST SEED MIX (ERNM-180); RAIN GARDEN AREA MIX SEEDING RATE IS 20 LBS. PER ACRE WITH 30 LBS. PER ACRE GRAIN RYE (COVER CROP)
- ERNM-180 RAIN GARDEN AREA MIX
- 26% River Oats, PA/VA Ecotype blend (Chasmanthium latifolium (Uniola latifolia), PA/VA Ecotype blend)
 - 15% Fowl Bluegrass (Poa palustris)
 - 10% Fox Sedge, PA Ecotype (Carex vulpinoidea, PA Ecotype)
 - 6% Purple Coneflower (Echinacea purpurea)
 - 4% Blackeyed Susan, Coastal Plain NC Ecotype (Rudbeckia hirta, Coastal Plain NC Ecotype)
 - 3% Zigzag Aster, PA Ecotype (Aster prenanthoides (Symphyotrichum p.), PA Ecotype)
 - 3% False Indigo, Southern WV Ecotype (Baptisia australis, Southern WV Ecotype)
 - 3% Ohio Spiderwort, PA Ecotype (Tradescantia ohiensis, PA Ecotype)
 - 2% Lanceleaf Coreopsis, Coastal Plain NC Ecotype (Coreopsis lanceolata, Coastal Plain NC Ecotype)
 - 2% Wild Bergamot, PA Ecotype (Monarda fistulosa, PA Ecotype)
 - 2% Wild Senna, VA & WV Ecotype (Senna hebecarpa (Cassia h.), VA & WV Ecotype)
 - 2% Autumn Bergamot, PA Ecotype (Ageratum perennans, PA Ecotype)
 - 2% Marsh (Dense) Blazing Star (Spiked Gayfeather), PA Ecotype (Liatris spicata, PA Ecotype)
 - 1% Early Goldenrod, PA Ecotype (Solidago juncea, PA Ecotype)
 - 1% Oxeeye Sunflower, PA Ecotype (Helopsis helianthoides, PA Ecotype)
 - 1% Swamp Milkweed, PA Ecotype (Asclepias incarnata, PA Ecotype)
- RAIN GARDEN LANDSCAPE MAINTENANCE**
- THIS RAIN GARDEN IS DESIGNED TO BECOME NATURALIZED OVER TIME AND WILL REQUIRE LESS MAINTENANCE AS TIME GOES ON.
- MOWING** - ESTABLISH AND MAINTAIN A NO-MOW ZONE THAT ENCOMPASSES THE FLOOR AND SIDE SLOPES. MOW THE NO-MOW ZONE 1X/YEAR TO A MINIMUM HEIGHT OF 6\"/>

INSPECTIONS - INSPECT RAIN GARDEN AND NO-MOW ZONES FOR INVASIVE SPECIES SUCH AS PURPLE LOOSESTRIFE, PHRAGMITES, HONEYSUCKLE, ETC. (ANNUALLY IN JULY). IF INVASIVE SPECIES ARE FOUND REMOVE PER RECOMMENDED STANDARDS FOR SPECIFIC SPECIES FOLLOWING GUIDELINES BY PA DCNR (DEPT OF CONSERVATION & NATURAL RESOURCES).

CLEANING - REMOVE TRASH AND DEBRIS (JANUARY & APRIL)



STANDARD PIPE BEDDING

REV. 6/2016

Holmes Cunningham LLC
409 E. Butler Ave. Unit 5
Doylesstown, PA 18901
(215) 866-3330
www.hcengineering.net

