



New Britain Township

Board of Supervisors

Business Meeting

Monday, July 21, 2025

7:00 PM – Business Meeting

Agenda

Business Meeting

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Chair Comments**
 - A. The board met in Executive Session on July 2nd to discuss personnel and litigation matters.
 - B. The board met in Executive Session before this meeting to discuss personnel and litigation matters.
- 4. Presentation/ Public Hearings/ Land Development**
 - A. Appointment and administration of Oath of Office for Entry Level Police Officer
 - B. Appointment and administration of Oath of Office for Sergeant Jones
 - C. Public Hearing Request of Bucks County to Rezone – 226 Chapman Road
- 5. Motion to Consider Consent Agenda**
 - A. Approve Minutes of June 16th, 2025, Board of Supervisors Meeting.
 - B. Approve Minutes of July 7th, 2025, Board of Supervisors Conditional Use Hearing.
 - C. Approve Regular Bill List as Follows:
 - Dated July 1, 2025, In the amount of \$131,863.09.
 - Dated July 17, 2025, In the amount of \$78,829.29.
 - D. Approve Prepaid Bill List as Follows:
 - Dated June 18, 2025, In the amount of \$87,376.62.
 - Dated June 26, 2025, In the amount of \$15,240.55
 - Dated July 1, 2025, In the amount of \$76,476.70.
 - Dated July 10, 2025, In the amount of \$22,263.37.
 - Dated July 17, 2025, In the amount of \$11,110.99.
 - E. Approve Escrow Release #2 for 324 Schoolhouse Road – Clauser Tree Care/Holy Properties, in the amount of \$24,832.
- 6. Action Items**
 - A. Consider a motion to adopt Resolution 2025-07 HB 1152 EMS.
 - B. Consider a motion to adopt Ordinance 2025-01 NBT Zoning and SALDO Amendments.
 - C. Consider a motion to adopt Ordinance 2025-02 Responsible Contractor Ordinance.
 - D. Consider a motion to advertise Ordinance 2025-03 EAC Amendment.
 - E. Consider a motion to adopt Resolution 2025-08 Preliminary/Final Land Development Plans for Spotless Brands LLC.
 - F. Consider a motion to approve the recommendation to award the Fuel Bid.

7. Information Items

A. Departmental Reports

- Finance
- Park & Recreation
- Public Works
- Police

B. Engineer's Report

C. Board of Supervisor's Comment

8. Public Comment

9. Announcements

- A.** Cancelled – Planning Commission Meeting – Tuesday, July 22nd at 7pm.
- B.** Cancelled – Board of Supervisors Business Meeting – Monday, August 4th at 7pm
- C.** Environmental Advisory Council – Wednesday, August 6th at 7pm.
- D.** Mobile Office Hours for Rep. Labs and Rep. Munroe – Wednesday, August 13th at 10am

10. Adjournment

*The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, August 18th, 2025, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. Agenda and meeting materials are posted to the Township website prior to the meeting date at www.newbritaintownship.org.*

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Chief Clowser
DATE: July 21, 2025
SUBJECT: Appointment and Administration of Oath of Office for Entry Level Police Officer

On August 1, 2025 Sergeant C. Richard Michie will retire from the New Britain Township Police Department, therefore creating a vacancy.

The process for identifying a suitable candidate included an oral interview and ranking of proposed candidates. Background investigations were completed on the top three candidates on the list and a follow-up interview was conducted by the Chief of Police to assess the candidates. It is recommended Thomas Ford be appointed as Entry Level Police Officer.

Thomas Ford meets all police certification requirements and is eligible to be administered the oath of office for Entry Level Police Officer.

STAFF RECOMMENDATION:

Approve a motion to appoint Thomas Ford as Entry Level Police Officer and have MDJ Regina Armitage administer the Oath of Office.

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Chief Clowser
DATE: July 21, 2025
RE: Appointment and Administration of Oath of Office for Sergeant

With the retirement of Sergeant C. Richard Michie on August 1, 2025, the police department will have an existing vacancy for Sergeant.

The promotion process included a written examination and oral interview to rank the candidates. A follow up interview was conducted by the Chief of Police to assess the candidates. From this process it is recommended that Brian Jones be appointed to the rank of Sergeant.

STAFF RECOMMENDATION:

Approve a motion to appoint Brian Jones as Sergeant and have MDJ Regina Armitage administer the Oath of Office.

NEW BRITIAN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE NEW BRITIAN TOWNSHIP OFFICIAL ZONING MAP TO RE-ZONE THE PROPERTY LOCATED AT 226 CHAPMAN ROAD (TMP #26-004-091) FROM WS WATERSHED DISTRICT TO C/R CONSERVATION AND RECREATION DISTRICT; REPEALING ALL INCONSISTENT ORDINANCES OR PARTS THEREOF; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Board of Supervisors of New Britian Township has enacted the New Britian Zoning Ordinance which contains, *inter alia*, the New Britian Township Zoning Map;

WHEREAS, the Board of Supervisors have received a request from the County of Bucks to rezone the identified parcel to meet future County Parks and Recreation needs;

WHEREAS, the Board of Supervisors has met the procedural requirements of 53 P.S. § 10101, et seq., the Pennsylvania Municipalities Planning Code, for the adoption of the proposed ordinance, including holding a public hearing;

WHEREAS, the Board of Supervisors of New Britian Township, after due consideration of the proposed ordinance at a duly advertised public hearing, has determined that the health, safety and general welfare of the residents of New Britian Township will be served by amending the New Britian Township Zoning Map as identified below; and

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the Board of Supervisors of New Britian Township, Bucks County, Pennsylvania, and it is hereby enacted and ordained by the authority of same as follows:

1. **MAP AMENDMENT**. The Official Zoning Map of the New Britian Township is hereby amended to rezone the property located at 226 Chapman Road (TMP#26-004-001) from WS Watershed District to C/R Conservation and Recreation District. The Township Planner or Engineer is hereby authorized and directed to amend the Official Zoning Map to carry out the intent and purpose of this Ordinance amendment.
2. **REPEALER**. All Ordinances or parts of Ordinances inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistencies or conflicts, are hereby specifically repealed.
3. **REVISIONS**. The New Britian Township Board of Supervisors does hereby reserve the right, from time to time, to adopt modifications of, supplements to, or amendments of its Ordinance, including this provision.

4. **SEVERABILITY**. The provisions of this Ordinance are declared to be severable. If any provision of this Ordinance is declared by a court of competent jurisdiction to be invalid or unconstitutional, such determination shall have no effect on the remaining provisions of this Ordinance or on the New Britian Zoning Ordinance or Zoning Map.

5. **EFFECTIVE DATE**. This amendment shall become effective five (5) days after date of adoption.

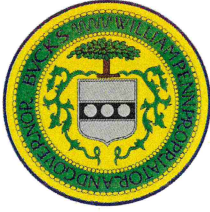
ORDAINED AND ENACTED by the Board of Supervisors for New Britian Township, Bucks County, Pennsylvania, this _____ day of _____, 2025.

ATTEST:

**NEW BRITIAN TOWNSHIP
BOARD OF SUPERVISORS:**

Dan Fox, Township Manager

By: _____
Cynthia M. Jones, Chair



County of Bucks

LAW DEPARTMENT

55 East Court Street, Doylestown, PA 18901

Phone: 215-348-6464 EMAIL: ddgrieser@buckscounty.org

County Solicitor
AMY FITZPATRICK, ESQ.

April 3, 2025

VIA EMAIL

Dan Fox, Township Manager
New Britian Township
207 Park Avenue
Chalfont, PA 18914
dfox@nbtpa.us

Re: 226 Chapman Road Request to Rezone

Dear Mr. Fox:

On April 5, 2024, the County of Bucks purchased the property located at 226 Chapman Road (TMP # 26-004-091) "Chapman property" to provide better service to the visitors of the County owned Peace Valley Park. The Chapman Property will support the Department of Parks and Recreation as a public recreation facility by providing environmental education and recreation programming spaces while also allowing the County to improve Chapman Road.

The 2.62-acre Chapman property is currently zoned in the WS Watershed District. The WS District requires 5 acres for the E1 Public Recreation Facility use. The County requests the property be rezoned to the C/R Conservation and Recreation District that also allows the E1 use but only requires a minimum of 2 acres. The adjoining County owned parcels are zoned in the C/R District. A proposed ordinance to rezone the property is attached.

I have also reviewed appendix H of the New Britian Township Code of Ordinances. Section H-101, Streets and Sidewalks, indicates that Chapman Road between New Galena Road to a point approximately 1,100 feet south of the intersection with Creek Road was vacated in 1970. 226 Chapman Road is on the corner of New Galena Road and Chapman Road. If the online ordinance reference is correct, it appears no additional street vacation ordinance is required and the portion of Chapman Road next to the Chapman property is a private road.

Yesterday, the County Commissioners approved your Professional Service Agreement and delegated to Bernard Griggs, the Director of Operations for Bucks County, the authority to execute it and related documents. The signed PSA and escrow check are being mailed to the Township. If you have any questions, please do not hesitate to contact me via email or via my office number.

Please include Bernard Griggs, Angie Nagle, John McLaughlin, and me on future letters/emails regarding this property.

Very truly yours,

/s/ Daniel D. Grieser
Daniel D. Grieser, Esquire
Deputy County Solicitor

ddg
attachment

cc:

Bernard Griggs, Director of General Services, County of Bucks
Angela Nagle, Executive Director, Parks and Recreation, County of Bucks
John McLaughlin, Asset Manager, General Services, County of Bucks (via email)
Craig Kennard, Township Engineer
Janene Marchand, Assistant Township Engineer
Scott Holbert, Township Solicitor



The Almshouse Neshaminy Manor Center 1260 Almshouse Road
Doylestown, Pennsylvania 18901 215.345.3400 FAX 215.345.3886
E-mail: planningcommission@buckscounty.org

PLANNING COMMISSION:

Eleanor M. Breslin, *Chair*
Richard Donovan, *Vice Chair*
Thomas J. Jennings, *Secretary*

Harold Hayes
James J. Keenan
James E. Miller Jr.
David R. Nyman
Edward J. Tokmajian
Tom Tosti

Evan J. Stone
Executive Director

MEMORANDUM

To: New Britain Township Planning Commission
New Britain Township Board of Supervisors

From: Bucks County Planning Commission

Date: May 7, 2025

Subject: BCPC #26-25-3(P)
Private Request for Zoning Map Change
TMP #26-4-91
Owner: County of Bucks
Applicant: Dan Grieser, c/o County of Bucks
Date Received: April 3, 2025
Hearing Date: Not indicated

In accordance with the provisions of Sections 304 and 609 of the Pennsylvania Municipalities Planning Code, this proposal was sent to the Bucks County Planning Commission for review. The following review has been prepared by the staff and endorsed by the Bucks County Planning Commission at a meeting held on May 7, 2025.

GENERAL INFORMATION

Requested Action: Amend the New Britain Township Zoning Map to rezone TMP #26-4-91 from WS Watershed District to C/R Conservation and Recreation District.

Location and Size of Tract: The 2.62-acre parcel is located south of the intersection of North Chapman Road and New Galena Road.

Existing Zoning Provisions: The WS Watershed District permits public recreational facilities on a minimum lot area of 5 acres with a minimum lot width of 250 feet.

Proposed Zoning Provisions: The C/R Conservation and Recreation District permits public recreational facilities on a minimum lot area of 2 acres with a minimum lot width of 150 feet.

COMMENTS

1. **Comprehensive plan**—Map #5 Land Use Map of the *New Britain Township Comprehensive Plan (2016)* shows the parcel as Watershed District. The comprehensive plan states that the Watershed District



consists of valuable natural resources such as woodlands, agricultural soils, floodplains, wetlands, aquifer recharge areas, and areas of steep slopes. The Watershed District includes Lake Galena, a popular recreational area, and the source of public water supply to the Forest Park Water Treatment Plant, located downstream of Lake Galena near the confluence of North Branch Neshaminy Creek and Pine Run. The proposed zoning map change is consistent with the comprehensive plan.

2. **Surrounding zoning and land use**—The proposed rezoning from WS Watershed District to C/R Conservation and Recreation District is compatible with the surrounding zoning. The permitted land uses in the proposed C/R Conservation and Recreation District are compatible with the surrounding land uses.

We recommend that the board of supervisors consider adopting the zoning map amendment as proposed, as it appears to be consistent with the requirements of the Pennsylvania Municipalities Planning Code and the land use policies of the municipal comprehensive plan and zoning ordinance.

We would appreciate being notified of the board of supervisors' decision regarding this matter. If the amendment is adopted, please send a copy within 30 days as required by Section 609.(g) of the Pennsylvania Municipalities Planning Code.

MAR:tmr
25-0104

cc: Dan D. Grieser, Esq., Deputy County Solicitor (via email)
Bernard Griggs, Director of General Services, County of Bucks (via email)
Angela Nagle, Executive Director, Parks and Recreation, County of Bucks (via email)
John McLaughlin, Asset Manager, General Services, County of Bucks (via email)
Dan Fox, Township Manager (via email)
Craig Kennard, Township Engineer, Gilmore & Associates, Inc. (via email)
Scott Holbert, Township Solicitor, Flagler & Associates, PC (via email)

PERTINENT INFORMATION

Site Characteristics, Natural Features: The site is wooded with a single-family dwelling

Existing Land Use: Single-family detached dwelling

Surrounding Land Use:

North:	Single-family detached dwelling
East:	Park and recreation
South:	Single-family detached dwelling
West:	Single-family detached dwelling

Surrounding Zoning:

North:	WS Watershed District
East:	WS Watershed District
South:	C/R Conservation and Recreation District
West:	C/R Conservation and Recreation District

Municipal Comprehensive Plan: Map #5 Land Use Map of the *New Britain Township Comprehensive Plan* (2016) shows the parcel as Watershed District.

**BOARD OF SUPERVISORS
MEETING MINUTES
June 16, 2025**

The Board of Supervisors Meeting of New Britain Township was held on Monday, June 16, 2025, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones - Chair, MaryBeth McCabe – Vice-Chair, Stephanie Shortall, and Bridget Kunakorn. Also present were Dan Fox - Township Manager, Craig Kennard - Township Engineer, Scott Holbert - Township Solicitor, Chief Richard Clowser, and Alexandria Mullin – Assistant to the Township Manager.

1. **Call to Order:** Cynthia Jones called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance:** Cynthia Jones led the Board and public in the Pledge of Allegiance.
3. **Chair Comments** Cynthia Jones stated that the Board met in Executive session on June 4th as well as prior to this meeting, to discuss personnel matters and litigation items.
4. **Presentation/ Public Hearings/ Land Development**
 - A. Appointment and Administration of Oath of Office for Entry Level Police Officer Stephanie Shortall motioned to follow Chief Clowser's recommendation to swear in Officer Weilandics. Seconded by Bridget Kunakorn.

All voted aye, motion carried 4-0.

MDJ Regina Armitage administered the Oath of Office with Officer Weilandics, swearing him in as an Entry level Police Officer to the New Britain Township Police Department.
 - B. Presentation of Officer Citation of Commendations
Chief Clowser presented a Citation of Commendation to Corporal, Detective Shawn Maguire for his outstanding detective work on recent cases.

5. Motion to Consider Consent Agenda

Stephanie Shortall moved, seconded by Bridget Kunakorn, to approve the Consent Agenda:

- A. Approve Minutes of May 19th, 2025, Board of Supervisors Meeting.
- B. Approve Regular Bill List as Follows:
 - Dated May 29,2025, In the amount of \$31,555.93
 - Dated June 12,2025, In the amount of \$18,124.76
- C. Approve Prepaid Bill List as Follows:
 - Dated May 22,2025, In the amount of \$166,301.07
 - Dated May 29, 2025, In the amount of \$12,794.69
 - Dated June 5,2025, In the amount of \$10,170.90
 - Dated June 12,2025, In the amount of \$8,260.70

There were no public comments.

All voted aye, motion carried 4-0.

6. Action Items

A. Consider a motion to advertise Ordinance 2025-01 NBT Zoning and SALDO Amendments

MaryBeth McCabe motioned advertise the Ordinances. Seconded by Stephanie Shortall.

Kathleen Davis, chair of the EAC, asked if the Tree list provided by the EAC would be included.

Craig Kennard confirmed that it would be.

All voted aye, motion carried 4-0.

B. Consider a motion to advertise Ordinance 2025-02 Responsible Contractor Ordinance

MaryBeth McCabe motioned to advertise Ordinance 2025-02 Responsible Contractor Ordinance Seconded by Bridget Kunakorn.

Stephanie Shortall spoke in opposition to the proposed ordinance noting concerns about preventing local businesses from qualifying to bid and lack of assurance that requirements of the ordinance actually produce higher quality contractors.

No public comment.

Cynthia Jones, MaryBeth McCabe and Bridget Kunakorn voted in favor. Stephanie Shortall voted against the motion.

Motion carried 3-1.

7. Information Items

A. Departmental Reports

- Dan discussed that the finance documents include the monthly report and the cash receipts list. He also explained the Township's financial status regarding revenues, specifically the collected Real Estate tax, and expenditures compared to this time, last year.
- Dan Fox went over the Park & Recreation report and discussed what that department has been completing. Due to the significant amount of rain this season, the crew has been busy cutting grass and maintaining the parks.

- Dan Fox explained the Public Works report. The department has been busy with work to Keller Road bridge.
- Chief Clowser mentioned the upcoming event, “Coffee with a Cop” at Bagel Barn and encouraged the public to come out.

B. Engineer’s Report.

- Craig Kennard gave an update on the June report and stated that the Planning Commission meeting is next week and there are 3 applications. Spotless Car Wash, Tractor Supply (241 W Butler Ave), and a minor subdivision at 65 Newville Road. July 7th will be a Conditional Use hearing with the Board of Supervisors to discuss the Tractor Supply application.

C. Board of Supervisor’s Comment

- Bridget Kunakorn commented on being more vigilant and safer now that school is out.
- MaryBeth McCabe congratulated the Chief and the entire Police force.
- Stephanie Shortall brought awareness to an upcoming House Bill which deals with EMS reimbursements.
- Cynthia Jones brought awareness to the new cell phone law that recently passed and to please be safe while driving.