REVISIONS	Description	Date

454 NEW GALENA ROAD
PARCEL: 26-001-073
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

GRADING, DRAINAGE AND PCSM NOTES AND DETAILS

Robert T. Cunningham, P.E.
PA Lic. No. PA076424

File No. 2183_C2.0 GR-DA-UT.dwg

HCE Job No.	Date	Scale	Designed	RC	Sheet
2183	02/05/26	N.T.S.	RC		4 of 6

Drawing No. **C2.2**

SEQUENCE OF CONSTRUCTION

- SITE DEVELOPMENT OPERATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GENERAL SEQUENCE OF OPERATIONS. THE CONTRACTOR MAY DEVIATE FROM THE STAGING OF PERMANENT SITE IMPROVEMENT CONSTRUCTION ITEMS, WITH APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR. DEVIATION FROM THE RELATIVE ORDER OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD NOT OCCUR WITHOUT APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR AND SITE ENGINEER. NO VERTICAL CONSTRUCTION MAY OCCUR UNTIL SUBGRADE IS SET.
- CONTACT THE BUCKS COUNTY CONSERVATION DISTRICT (215-345-7577), NEW BRITAIN TOWNSHIP, AND THE TOWNSHIP ENGINEER AT LEAST THREE (3) WORKING DAYS PRIOR TO SITE DISTURBANCE.
- EACH STAGE OF THE SEQUENCE OF CONSTRUCTION MUST BE COMPLETED PRIOR TO INITIATION OF THE NEXT STAGE OF THE SEQUENCE OF CONSTRUCTION. CONSTRUCTION MAY OVERLAP INTO A SUBSEQUENT PHASE AS LONG AS ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN THE PREVIOUS PHASE.
- DELINEATE THE LIMIT OF DISTURBANCE. INSTALL CONSTRUCTION ENTRANCE AT SITE ACCESS, STOCKPILE, COMPOST FILTER SOCK AND TREE PROTECTION FENCE WHERE SHOWN ON THE PLAN. INSTALL PROTECTION FENCE AROUND FUTURE SOMS.
- STRIP TOPSOIL AND STOCKPILE WHERE SHOWN ON PLAN. ALL STRIPPED TOPSOIL STOCKPILES SHALL HAVE TEMPORARY SEEDING INSTALLED. DEMOLITION EXISTING STRUCTURE AND OTHER SITE FEATURES (PAVING, CONCRETE, SEPTIC SYSTEM, ROUGH GRADE SITE, DRIVEWAY/PARKING AND BUILDING PADS. INSTALL TEMPORARY EROSION CONTROL. BLANKETS. ANY AREAS WHICH WILL BE INACTIVE FOR 72 HOURS OR MORE SHALL BE TEMPORARILY STABILIZED AS NOTED ON THESE PLANS.
- BEGIN CONSTRUCTION OF BUILDING FOUNDATION. BUILDING CONSTRUCTION MAY COINCIDE WITH ADDITIONAL SITE WORK, INCLUDING UTILITY WORK INCLUDING SEPTIC SYSTEM AND LATERAL CONNECTION, WALL AND DRIVEWAY CONSTRUCTION, THAT IS LISTED IN THIS SEQUENCE OF CONSTRUCTION. PRIOR TO VERTICAL CONSTRUCTION, SUBGRADE IS TO BE SET, INCLUDING BUT NOT LIMITED TO FOUNDATION WORK, STABLE SUBGRADE/SUBBASE, SUBSURFACE UTILITY WORK, AND DRIVEWAY/PARKING SUBGRADE.
- INSTALLATION OF STORMWATER FACILITY (RG-1) IS A CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE. CRITICAL STAGES SHALL BE MONITORED BY A LICENSED PROFESSIONAL OR THEIR DESIGNEE. THE UNDERGROUND BASINS AND LEVEL SPREADERS SHALL BE PROTECTED FROM DISTURBANCE ONCE THEY ARE CONSTRUCTED.
- INSTALL ON-LOT POTABLE WATER WELLS, SANITARY SEWER SYSTEM STARTING AT THE DOWNSTREAM ENDS AND WORKING UPSTREAM. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY.
- COMPLETE FINAL GRADING AFTER FINAL GRADING IS COMPLETED, APPLY PERMANENT SEEDING MIXTURE AND INSTALL ALL REQUIRED PLANTINGS, FENCING, AND LIGHTING. LIGHTING SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY USE AND OCCUPANCY PERMITS. ONCE ALL BUILDINGS ARE COMPLETED, FLUSH ALL AFFECTED STORM DRAINAGE PIPES OF ACCUMULATED SILT. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING FINAL SEEDING AND MULCHING OPERATIONS. REFER TO PCSM DRAWINGS FOR SPECIFIC DETAILS.
- AFTER CONSTRUCTION IS COMPLETED, INSTALL WEARING COURSE FOR THE DRIVEWAY. REPAIR ANY DAMAGED SANITARY SEWER STRUCTURES AND/OR ANY OTHER AMENITIES FROM INSTALLATION OF WEARING COURSE.
- UPON COMPLETE STABILIZATION OF SITE, REMOVE EROSION CONTROL BMPs FROM WITHIN THE STORMWATER FACILITY AND REMOVE FINES FROM STORMWATER FACILITY. UPON COMPLETION AND STABILIZATION INSTALL THE STORMWATER FACILITIES AND TILL SURFACE WITH COMPOST PER THE RAINGARDEN SEQUENCE OF CONSTRUCTION ON THE PCSM PLAN. THIS ACTIVITY IS REQUIRED TO BE INSPECTED BY THE LICENSED PROFESSIONAL. THE CONTRACTOR SHALL COORDINATE INSPECTIONS WITH THE INSPECTING LICENSED PROFESSIONAL.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH STORM EVENT OR ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. THE SITE SHALL BE CONSIDERED STABILIZED WHEN THE PERMANENT VEGETATION HAS PROVIDED A 70% GROUND COVER. THE CRITERIA FOR THE REMOVAL OF CONTROLS IS A UNIFORM 70% VEGETATIVE COVER CAPABLE OF RESISTING EROSION, NOT 7 OUT OF 10 ACRES OR 7 OUT OF 10 UNITS.
- FIELD VERIFICATION OF THE DRAINAGE AREAS TO PROPOSED PCSM SCMS IS A CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE. THIS ACTIVITY IS REQUIRED TO BE PERFORMED BY THE LICENSED PROFESSIONAL.
- UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITY AND COMPLETED INSTALLATION OF BMP FACILITIES IN ACCORDANCE WITH THE APPROVED PLAN, EAS BMPs INCLUDING COMPOST FILTER SOCK, CONSTRUCTION ENTRANCE, INLET PROTECTION, AND WASHOUTS SHALL BE REMOVED.

Soils Table					
Symbol	Unit Name	HSG	Hydric	Depth to Water	Depth to Bedrock
AbA	Abbottstown Silt Loam, 0 to 3 Percent Slopes	D	N	6-18 inches	46-50 inches
AbB	Abbottstown silt loam, 3 to 8 percent slopes	D	N	6-18 inches	40-60 inches
RIB	Reaville channery silt loam, 3 to 8 percent slopes	D	N	6-36 inches	20-40 inches
UmB	Urban land-Doylestown complex, 0 to 8 percent slopes	B/D	Y	0-6 inches	42-72 inches

SESC LEGEND

- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- COMPOST FILTER SOCK
- x - x - ORANGE CONSTRUCTION FENCE
- [] ROCK CONSTRUCTION ENTRANCE
- [] EROSION CONTROL MATTING
- SOIL TYPE BOUNDARY
- SOIL TYPE
- [] FILTER BAG INLET PROTECTION
- PROPOSED CONTOUR
- TPF

LEGEND

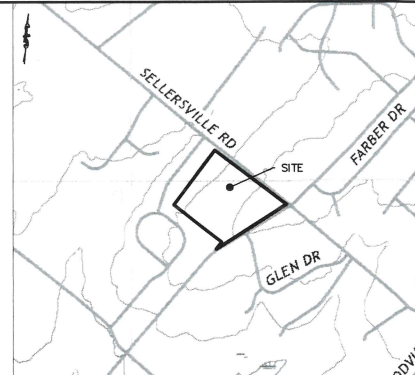
- PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING CONTOUR
- SOILS
- SOILS TEXT
- PROPOSED CONTOUR
- [] PROPOSED SPOT ELEVATION
- [] PROPOSED CONCRETE MONUMENT
- S --- PROPOSED SANITARY SEWER MAIN
- s --- PROPOSED SANITARY SEWER LATERAL
- w --- PROPOSED WATER LATERAL
- [] PROPOSED WELL
- [] STEEP SLOPES 8-15%
- [] STEEP SLOPES 15-25%
- [] STEEP SLOPES 25%+
- [] PROPOSED BUILDING
- [] PROPOSED CONCRETE

NOTES:

- BEING BUCKS COUNTY TAX MAP PARCEL NUMBER 26-001-073, CONTAINING 15.7314 ACRES OF LAND MORE OR LESS.
- SUBJECT PROPERTY IS WITHIN SR-2 - SUBURBAN RESIDENTIAL DISTRICT.
- REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM. A PA ONE CALL SHALL BE COMPLETED BEFORE CONSTRUCTION, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008 (1-800-242-1776).
- A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BUCKS COUNTY MAP NO. 42017C0286K, EFFECTIVE DATE 3/21/2017.
- NO NEW STREETS ARE PROPOSED AS PART OF THIS PROJECT.
- DEED BOUNDARY INFORMATION IS TAKEN FROM A PLANSET TITLED "OVERALL SITE PLAN" PREPARED BY MARK G. HINTENLANG, P.E. DATED 11/21/11 LAST REVISED 6/12/12. SURVEY INFORMATION IS TAKEN FROM A SURVEY TITLED "AS-BUILT SURVEY" BY DENNIS M. LITZENBERGER, AND A PARTIAL FIELD SURVEY PERFORMED BY BRIAN K. PATTERSON, PLS ON DECEMBER 15, 2023.
- THE STORMWATER FACILITY IS DESIGNED TO ROUTE 16,504 SF OF FUTURE IMPERVIOUS COVER FOR A TOTAL OF 21,700 SF OF IMPERVIOUS COVER.