8. Public Comment

- Lucy Jones, 373 Creek Road, discussed the Women’s Farm and Garden Group and that they are selling native plants and if interested to inquire with her.
- Kathleen Davis inquired about the status of the EAC ordinance.

9. Announcements

Park & Recreation Commission Meeting – Tuesday, June 17th at 7pm.
 Veterans Committee Meeting – Wednesday, June 18th at 6pm.
 Township Building Closed at Noon – Friday, June 20th.
 Planning Commission Meeting – Tuesday June 24th at 7pm.
 Zoning Hearing Board Meeting – Thursday June 26th at 7pm.
 Cancelled - Environmental Advisory Council Meeting – Wednesday July 2nd at 7pm.
 Tri-Municipal Annual 4th of July Parade – Friday July 4th at 9am.
 Township Building Closed – Friday July 4th.

The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, July 7th, 2025, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA.

10. Adjournment

Stephanie Shortall moved, seconded by MaryBeth McCabe, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:52 pm.

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

Cynthia M. Jones, Chair

MaryBeth McCabe, Vice-Chair

William B. Jones, III, Member

Attest: _____
Dan Fox, Township Manager

Stephanie Shortall, Member

Bridget Kunakorn, Member

**BOARD OF SUPERVISORS
MEETING MINUTES
July 7, 2025**

The Board of Supervisors Meeting of New Britain Township was held on Monday, July 7, 2025, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones – Chair (virtually), MaryBeth McCabe – Vice-Chair, Bill Jones, Stephanie Shortall, and Bridget Kunakorn. Also present were Dan Fox - Township Manager, Craig Kennard - Township Engineer, Scott Holbert - Township Solicitor, and Alexandria Mullin – Assistant to the Township Manager.

1. **Call to Order:** MaryBeth McCabe called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance:** MaryBeth McCabe led the Board and public in the Pledge of Allegiance.
3. **Chair Comments** MaryBeth McCabe stated that the Board met in Executive session, prior to this meeting, to discuss personnel matters and litigation items.
4. **Conditional Use Hearing**
 - A. Representatives from Tractor Supply presented their plans to the Board of Supervisors and provided testimony on what they would like to do with the current location. This included architectural drawings and renderings. Discussions ensued about the overall appearance and exterior of the entire building, traffic flow, the use of the rear loading dock and potential problems that might occur, lighting plans for the exterior of the building, and how this new retail store will affect the community.

After further discussion, the Board of Supervisors agreed that they will take action at the Board of Supervisors Business meeting on August 18th.

5. Announcements

The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, July 21st, 2025, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA.

6. Adjournment

Stephanie Shortall moved, seconded by Bill Jones, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:42 pm.

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

Cynthia M. Jones, Chair

MaryBeth McCabe, Vice-Chair

William B. Jones, III, Member

Attest: _____
Dan Fox, Township Manager

Stephanie Shortall, Member

Bridget Kunakorn, Member



MEMO

TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Regular

Approve regular bills list dated July 1, 2025, in the amount of \$131,863.09.

Attest: _____

Date: _____

July 1, 2025
12:28 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 1

P.O. Type: All

Range: First

to Last

Format: Detail without Line Item Notes

Vendors: All

Include Non-Budgeted: Y

Open: N

Rcvd: Y

Bid: Y

Paid: N

Held: Y

State: Y

Void: N

Aprv: N

Other: Y

Exempt: Y

Prior Year Only: N

* Means Prior Year Line

Rcvd Batch Id Range: KG0616RG to KG0616RG

Vendor # Name

PO # PO Date Description

Item Description

Contract PO Type

Amount Charge Account

Acct Type Description

Stat/Chk

First

Rcvd

Enc Date Date

Chk/Void

Date

Invoice

1099

Excl

AIRGA010 AIRGAS USA LLC

25000853 06/17/25 SHOP SUPPLIES

1 SHOP SUPPLIES

146.86 01-438-460

E GENERAL EXPENSE

R

06/17/25 06/17/25

9162147185

N

Vendor Total:

146.86

ASSOC010 ASSOCIATED TRUCK PARTS

25000854 06/19/25 VEHICLE PARTS - PW 48-22

1 VEHICLE PARTS - PW 48-22

445.72 01-437-300

E VEHICLE REPAIRS

R

06/19/25 06/19/25

06P20083

N

Vendor Total:

445.72

AUTOZ005 AutoZone, Inc.

25000847 06/25/25 PARTS

1 PARTS

24.71 01-437-300

E VEHICLE REPAIRS

R

06/25/25 06/25/25

06203693434

N

Vendor Total:

24.71

BRSC010 B.R. SCHOLL SALES & SERVICE IN

25000848 06/13/25 VEHICLE REPAIR - 48-23

1 VEHICLE REPAIR - 48-23

96.00 01-437-300

E VEHICLE REPAIRS

R

06/13/25 06/13/25

118421

N

Vendor Total:

96.00

BKSCT050 BKS CTY PLANNING COMMISSION

25000797 06/13/25 OPEN SPACE PLAN UPDATE

1 OPEN SPACE PLAN UPDATE

1,885.00 04-414-150

E CONSULTANT/LAND PRESERVATION

R

06/13/25 06/13/25

CC26-05-25

N

Vendor Total:

1,885.00

Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type				First	Rcvd	Chk/Void		1099
Item Description			Amount	Charge Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl
BUXMO025	BUX-MONT UNDERCARRIAGE											
25000790	06/11/25	PARTS/REPAIRS - DOZER										
1 PARTS/REPAIRS - DOZER			2,232.00	01-437-300		E VEHICLE REPAIRS	R	06/11/25	06/11/25		2328	N
Vendor Total:			2,232.00									
CENTR020	CENTRAL BUCKS AMBULANCE											
25000876	06/26/25	LST TAX DIST MAY/JUNE										
1 LST TAX DIST MAY/JUNE			144.16	03-412-501		E LST CONTRIBUTIONS AMBULANCE	R	06/26/25	06/26/25		062625	N
25000878	06/26/25	REAL ESTATE TAX DIST MAY/JUNE										
1 REAL ESTATE TAX DIST MAY/JUNE			324.27	03-412-500		E CONTRIBUTIONS TO AMBULANCE	R	06/26/25	06/26/25		062625	N
Vendor Total:			468.43									
CHAL-030	CHAL-BRIT REGIONAL EMS											
25000875	06/26/25	LST TAX DIST MAY/JUNE										
1 LST TAX DIST MAY/JUNE			2,258.49	03-412-501		E LST CONTRIBUTIONS AMBULANCE	R	06/26/25	06/26/25		062625	N
25000877	06/26/25	REAL ESTATE TAX DIST MAY/JUNE										
1 REAL ESTATE TAX DIST MAY/JUNE			5,080.15	03-412-500		E CONTRIBUTIONS TO AMBULANCE	R	06/26/25	06/26/25		062625	N
Vendor Total:			7,338.64									
CHALF080	CHALFONT FIRE COMPANY											
25000871	06/26/25	LST TAX DIST MAY/JUNE										
1 LST TAX DIST MAY/JUNE			2,114.33	03-411-501		E LST CONTRIBUTION FIRE	R	06/26/25	06/26/25		062625	N
25000879	06/26/25	REAL ESTATE TAX DIST MAY/JUNE										
1 REAL ESTATE TAX DIST MAY/JUNE			12,173.19	03-411-500		E CONTRIBUTIONS TO FIRE COMPANIES	R	06/26/25	06/26/25		062625	N
Vendor Total:			14,287.52									
CONSE005	CONSERVATION RESOURCES LLC											
25000890	06/30/25	FLOODPLAIN MIX-KELLER RD BRIDG										
1 FLOODPLAIN MIX-KELLER RD BRIDG			545.00	18-436-367		E NPDES COMPLIANCE	R	06/30/25	06/30/25		44493	N
Vendor Total:			545.00									

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item	Description	Amount	Charge	Account	Acct Type	Enc	Date	Date	Invoice	Excl
CURTI040	CURTIN & HEEFNER, LLP	25000792	06/11/25	EMPLOYMENT MATTERS								
		1	EMPLOYMENT MATTERS	851.00	01-404-101		E SOLICITOR/LABOR	R	06/11/25	06/11/25	10164385	N
			Vendor Total:	851.00								
DANIE020	D.L. BEARDSLEY LTD	25000891	06/30/25	EQUIP REPAIR								
		1	EQUIP REPAIR	46.00	01-437-300		E VEHICLE REPAIRS	R	06/30/25	06/30/25	E#1594	N
			Vendor Total:	46.00								
DAWNF010	DAWN FARVER	25000855	06/27/25	ZONING HEARING BOARD 5/15/25								
		1	ZONING HEARING BOARD 5/15/25	30.00	01-414-141		E ZONING HEARING BOARD	R	06/27/25	06/27/25	062725	N
		25000856	06/27/25	ZONING HEARING BOARD 6/26/25								
		1	ZONING HEARING BOARD 6/26/25	30.00	01-414-141		E ZONING HEARING BOARD	R	06/27/25	06/27/25	062725	N
			Vendor Total:	60.00								
DOYLE060	DOYLESTOWN FIRE COMPANY	25000874	06/26/25	LST TAX DIST MAY/JUNE								
		1	LST TAX DIST MAY/JUNE	48.05	03-411-501		E LST CONTRIBUTION FIRE	R	06/26/25	06/26/25	062625	N
		25000882	06/26/25	REAL ESTATE TAX DIST MAY/JUNE								
		1	REAL ESTATE TAX DIST MAY/JUNE	276.66	03-411-500		E CONTRIBUTIONS TO FIRE COMPANIES	R	06/26/25	06/26/25	062625	N
			Vendor Total:	324.71								
DSIME010	DSI MEDICAL SERVICES INC.	25000795	06/01/25	TESTING - DOT MRO BUNDLED								
		1	TESTING - DOT MRO BUNDLED	138.56	01-438-460		E GENERAL EXPENSE	R	06/01/25	06/01/25	DSINV011625	N
			Vendor Total:	138.56								

Vendor #	Name
PO #	PO Date Description
Item Description	Amount Contract PO Type Charge Account Acct Type Description Stat/Chk Enc Date Rcvd Date Chk/Void Invoice 1099 Date Invoice Exc'l
DUBLI010 DUBLIN FIRE COMPANY	
25000873 06/26/25 LST TAX DIST MAY/JUNE	
1 LST TAX DIST MAY/JUNE	96.11 03-411-501 E LST CONTRIBUTION FIRE R 06/26/25 06/26/25 062625 N
25000881 06/26/25 REAL ESTATE TAX DIST MAY/JUNE	
1 REAL ESTATE TAX DIST MAY/JUNE	553.33 03-411-500 E CONTRIBUTIONS TO FIRE COMPANIES R 06/26/25 06/26/25 062625 N
Vendor Total:	649.44
EASTE010 EASTERN AUTOPARTS WAREHOUS	
25000869 06/30/25 AUTO PARTS	
1 AUTO PARTS	104.30 01-437-300 E VEHICLE REPAIRS R 06/30/25 06/30/25 5iv951592 N
2 AUTO PARTS	32.64 01-437-300 E VEHICLE REPAIRS R 06/30/25 06/30/25 5iv959312 N
	136.94
Vendor Total:	136.94
ESTAB005 ESTABLISHED TRAFFIC CONTROL	
25000796 06/12/25 STREET SIGNS	
1 STREET SIGNS	1,686.25 01-433-200 E STREET SIGNS R 06/12/25 06/12/25 24486 N
Vendor Total:	1,686.25
EUREK010 EUREKA STONE QUARRY INC.	
25000843 06/17/25 PATCHING	
1 PATCHING	198.16 01-438-820 E PATCHING/CORE SAMPLES R 06/17/25 06/17/25 666445 N
Vendor Total:	198.16
FLAGE005 FLAGER & ASSOCIATES, P.C.	
25000824 06/26/25 LEGAL EXPENSES	
1 LEGAL EXPENSES	2,362.50 01-404-310 E SOLICITOR/GENERAL SERVICES R 06/26/25 06/26/25 6973 N
2 LEGAL EXPENSES	1,957.50 01-414-310 E LEGAL, PLNG & ZONING R 06/26/25 06/26/25 6973 N
	4,320.00
25000825 06/26/25 LEGAL EXPENSES	
1 LEGAL EXPENSES	1,190.00 90-414-451 E LEGAL BILLED R 06/26/25 06/26/25 6974 N
Tracking Id: 2025-6-Z 241 W BUTLER CELEK CHALFONT	

July 1, 2025
12:28 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 5

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Amount	Charge Account	Acct Type	Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
FLAGE005	FLAGER & ASSOCIATES, P.C.				Continued											
25000825	06/26/25	LEGAL EXPENSES			Continued											
2	LEGAL EXPENSES				297.50	90-414-451			E	LEGAL BILLED	R	06/26/25	06/26/25		6975	N
	Tracking Id: 2024-31-Z	545 W BUTLER - FLAGSHIP OPCO - SPOTLESS BRANDS														
3	LEGAL EXPENSES				425.00	01-404-310			E	SOLICITOR/GENERAL SERVICES	R	06/26/25	06/26/25		6976	N
					1,912.50											
Vendor Total:					6,232.50											
GILMO010	GILMORE & ASSOCIATES INC.															
25000793	06/01/25	ENGINEERING EXPENSES														
1	ENGINEERING EXPENSES				428.88	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506552	N
	Tracking Id: 16-1300-00	TOWNSHIP LN/WALTERS RD - MAR MAR BLDRS - 7 HOMES														
2	ENGINEERING EXPENSES				152.40	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506525	N
	Tracking Id: 17-1100-00	84 SCHOOLHOUSE - HALLMARK														
3	ENGINEERING EXPENSES				3,187.79	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506526	N
	Tracking Id: 20-1000-00	1 HIGHPOINT DRIVE - METRPN SERV GRP/FOX HOMES														
4	ENGINEERING EXPENSES				1,927.54	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506528	N
	Tracking Id: 18-0100-02	38 E PEACE VALLEY (FKA 123 CREEK RD)-LABROZZI														
5	ENGINEERING EXPENSES				138.75	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506530	N
	Tracking Id: 19-1200-00	409 W BUTLER COUNTY BUILDERS MIXED USE														
6	ENGINEERING EXPENSES				180.00	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506531	N
	Tracking Id: 21-1500-00	109 KING RD - TRUMPH CONSTR GRP/CARBACCIO - SFD														
7	ENGINEERING EXPENSES				1,616.25	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506532	N
	Tracking Id: 20-0600-00	315 OLD LIMEKILN SHARON&VINICIO DALESSIO AUDAX														
8	ENGINEERING EXPENSES				2,588.95	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506533	N
	Tracking Id: 20-1600-00	DOLLY LANE - PRIME DEVLPR/PRIME BLDRS BENNER SUBDIV														
9	ENGINEERING EXPENSES				515.25	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506535	N
	Tracking Id: 2023-13148	84 CURLEY MILL RD - A&L KILMENKO/SILVER OAK VLG														
10	ENGINEERING EXPENSES				12,014.80	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506537	N
	Tracking Id: 2024-13470	CNTY LNE-TOLL BROS-BIRCH RN FKA TOLL AT 22.1400.00														
11	ENGINEERING EXPENSES				12,523.50	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506538	N
	Tracking Id: 2024-31-Z	545 W BUTLER - FLAGSHIP OPCO - SPOTLESS BRANDS														
12	ENGINEERING EXPENSES				954.00	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506539	N
	Tracking Id: 2022-12511	137(141) S LIMEKILN DEFELICE PRESTIGE PRTNR/M GOLD														
13	ENGINEERING EXPENSES				993.75	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506540	N
	Tracking Id: 2023-12917	140 UPPER CHURCH RD - CASADONTI - SKETCH														
14	ENGINEERING EXPENSES				211.25	90-414-311			E	ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506541	N

July 1, 2025
12:28 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 6

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	First	Rcvd	Chk/Void	1099		
Item	Description	Amount	Charge	Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl
GILMO010 GILMORE & ASSOCIATES INC. Continued												
25000793 06/01/25 ENGINEERING EXPENSES Continued												
Tracking Id: 2024-13573 753 NEW GALENA RD 2 PARCELS - PLUMSTEAD CHRISTIAN												
15	ENGINEERING EXPENSES	2,286.25		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506542	N
Tracking Id: 2024-13604 4645 COUNTY LINE RD - HULTON CONTRACTING												
16	ENGINEERING EXPENSES	1,740.00		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506546	N
Tracking Id: 2024-32-Z BARRY ROAD W.B.HOMES/CAVENDISH ACQ												
17	ENGINEERING EXPENSES	1,050.00		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506547	N
Tracking Id: 2024-33-Z 256 Ferry Road - Solana FKA 2024-13595												
18	ENGINEERING EXPENSES	1,473.75		01-414-313		E ENGINEERING PLANNING/ZONING	R	06/01/25	06/01/25		PS-INV2506548	N
19	ENGINEERING EXPENSES	4,151.25		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506549	N
Tracking Id: 2025-LD-01 65 NEWVILLE RD J CROISSETTE I/C/O E BIALOBRZESKI												
20	ENGINEERING EXPENSES	3,866.25		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506550	N
Tracking Id: 2025-6-Z 241 W BUTLER CELEK CHALFONT												
21	ENGINEERING EXPENSES	474.90		90-414-311		E ENGINEERING BILLED	R	06/01/25	06/01/25		PS-INV2506551	N
Tracking Id: 15-0900-00 ESTATES AT JULIUS FARM (MAURER TRACT) MUN JOB												
22	ENGINEERING EXPENSES	2,122.16		18-436-367		E NPDES COMPLIANCE	R	06/01/25	06/01/25		PS-INV2506552	N
23	ENGINEERING EXPENSES	892.50		07-454-320		E NESHAMINY GREENWAY TRAILS	R	06/01/25	06/01/25		PS-INV2506525	N
24	ENGINEERING EXPENSES	4,612.75		01-414-313		E ENGINEERING PLANNING/ZONING	R	06/01/25	06/01/25		PS-INV2506534	N
25	ENGINEERING EXPENSES	1,335.00		01-414-317		E CODIFICATION/UPDATES	R	06/01/25	06/01/25		PS-INV2506536	N
26	ENGINEERING EXPENSES	645.00		18-454-710		E PARK INFRASTRUCTURE IMPROVEMENTS	R	06/01/25	06/01/25		PS-INV2506543	N
27	ENGINEERING EXPENSES	3,645.00		18-454-710		E PARK INFRASTRUCTURE IMPROVEMENTS	R	06/01/25	06/01/25		PS-INV2506544	N
28	ENGINEERING EXPENSES	2,418.75		01-408-100		E GENERAL ENGINEERING	R	06/01/25	06/01/25		PS-INV2506545	N
29	ENGINEERING EXPENSES	7,609.80		01-408-100		E GENERAL ENGINEERING	R	06/01/25	06/01/25		PS-INV2506553	N
		75,756.47										