OWNER/APPLICANT:

RICHARD BLAKE & EILEEN CALVITTI
454 NEW GALENA ROAD
CHALFONT, PA 18814



LIMIT OF DISTURBANCE = 0.93 ACRES

CRITICAL STAGES OF PCSM PLAN IMPLEMENTATION
THE INSTALLATION OF THE RAINGARDEN SHALL BE OVERSEEN BY A LICENSED PROFESSIONAL ENGINEER OR THEIR DESIGNEE.

CONSTRUCTION SEQUENCE FOR PCSM SCMS
REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN DRAWING C2.2 FOR CONSTRUCTION SEQUENCE.

ACT 187 AS AMENDED

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA ACT 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.
TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITY LINES IN THE AREA.
CALL BEFORE YOU DIG!!
PENNSYLVANIA LAW REQUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING DAYS IN DESIGN STAGE - STOP & CALL -
Pennsylvania One Call System, Inc.
1-800-242-1776

RECYCLING/ DISPOSAL OF MATERIALS
THE CONSTRUCTION WASTES ANTICIPATED INCLUDE DEMOLITION MATERIALS FROM THE BUILDING AND SITE DEMOLITION AND EXCESS BUILDING MATERIAL SUCH AS CONCRETE, WOOD, ETC.
ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 2601 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

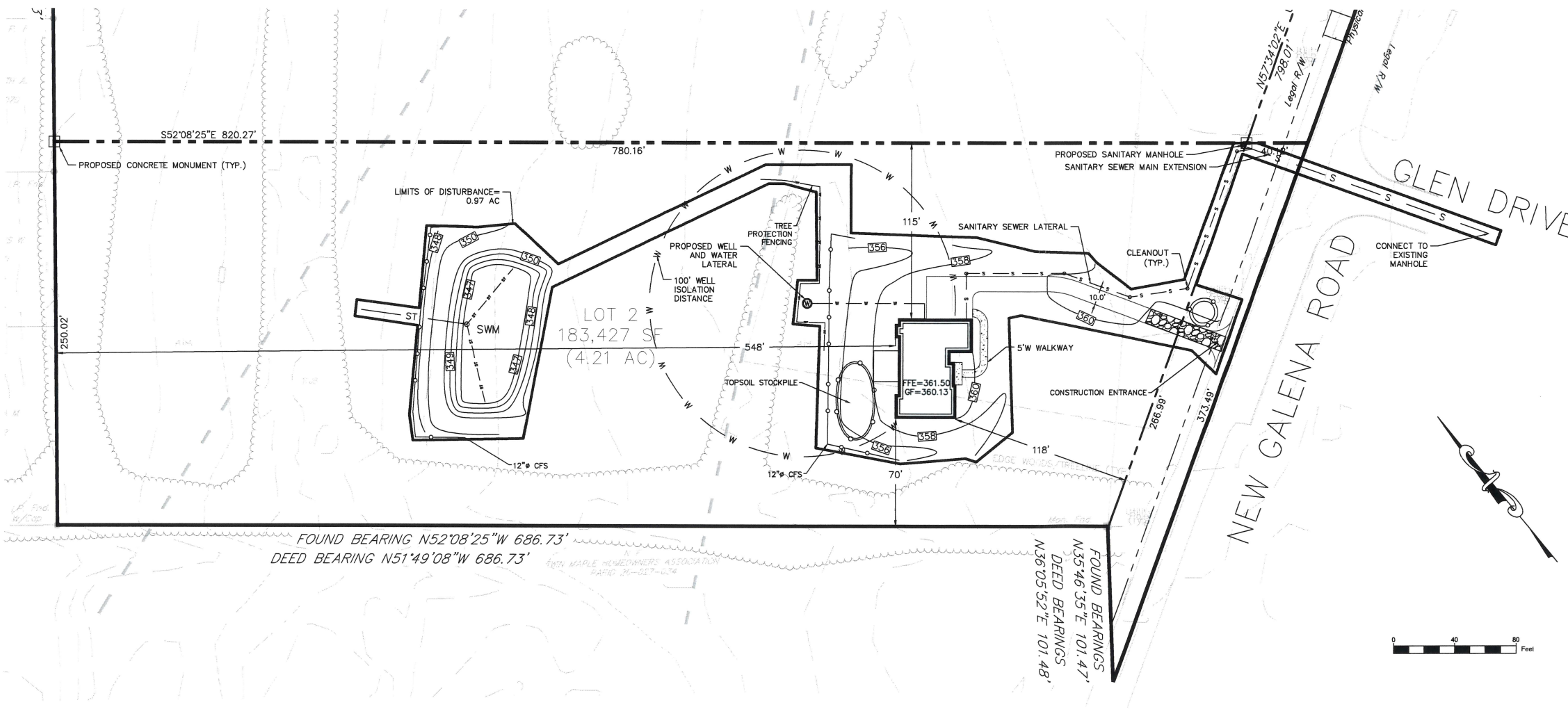
Holmes Cunningham LLC
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REVISIONS	Description	Date