Vendor Total: 75,756.47

HKMAT010 H & K MATERIALS

25000787	06/07/25 MATERIALS - KELLER RD BRIDGE											
1	MATERIALS - KELLER RD BRIDGE	550.12		18-436-367		E NPDES COMPLIANCE	R	06/07/25	06/07/25		47884	N
25000845	06/21/25 MATERIALS - KELLER RD BRIDGE											
1	MATERIALS - KELLER RD BRIDGE	540.83		18-436-367		E NPDES COMPLIANCE	R	06/21/25	06/21/25		48076	N

[illegible]

July 1, 2025
12:28 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 8

Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
	Item Description	Amount Charge Account Acct Type Description						
MCDON010 MCDONALD UNIFORM COMPANY								
	25000852 06/18/25 UNIFORM							
	1 UNIFORM	54.28 01-410-241 E UNIFORMS/VESTS	R	06/18/25	06/18/25		245984	N
	Vendor Total:	54.28						
NYCOC010 NYCO CORPORATION								
	25000791 06/11/25 AIR HOSE PARTS							
	1 AIR HOSE PARTS	96.71 01-430-370 E BUILDING MAINTENANCE	R	06/11/25	06/11/25		251536	N
	25000849 06/25/25 AIR HOSE PARTS							
	1 AIR HOSE PARTS	96.71 01-430-370 E BUILDING MAINTENANCE	R	06/25/25	06/25/25		251958	N
	Vendor Total:	193.42						
RICHT010 RICHTER DRAFTING & OFFICE SUPP								
	25000841 06/26/25 MOBILE SHRED							
	1 MOBILE SHRED	130.00 01-410-250 E GENERAL EXPENSE	R	06/26/25	06/26/25		IN-5781	N
	Vendor Total:	130.00						
ROBER280 ROBERT BYRNE								
	25000860 06/27/25 ZONING HEARING BOARD 4/17/25							
	1 ZONING HEARING BOARD 4/17/25	30.00 01-414-141 E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N
	25000861 06/27/25 ZONING HEARING BOARD 5/15/25							
	1 ZONING HEARING BOARD 5/15/25	30.00 01-414-141 E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N
	25000862 06/27/25 ZONING HEARING BOARD 6/26/25							
	1 ZONING HEARING BOARD 6/26/25	30.00 01-414-141 E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N
	Vendor Total:	90.00						
ROSES005 ROSE SCHWALM								
	25000842 06/27/25 060625 ZONING HEARING							
	1 060625 ZONING HEARING	260.00 01-414-141 E ZONING HEARING BOARD	R	06/27/25	06/27/25		036	N
	Vendor Total:	260.00						

Vendor #	Name	PO #	PO Date	Description	Amount	Contract Charge	PO Type Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
RYANB005 RYAN BRUNK														
25000851	06/12/25	CPR/FIRST AID CLASS												
1	CPR/FIRST AID CLASS	130.00	01-410-181	E EDUCATION/TRAINING IN SERVICE	R	06/12/25	06/12/25		061225	N				
Vendor Total:					130.00									
SCOTT070 SCOTT FISCHER														
25000857	06/27/25	ZONING HEARING BOARD 4/17/25												
1	ZONING HEARING BOARD 4/17/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
25000858	06/27/25	ZONING HEARING BOARD 5/15/25												
1	ZONING HEARING BOARD 5/15/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
25000859	06/27/25	ZONING HEARING BOARD 6/26/25												
1	ZONING HEARING BOARD 6/26/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
Vendor Total:					90.00									
STAPL015 STAPLES														
25000870	06/30/25	OFFICE SUPPLIES												
1	OFFICE SUPPLIES	23.99	01-400-210	E MATERIALS/SUPPLIES	R	06/30/25	06/30/25		6035807679	N				
2	OFFICE SUPPLIES	21.58	01-400-210	E MATERIALS/SUPPLIES	R	06/30/25	06/30/25		6035807680	N				
					45.57									
Vendor Total:					45.57									
STEVE065 STEVE GUDKNECHT														
25000863	06/27/25	ZONING HEARING BOARD 4/17/25												
1	ZONING HEARING BOARD 4/17/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
25000864	06/27/25	ZONING HEARING BOARD 5/15/25												
1	ZONING HEARING BOARD 5/15/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
25000865	06/27/25	ZONING HEARING BOARD 6/26/25												
1	ZONING HEARING BOARD 6/26/25	30.00	01-414-141	E ZONING HEARING BOARD	R	06/27/25	06/27/25		062725	N				
Vendor Total:					90.00									

July 1, 2025
12:28 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 10

Vendor # Name												
PO #	PO Date	Description	Contract	PO Type				First	Rcvd	Chk/Void	1099	
Item	Description	Amount	Charge	Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl
UNITE010 UNITED INSPECTION AGENCY INC.												
25000794	06/11/25	OUTSIDE INSPECTIONS										
1	OUTSIDE INSPECTIONS	1,815.00	01-413-122			E OUTSIDE INSPECTIONS	R	06/11/25	06/11/25		164694	N
25000844	06/18/25	OUTSIDE INSPECTIONS										
1	OUTSIDE INSPECTIONS	325.00	01-413-122			E OUTSIDE INSPECTIONS	R	06/18/25	06/18/25		164885	N
Vendor Total:		2,140.00										
WITME010 WITMER PUBLIC SAFETY GROUP, INC												
25000789	06/04/25	UNIFORM										
1	UNIFORM	508.45	01-410-241			E UNIFORMS/VESTS	R	06/04/25	06/04/25		INV694224	N
Vendor Total:		508.45										
Total Purchase Orders: 56 Total P.O. Line Items: 89 Total List Amount: 131,863.09 Total Void Amount: 0.00												

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	32,203.97	0.00	32,203.97	0.00	0.00	32,203.97
FIRE/AMBULANCE TAX FUND:	5-03	24,042.89	0.00	24,042.89	0.00	0.00	24,042.89
LAND PRESERVATION FUND:	5-04	1,885.00	0.00	1,885.00	0.00	0.00	1,885.00
PARKS & RECREATION FUND:	5-07	892.50	0.00	892.50	0.00	0.00	892.50
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	20,349.47	0.00	20,349.47	0.00	0.00	20,349.47
ESCROW:	5-90	52,489.26	0.00	52,489.26	0.00	0.00	52,489.26
Total of All Funds:		<u>131,863.09</u>	<u>0.00</u>	<u>131,863.09</u>	<u>0.00</u>	<u>0.00</u>	<u>131,863.09</u>

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	32,203.97	0.00	32,203.97	0.00	0.00	32,203.97
FIRE/AMBULANCE TAX FUND:	03	24,042.89	0.00	24,042.89	0.00	0.00	24,042.89
LAND PRESERVATION FUND:	04	1,885.00	0.00	1,885.00	0.00	0.00	1,885.00
PARKS & RECREATION FUND:	07	892.50	0.00	892.50	0.00	0.00	892.50
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	20,349.47	0.00	20,349.47	0.00	0.00	20,349.47
ESCROW:	90	52,489.26	0.00	52,489.26	0.00	0.00	52,489.26
Total of All Funds:		131,863.09	0.00	131,863.09	0.00	0.00	131,863.09

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	32,203.97	0.00	0.00	0.00	32,203.97
FIRE/AMBULANCE TAX FUND:	5-03	24,042.89	0.00	0.00	0.00	24,042.89
LAND PRESERVATION FUND:	5-04	1,885.00	0.00	0.00	0.00	1,885.00
PARKS & RECREATION FUND:	5-07	892.50	0.00	0.00	0.00	892.50
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	20,349.47	0.00	0.00	0.00	20,349.47
ESCROW:	5-90	52,489.26	0.00	0.00	0.00	52,489.26
Total of All Funds:		<u>131,863.09</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>131,863.09</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Regular

Approve regular bills list dated July 17, 2025 in the amount of \$78,829.29.

Attest: _____

Date: _____

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 1

P.O. Type: All

Range: First

to Last

Format: Detail without Line Item Notes

Vendors: All

Include Non-Budgeted: Y

Rcvd Batch Id Range: KG0708RG to KG0708RG

Open: N

Paid: N

Void: N

Rcvd: Y

Held: Y

Aprv: N

Bid: Y

State: Y

Other: Y

Exempt: Y

Prior Year Only: N

* Means Prior Year Line

Vendor # Name

PO # PO Date Description

Contract PO Type

Item Description

Amount

Charge Account

Acct Type Description

Stat/Chk First Rcvd
Enc Date Date

Chk/Void
Date Invoice

1099
Excl

AASALE A&A SALES ASSOCIATES, LLC

25000953 07/11/25 UNIFORMS - PW

1 UNIFORMS - PW

7,737.22 01-430-241

E UNIFORM EXPENSE

R

07/11/25 07/11/25

106919

N

Vendor Total: 7,737.22

ACTION ACTION FLAG CO.

25000963 06/13/25 FOURTH OF JULY FLAGS

1 FOURTH OF JULY FLAGS

641.20 07-454-300

E ACTIVITIES/PROGRAMS

R

06/13/25 06/13/25

AF3373

N

Vendor Total: 641.20

AUTOZ005 AutoZone, Inc.

25000916 07/03/25 PARTS

1 PARTS

28.11 01-437-300

E VEHICLE REPAIRS

R

07/03/25 07/03/25

06203696369

N

2 PARTS

16.48 01-437-300

E VEHICLE REPAIRS

R

07/03/25 07/03/25

06203696087

N

44.59

Vendor Total: 44.59

BARRY010 BARRY ISETT & ASSOCIATES INC

25000935 06/30/25 EMERGENCY MGMT SERVICES

1 EMERGENCY MGMT SERVICES

500.00 01-415-100

E EMERGENCY MANAGEMENT ADMIN EXP

R

06/30/25 06/30/25

0202079

N

Vendor Total: 500.00

BILLM010 BILL MITCHELL'S AUTO SERVICE I

25000932 07/11/25 EMISSION INSPECTION - 48-37

1 EMISSION INSPECTION - 48-37

83.00 01-437-300

E VEHICLE REPAIRS

R

07/11/25 07/11/25

A049452

N

Vendor Total: 83.00

Vendor #	Name												
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099		
Item Description			Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date	Invoice	Exc1		
CENTR030 CENTRAL BUCKS CHAMBER OF COMME													
25000936	07/01/25	ANNUAL MEMBERSHIP FEE											
1 ANNUAL MEMBERSHIP FEE			195.00	01-400-300	E GENERAL ADMIN EXPENSE	R	07/01/25	07/01/25		05862		N	
Vendor Total:			195.00										
CHAPM005 CHAPMAN FORD OF HORSHAM													
25000911	06/25/25	PARTS 48-20											
1 PARTS 48-20			489.29	01-437-300	E VEHICLE REPAIRS	R	06/25/25	06/25/25		957660		N	
Vendor Total:			489.29										
CURTI040 CURTIN & HEEFNER, LLP													
25000922	07/07/25	EMPLOYMENT MATTERS											
1 EMPLOYMENT MATTERS			1,817.00	01-404-101	E SOLICITOR/LABOR	R	07/07/25	07/07/25		10165183		N	
Vendor Total:			1,817.00										
GANNE005 GANNETT PA LOCALIQ													
25000947	06/30/25	ADVERTISING											
1 ADVERTISING			901.20	01-400-340	E ADVERTISING/PRINTING	R	06/30/25	06/30/25		0007163987		N	
Vendor Total:			901.20										
GILMO010 GILMORE & ASSOCIATES INC.													
25000918	06/29/25	ENGINEERING EXPENSES											
1 ENGINEERING EXPENSES			1,747.50	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507438		N	
Tracking Id: 2025-109-Z 436 OLD IRON HILL RD SCHEETZ STORMWATER													
2 ENGINEERING EXPENSES			275.00	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507439		N	
Tracking Id: 18-0100-02 38 E PEACE VALLEY (FKA 123 CREEK RD)-LABROZZI													
3 ENGINEERING EXPENSES			4,033.11	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507440		N	
Tracking Id: 20-1000-00 1 HIGHPOINT DRIVE - METRPN SERV GRP/FOX HOMES													
4 ENGINEERING EXPENSES			801.25	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507441		N	
Tracking Id: 2025-81-Z 1737 UPPER STUMP P CIAMAICHELA POOL GARAGE													
5 ENGINEERING EXPENSES			1,390.66	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507442		N	
Tracking Id: 20-1600-00 DOLLY LANE - PRIME DEVLPR/PRIME BLDRS BENNER SUBDIV													
6 ENGINEERING EXPENSES			519.72	90-414-311	E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507444		N	
Tracking Id: 2023-13148 84 CURLEY MILL RD - A&L KILMENKO/SILVER OAK VLG													

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 3

Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type		First	Rcvd	Chk/Void		1099		
Item	Description	Amount	Charge Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Exc1	
GILMO010 GILMORE & ASSOCIATES INC. Continued												
25000918	06/29/25	ENGINEERING EXPENSES	Continued									
7	ENGINEERING EXPENSES	12,862.95	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507446	N	
	Tracking Id: 2024-13470 CNTY LNE-TOLL BROS-BIRCH RN FKA TOLL AT 22.1400.00											
8	ENGINEERING EXPENSES	6,430.00	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507447	N	
	Tracking Id: 2024-31-Z 545 W BUTLER - FLAGSHIP OPCO - SPOTLESS BRANDS											
9	ENGINEERING EXPENSES	991.50	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507448	N	
	Tracking Id: 2022-12511 137(141) S LIMEKILN DEFELICE PRESTIGE PRTNR/M GOLD											
10	ENGINEERING EXPENSES	1,269.25	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507450	N	
	Tracking Id: 2024-13573 753 NEW GALENA RD 2 PARCELS - PLUMSTEAD CHRISTIAN											
11	ENGINEERING EXPENSES	2,392.50	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507451	N	
	Tracking Id: 2024-13604 4645 COUNTY LINE RD - HULTON CONTRACTING											
12	ENGINEERING EXPENSES	164.54	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507453	N	
	Tracking Id: 2024-13738 CLOSED 241 W BUTLER - CALVARY CHAPEL CNTRL BCKS											
13	ENGINEERING EXPENSES	577.50	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507454	N	
	Tracking Id: 2024-32-Z BARRY ROAD W.B.HOMES/CAVENDISH ACQ											
14	ENGINEERING EXPENSES	333.75	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507455	N	
	Tracking Id: 2025-14-Z 22 King Rd R Scorzetti Rotelle Dev											
15	ENGINEERING EXPENSES	1,256.25	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507456	N	
	Tracking Id: 2025-LD-01 65 NEWVILLE RD J CROISSETTE I/C/O E BIALOBRZESKI											
16	ENGINEERING EXPENSES	3,566.25	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507457	N	
	Tracking Id: 2025-6-Z 241 W BUTLER CELEK CHALFONT											
17	ENGINEERING EXPENSES	957.75	90-414-311		E ENGINEERING BILLED	R	06/29/25	06/29/25		PS-INV2507459	N	
	Tracking Id: 2024-13964 318 OLD LIMEKILN LOT 6 VINEYRD @ PEACE VAL -M GOLD											
18	ENGINEERING EXPENSES	1,162.50	18-436-367		E NPDES COMPLIANCE	R	06/29/25	06/29/25		PS-INV2507458	N	
19	ENGINEERING EXPENSES	7,837.50	01-414-317		E CODIFICATION/UPDATES	R	06/29/25	06/29/25		PS-INV2507443	N	
20	ENGINEERING EXPENSES	705.00	01-414-317		E CODIFICATION/UPDATES	R	06/29/25	06/29/25		PS-INV2507445	N	
21	ENGINEERING EXPENSES	860.75	01-408-100		E GENERAL ENGINEERING	R	06/29/25	06/29/25		PS-INV2507449	N	
22	ENGINEERING EXPENSES	897.50	01-408-100		E GENERAL ENGINEERING	R	06/29/25	06/29/25		PS-INV2507452	N	
23	ENGINEERING EXPENSES	6,728.32	01-408-100		E GENERAL ENGINEERING	R	06/29/25	06/29/25		PS-INV2507460	N	
		57,761.05										
Vendor Total:		57,761.05										
HKMAT010 H & K MATERIALS												
25000914	06/30/25	MATERIALS - KELLER RD BRIDGE										
1	MATERIALS - KELLER RD BRIDGE	265.32	18-436-367		E NPDES COMPLIANCE	R	06/30/25	06/30/25		48172	N	

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

[illegible]