454 NEW GALENA ROAD
PARCEL: 26-001-073
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
EROSION AND SEDIMENTATION CONTROL PLAN

Robert T. Cunningham, P.E.
PA Lic. No. PA076824

File No.	2183_C3.0 E+S.dwg
HCE Job	2183
Date	02/05/26
Scale	1"=40'
Designed	RC
Sheet	5 of 6
Drawing No.	C3.0



CLEAN FILL NOTE:

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL REST WITH THE OPERATOR.

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE OR CONSTRUCTION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE, INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE RESEARCH, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES

STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2L:1V. THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SLOPES AND/OR ROCK SPILL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PUMPED WATERSHED-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% (PERCENT) VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

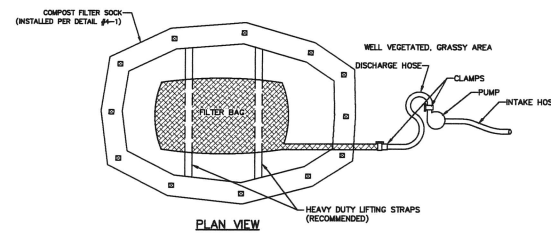
UPON THE INSTALLATION OF TEMPORARY SEDIMENT BASIN RISER(S), A QUALIFIED SITE REPRESENTATIVE SHALL CONDUCT AN IMMEDIATE INSPECTION OF THE RISER(S), WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED (WATER-TIGHT).

AT STREAM CROSSINGS, A 50-FOOT BUFFER SHALL BE MAINTAINED. ON BUFFERS, CLEARINGS, SOD DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING, CLEARING BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.



PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WICK WIDTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4633	110 LB
MULLER BURST	ASTM D-3786	300 PSF
UV RESISTANCE	ASTM D-4355	70%
AGE % RETAINED	ASTM D-4751	80%

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL. UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

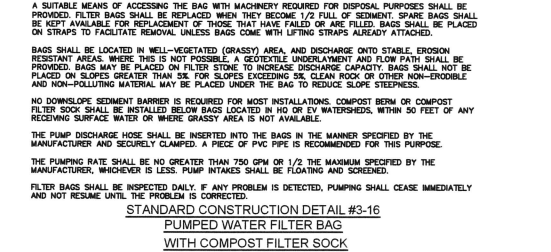
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE. A SEEDABLE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 1:1. MULCH SHALL BE PLACED OVER BAGS TO PREVENT WIND-EROSION AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST BERM WITH MULCH BARRIER IS REQUIRED FOR WATERSHEDS, WITH 90 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLAGGING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



SEEDING NOTES:

TEMPORARY SEEDING:

- TEMPORARY SEEDING SHALL BE DONE IN AREAS WHERE NO ACTIVITY WORK WILL BE PERFORMED. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE SEEDING AND MULCHED IMMEDIATELY.
 - DURING NON-GERMINATING PERIODS, ONLY MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. AREAS MULCHED DURING THE NON-GERMINATING PERIODS, MUST BE LIMED, FERTILIZED, SEEDING, AND MULCHED IMMEDIATELY FOLLOWING THE END OF THE NON-GERMINATING PERIODS.
 - DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE (1) YEAR MAY BE SEEDING AND MULCHED WITH A QUICK GROWING TEMPORARY SEED MIXTURE.
 - DISTURBED AREAS WHICH ARE AT EITHER FINISHED GRADE OR WILL NOT BE DISTURBED AGAIN WITHIN ONE (1) YEAR MUST BE SEEDING WITH A PERMANENT SEED MIXTURE AND MULCHED.
- TEMPORARY SEEDING STEPS:**
- APPLY AGRICULTURAL LIMESTONE AT A RATE OF ONE (1) TON PER ACRE. (5 POUNDS PER 1000 SQUARE FEET)
 - APPLY FERTILIZER AT THE RATE OF 50-50-50 PER ACRE.
 - WORK THE LIMESTONE AND FERTILIZER INTO THE SOIL.
 - UTILIZING THE FOLLOWING SEEDING TYPES, RATES AND TIME SCHEDULE:

SEASON	RATE	TYPE
MARCH 1 TO JUNE 15	1 LB./1000 SF	ANNUAL RYEGRASS
MAY 15 TO SEPT 15	1 LB./1000 SF	SUDAN GRASS
SEPT 15 TO OCT 15	168 LB./AC	WINTER RYE

APPLY HAY OR STRAW MULCH (IN ACCORDANCE WITH SECTION NO. 4) AT A RATE OF THREE (3) TONS PER ACRE.

PERMANENT SEEDING:

- DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE DISTURBED AGAIN WITHIN ONE (1) YEAR MUST BE SEEDING WITH A PERMANENT SEED MIXTURE AND MULCHED.
- SEEDING SHALL BE DONE DURING PERIODS FROM APRIL 15TH TO OCTOBER 31ST, UNLESS OTHERWISE DIRECTED. IF SEEDING IS DONE AFTER OCTOBER 1ST, DORMANT SEED MUST BE USED AND DISTURBED AREAS MUST BE MULCHED.
- DISTURBED FINAL GRADED AREAS AND DRAINAGE SWALES WILL BE PERMANENTLY SEED AS FOLLOWS:
 - MINIMUM OF 4" OF TOPSOIL SHALL BE SPREAD OVER ALL AREAS TO BE SEED. TOPSOIL SHALL BE FREE OF STONES, STICKS, WASTE MATERIAL AND SIMILAR DEBRIS. FROZEN GROUND SHALL NOT BE SPREAD AS TOPSOIL AND TOPSOIL SHALL NOT BE SPREAD OVER FROZEN GROUND.
 - A SOIL ANALYSIS IS RECOMMENDED, HOWEVER, IN LIEU OF AN ANALYSIS APPLY AGRICULTURAL LIMESTONE AND FERTILIZER AT RATES RECOMMENDED BELOW (OR AS SUGGESTED BY THE SOIL TEST RESULTS (ONE (1) TEST PER 25 ACRES)).
 - THE LIMESTONE AND FERTILIZER SHALL BE WORKED INTO THE SOIL TO DEPTHS OF 3 TO 4 INCHES. D. GRASS SHALL NOT BE PLANTED AFTER HEAVY RAIN OR WATERING.
 - ALL SEED USED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT AT THE TIME OF PURCHASE. INERT MATTER SHALL NOT EXCEED 15% AND BLUE TAG CERTIFIED SEED SHALL BE SUPPLIED WHEREVER POSSIBLE.
 - SMOOTH AND FIRM SEED BED WITH CULTIPACKER OR SIMILAR EQUIPMENT PRIOR TO SEEDING. APPLY SEED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRO SEEDING. COVER SEEDS WITH 1/2" OF SOIL WITH SUITABLE EQUIPMENT.
 - APPLY HAY OR STRAW MULCH (IN ACCORDANCE WITH SECTION NO. 4) AT A RATE OF THREE (3) TONS PER ACRE.

SEASON	RATE	TYPE
MARCH 1 TO JUNE 1 & AUG 15 TO OCT 1	2 LBS./1000 SF	KY31 TALL FESCUE
OCT 1 TO MARCH 1 & JUNE 1 TO AUG 1	2 LBS./1000 SF	RED TOP

(** USE DORMANT SEED, UNIFORMLY APPLIED, WORKING INTO A DEPTH OF 1/4 INCH. THE USE OF MULCH IS REQUIRED. THE USE OF NETTING OR EROSION CONTROL MATS MAY BE REQUIRED.)

NOTE: SEEDING PERIODS AND SPECIFICATIONS MAY VARY DUE TO SITE CONDITIONS AND VARIANCES FROM THE TIME THIS REPORT IS WRITTEN AND APPROVED. IT MAY BE NECESSARY TO ADAPT SEED SPECIFICATION, VARIETIES, AND QUALITIES. FOR SPECIAL CONDITIONS CONSULT "GUIDELINE FOR RECLAMATION OF SEVERELY DISTURBED AREAS," PENNSYLVANIA STATE UNIVERSITY.