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 5

Vendor #	Name	PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type	Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
JCEHR010 J. C. EHRLICH CO. INC.															
25000952	07/06/25	PEST CONTROL GEN MAINT													
1	PEST CONTROL GEN MAINT				346.45	01-409-360			E UTILITIES	R	07/06/25	07/06/25		79677507	N
2	PEST CONTROL GEN MAINT				346.45	01-410-360			E UTILITIES	R	07/06/25	07/06/25		79677507	N
					692.90										
Vendor Total:					692.90										
JUSTI020 JUSTINE A. GREGOR															
25000927	07/10/25	7/7 BOARD OF SUPERVISORS MTG													
1	7/7 BOARD OF SUPERVISORS MTG				180.00	01-414-141			E ZONING HEARING BOARD	R	07/10/25	07/10/25		JG-070725	N
Vendor Total:					180.00										
LMGFA010 LMG FAMILY PRACTICE															
25000946	07/03/25	PRE-EMPLOYMENT SCREENINGS													
1	PRE-EMPLOYMENT SCREENINGS				155.00	01-410-310			E LEGAL EXPENSE	R	07/03/25	07/03/25		16975 070325	N
Vendor Total:					155.00										
MCDON010 MCDONALD UNIFORM COMPANY															
25000925	07/08/25	UNIFORM													
1	UNIFORM				303.45	01-410-241			E UNIFORMS/VESTS	R	07/08/25	07/08/25		246079-01	N
Vendor Total:					303.45										
RICHT010 RICHTER DRAFTING & OFFICE SUPP															
25000961	07/15/25	OFFICE SUPPLIES													
1	OFFICE SUPPLIES				137.18	01-410-200			E OFFICE SUPPLIES	R	07/15/25	07/15/25		WO-9759	N
Vendor Total:					137.18										
SERVI010 SERVICE TIRE TRUCK CENTERS															
25000912	06/26/25	TIRES PD 48-05													
1	TIRES PD 48-05				572.16	01-410-370			E VEHICLE MAINT/REPAIRS-OUTSIDE	R	06/26/25	06/26/25		25-0905909-011	N

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 6

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
Item	Description	Amount	Charge	Account	Acct Type	Description	Enc	Date	Date	Date	Invoice	Excl
SERVI010 SERVICE TIRE TRUCK CENTERS Continued												
25000913	06/26/25 TIRES EMS											
1	TIRES EMS	144.09	01-437-300		E	VEHICLE REPAIRS	R	06/26/25	06/26/25		25-0905909-011	N
Vendor Total:		716.25										
SMITH020 SMITH PRINTS INC.												
25000910	07/01/25 EVENT STAFF UNIFORMS											
1	EVENT STAFF UNIFORMS	390.00	01-430-241		E	UNIFORM EXPENSE	R	07/01/25	07/01/25		S31478	N
Vendor Total:		390.00										
UNITE010 UNITED INSPECTION AGENCY INC.												
25000915	07/02/25 OUTSIDE INSPECTIONS											
1	OUTSIDE INSPECTIONS	535.00	01-413-122		E	OUTSIDE INSPECTIONS	R	07/02/25	07/02/25		165316	N
25000954	07/09/25 OUTSIDE INSPECTIONS											
1	OUTSIDE INSPECTIONS	150.00	01-413-122		E	OUTSIDE INSPECTIONS	R	07/09/25	07/09/25		165482	N
Vendor Total:		685.00										
WEHRU010 WEHRUNG'S												
25000919	06/30/25 MATERIALS											
1	MATERIALS	3.60	01-400-210		E	MATERIALS/SUPPLIES	R	06/30/25	06/30/25		27815	N
2	MATERIALS	5.08	01-400-210		E	MATERIALS/SUPPLIES	R	06/30/25	06/30/25		27884	N
3	MATERIALS	3.56	01-410-250		E	GENERAL EXPENSE	R	06/30/25	06/30/25		27912	N
4	MATERIALS	17.98	01-438-460		E	GENERAL EXPENSE	R	06/30/25	06/30/25		27961	N
		30.22										
Vendor Total:		30.22										
WITME010 WITMER PUBLIC SAFETY GROUP, INC												
25000926	06/30/25 UNIFORM											
1	UNIFORM	43.46	01-410-241		E	UNIFORMS/VESTS	R	06/30/25	06/30/25		INV708485	N
2	UNIFORM	164.95	01-410-241		E	UNIFORMS/VESTS	R	06/30/25	06/30/25		INV702644	N
3	UNIFORM	508.45	01-410-241		E	UNIFORMS/VESTS	R	06/30/25	06/30/25		INV702606	N
4	UNIFORM	47.95	01-410-241		E	UNIFORMS/VESTS	R	06/30/25	06/30/25		INV702921	N
5	UNIFORM	43.46	01-410-241		E	UNIFORMS/VESTS	R	06/30/25	06/30/25		INV706800	N

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 7

Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099	
Item Description			Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl	
WITME010 WITMER PUBLIC SAFETY GROUP, INC Continued												
25000926	06/30/25	UNIFORM		Continued								
6	UNIFORM		183.92	01-410-241	E UNIFORMS/VESTS	R	06/30/25	06/30/25		INV709781	N	
7	UNIFORM		500.54	01-410-241	E UNIFORMS/VESTS	R	06/30/25	06/30/25		INV708546	N	
			1,492.73									
Vendor Total:			1,492.73									

Total Purchase Orders:	28	Total P.O. Line Items:	67	Total List Amount:	78,829.29	Total Void Amount:	0.00
------------------------	----	------------------------	----	--------------------	-----------	--------------------	------

Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	36,494.25	0.00	36,494.25	0.00	0.00	36,494.25
LAND PRESERVATION FUND:	5-04	3.91	0.00	3.91	0.00	0.00	3.91
PARKS & RECREATION FUND:	5-07	641.20	0.00	641.20	0.00	0.00	641.20
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	2,120.45	0.00	2,120.45	0.00	0.00	2,120.45
ESCROW:	5-90	39,569.48	0.00	39,569.48	0.00	0.00	39,569.48
Total Of All Funds:		<u>78,829.29</u>	<u>0.00</u>	<u>78,829.29</u>	<u>0.00</u>	<u>0.00</u>	<u>78,829.29</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	36,494.25	0.00	36,494.25	0.00	0.00	36,494.25
LAND PRESERVATION FUND:	04	3.91	0.00	3.91	0.00	0.00	3.91
PARKS & RECREATION FUND:	07	641.20	0.00	641.20	0.00	0.00	641.20
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	2,120.45	0.00	2,120.45	0.00	0.00	2,120.45
ESCROW:	90	39,569.48	0.00	39,569.48	0.00	0.00	39,569.48
Total of All Funds:		<u>78,829.29</u>	<u>0.00</u>	<u>78,829.29</u>	<u>0.00</u>	<u>0.00</u>	<u>78,829.29</u>

July 17, 2025
09:26 AM

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Page No: 10

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	36,494.25	0.00	0.00	0.00	36,494.25
LAND PRESERVATION FUND:	5-04	3.91	0.00	0.00	0.00	3.91
PARKS & RECREATION FUND:	5-07	641.20	0.00	0.00	0.00	641.20
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	2,120.45	0.00	0.00	0.00	2,120.45
ESCROW:	5-90	39,569.48	0.00	0.00	0.00	39,569.48
Total of All Funds:		<u>78,829.29</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>78,829.29</u>



MEMO

TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated June 18, 2025, in the amount of \$87,376.62.

Attest: _____

Date: _____

Vendor Total: 82,212.97

June 18, 2025
08:49 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 3

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
				Item Description	Amount	Charge Account		Enc Date	Date	Date	Invoice	Excl
SHAWN020 SHAWN P. KNIGHT												
25000778	06/12/25	2025	MEDICAL REIMBURSEMENT									
1	2025	MEDICAL REIMBURSEMENT	690.00	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	06/12/25	06/12/25		061225	N
Vendor Total:			690.00									
TUSTI005 TUSTIN MECHANICAL SERVICES												
25000785	06/12/25	UNIT MAINTENANCE - PW OFFICE										
1	UNIT MAINTENANCE - PW OFFICE	1,422.53	01-430-370			E BUILDING MAINTENANCE	R	06/12/25	06/12/25		910057271	N
Vendor Total:			1,422.53									
VERIZ010 VERIZON												
25000779	06/05/25	POLICE INTERNET										
1	POLICE INTERNET	169.59	01-410-320			E COMMUNICATIONS	R	06/05/25	06/05/25		0001-17 060525	N
Vendor Total:			169.59									
WILLI010 WILLIAM A. MAY												
25000777	06/12/25	JANUARY - JUNE 2025 CELL REIMB										
1	JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320			E COMMUNICATIONS/MAINT	R	06/12/25	06/12/25		061225	N
Vendor Total:			120.00									
Total Purchase Orders: 14 Total P.O. Line Items: 21 Total List Amount: 87,376.62 Total Void Amount: 0.00												

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	79,973.81	0.00	79,973.81	0.00	0.00	79,973.81
PARKS & RECREATION FUND:	5-07	7,402.81	0.00	7,402.81	0.00	0.00	7,402.81
Total of All Funds:		<u>87,376.62</u>	<u>0.00</u>	<u>87,376.62</u>	<u>0.00</u>	<u>0.00</u>	<u>87,376.62</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	79,973.81	0.00	79,973.81	0.00	0.00	79,973.81
PARKS & RECREATION FUND:	07	7,402.81	0.00	7,402.81	0.00	0.00	7,402.81
Total of All Funds:		<u>87,376.62</u>	<u>0.00</u>	<u>87,376.62</u>	<u>0.00</u>	<u>0.00</u>	<u>87,376.62</u>

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	79,973.81	0.00	0.00	0.00	79,973.81
PARKS & RECREATION FUND:	5-07	7,402.81	0.00	0.00	0.00	7,402.81
Total of All Funds:		<u>87,376.62</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>87,376.62</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated June 26, 2025, in the amount of \$15,240.55.

Attest: _____

Date: _____

June 26, 2025
03:27 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 1

P.O. Type: All

Range: First

to Last

Format: Detail without Line Item Notes

Vendors: All

Include Non-Budgeted: Y

Rcvd Batch Id Range: KG0626PD to KG0626PD

Open: N

Paid: N

Void: N

Rcvd: Y

Held: Y

Aprv: N

Bid: Y

State: Y

Other: Y

Exempt: Y

Prior Year Only: N

* Means Prior Year Line

Vendor # Name

PO # PO Date Description

Contract PO Type

Item Description

Amount

Charge Account

Acct Type Description

Stat/Chk

First
Enc Date

Rcvd
Date

Chk/Void
Date

Invoice

1099
Excl

ANTHO030 ANTHONY PASSERINI

25000807 06/19/25 JANUARY - JUNE 2025 CELL REIMB

1 JANUARY - JUNE 2025 CELL REIMB

120.00

01-430-320

E COMMUNICATIONS/MAINT

R

06/19/25

06/19/25

061925

N

Vendor Total:

120.00

ATTMO010 AT&T MOBILITY

25000820 06/13/25 MOBILE PHONE SERVICE

1 MOBILE PHONE SERVICE

114.47

01-400-320

E TELEPHONE/COMMUNICATIONS

R

06/13/25

06/13/25

061325

N

2 MOBILE PHONE SERVICE

144.90

01-430-320

E COMMUNICATIONS/MAINT

R

06/13/25

06/13/25

061325

N

259.37

Vendor Total:

259.37

ADTC0005 EVERON FKA ADT COMMERCIAL

25000814 06/09/25 SECURITY SYSTEM

1 SECURITY SYSTEM

148.22

01-430-370

E BUILDING MAINTENANCE

R

06/09/25

06/09/25

158959923

N

2 SECURITY SYSTEM

279.98

01-430-370

E BUILDING MAINTENANCE

R

06/09/25

06/09/25

158959924

N

428.20

Vendor Total:

428.20

JEREM015 JEREMY BISHOP

25000808 06/19/25 2025 MEDICAL REIMBURSEMENT

1 2025 MEDICAL REIMBURSEMENT

645.00

01-486-157

E HEALTH & VISION REIMBURSEMENTS

R

06/19/25

06/19/25

061925

N

Vendor Total:

645.00

Vendor #	Name										
PO #	PO Date	Description	Contract Amount	PO Type Charge Account	Acct Description	Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
KATHE005	KATHERINE PEFFALL										
25000810	06/24/25	JANUARY - JUNE 2025 CELL REIMB									
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT		R	06/24/25	06/24/25	062425	N
Vendor Total:			120.00								
KIMG005	KIM GOODWIN										
25000802	06/26/25	MILEAGE REIMBURSEMENT									
1	MILEAGE REIMBURSEMENT		60.90	01-400-330	E VEHICLE EXPENSE/ADMIN		R	06/26/25	06/26/25	062625	N
25000803	06/26/25	2025 MEDICAL REIMBURSEMENT									
1	2025 MEDICAL REIMBURSEMENT		192.93	01-486-157	E HEALTH & VISION REIMBURSEMENTS		R	06/26/25	06/26/25	062625	N
Vendor Total:			253.83								
MARIA015	MARIA CLANCY										
25000805	06/25/25	JANUARY - JUNE 2025 CELL REIMB									
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT		R	06/25/25	06/25/25	062525	N
Vendor Total:			120.00								
MARKS010	MARK S. DUNCAN JR.										
25000809	06/24/25	JANUARY - JUNE 2025 CELL REIMB									
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT		R	06/24/25	06/24/25	062425	N
Vendor Total:			120.00								
MCCAL005	MCCALLION TEMPS, INC										
25000821	06/20/25	STAFFING SERVICES									
1	STAFFING SERVICES		908.82	01-402-131	E SALARY/ADMIN ASST T.P.		R	06/20/25	06/20/25	12560	N
Vendor Total:			908.82								
PAULZ010	PAUL ZIELINSKI										
25000806	06/26/25	JANUARY - JUNE 2025 CELL REIMB									
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT		R	06/26/25	06/26/25	062625	N
Vendor Total:			120.00								

June 26, 2025
03:27 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 3

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item Description	Amount	Charge Account	Acct Type	Description		Enc Date	Date	Date	Invoice	Excl
REPUB005 REPUBLIC SERVICES #320												
	25000813	06/15/25 TRASH SERVICES										
	1	TRASH SERVICES	1,233.55	01-436-400		E DIRT & DEBRIS REMOVAL	R	06/15/25	06/15/25		0320-004562806	N
	2	TRASH SERVICES	218.68	01-437-360		E HEAT AND UTILITIES	R	06/15/25	06/15/25		0320-004562806	N
	3	TRASH SERVICES	200.23	01-409-360		E UTILITIES	R	06/15/25	06/15/25		0320-004562806	N
	4	TRASH SERVICES	200.24	01-410-360		E UTILITIES	R	06/15/25	06/15/25		0320-004562806	N
	5	TRASH SERVICES	218.68	07-454-360		E UTILITIES	R	06/15/25	06/15/25		0320-004562806	N
			2,071.38									
		Vendor Total:	2,071.38									
RIGGI010 RIGGINS INC.												
	25000816	06/19/25 PW FUEL										
	1	PW FUEL	939.48	01-437-330		E FUEL & OIL EQUIP	R	06/19/25	06/19/25		75152080	N
	25000817	06/19/25 POLICE FUEL										
	1	POLICE FUEL	1,130.63	01-410-224		E FUELS/OIL	R	06/19/25	06/19/25		75152079	N
		Vendor Total:	2,070.11									
RYANL005 RYAN LISCHKE												
	25000804	06/26/25 JANUARY - JUNE 2025 CELL REIMB										
	1	JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320		E COMMUNICATIONS/MAINT	R	06/26/25	06/26/25		062625	N
		Vendor Total:	120.00									
SHAWN020 SHAWN P. KNIGHT												
	25000811	06/25/25 2025 MEDICAL REIMBURSEMENT										
	1	2025 MEDICAL REIMBURSEMENT	250.00	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	06/25/25	06/25/25		062525	N
		Vendor Total:	250.00									
STAND015 STANDARD DIGITAL LEASING												
	25000822	06/21/25 ADMIN COPIER										
	1	ADMIN COPIER	270.80	01-400-740		E MAJOR EQUIPMENT LEASE/PURCHASE	R	06/21/25	06/21/25		590651352	N

June 26, 2025
03:27 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 4

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
STAND015 STANDARD DIGITAL LEASING	Continued									
25000823 06/21/25 POLICE COPIER										
1 POLICE COPIER			245.96	01-410-226	E COPIER EXPENSES	R	06/21/25	06/21/25	590651352	N
Vendor Total:			516.76							
STAND010 STANDARD INSURANCE COMPANY										
25000812 06/16/25 LIFE/DISABILITY INSURANCE										
1 LIFE/DISABILITY INSURANCE			260.40	01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	06/16/25	06/16/25	061625	N
2 LIFE/DISABILITY INSURANCE			206.18	01-402-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	06/16/25	06/16/25	061625	N
3 LIFE/DISABILITY INSURANCE			2,342.06	01-410-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	06/16/25	06/16/25	061625	N
4 LIFE/DISABILITY INSURANCE			289.02	01-413-151	E MEDICAL/DENTAL/RX/LIFE/INSURANCE	R	06/16/25	06/16/25	061625	N
5 LIFE/DISABILITY INSURANCE			99.17	01-414-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	06/16/25	06/16/25	061625	N
6 LIFE/DISABILITY INSURANCE			586.73	01-430-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	06/16/25	06/16/25	061625	N
7 LIFE/DISABILITY INSURANCE			290.06	07-454-151	E MEDICAL/DENTAL INSURANCE	R	06/16/25	06/16/25	061625	N
			4,073.62							
Vendor Total:			4,073.62							
TUSTI005 TUSTIN MECHANICAL SERVICES										
25000815 06/17/25 UNIT 3 MAINTENANCE										
1 UNIT 3 MAINTENANCE			2,843.08	01-409-370	E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	06/17/25	06/17/25	910057385	N
Vendor Total:			2,843.08							
VERIZ010 VERIZON										
25000818 06/12/25 FIOS SERVICES/EQUIP										
1 FIOS SERVICES/EQUIP			22.30	01-430-320	E COMMUNICATIONS/MAINT	R	06/12/25	06/12/25	0001-65 061225	N
25000819 06/14/25 FIOS SERVICES/EQUIP										
1 FIOS SERVICES/EQUIP			178.08	01-430-320	E COMMUNICATIONS/MAINT	R	06/14/25	06/14/25	0001-97 061425	N
Vendor Total:			200.38							
Total Purchase Orders:	22	Total P.O. Line Items:	34	Total List Amount:	15,240.55	Total Void Amount:	0.00			

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	14,731.81	0.00	14,731.81	0.00	0.00	14,731.81
PARKS & RECREATION FUND:	5-07	508.74	0.00	508.74	0.00	0.00	508.74
Total of All Funds:		<u>15,240.55</u>	<u>0.00</u>	<u>15,240.55</u>	<u>0.00</u>	<u>0.00</u>	<u>15,240.55</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	14,731.81	0.00	14,731.81	0.00	0.00	14,731.81
PARKS & RECREATION FUND:	07	508.74	0.00	508.74	0.00	0.00	508.74
Total of All Funds:		<u>15,240.55</u>	<u>0.00</u>	<u>15,240.55</u>	<u>0.00</u>	<u>0.00</u>	<u>15,240.55</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	14,731.81	0.00	0.00	0.00	14,731.81
PARKS & RECREATION FUND:	5-07	508.74	0.00	0.00	0.00	508.74
Total of All Funds:		<u>15,240.55</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>15,240.55</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated July 1, 2025, in the amount of \$76,476.70.