PERMANENT SEEDING FOR NORMAL MOWED LAWN AREAS:

SEASON	RATE	TYPE
MARCH 1 TO JUNE 1 & AUG 15 TO OCT 1	2 LBS./1000 SF	KY31 TALL FESCUE 80% AND RYEGRASS 20%

- NOTE: SEEDING PERIODS AND SPECIFICATIONS MAY VARY DUE TO SITE CONDITIONS AND VARIANCES FROM THE TIME THIS REPORT IS WRITTEN AND APPROVED. IT MAY BE NECESSARY TO ADAPT SEED SPECIFICATION, VARIETIES, AND QUALITIES. FOR SPECIAL CONDITIONS CONSULT "GUIDELINE FOR RECLAMATION OF SEVERELY DISTURBED AREAS," PENNSYLVANIA STATE UNIVERSITY.**
- PERMANENT SEEDING FOR SPECIAL AREAS (SWALES, POND EMBANKMENTS, LEVEES, DIVERSION CHANNELS, ETC.):**
- | SEASON | RATE | TYPE |
|-------------------------------------|----------------|---------------------------------------|
| MARCH 1 TO JUNE 1 & AUG 15 TO OCT 1 | 2 LBS./1000 SF | KY31 TALL FESCUE 80% AND RYEGRASS 20% |

UTILITY TRENCHING GUIDELINES:

- CONSTRUCTION REQUIREMENTS -
 - LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 - WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 - WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING AS REQUIRED, TO A FACILITY FOR REMOVAL OF SEDIMENTS IN ACCORDANCE WITH PADEP GUIDELINES.
 - ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
- EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS OR OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDING AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

SCM MAINTENANCE:

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.

DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING INSPECTIONS OF THE BMPs AFTER EACH RUNOFF EVENT AS WELL AS ON A WEEKLY BASIS. THE CONTRACTOR SHALL KEEP A LOG OF ALL INSPECTIONS AND MAINTENANCE PERFORMED ON THE BMPs

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL MEASURES.

SOIL SEDIMENT REMOVED FROM ANY TEMPORARY CONTROL MEASURE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE.

COMPOST FILTER SOCK WILL BE INSPECTED ONCE A WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE SOCK FUNCTIONAL. DEPOSITS WILL BE REMOVED WHERE ACCUMULATIONS REACH 1/2 TO THE ABOVE GROUND HEIGHT OF THE SOCK, UNDERCUTTING OR EROSION OF THE TOE ANCHOR OF THE COMPOST FILTER SOCK WILL BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS. ANY MANUFACTURER'S RECOMMENDATIONS WILL BE ADHERED TO FOR REPLACING COMPOST FILTER SOCK DUE TO WEATHERING.

THE CONSTRUCTION ENTRANCE WILL BE INSPECTED AT THE END OF EACH WORK DAY. THE THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK, A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE.

AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL NOT BE PERMITTED.

LIMITING EXPOSED, EXTENT AND DURATION OF DISTURBED AREAS: THE INITIAL PHASE OF THE PROPOSED PROJECT CONSISTS OF ESTABLISHING THE SOIL EROSION CONTROL MEASURES IN A SEQUENCE APPROPRIATE TOWARD LIMITING SOIL EROSION. THE EXTENT OF DISTURBED LAND HAS BEEN LIMITED TO INCLUDE ONLY THOSE AREAS REQUIRED FOR THE DEVELOPMENT OF THE SUBJECT SITE. ALL SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. THE SEQUENCE OF CONSTRUCTION ACTIVITIES IS OUTLINED IN THE SEQUENCE OF CONSTRUCTION CONTAINED HEREIN AND ON THE DRAWINGS.

PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION: THE PROJECT PROPOSES TO MINIMIZE DISTURBANCE TO THE EXISTING VEGETATION AT THE SITE BY ONLY PROPOSING DISTURBANCE IN THE AREA WHERE NEEDED. THE SITE VEGETATION PROPOSED FOR DISTURBANCE IS MAINLY SCRUB VEGETATION AND VINES WHICH ARE CURRENTLY DETRIMENTAL TO THE LARGE TREES ON THE SOUTHERN PROPERTY LINE.

MINIMIZE SOIL COMPACTION: THE PROJECT DESIGN LIMITS THE BULK/ MASS EARTHWORK TO BE PERFORMED AS MUCH AS POSSIBLE. ADDITIONALLY, SOIL COMPACTION WILL NOT BE REQUIRED OTHER THAN IN PROPOSED IMPERVIOUS AREAS.