Attest: _____

Date: _____

July 1, 2025
12:27 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 1

OK

P.O. Type: All
Range: First to Last
Format: Detail without Line Item Notes
Vendors: All
Include Non-Budgeted: Y
Prior Year Only: N
Open: N
Paid: N
Void: N
Rcvd: Y
Held: Y
Aprv: N
Bid: Y
State: Y
Other: Y
Exempt: Y
* Means Prior Year Line

Rcvd Batch Id Range: KG0630PD to KG0630PD

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Exc1
ALEXA015 ALEXANDRIA MULLIN										
	25000885 06/30/25 JANUARY - JUNE 2025 CELL REIMB									
	1 JANUARY - JUNE 2025 CELL REIMB	220.00	01-430-320	E COMMUNICATIONS/MAINT	R	06/30/25	06/30/25		063025	N
	25000886 07/01/25 2025 PSATS MILEAGE REIMB									
	1 2025 PSATS MILEAGE REIMB	137.62	01-400-330	E VEHICLE EXPENSE/ADMIN	R	07/01/25	07/01/25		070125	N
	25000887 06/30/25 2025 DVHT CONF MILEAGE REIM									
	1 2025 DVHT CONF MILEAGE REIM	115.64	01-400-330	E VEHICLE EXPENSE/ADMIN	R	06/30/25	06/30/25		063025	N
	Vendor Total:	373.26								
ARMOU010 ARMOUR & SONS ELECTRIC I										
	25000832 06/11/25 TRAFFIC SIGNAL MAINTENANCE									
	1 TRAFFIC SIGNAL MAINTENANCE	280.99	01-433-310	E TRAFFIC SIGNAL MAINTENANCE	R	06/11/25	06/11/25		910044831	N
	2 TRAFFIC SIGNAL MAINTENANCE	4,262.00	01-433-310	E TRAFFIC SIGNAL MAINTENANCE	R	06/11/25	06/11/25		910044846	N
		4,542.99								
	Vendor Total:	4,542.99								
BERGE010 BERGEY'S INC.										
	25000828 06/19/25 PARTS/REPAIRS 48-22									
	1 PARTS/REPAIRS 48-22	328.13	01-437-300	E VEHICLE REPAIRS	R	06/19/25	06/19/25		XA508027182:01	N
	Vendor Total:	328.13								
BILLM010 BILL MITCHELL'S AUTO SERVICE I										
	25000888 06/30/25 EMISSION INSPECTION - 48-03									
	1 EMISSION INSPECTION - 48-03	81.57	01-410-370	E VEHICLE MAINT/REPAIRS-OUTSIDE	R	06/30/25	06/30/25		A049276	N
	Vendor Total:	81.57								

July 1, 2025
12:27 PM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 2

Vendor #	Name	PO #	PO Date	Description	Contract Amount	PO Type Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
CHAPM005	CHAPMAN FORD OF HORSHAM	25000836	06/27/25	2025 FORD F350									
		1	2025	FORD F350	60,933.00	01-410-751	E VEHICLE REPLACEMENTS	R	06/27/25	06/27/25		062725	N
				Vendor Total:	60,933.00								
CONNO005	CONNOR MALONEY	25000827	06/27/25	JANUARY - JUNE 2025 CELL REIMB									
		1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT	R	06/27/25	06/27/25		062725	N
				Vendor Total:	120.00								
DAVID165	DAVID KEEBLER	25000883	07/01/25	2025 MEDICAL REIMBURSEMENT									
		1	2025	MEDICAL REIMBURSEMENT	50.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	07/01/25	07/01/25		070125	N
				Vendor Total:	50.00								
FOLEY005	FOLEY INC	25000830	06/10/25	SKID STEER - KELLER RD BRIDGE									
		1	SKID STEER - KELLER RD BRIDGE		713.00	18-436-367	E NPDES COMPLIANCE	R	06/10/25	06/10/25		INV0586808	N
		25000831	06/10/25	EXCAVATOR - KELLER RD BRIDGE									
		1	EXCAVATOR - KELLER RD BRIDGE		3,170.00	18-436-367	E NPDES COMPLIANCE	R	06/10/25	06/10/25		INV0586829	N
				Vendor Total:	3,883.00								
GEORG040	GEORGE ALLEN PORTABLE TOILETS	25000837	06/24/25	PORTABLE TOILETS/PARKS									
		1	PORTABLE TOILETS/PARKS		70.00	07-454-360	E UTILITIES	R	06/24/25	06/24/25		I238670	N
		2	PORTABLE TOILETS/PARKS		70.00	07-454-360	E UTILITIES	R	06/24/25	06/24/25		I238669	N
		3	PORTABLE TOILETS/PARKS		198.00	07-454-360	E UTILITIES	R	06/24/25	06/24/25		I238667	N
		4	PORTABLE TOILETS/PARKS		396.00	07-454-360	E UTILITIES	R	06/24/25	06/24/25		I238666	N
					734.00								
				Vendor Total:	734.00								

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099
		Item	Description	Amount	Charge Account	Acct Type Description		Enc Date	Date	Date Invoice	Excl
JEREM015	JEREMY BISHOP										
25000868	06/30/25	2025	MEDICAL REIMBURSEMENT								
1	2025		MEDICAL REIMBURSEMENT	175.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/30/25	06/30/25	063025	N
			Vendor Total:	175.00							
KATHE005	KATHERINE PEFFALL										
25000826	06/27/25	2025	MEDICAL REIMBURSEMENT								
1	2025		MEDICAL REIMBURSEMENT	426.69	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/27/25	06/27/25	062725	N
			Vendor Total:	426.69							
MCCAL005	MCCALLION TEMPS, INC										
25000838	06/27/25		STAFFING SERVICES								
1			STAFFING SERVICES	853.74	01-402-131	E SALARY/ADMIN ASST T.P.	R	06/27/25	06/27/25	12580	N
			Vendor Total:	853.74							
MICHA110	MICHAEL SANDT										
25000834	06/29/25		JANUARY - JUNE 2025 CELL REIMB								
1			JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT	R	06/29/25	06/29/25	062925	N
			Vendor Total:	120.00							
PAULZ010	PAUL ZIELINSKI										
25000889	06/27/25		MEAL AND MILEAGE REIMBURSEMENT								
1			MEAL AND MILEAGE REIMBURSEMENT	169.40	01-410-181	E EDUCATION/TRAINING IN SERVICE	R	06/27/25	06/27/25	062725	N
			Vendor Total:	169.40							
RIGGI010	RIGGINS INC.										
25000829	06/26/25		PW DIESEL								
1			PW DIESEL	811.84	01-437-330	E FUEL & OIL EQUIP	R	06/26/25	06/26/25	75152083	N
			Vendor Total:	811.84							

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item Description	Amount	Charge Account	Acct Type	Description		Enc Date	Date	Date	Invoice	Excl
RYANL005 RYAN LISCHKE												
25000884	07/01/25	2025 MEDICAL REIMBURSEMENT										
1	2025	MEDICAL REIMBURSEMENT	173.81	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	07/01/25	07/01/25		070125	N
Vendor Total:			173.81									
SANDRA SANDRA EZZO												
25000835	06/30/25	2025 MEDICAL REIMBURSEMENT										
1	2025	MEDICAL REIMBURSEMENT	75.88	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	06/30/25	06/30/25		063025	N
Vendor Total:			75.88									
TUSTI005 TUSTIN MECHANICAL SERVICES												
25000833	06/23/25	FIRE EXTINGUISHER REPL. - 7										
1	FIRE EXTINGUISHER REPL. - 7		658.78	01-430-370		E BUILDING MAINTENANCE	R	06/23/25	06/23/25		990038691	N
Vendor Total:			658.78									
VERIZ050 VERIZON WIRELESS												
25000839	06/19/25	POLICE WIRELESS SERVICE										
1	POLICE WIRELESS SERVICE		318.34	01-400-320		E TELEPHONE/COMMUNICATIONS	R	06/19/25	06/19/25		00001 061925	N
2	POLICE WIRELESS SERVICE		663.74	01-410-320		E COMMUNICATIONS	R	06/19/25	06/19/25		00001 061925	N
3	POLICE WIRELESS SERVICE		262.85	01-430-320		E COMMUNICATIONS/MAINT	R	06/19/25	06/19/25		00001 061925	N
			1,244.93									
25000840	06/19/25	POLICE WIRELESS SERVICE										
1	POLICE WIRELESS SERVICE		720.68	01-410-320		E COMMUNICATIONS	R	06/19/25	06/19/25		00002 061925	N
Vendor Total:			1,965.61									
Total Purchase Orders: 23 Total P.O. Line Items: 29 Total List Amount: 76,476.70 Total Void Amount: 0.00												

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	71,859.70	0.00	71,859.70	0.00	0.00	71,859.70
PARKS & RECREATION FUND:	5-07	734.00	0.00	734.00	0.00	0.00	734.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	3,883.00	0.00	3,883.00	0.00	0.00	3,883.00
Total of All Funds:		<u>76,476.70</u>	<u>0.00</u>	<u>76,476.70</u>	<u>0.00</u>	<u>0.00</u>	<u>76,476.70</u>

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	71,859.70	0.00	71,859.70	0.00	0.00	71,859.70
PARKS & RECREATION FUND:	07	734.00	0.00	734.00	0.00	0.00	734.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	3,883.00	0.00	3,883.00	0.00	0.00	3,883.00
Total of All Funds:		<u>76,476.70</u>	<u>0.00</u>	<u>76,476.70</u>	<u>0.00</u>	<u>0.00</u>	<u>76,476.70</u>

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	71,859.70	0.00	0.00	0.00	71,859.70
PARKS & RECREATION FUND:	5-07	734.00	0.00	0.00	0.00	734.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	3,883.00	0.00	0.00	0.00	3,883.00
Total of All Funds:		<u>76,476.70</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>76,476.70</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated July 10, 2025, in the amount of \$22,263.37.

Attest: _____

Date: _____

P.O. Type: All
 Range: First to Last
 Format: Detail without Line Item Notes
 Vendors: All Include Non-Budgeted: Y

Open: N Paid: N Void: N
Rcvd: Y Held: Y Aprv: N
Bid: Y State: Y Other: Y Exempt: Y
Prior Year Only: N * Means Prior Year Line

Rcvd Batch Id Range: KG0708PD to KG0708PD

Vendor # Name												
PO #	PO Date	Description	Contract	PO Type		First	Rcvd	Chk/Void		1099		
Item Description	Amount	Charge Account	Acct Type Description		Stat/Chk	Enc Date	Date	Date	Invoice	Excl		
AQUAP010 AQUA PENNSYLVANIA												
25000899	07/01/25	FIRE HYDRANT RENTAL										
1 FIRE HYDRANT RENTAL	186.60	01-411-380	E FIRE HYDRANT RENTALS		R	07/01/25	07/01/25		1065967 070125	N		
2 FIRE HYDRANT RENTAL	62.20	01-411-380	E FIRE HYDRANT RENTALS		R	07/01/25	07/01/25		0416695 070125	N		
3 FIRE HYDRANT RENTAL	<u>1,150.70</u>	01-411-380	E FIRE HYDRANT RENTALS		R	07/01/25	07/01/25		0408962 070125	N		
	1,399.50											
Vendor Total:		1,399.50										

ARMOU010 ARMOUR & SONS ELECTRIC I

25000897	06/30/25	TRAFFIC SIGNAL MAINTENANCE							
1	TRAFFIC SIGNAL MAINTENANCE	5,965.43	01-434-300	E STREET LIGHTING/GEN/NOT DISTRICT	R	06/30/25	06/30/25	910044976	N
25000907	06/27/25	TRAFFIC SIGNAL MAINTENANCE							
1	TRAFFIC SIGNAL MAINTENANCE	7,723.45	01-433-310	E TRAFFIC SIGNAL MAINTENANCE	R	06/27/25	06/27/25	910044956	N
	Vendor Total:	13,688.88							

BRIAN010 BRIAN JONES

25000902 07/07/25 JANUARY - JUNE 2025 CELL REIMB									
1 JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT	R	07/07/25	07/07/25	070725	N	
Vendor Total:	120.00								

DANFO005 DAN FOX

25000909	07/07/25	JANUARY - JUNE 2025	CELL REIMB							
1	JANUARY - JUNE 2025	CELL REIMB	300.00	01-430-320	E COMMUNICATIONS/MAINT	R	07/07/25	07/07/25	070725	N
	Vendor Total:		300.00	<i>[Signature]</i>						

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item	Description	Amount	Charge Account	Acct Type Description		Enc Date	Date	Date	Invoice	Exc1
DANIE050	DANIEL A. GONZALEZ											
25000903	07/07/25	JANUARY - JUNE 2025	CELL REIMB									
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320		E COMMUNICATIONS/MAINT	R	07/07/25	07/07/25		070725	N
Vendor Total:				120.00								
DOYLE060	DOYLESTOWN FIRE COMPANY											
25000901	07/07/25	STIPEND PAYMENT										
1	STIPEND PAYMENT		1,000.00	01-411-230		E RECRUITMENT/RETENTION INCENTIVE	R	07/07/25	07/07/25		070725	N
Vendor Total:				1,000.00								
MASTE010	MASTERS TELECOM LLC											
25000906	07/04/25	SPECIALTY VOICE MAIL/FAX LINE										
1	SPECIALTY VOICE MAIL/FAX LINE		87.79	01-400-320		E TELEPHONE/COMMUNICATIONS	R	07/04/25	07/04/25		62195	N
Vendor Total:				87.79								
MCCAL005	MCCALLION TEMPS, INC											
25000905	07/04/25	STAFFING SERVICES										
1	STAFFING SERVICES		330.48	01-402-131		E SALARY/ADMIN ASST T.P.	R	07/04/25	07/04/25		12600	N
25000921	05/09/25	STAFFING SERVICES										
1	STAFFING SERVICES		605.88	01-402-131		E SALARY/ADMIN ASST T.P.	R	05/09/25	07/09/25		12399	N
Vendor Total:				936.36								
NORTH050	NORTH PENN WATER AUTHORIT											
25000896	06/20/25	WATER										
1	WATER		23.72	07-454-360		E UTILITIES	R	06/20/25	06/20/25		529906 062025	N
2	WATER		11.76	07-454-360		E UTILITIES	R	06/20/25	06/20/25		536600 062025	N
3	WATER		101.23	01-437-360		E HEAT AND UTILITIES	R	06/20/25	06/20/25		531345 062025	N
4	WATER		40.32	01-409-360		E UTILITIES	R	06/20/25	06/20/25		529905 062025	N
5	WATER		40.32	01-410-360		E UTILITIES	R	06/20/25	06/20/25		529905 062025	N
				217.35								
Vendor Total:				217.35								

July 10, 2025
10:29 AM

NEW BRITAIN TOWNSHIP
Bill List By Vendor Name

Page No: 3

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item	Description	Amount	Charge	Account	Acct Type	Description	Enc Date	Date	Invoice	Excl
PENNS020 PA ONE CALL SYSTEM, INC.												
	25000908	06/30/25	PA ONE CALLS									
	1	PA ONE CALLS		93.84	01-438-460		E	GENERAL EXPENSE	R	06/30/25	06/30/25	0001110625 N
		Vendor Total:		93.84								
PECOE020 PECO ENERGY-PAYMENT PROCESSING												
	25000892	06/03/25	ELECTRIC									
	1	ELECTRIC		116.12	02-434-360		E	UTILITY EXPENSE	R	06/03/25	06/03/25	7718996000 N
		Vendor Total:		116.12								
READY005 PRIMO BRANDS												
	25000920	07/08/25	BOTTLED WATER									
	1	BOTTLED WATER		281.78	01-437-360		E	HEAT AND UTILITIES	R	07/08/25	07/08/25	15G0436107767 N
	2	BOTTLED WATER		118.31	01-410-360		E	UTILITIES	R	07/08/25	07/08/25	15G0436449664 N
	3	BOTTLED WATER		66.76	01-409-360		E	UTILITIES	R	07/08/25	07/08/25	15G0436107759 N
				466.85								
		Vendor Total:		466.85								
ROBER070 ROBERT D. SKELTON												
	25000900	07/03/25	2025 MEDICAL REIMBURSEMENT									
	1	2025 MEDICAL REIMBURSEMENT		2,029.15	01-486-157		E	HEALTH & VISION REIMBURSEMENTS	R	07/03/25	07/03/25	070325 N
		Vendor Total:		2,029.15								
SUSET005 SUSETTE DUBIN												
	25000893	07/01/25	FACILITY CLEANING - ADMIN									
	1	FACILITY CLEANING - ADMIN		400.00	01-409-370		E	BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	07/01/25	07/01/25	070125 N
	25000894	07/01/25	FACILITY CLEANING - POLICE									
	1	FACILITY CLEANING - POLICE		740.00	01-409-370		E	BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	07/01/25	07/01/25	070125 N
		Vendor Total:		1,140.00								

[illegible]

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	22,111.77	0.00	22,111.77	0.00	0.00	22,111.77
STREET LIGHTING FUND:	5-02	116.12	0.00	116.12	0.00	0.00	116.12
PARKS & RECREATION FUND:	5-07	35.48	0.00	35.48	0.00	0.00	35.48
Total of All Funds:		22,263.37	0.00	22,263.37	0.00	0.00	22,263.37

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	22,111.77	0.00	22,111.77	0.00	0.00	22,111.77
STREET LIGHTING FUND:	02	116.12	0.00	116.12	0.00	0.00	116.12
PARKS & RECREATION FUND:	07	35.48	0.00	35.48	0.00	0.00	35.48
Total Of All Funds:		<u>22,263.37</u>	<u>0.00</u>	<u>22,263.37</u>	<u>0.00</u>	<u>0.00</u>	<u>22,263.37</u>

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	22,111.77	0.00	0.00	0.00	22,111.77
STREET LIGHTING FUND:	5-02	116.12	0.00	0.00	0.00	116.12
PARKS & RECREATION FUND:	5-07	35.48	0.00	0.00	0.00	35.48
Total Of All Funds:		<u>22,263.37</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>22,263.37</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: July 17, 2025
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated July 17, 2025, in the amount of \$11,110.99.

Attest: _____

Date: _____

Page No: 1

Rcvd Batch Id Range: KG0714PD to KG0714PD

Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099	
Item Description			Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl	
BERGE010 BERGEY'S INC.												
25000962	07/15/25	PARTS/REPAIRS 48-23										
1 PARTS/REPAIRS 48-23			138.88	01-437-300	E VEHICLE REPAIRS	R	07/15/25	07/15/25		XA508028596:01	N	
		Vendor Total:	138.88									
BRIAN010 BRIAN JONES												
25000929	01/18/25	2025 ORTHODONTIC REIMBURSEMENT										
1 2025 ORTHODONTIC REIMBURSEMENT			500.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/18/25	07/14/25		071425	N	
		Vendor Total:	500.00									
COMMO135 COMMONWEALTH OF PA												
25000942	07/15/25	WASTE TIRE TRANSPORTER										
1 WASTE TIRE TRANSPORTER			50.00	01-436-400	E DIRT & DEBRIS REMOVAL	R	07/15/25	07/15/25		WTT1246 2025	N	
		Vendor Total:	50.00									
DANIE055 DANIEL SACKS												
25000937	07/15/25	2025 MEDICAL REIMBURSEMENT										
1 2025 MEDICAL REIMBURSEMENT			50.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	07/15/25	07/15/25		071525	N	
		Vendor Total:	50.00									
EMANU010 EMANUEL TIRE OF PENNSYLVANIA I												
25000943	07/14/25	WASTE TIRES										
1 WASTE TIRES			164.00	01-436-400	E DIRT & DEBRIS REMOVAL	R	07/14/25	07/14/25		ETPA_WP13175	N	
		Vendor Total:	164.00									

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Amount	Charge Account	Acct Type	Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
FOLEY005 FOLEY INC																
25000944	06/19/25	SKID STEER - KELLER RD BRIDGE														
1	SKID STEER - KELLER RD BRIDGE	713.00	18-436-367			E NPDES COMPLIANCE		R	06/19/25	06/19/25					INV0593025	N
25000945	06/19/25	EXCAVATOR - KELLER RD BRIDGE														
1	EXCAVATOR - KELLER RD BRIDGE	3,170.00	18-436-367			E NPDES COMPLIANCE		R	06/19/25	06/19/25					INV0593027	N
Vendor Total:		3,883.00														
HPT HPT SYSTEMS, INC.																
25000957	06/30/25	MONTHLY CLOUD BACKUP														
1	MONTHLY CLOUD BACKUP	513.00	01-400-741			E COMPUTER HARDWARE/SOFTWARE/LICENSES		R	06/30/25	06/30/25					13983	N
25000958	03/31/25	KNOWBE4 SECURITY TRAINING														
1	KNOWBE4 SECURITY TRAINING	1,020.00	01-400-741			E COMPUTER HARDWARE/SOFTWARE/LICENSES		R	03/31/25	07/14/25					13723	N
25000959	06/30/25	DUO SECURITY - MFA LICENSE														
1	DUO SECURITY - MFA LICENSE	462.00	01-400-302			E INFO TECH SERVICES		R	06/30/25	06/30/25					13981	N
Vendor Total:		1,995.00														
JACOB005 JACOB BOSCOLA																
25000960	07/16/25	APRIL - JUNE 2025 CELL REIMB														
1	APRIL - JUNE 2025 CELL REIMB	60.00	01-430-320			E COMMUNICATIONS/MAINT		R	07/16/25	07/16/25					071625	N
Vendor Total:		60.00														
JUSTI030 JUSTIN ELVIDGE																
25000949	07/15/25	JANUARY - JUNE 2025 CELL REIMB														
1	JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320			E COMMUNICATIONS/MAINT		R	07/15/25	07/15/25					071525	N
Vendor Total:		120.00														
KELSE005 KELSEY C. GANTHER																
25000956	07/15/25	JANUARY - JUNE 2025 CELL REIMB														
1	JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320			E COMMUNICATIONS/MAINT		R	07/15/25	07/15/25					071525	N
Vendor Total:		120.00														

[illegible]

Vendor #	Name											
PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	chk/Void Date	Invoice	1099 Excl
TRAIS005 TRAIRS, LLC												
25000930	05/31/25	DATA REQUESTS/COLLECTION										
1		DATA REQUESTS/COLLECTION	1,200.00	01-414-319		E COMPUTER SOFTWARE AND SERVICES	R	05/31/25	05/31/25		3591	N
		Vendor Total:	1,200.00									
VERIZ010 VERIZON												
25000940	07/05/25	POLICE INTERNET										
1		POLICE INTERNET	305.59	01-410-320		E COMMUNICATIONS	R	07/05/25	07/05/25		0001-17 070525	N
		Vendor Total:	305.59									
ZACHA005 ZACHARY JENKINS												
25000955	07/15/25	JANUARY - JUNE 2025 CELL REIMB										
1		JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320		E COMMUNICATIONS/MAINT	R	07/15/25	07/15/25		071525	N
		Vendor Total:	120.00									
Total Purchase Orders:	23	Total P.O. Line Items:	23	Total List Amount:	11,110.99	Total Void Amount:	0.00					

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	7,227.99	0.00	7,227.99	0.00	0.00	7,227.99
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	3,883.00	0.00	3,883.00	0.00	0.00	3,883.00
Total of All Funds:		11,110.99	0.00	11,110.99	0.00	0.00	11,110.99

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	7,227.99	0.00	7,227.99	0.00	0.00	7,227.99
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	3,883.00	0.00	3,883.00	0.00	0.00	3,883.00
Total of All Funds:		<u>11,110.99</u>	<u>0.00</u>	<u>11,110.99</u>	<u>0.00</u>	<u>0.00</u>	<u>11,110.99</u>

NEW BRITAIN TOWNSHIP
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	7,227.99	0.00	0.00	0.00	7,227.99
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	3,883.00	0.00	0.00	0.00	3,883.00
Total of All Funds:		<u>11,110.99</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>11,110.99</u>



July 15, 2025

File No. 15-12097

Doreen Curtin, Zoning Officer
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Reference: 324 Schoolhouse Road – Holy Properties, LLC
Amended Land Development Escrow Release 2

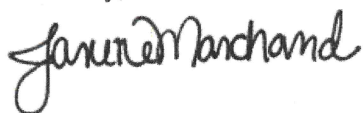
Doreen:

In response to the Applicant's request for the second escrow release associated with the above-referenced project, a representative from our office performed a site observation of the completed improvements on July 11, 2025. We have prepared Certificate of Completion #2 in the amount of \$24,832.00 for consideration at an upcoming public meeting.

We recommend the release of the funds as delineated on the attached breakdown and which equal Twenty-Four Thousand Eight Hundred Thirty-Two Dollars and Zero Cents (\$24,832.00) to Holy Properties, LLC. This leaves \$131,144.00 remaining in the escrow fund for the remaining improvements. The escrowed site improvements are approximately 43% completed.

If you have any questions regarding the above, please contact this office.

Sincerely,



Janene Marchand, P.E.
Township Engineer
Gilmore & Associates, Inc.

JM/tw/sl

Enclosures: as referenced

cc: Daniel Fox, Township Manager
Alexandra Mullin, Assistant to the Manager
Kristin Carpenter, Finance Director
Scott C. Holbert, Esquire, Flager & Associates, PC
Debra Clauser, Holy Properties, LLC
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.
Jerry O'Donnell, Gilmore & Associates, Inc.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 E. Butler Avenue, Suite 100
New Britain, PA 18901-5106
(215) 345-4330
Fax (215) 345-8606
www.gilmore-assoc.com

July 14, 2025
Project No.: G&A #1512097

CERTIFICATE OF COMPLETION NO. 2
324 SCHOOLHOUSE ROAD
NEW BRITAIN TOWNSHIP

Original Financial Security: \$ 182,620.00 (Total Construction)
 \$ 18,262.00 (Total Contingency)
 \$ 9,131.00 (Total Eng/Insp/Legal)
 \$ 210,013.00 (Total Escrow Posted)

We, the undersigned, hereby certify that the work provided for a certain Agreement between New Britain Township and Holy Properties, LLC relative to the construction and installation of certain improvements to 324 Schoolhouse Road have been completed to the extent of Twenty-Four Thousand Eight Hundred Thirty-Two Dollars and Zero Cents (\$24,832.00). This certificate authorizes the escrow be reduced to the extent of \$24,832.00 pursuant to the Financial Security Agreement between the Township and Holy Properties, LLC.

This draft is drawn upon the above stated security account and no other account which may be applicable to this project or in which Holy Properties, LLC may have an interest. It is payable in an amount not to exceed \$24,832.00 to Holy Properties, LLC or such other persons or parties as they shall designate.

ESCROW SUMMARY

Total Financial Security:	\$ 210,013.00
Amount of Previous Releases:	\$ 54,037.00
Amount of this Request:	\$ 24,832.00
Amount of Construction Available:	\$ 103,751.00
Total Escrow Remaining:	\$ 131,144.00

NEW BRITAIN TOWNSHIP ENGINEER:

Janene Marchand 7/14/2025
Date
Janene Marchand, P.E.
Gilmore & Associates, Inc
Township Engineers

DESIGNATED DRAFT RECIPIENT:

Name (print) Steve Clouser
Title President
Signature Steve Clouser

NEW BRITAIN TOWNSHIP MANAGER:

Daniel Fox, Township Manager



Gilmore & Associates, Inc.
Engineering and Consulting Services

ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

PROJECT NAME:	324 Schoolhouse Road	TOTAL CONSTRUCTION:	\$182,620.00	AMOUNT OF WORK IN PLACE THIS PERIOD:	\$	24,832.00
PROJECT NO.:	1512097	TOTAL CONSTRUCTION CONTINGENCY:	\$ 18,262.00	AMOUNT OF THIS RELEASE:	\$	24,832.00
PROJECT OWNER:	Holy Properties, LLC	TOTAL ENG/INSP/LEGAL:	\$ 9,131.00			
		TOTAL ESCROW POSTED:	\$ 210,013.00			
MUNICIPALITY:	New Britain Township, Bucks County, PA	RELEASE NO.:	2	TOTAL ESCROW RELEASED TO DATE:	\$	78,869.00
ESCROW AGENT:	Harleysville Bank	RELEASE DATE:	July 14, 2025	TOTAL ESCROW REMAINING:	\$	131,144.00
TYPE OF SECURITY:				TOTAL CONSTRUCTION CONTINGENCY:	\$	18,262.00
AGREEMENT DATE:	October 7, 2024			TOTAL ENG/INSP/LEGAL:	\$	9,131.00
				TOTAL CONSTRUCTION AVAILABLE FOR RELEASE:	\$	103,751.00

ESCROW TABULATION					CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		RELEASE REQ # 3
CONSTRUCTION ITEMS					QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY	TOTAL AMOUNT	QUANTITY
A.	SOIL EROSION & SEDIMENT CONTROL										
1.	12" Silt Sock	LF	940	\$3.30		\$3,102.00		940	\$3,102.00		
2.	24" Silt Sock (Concrete Washout)	LF	50	\$8.00		\$400.00		50	\$400.00		
3.	Inlet Protection	EA	2	\$145.00		\$290.00				2	\$290.00
4.	Construction Entrance	EA	1	\$2,000.00		\$2,000.00		1	\$2,000.00		
5.	Construction Wash Rack	EA	1	\$3,500.00		\$3,500.00				1	\$3,500.00
6.	Tree Protection Fence	LF	264	\$2.00		\$528.00				264	\$528.00
7.	Jute Matting	SY	287	\$2.00		\$574.00				287	\$574.00
8.	Super Silt Fence Baffle	LF	64	\$13.50		\$864.00				64	\$864.00
9.	Rock Filter Outlet	SF	193	\$10.00		\$1,930.00				193	\$1,930.00
10.	Basin Conversion & Underdrain	EA	1	\$5,000.00		\$5,000.00				1	\$5,000.00
11.	Emergency Spillway Matting (TRM-450 Matting)	SY	40	\$10.00		\$400.00				40	\$400.00
12.	Maintenance & Removal of E&S Controls	LS	1	\$3,500.00		\$3,500.00				1	\$3,500.00
B.	STORM DRAINAGE & MANAGEMENT FACILITIES										
1.	15" HDPE	LF	423	\$40.00		\$16,920.00		423	\$16,920.00		
2.	Type 'C' Storm Inlet Box	EA	2	\$2,986.00		\$5,972.00		2	\$5,972.00		
3.	Storm Manhole	EA	2	\$2,520.00		\$5,040.00		2	\$5,040.00		
4.	6" PVC	LF	21	\$15.00		\$315.00	21	\$315.00			
5.	6" Perf. PVC Underdrain (Berm Retention Area)	LF	99	\$15.00		\$1,485.00				99	\$1,485.00
6.	Outlet Structure	EA	1	\$3,000.00		\$3,000.00				1	\$3,000.00
7.	Rip Rap Protection	SF	39	\$20.00		\$780.00	39	\$780.00			
8.	Headwall	EA	1	\$1,850.00		\$1,850.00		1	\$1,850.00		
9.	Earthen Level Spreader	LS	1	\$1,500.00		\$1,500.00				1	\$1,500.00
C.	SITE CONCRETE AND PAVING										
1.	Concrete Curb	LF	103	\$30.00		\$3,090.00				103	\$3,090.00
2.	Proposed Parking and Storage - 6" Mod Stone Subbase	SY	2820	\$7.00		\$19,740.00	141	\$987.00	2820	\$19,740.00	
3.	Proposed Parking and Storage - 4.5" Superpave Base Course	SY	2820	\$12.00		\$33,840.00			2820	\$33,840.00	
4.	Proposed Parking and Storage - Sweep and Tack Coat	SY	2820	\$1.00		\$2,820.00			2820	\$2,820.00	
5.	Proposed Parking and Storage - 1.5" Superpave Wearing Course	SY	2820	\$8.00		\$22,560.00			2820	\$22,560.00	
6.	Pavement Joint Seal	LF	150	\$2.00		\$300.00			150	\$300.00	
D.	LANDSCAPE IMPROVEMENTS										
1.	Deciduous Shade Trees	EA	23	\$225.00		\$5,175.00			23	\$5,175.00	
2.	Evergreen Trees	EA	26	\$175.00		\$4,550.00			26	\$4,550.00	
3.	Shrubs, Deciduous & Evergreen	EA	41	\$45.00		\$1,845.00			41	\$1,845.00	
4.	Topsoil, Seeding & Mulching	LS	1	\$1,500.00		\$1,500.00			1	\$1,500.00	
E.	MISCELLANEOUS										
1.	Signage and Striping	LS	1	\$3,000.00		\$3,000.00			1	\$3,000.00	
2.	Site Lighting Poles & Fixtures	EA	7	\$3,250.00		\$22,750.00	7.00	\$22,750.00	7	\$22,750.00	
3.	As-Built Plans	LS	1	\$2,500.00		\$2,500.00			1	\$2,500.00	

Resolution 2025-_____

RESOLUTION SUPPORTING PENNSYLVANIA HOUSE BILL 1152 REQUIRING INSURANCE COMPANIES TO DIRECTLY REIMBURSE EMERGENCY MEDICAL SERVICE PROVIDERS FOR SERVICES RENDERED TO COMMONWEALTH RESIDENTS

WHEREAS, Emergency Medical Services (EMS) agencies in Pennsylvania are experiencing significant financial losses due to insurance reimbursements being sent directly to patients instead of the EMS provider who render the services, and

WHEREAS, these misdirected reimbursements result in uncollected funds, compromising the financial stability of EMS agencies and potentially affecting their ability to provide timely and effective emergency response, and

WHEREAS, the uncollected funds place an additional financial burden on the municipal taxpayers who support their local EMS providers financially, and

WHEREAS, Pennsylvania House Bill 1152 aims to amend existing insurance laws to require that reimbursements for emergency medical services be paid directly to the EMS providers, ensuring that the agencies receive the funds necessary to maintain operations and continue serving their communities, and

WHEREAS, supporting House Bill 1152 aligns with New Britain Township's longstanding commitment to public safety and the well-being of its residents by ensuring its primary EMS agency is adequately funded.

NOW THEREFORE BE IT RESOLVED that the Board of Supervisors of New Britain Township hereby support Pennsylvania House Bill 1152 and urges members of the Pennsylvania General Assembly to enact this legislation to safeguard the financial viability of EMS providers across the Commonwealth.

RESOLVED this _____ day of _____, 2025.