FEATURES AND MEASURES TO MINIMIZE STORMWATER RUNOFF: TEMPORARY STABILIZATION: UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. THE DISTURBED AREAS WILL ALSO BE MULCHED WITH UNROTATED STRAW OR SALT HAY. TEMPORARY STABILIZATION MEASURES ARE SPECIFIED ON SOIL EROSION AND SEDIMENT POLLUTION CONTROL DETAIL PLANS.

PERMANENT STABILIZATION: ALL SLOPES AND DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING AND LANDSCAPING AS SOON AS POSSIBLE AFTER THE FINAL EARTHMOVING AND CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. AREAS THAT ARE PROPOSED TO HAVE SPECIFIC LINING SHALL BE STABILIZED WITH THE SPECIFIED LINING AS SOON AS THE EARTHMOVING AND CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. TEMPORARY SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL A UNIFORM EROSION RESISTANT PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED. PERMANENT STABILIZATION MEASURES ARE SPECIFIED ON THE EROSION AND SEDIMENT POLLUTION CONTROL DETAIL PLANS.

SOLDS SEPARATION: PRIOR TO ANY SITE DISTURBANCE OR CONSTRUCTION ACTIVITIES, A GRAVEL BUFFER WILL BE INSTALLED AT THE EXISTING DRIVEWAYS TO SERVE AS A CONSTRUCTION ENTRANCE. IN ADDITION, FILTER FABRIC FENCING WILL BE INSTALLED AROUND THE PROJECT AREA, DOWNGRADIENT FROM ANY DISTURBANCE, TO PREVENT SEDIMENT FROM LEAVING THE SITE. FILTER FABRIC SILT FENCING WILL BE CONSTRUCTED AND WILL REMAIN OPERATIONAL UNTIL PERMANENT CONTROL MEASURES ARE IN PLACE.

TREE PROTECTION NOTES:

- Prior to any site work, clearing, tree removal, grading, or construction, the tree protection area shall be delineated by the following methods:
 - The tree protection area that is delineated on the site prior to construction shall conform to the approved development plans.
 - Forty-eight inch high orange fence or other suitable fence, such as super silt fence, mounted on steel posts located 8 feet on center, shall be placed along the boundary of the tree protection area.
 - Trees being removed shall not be felled, pushed or pulled into a tree protection area or into trees that are to be preserved.
 - Grade changes and excavations shall not encroach upon the tree protection area.
 - No toxic materials, including petroleum products shall be stored less than 100 feet from a tree protection area or a watercourse. If field conditions warrant, a greater distance may be required.
 - The area within the tree protection area shall not be built upon nor shall any materials be stored there either temporarily or permanently. Vehicles and equipment shall not be parked in the tree protection area.
 - When tree stumps are located within 10 feet of the tree protection area, the stumps shall be removed by means of a stump grinder to minimize the effect on surrounding root systems.
 - Tree roots which must be severed shall be cut by a backhoe or similar equipment aligned radially to the tree. This method reduces the lateral movement of the roots during excavation, which if done by other methods could damage the intertwined roots of adjacent trees.
 - Within 4 hours of any severance of roots, all tree roots that have been exposed and/or damaged shall be trimmed cleanly and covered temporarily with moist peat moss, burlap, or other biodegradable material to keep them from drying out until permanent cover can be installed.
 - Sediment, retention, and detention basins shall not discharge into the tree protection area.
 - Trees shall not be used for roping, cables, signs, or fencing. Nails and spikes shall not be driven into trees.
- Protection from Grade Change.
 - When the original grade cannot be retained at the tree protection area line, a retaining wall shall be constructed outside the tree protection area.
 - Appropriate details of the retaining wall design shall be provided.
 - To ensure the survival of trees, the following methods shall be used.
 - The top of the wall shall be four inches above the finish grade level.
 - The wall shall be constructed of large stones, bricks, building tiles, concrete blocks, or treated wood beams not less than 6 inches by 6 inches. A means for drainage through the wall shall be provided so water will not accumulate on either side of the wall. Weep holes shall be required within any wall.
 - Any severed roots as a result of excavation shall be trimmed so that their edges are smooth and are cut back to a lateral root if exposed.
 - Tree Trunks: Tree trunks and exposed roots damaged during construction shall be protected from further damage. Damaged branches shall be pruned according to National Arborist Association standards. All cuts shall be made sufficiently close to the trunk or parent limb without cutting into the branch collar or leaving a protruding stub. All necessary pruning cuts must be made to prevent bark from being torn from the tree and to facilitate rapid healing.
 - Tree Replacement: In the event that trees that are to be protected are removed or damaged by accident or by violation of the tree protection requirements, trees shall be replaced on an inch for inch basis.