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

Cynthia M. Jones, Chair

MaryBeth, McCabe, Esq. Vice-Chair

William B. Jones III, Member

Attest: _____
Dan Fox, Township Manager

Stephanie Shortall, Member

Bridget Kunakorn, Member

TOWNSHIP OF NEW BRITAIN
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Zoning Ordinance, which is codified in Chapter 27 of the Code of Ordinances of New Britain Township; and

WHEREAS, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Zoning Ordinance in order to revise definitions of terms used in the Zoning Ordinance; to revise setback and buffer yard requirements and permitted activities within setbacks; to revise the general regulations applicable to all uses and districts; and to revise regulations pertaining to off-street parking, sightlines, lighting, fences and environmental standards; to relocate provisions that are more appropriate to the Subdivision and Land Development Ordinance; and to make editorial and clarifying amendments throughout the Zoning Ordinance;

NOW, THEREFORE, BE IT ORDAINED AND ENACTED, Chapter 27-Zoning of the Township of New Britain is amended to read as follows:

Section 1. The following Sections of Chapter 27 Zoning is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 201 General Definitions.
 - i. Area; Lot Area
 - ii. Site Area; Site Area, Base
 - iii. Land Development
- b. Section 300 Applicability of Regulations
- c. Section 305 Use Definitions and Regulations
- d. Section 502 Area and Dimensional Requirements (WS District)

- e. Section 505 Environmentally Sensitive Land Standards for Watershed District
- f. Section 1403 Performance Standards (C-3 District)
- g. Section 1904 Requirements of the Floodplain Overlay District
- h. Section 2103 Minimum Lot Width
- i. Section 2108 Bifurcation of Restrictions
- j. Section 2109 Fences and Terraces in Yards
- k. Section 2111 Traffic Visibility Across Corners
- l. Section 2114 Special Considerations for ~~Municipal Uses and Emergency~~ Service Uses
- m. Section 2115 Septic System Setbacks
- n. Section 2400 Natural Resources
- o. Section 2401 Application of Natural Resource Protection Standards
- p. Section 2606 Sign Type Specific Regulations
- q. Section 2702 Open Space Designation
- r. Section 2800 Purpose and Applicability (Buffer Yard Requirements)
- s. Section 2803 General Requirements (Buffer Yard Requirements)
- t. Section 2900 Purpose and General Requirements (Off-Street Parking and Loading)
- u. Section 2901 Off-Street Parking Requirements
- v. Section 2902 General Regulations for Off-Street Parking
- w. Section 2904 Design Standards for Off-Street Parking
- x. Section 2905 Parking of Trucks and Junk Vehicles in Residential Districts
- y. Section 3003 Application Requirements for Zoning Permits
- z. Attachment 1 – Appendix A. Environmental Impact Statement Report

Section 2. The following subsections shall be deleted from Section 305 Use Regulations: A3.b.5; A8.b.3.; A10.b.7.; C6.b.5.; D1.b.5.; D2.b.4; E1.b.3.; E2.b.4; E3.b.6.; E5.b.2.; E7.b.3; E8.b.2.; F2.b.2.; F3.b.3.; F4.b.2.; F5.b.6; G2.b.1.; G3.b.7; H15e.4.; H15f.2.; H15.g.7.; I.I1.b.1.; I2.b.2.; I3.b.1.; I4.b.1.; J.J1.b.1.; J3.b.1.; J4.b.2.; J5.b.1.; J6.b.1.; J7.b.3.; J8.b.1.; J10.b.; J11.b.1.; J12.b.5.; J13.b.1; J15.b.1.; J16.b.3.; J17.b.1.; J18.b.1.; J19.b.13.(g); J20.b.2.; J21.b.3.; J22.b.1.; J23.b.1.; J25.a.4.; J25.b.4.; J26.b.2.; J28.b.; J29.b.2.; J30.b.; J34.b.1. K.K1.b.1.; K2.b.1.; K3.b.2.; K4.b.1.; K5.b.1.; K6.b.5.; K7.b.1.; K8.b.1.; K9.b.1.; K10.b.2.; K15.d.5.; K17.b.17.; K20.h.; and K21.b.1.

Section 3. Sections 701, 801, 1001 and 1101 shall be amended to include Use H6 Residential Solar Energy Systems as a use permitted by Right. The Table of Use Regulations shall be amended to reflect this change.

Section 4. Sections 1201, 1401, 1501, 1601, 1701 and 1801 are amended to reflect that Use I3 is now titled “General Office” instead of Professional Office.

Section 5. Part 25 Traffic Impact Analysis shall be deleted in its entirety.

Section 6. Section 2802 Content of Planting Strips shall be deleted in its entirety.

Section 7. Severability.

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

Section 8. Effective Date.

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

ORDAINED AND ENACTED by the Board of Supervisors of New Britain Township this _____ day of _____, 2025.

Attest:

**NEW BRITAIN TOWNSHIP
BOAR OF SUPERVISORS**

Dan Fox, Township
Manager

Cynthia Jones, Chair

MaryBeth McCabe, Vice Chair

Stephanie Shortall, Member

William B. Jones, III, Member

Bridget Kunakorn, Member

EXHIBIT "A"

§27-201.AREA. b. LOT AREA The area contained within the property lines of the individual parcels of land shown on a subdivision plan or required by this chapter, excluding any area within an existing or designated future street right-of-way; any area required as open space under this chapter; and the area of any existing easement. Adjoining "A" lots, in same ownership, shall be considered within the total lot area.

§27-201 LAND DEVELOPMENT – Any of the following activities:

- a. The improvement of one lot or two or more contiguous lots, tracts or parcels of land for any purpose involving:
 - 1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or the tenants; or
 - 2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.
- d. The condominium of land or buildings.

§27-201.SITE AREA.a. SITE AREA, BASE The base site area is the area of the site remaining after subtracting land: within the ultimate road rights-of-way of existing roads; within existing utility rights-of-way or easements; preserved through easement or other means; which is not contiguous; ~~which is cut off from the main parcel by a road, railroad, existing land use, and/or major stream;~~ which was set aside, reserved, and/or restricted for open space, natural resource protection, and/or recreation purposes in a previously approved subdivision/land development; used and/or to be used for another type of use (i.e., land which is used, or to be used, for commercial or industrial uses in a residential development); and/or located in a different zoning district than the rest of the development.

§27-300.a. Except as provided by law or in this chapter, in each district no building, structure or land shall be used or occupied including work, construction and loading in the ultimate right-of-way except for the purposes permitted in § 27-305 and for the zoning districts so indicated in Parts 4 through 20. On any property, parcel or tract of land, only one principal use and principal structure shall be permitted unless otherwise stated in this chapter.

§27-300.d. The proceeding provisions shall apply; except, however, there shall be an exemption from the requirements of this chapter for municipal uses which are defined as those services

rendered by New Britain Township, including the appurtenances owned, or to be owned by the Township and used in connection with the supplying of public services. Any existing or proposed use, structure, or extension thereof, by the Township for the purpose of providing municipal uses or services shall be exempt from the area, dimensional, parking and use regulations as otherwise would be required by this chapter.

§27-305.A.A7. Garden Center. A. Definition. The retail sale of floral items, flowers, plants, shrubs and trees in the field and/or indoors.

§27-305.B.B8. ~~Mobile Manufactured~~ Home Park I

§27-305.B.B9. ~~Mobile Manufactured~~ Home Park II

§27-305.F6.b.1.

F6 b. Use Regulations.

1. Only one or more of the following principal sub-uses may be included in a business campus:

- I1 Medical Office
- I2 Veterinary Office
- I3 General Office
- I4 Medical and Pharmaceutical Sales Office
- J4 Financial Establishment
- J28 Office Supplies and Equipment Sales and Services
- J29 Package Delivery Services
- K2 Research
- ~~K3 Wholesale Business, Wholesale Storage, and Warehousing~~
- K4 Printing
- K7 Crafts

§27-305.H.H2. Residential ~~Shed Structure~~.

- a. Definition. Buildings such as storage sheds, garden sheds, pavilions, gazebos, private greenhouses, and similar structures. A residential ~~shed structure~~ shall be an uninhabitable, freestanding structure with a maximum building coverage of 200-400 square feet; not greater than 12 feet in height; without footings; and which is used for the storage of household items incidental to the day-to-day use, care and maintenance of a residential property. ~~These Household~~ items shall include, but not be limited to, lawn mowers, garden tools and supplies, and barbecue grills.

[Amended by Ord. No. 2018-10-04, 10/1/2018]

- b. Regulations. The following regulations are exceptions to the regulations generally covering residential accessory ~~buildings structures~~:

1. No residential sheds shall be located in front yards except on lots 10 acres or greater in size. Such sheds shall be permitted for Use B1 in front yards but shall not be located within the

required minimum front yard setback. If any property has more than one front yard, the shed may be permitted within the yard that is along the side of the existing principal structure.

2. No more than two residential sheds shall be situated on any property, one acre or less in size. On properties larger than one acre in size, one additional shed may be situated on the property for each additional acre in size above one acre.
3. No residential shed shall be located in any easement or right-of-way.
- 4.
5. Any residential accessory structure greater than 400 square feet shall comply with the required building setbacks for the respective zoning district.
6. Additional regulations for Accessory Uses/Structures may be found under the regulations for each Zoning District.

§27-305.H.H3. Residential Fences, Walls.

a. Definition. Structures such as fences, and free-standing walls. Zoning permits are not required for replacement of an existing fence in the same location, likeness, and height provided it was legally conforming at the time it was installed.

b. Regulations.

1. Fences:

(a) Any fence located in the front yard shall ~~not be 100% opaque have a minimum ratio of 4:1 of opaque to non-opaque areas~~ and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.

(b) Fences may be located on the side or rear lot line, except along a public street. and may be non-opaque. ~~Solid wooden or split rail fences are permitted.~~

~~(eb)~~ A fence located anywhere except the front yard may have a height of up to six (6) feet.

~~(ec)~~ A fence of up to eight (8) feet high may be allowed in a rear yard for the sole purpose of enclosing a court for tennis or similar sports. Such fence shall be set back a minimum of 10 feet from the side and rear lot lines.

~~(e) A fence shall not be required to comply with accessory structure setbacks.~~

(d) Fence enclosures for swimming pools are required to meet the requirements of the Pennsylvania Uniform Construction Code, as amended.

2. Walls.

(a) Engineering retaining walls necessary to hold back slopes are exempted from the regulations for this section and are permitted ~~by right as needed~~ as approved by the Township Engineer.

- (b) Walls may be one foot in height for every two feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.

3. General regulations for walls and fences.

- (a) Fences and walls shall not be required to comply with accessory structure setbacks.
- (b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement restricting the placement of structures.
- (c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.
- (d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.
- (e) Structures such as fences, walls, shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

§27-305.H.H11 Recreational and Other Vehicle Storage.

- a. Definition. A vehicle or piece of equipment, whether self-powered or designed to be pulled or carried, intended primarily for leisure time or recreational use. Recreational vehicles or units include, but are not limited to, the following: travel trailers, truck-mounted campers, coaches, motorized homes, folding tent campers, automobiles, busses, or trucks adapted for vacation use, snowmobiles, minibikes, all-terrain vehicles, go-carts, boats, boat trailers and utility trailers.
- b. Regulations.
1. Recreational vehicles or units shall not be stored in the front yard setback. Any more than two recreational or other vehicle storage items shall be considered Use L2 Outside Storage.
 2. Recreational vehicles or other vehicle storage may be permitted as an accessory use of non-residential lots, single-family detached dwellings and two-family attached dwellings.

§27-305.J.J1. Retail Store Definition. A shop or store selling commodities and goods to the ultimate consumer. Not included under this use are vehicular sales, over-the-counter sale of alcoholic beverages in a tavern or bar, or a store with greater than 15 square feet of floor area devoted to the display of pornographic materials. A pharmacy is considered incidental to retail use if located within the same building.

§ 27-305.K.K5. Contracting.

b. Regulations

2. All materials and vehicles shall be stored within a building or an enclosed area which is properly screened. Any outside storage, including storage of two or more commercial, recreational or other vehicle storage, shall be considered an L2 Outside

Storage or Display use and shall comply with all the requirements for this use, in addition to the above regulations.

§ 27-305.K18 Flexible building space that can be used for ~~either at least two of the following uses:~~ office, light manufacturing, assembly and/or warehousing.

§ 27-305.L.L2. Outside Storage or Display.

- a. Definition. Outside storage or display, other than storage as a primary use of the land, necessary but incidental to the normal operation of a primary use. The keeping, ~~in an unenclosed area,~~ of any goods, junk, material, merchandise, or vehicles in the same place including within a temporary structure for more than 24 hours.
- b. Regulations.
 1. No part of the street right-of-way, no sidewalks or other areas intended or designed for pedestrian use, no required parking areas and no part of the required front yard shall be occupied by outside storage or display.
 2. Outside storage and display areas shall occupy an area of less than ~~0.550%~~ of the ~~existing~~ building coverage.
 3. Outside storage areas shall be shielded from view with a dense evergreen buffer and/or fencing so that the areas cannot be seen from all public streets. Fencing shall meet the provisions of this Ordinance.
 4. Uses requiring more substantial amounts of land area for storage or display may be exempt from the provisions of Subsection b.1 and b.2 above when granted as a special exception by the Zoning Hearing Board and provided;
 - (a) No more than 25% of the lot area shall be used in outdoor storage or display.
 - (b) A Special Exception is required for the following uses; nurseries (Use A6), lumber yards (Use K8), automobile sales (Use J2O), truck terminals (Use K6) and agricultural retail (Use A3).
 - (c) Among the uses that shall not be appropriate for inclusion under this provision are retail stores (Use J1), repair shops (Use J17), service station or car-washing facility (Use J19), automobile repair (Use J21), sale of automobile accessories (Use J22), wholesale business and storage (Use K3), contractor office and shops (Use K5) and crafts (Use K7).

§ 27-305.L.L3. Temporary Structure. Temporary Storage Container, Pod, or similar:

...
 c.5.(b) – Such containers shall only be located within the front yard of any property for a residential use and set back from the edge of the cartway and the sidewalk a minimum of five feet, provided that there is no encroachment into the clear sight triangle for any intersecting streets or driveways. For non-residential use, any such container shall be visible from a public street or public accessway and shall not be placed within required parking spaces for more than one month from the date installed.

§ 27-305.L.L4. Temporary Community Event. A. Definition. A temporary activity including, but not limited to, flea markets, public exhibitions, auctions, carnivals, circuses, picnics, air shows,

suppers for fundraising, mobile vending, and similar organizational events and meetings. Ice cream trucks are excluded from these regulations.

...

b. Regulations.

1. Such temporary uses shall be limited in time to no longer than seven days per occurrence. Such occurrences shall be limited to not more than four occurrences in a calendar year for each organization. There shall be at least a thirty-day period between such occurrences.
2. Signs advertising a temporary community event shall be posted no more than 14 days prior to the first day of the event and shall be removed on the final day of the event. No more than four off-premises signs shall be placed. The location of off-premises signs must be approved by the property owners of the properties upon which they are to be fixed.
3. The applicant shall provide plans to ensure security, crowd control, adequate parking for existing and proposed uses on the premises, emergency access, traffic control, street access, sanitary facilities, erosion control, trash collection, noise control, and cleanup after the event.
4. The owner shall submit a certified letter to the Township indicating that they are aware of the proposed use.
5. Mobile vending shall be permitted within non-residential zoning districts only. No mobile vending shall be permitted within 500 feet of an existing restaurant or retail store selling similar goods. No more than one mobile unit shall be permitted at one location at a time. No outdoor eating areas with tables and/or chairs are permitted.
6. Hours of operations shall be limited to between the hours of 9 am to 6 pm.

Add §27-305.L L15. Non-Residential Fences and Walls

a. Definition. Structures such as fences and free-standing walls. Zoning permits are not required for replacing an existing fence in the same location, likeness and height provided it was legally conforming at the time it was installed. A zoning permit is required to replace a free-standing wall.

b. Regulations.

1. Fences:

(a) Any fence located in the front yard shall not be 100% opaque and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.

(b) A fence located anywhere, except the front yard, may have a height of up to six (6) feet.

2. Walls.

(a) Retaining walls measured four (4) feet or higher from the lowest grade to the top of the wall, tiered walls, and walls with surcharges from adjacent slopes, foundation loads, or other loads, shall require a Zoning Permit and review and approval of all required plans, details, calculations, and specifications by the Township Engineer.

(b) Walls may be one (1) foot in height for every two (2) feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.

3. General regulations for walls and fences.

(a) Fences and walls shall not be required to comply with accessory structure setbacks.

(b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement without permission of the beneficiary of the easement.

(c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.

(d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.

(e) Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

4. Exemptions:

(a) Conventional fences required for farm use, agricultural use and related 27-305 facilities on properties in excess of five acres shall be exempt from the fence regulations of this chapter, except for height regulations.

(b) Fences required in the Butler Corridor Overlay District shall be in accordance with § 22-722.D.(7), of the Subdivision and Land Development Ordinance.

§27-502.b.3. – When a lot or tract of land undergoes subdivision/land development or is being developed with a new ~~or expanded~~ principal building or structure, all the natural resource protection land on this lot or tract, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected with a conservation easement in accordance with §§ **27-505** and **27-2400** of this chapter. The natural resources required to be preserved on each lot shall only be disturbed in accordance with Part **24** of this chapter and § **27-505**.

§27-505.1. Resource restrictions for environmentally sensitive land shall be considered land to be protected and preserved within the Watershed District for all uses and activities in accordance with the protection ratios noted below. All natural resource protection land, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected and preserved on each site and/or lot in accordance with § **27-2400** of this chapter through the placement of a conservation easement on the site/lot. The natural resources required to be preserved and protected shall not be disturbed, other than ~~the cultivation of~~ agricultural soils.

Amend § 27-701.a., 801.a., 901.a., 1001.a., 1101.a., to include H6 Residential Solar Energy Systems as Use permitted by Right.

27 Attachment 2 Table of Uses Regulations for H6 Residential Solar Energy System within SR-1 to Y/SE for SR-2, RR, VR, and MHP.

§27-1201.a., 1301.a., 1401.a., 1501.a., 1601.a., 1701.a., & 1801.a. - I3 ~~Professional-General~~ Office

§27-1403.c.8(d) – Trees shall be planted ~~within~~ at least 5 feet outside rights-of-way parallel to the street along all streets but not alleys.

§27-1904.g. Structural Anchoring. Any structure placed in the ~~identified Floodplain-floodplain Overlay-District-area~~ shall be anchored firmly to prevent flotation, collapse, or lateral movement. The floodplain administrator shall require the applicant to submit the written opinion of a registered

professional engineer that the proposed structural design meets the requirements of this Part for all buildings and manufactured homes and may require such an opinion for all other structures. All air ducts, large pipes, storage tanks, and other similar objects or components located below the regulatory flood elevation shall be securely anchored or affixed to prevent flotation.

§27-2103.a. Residential Lane Lots.

1. A lane lot shall only be improved with one single-family detached dwelling and related residential accessory uses.
2. Each lot must have a separate lane, and each lane lot must contain at least twice the minimum lot area of the zoning district where the property is located.~~10 acres.~~

§27-2108.d. These increased restrictions only apply to lots that are one acre in lot area or less, and do not apply to the B6 Multifamily ~~and~~, B7 Apartment, B8 and B9 Mobile Home Park I and II uses, if such buildings are owned by a single person or entity and the individual units are rented out to tenants.

§27-2109 Fences, Walls, and Terraces

~~b. Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.~~

§27- 2111 – Traffic Visibility Across Corners

- a. In all districts, no structure, fence, planting or other obstruction shall be maintained between a vertical plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front or side yard which is within a horizontal clear-sight triangle boundary by the two street lines and a straight line drawn between points on each such line 75-50 feet from the intersection of said lines or extension thereof, unless otherwise approved by the Township Engineer.

~~When one or both streets which form the intersection are classified as collector or arterial highways, the clear sight triangle bounded by the two street lines and a straight line drawn between points on such line shall be 100 feet from the intersection of said lines or extension thereof.~~

- b.~~At each point where a private accessway intersects a public street or road, a clear sight triangle of 50 feet measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade.~~

§ 27-2114 Special Considerations for ~~Municipal Uses and~~ Emergency Service Uses.

[Added by Ord. 2007-10-01, 10/22/2007]

- a. Notwithstanding the front, side or rear yard requirements for the F1 Municipal Building Use ~~or the F2 Emergency Service Center Use~~, the required setbacks and/or buffer yards for each of these uses~~this use~~ may be either increased or decreased in an amount not to

exceed 75% upon approval of the Board of Supervisors, provided that any such request for an F2 Use shall be subject to conditional use approval.

- b. The modified setback requirements provided for in this section are permissible provided that the proposed use is either owned or operated by New Britain Township or is located upon land owned and/or leased by New Britain Township to a nonprofit organization.

§ 27-2115 Septic System Setbacks.

[Ord. 8-14-1995; as added by Ord. 2009-01-01, 1/26/2009]

No portion of an on-lot septic system or any of its components, including the toe of slope of the berm, shall be installed closer than 10 feet to a property line ~~or~~ ultimate right-of-way, or paved area, or located within an existing easement, or located in a manner that would block any stormwater drainage or swales, or flow of stormwater from any lot. On-lot septic systems are both individual and community sewage systems, including, but not limited to, conventional in-ground systems, individual residential spray irrigation systems, drip irrigation systems, sand mounds, and any other alternate or experimental systems approved by the Pennsylvania Department of Environmental Protection.

§ 27-2303 Expansion of Nonconforming Uses and Structures.

[Ord. 8-14-1995, § 2303]

- a. A structure that does not conform with the dimensional, area, parking, buffer, environmental and all other requirements of the district and this chapter may be expanded only if the expansion meets all the requirements of this chapter. However, such a structure may be expanded by right along the building lines of the existing nonconformity in keeping with all applicable requirements of this chapter. Such expansion shall be permitted only one time, and then by special exception.
- b. A use that does not conform to the use regulations of the district in which it is located may be expanded by special exception provided that:
 1. The proposed expansion shall take place only upon the lot or contiguous lots held in the same ownership as that existing at the time the use became nonconforming. Permission to expand a nonconforming use as described in this Part shall not be construed to mean that new use or uses may be established. A nonconforming use shall be prohibited from encroaching on another parcel of land subsequently added to the original parcel.
 2. The proposed expansion shall conform with the setback, yard, area, dimensional, building height, parking, sign, environmental and other requirements of the district in which said expansion is located.
 3. Any increase in building or floor area shall not exceed an aggregate of more than 25% of the building volume or floor area, whichever is less, existent at the date the use became nonconforming under this or previous ordinances, during the life of the nonconformity, and in any event shall be permitted only by special exception under the provisions of this chapter. Structures or land uses that have reached their maximum expansion allowance under previous ordinances are not eligible for any increase in

building or floor area under this chapter. A structure, which is nonconforming in terms of height, shall not be expanded to increase the height.

§27-2400 All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap. The design plans shall identify all environmental or natural features present on the lot and shall meet the following standards of environmental protection. For any lot proposed for development to which the provisions of Chapter 22, Subdivision and Land Development, do not apply, the environmental standards of this section shall apply. The provisions of this section apply to all zoning districts, including nonresidential districts. For any lot proposed for development subject to Chapter 22, Subdivision and Land Development, such lot shall not be subject to the provisions of this section but rather shall meet the environmental standards set forth in Chapter 22, Subdivision and Land Development.

§27-2400.a. Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads, sewer or water lines, utility transmission lines, and trails may cross watercourses ~~where design approval is obtained from the Township and, if required, the provided a permit is obtained from the~~ Pennsylvania Department of Environmental Protection, if required.

		Resource Protection Land	
	Protection Ratio	Acres of Land in Resources	(acres protection ratio) x Acres of Land to be Disturbed
Natural Resources			
Watercourses	1.00		
Riparian Buffer	1.00		
Floodplain	1.00		
Floodplain (Alluvial) Soils	1.00		
Wetlands	1.00		
Lakes or Ponds	1.00		
Wetlands Margins	0.80		
Woodlands <u>in the CR, WS, SR-1, SR-2, & RR zoning districts</u>	0.80		
<u>Woodlands in all other zoning districts</u>	<u>0.50</u>		
Steep Slopes 8-15%	0.60		
Steep Slopes 15-25%	0.70		
Steep Slopes 25% or more	0.85		
Total Land With Resource Restrictions		_____ acres	
Total Land With 1.00 Protection Ratio Resource Restrictions		_____ acres	
Total Resource Protection Land Required			_____ acres
Total Resource Protection Land Provided			_____ acres
Total Disturbed Resources			_____ acres

§27-2400.f. Woodlands. In areas of woodlands, the following standards shall apply:

...

~~(b) The planting of replacement trees shall be done in accordance with a woodlands management plan prepared by a licensed forester.~~

~~(e)(b)~~ The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors.

~~(e) Any trees that are dead, dying, or diseased, or may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.~~

§27-2401.c. Deed Restrictions. For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed or an easement for each site or lot that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas in accordance with the provisions of this Part. Natural resource protection areas may be held as common open space in accordance with the requirements of this chapter and Subdivision and Land Development Ordinances [Chapter 22], or in the ownership of individual property owners. For this latter form of ownership, it shall be clearly stated in the individual deed that the maintenance responsibility lies with the individual property owner.

§27-2606.e.1.&2. Temporary Signs Commercial and Noncommercial

...

(f) The number of times a temporary sign may be erected upon a property in a calendar year ~~shall be equal to~~ is four times ~~per year~~ the number of temporary signs allowed on the property under Subsection e1(b) above.

§27-2702 Open Space Designation

b. In designating use and maintenance, the following classes may be used:

1. Lawn. A grass area with or without trees which may be used by the residents for a variety of purposes and which shall be mowed regularly to insure a neat and orderly appearance.
2. Natural Area. An area of natural vegetation undisturbed during construction, or replanted. Such areas may contain pathways. Meadows shall be maintained as such and not left to become weed-infested. Maintenance may be minimal, but shall prevent the proliferation of weeds and undesirable plants such as honeysuckle and poison hemlock. Deep-rooted native plants are encouraged over turf grass where possible. Litter, dead trees and brush shall be removed, and streams shall be kept in free-flowing condition.
3. Active Recreation Area. An area designated for a specific recreational use, including but not limited to tennis, swimming, shuffleboard, play field and tot lot. Such areas shall be maintained so as to avoid creating a hazard or nuisance and provisions shall be made to perpetuate the proposed use.
4. Passive Recreation Area. Space for outdoor recreational activities not considered active

such as walking, picnicking, bird watching and other similar activities.

5. Agricultural Area. An area to be leased for Crop Farming as defined in Part 3.
6. Stormwater Management. No more than 30% of the open space may be used for stormwater detention or retention basins.
7. A combination of areas noted above.

§ 27-2703 Ownership of Open Space. [Ord. 8-14-1995, § 2703]

- a. Any of the following methods may be used to preserve, own or maintain open space:
 1. Dedication of easements in fee simple ownership to the Township, if accepted by the Township.
 2. Homeowners Association.
 3. Condominium Association.
 4. Transfer of fee simple title or development rights and easements to a private conservation organization or a conservation easement to the Township.
- b. The following specific requirements are associated with each of the various methods:

...

§27-2800.e. Buffer yards shall include a planting strip which creates a dense screen of closely planted trees or shrubs that obscures visibility, glare and noise in accordance with the spacing and composition as specified in the Township's Subdivision and Land Development Ordinance.

§27-2802.c. Plant materials shall be selected from the list found in Attachment 4 of Chapter 22, Subdivision and Land Development, of this Code, Appendix D Required Plant Material List.

§27-2803 All buffer yards shall be maintained and kept clear of all debris, rubbish, weeds, and tall grass except for meadow or other landscaping that includes native herbaceous material for a naturalized planting scheme.

§27-2803.c No structures, including but not limited to ~~fences~~, sheds, pools, hot tubs, pergolas, gazebos, or play equipment, shall be permitted in the buffer yard. No manufacturing, processing, or storage of materials, goods, or items shall be permitted in the buffer yard. Fences are permitted in accordance with the regulations of this Ordinance. Stormwater management facilities are permitted within the buffer yards provided the plantings proposed meet the buffer requirements of this section.

§27-2803.d Plant Materials.

1. Minimum size at planting shall be in accordance with Attachment 4 of Chapter 22, Subdivision and Land Development, of this Code Appendix D Required Plant Material List.

...

Add §27-2900.g. –

- g. The 6th edition or most current edition of the Institute of Transportation Engineers Parking

Generation Manual or a study from a Traffic Engineer may be used to support a reduction in the proposed parking requirement. In either case, the Township shall have sole authority with respect to establishing the parking requirement which shall consider potential future uses. The sum of the requirements for all uses may be reduced by no more than 25%. All schools shall designate an area for overflow parking for special events of at least 100 parking spaces or one space per 2 students, whichever is less. This may be provided offsite with a recorded easement.

§ 27-2901 Off-Street Parking Requirements.

B. Residential Uses

B6 Multifamily	<u>2 spaces per dwelling unit</u>
a. Efficiency	<u>1 space per dwelling unit</u>
b. <u>1 to 3 BR</u>	<u>2 spaces per dwelling unit</u>
c. <u>4 BR or more</u>	<u>3 spaces per dwelling unit</u>

C. Institutional Use

C1 Hospital	<u>1.75-6</u> spaces per bed
C2 Nursing Home	1.75 spaces per bed
C3 Personal Care Center	1.75 spaces per bed

D. Educational Uses

D1 Nursery School/Day Care	4 spaces per 1,000 sf of total floor area
	1 space per employee

D2 College, Primary or Secondary School

- | | | | |
|----|---------------------------------------|---|--|
| a. | Elementary,
Middle, Junior
High | 2 spaces per
classroom <u>0.2</u> | |
| | | <u>spaces per
student</u> | |
| b. | High School | 1 space
for every
10
students
of
capacity <u>0.32 spaces
per
student</u> | 1 space
per full-
time
employ-
ee |
| c. | College | 1 space for
every 10
students of
capacity <u>0.45
spaces per
student</u> | 1 space
per full
time
employ-
ee |

E. Recreational Uses

- | | | |
|-------------------------------------|--|----------------------------------|
| E1 Public Recreational
Facility | 1 space per 250
square feet of
total floor
space <u>16 spaces
per acre</u> | |
| E2 Private Recreational
Facility | 1 space per 250
square feet of
total floor
space <u>16 spaces
per acre</u> | |
| E6 Golf Course | 1 space per 100
square feet of
total clubhouse
floor area <u>10
spaces per hole</u> | 4 spaces per
hole |

E8 Library or Museum ~~14~~ spaces ~~s~~ per
~~500-1,000~~
square feet of
total floor area

F1 Municipal Building ~~1 space per 50~~
~~square feet of~~
~~meeting area~~ ~~4~~
~~spaces per~~
~~1,000 square~~
~~feet of total floor~~
~~area~~

F4 Place of Worship ~~4 space per 5~~
~~seats usable for~~
~~worship or 8~~
~~linear feet of~~
~~pews,~~
~~whichever is~~
~~greater~~ ~~17~~
~~spaces per~~
~~1,000 square~~
~~feet of total floor~~
~~area~~

G. Utility and Transportation Uses

G1 Utilities ~~1 space per~~
~~employee~~ ~~3~~
~~spaces per~~
~~1,000 square~~
~~feet of total floor~~
~~area~~

G2 Terminal 1 space per ~~400~~
~~square feet~~
~~every business~~
~~vehicle normally~~
~~stored on the~~
~~premises~~ 1 space per
employee

G3 Airport ~~1 space per 100~~
~~square feet~~ ~~2~~
~~spaces per daily~~
~~enplanements~~ 1 space per
employee

I. Office Uses

I1 Medical Office ~~4-6~~ spaces per
~~1,000~~¹⁷⁵
square feet of
total floor area

I2 Veterinary Office ~~4-6~~ spaces per
~~175-1,000~~
square feet of
total floor area

J6 Eating Place 1 space per 50 1 space per
square feet of employee
public ~~eating~~
area or 3 seats,
whichever is
greater

J7 Drive-In and Other 1 space per
Eating Place square feet of employee
public area or
~~23~~ seats,
whichever is
greater

J8 Tavern ~~1 space per 100~~
~~square feet for~~
~~patron use or 3~~
~~seats,~~
~~whichever is~~
~~greater~~²¹
spaces per
1,000 square
feet total floor
area

J10 Theater	<u>0.5 spaces per seat</u>	
J19 Service Station or Car Wash	<u>1 space per 1,000 square feet of total floor area</u>	
J22 Automotive Accessories	1 space per 100 square feet of total floor space <u>area</u>	
J29 Package Delivery Services	1 space per pick-up station <u>3 spaces per 1,000 square feet of total floor area</u>	
J30 Photocopying Services	1 space per 100 square feet of floor space for customer use <u>3 spaces per 1,000 square feet of total floor area</u>	
J34 Dispensary	4-21 spaces per 1,000 <u>200</u> square feet of gross <u>total</u> floor area	1 space per employee

K. Industrial Use

K1 Manufacturing	1 4 <u>spaces</u> per 500 <u>1,000</u> square feet of total floor space <u>area</u>	1 space for each business vehicle normally stored on the premises
------------------	--	---

K3 Wholesale Business, Wholesale Storage, Warehousing	1 space per 500 <u>1,000</u> square feet of total floor area <u>space</u>	1 space for each business vehicle normally stored on the premises
K12 Extractive Operations	1 space for each business vehicle normally stored on the premises	1 space per employee working on the premises
K19 Small Lot Industrial	See K19 use regulations	See K19 use regulations
L5 Oil and Gas Drilling Well	<u>1 space per employee</u>	
L6 Wind Energy Conservation Systems	<u>1 space per employee</u>	
L7 Air Landing Field	<u>5 vehicle spaces and 2 aircraft spaces</u>	<u>1 space per employee</u>

§27-2902.c. – Changes in Use. Whenever a building or use is changed or enlarged in floor area, number of employees, number of dwellings ~~s~~units, seating capacity or otherwise to create a need, based upon the requirements of this Part for an increase of 10% or more in the number of existing parking spaces, the number of total spaces to be provided shall be based upon the total parking that would be required for the entire existing and proposed use.

§27-2902.g. – Common guest parking areas shall be required at the rate of 0.3 space per dwelling unit for B3, B4, B5, ~~and B6, and B7~~ Uses. On-street parking may not be counted towards meeting this requirement, and the remainder, if any, shall be provided in an off-street parking lot that meets all of the applicable regulations and requirements set forth in Chapter 22, Subdivision and Land Development, of this Code. Perpendicular parking requiring backing onto a street shall not be permitted to meet the common guest parking. [Added by Ord. No. 2020-11-04, 11/16/2020]

§27-2902.h. – ~~Except for an off-street parking area on a single family lot or serving a single family or two family dwelling, None~~ off-street parking area for a non-residential use shall be designed or built to require vehicles exiting the area to back out onto a street.

§ 27-2904 Design Standards for Off-Street Parking. [Ord. 8-14-1995, § 2904]

a. General Requirements.

~~No parking shall be designed to require or encourage parked vehicles to back into a public street in order to leave a parking space, except for a single family or two family dwelling backing onto a street other than an arterial or connector street.~~

1. Every parking area shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring the moving of any other vehicle, except for any spaces greater than two in number of a single-family detached dwelling.

~~No parking area shall be located in a required buffer yard or within an existing street right of way.~~

~~No parking or other paved area shall be located within 10 feet of a septic system absorption area.~~

~~Defined Traffic Ways. All parking areas shall include clearly defined and marked traffic patterns. In any lot with more than 30 off-street parking spaces, raised curbs and landscaped areas shall be used to direct traffic within the lot. Major vehicular routes shall be separated from major pedestrian routes within the lot.~~

2. Required off-street parking spaces shall be on the same lot or premises with the principal use served unless shared parking lot agreements are recorded to allow access and parking for all affected properties.

3. No parking area shall be used for any other use that interferes with its availability for the parking need it is required to serve. This includes storage or display of materials or vehicles.

b. Paved Area Setbacks (including Off-Street Parking Setbacks).

1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in stormwater management along streets.

2. No parking area, paved area, or outdoor storage or display of vehicles shall be located in a required buffer yard or within 10 feet of the ultimate right-of-way line of any street, or property line.

3. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks or trails. Storm water control facilities may be located within this setback area if they do not obstruct sight distance. No fence shall be located within the paved area setback, except within the Butler Corridor Overlay District where it's demonstrated that the fence does not interfere with sight lines.

4. The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.

~~b. Size of Parking Spaces. [Amended by Ord. 2016-05-01, 5/16/2016]~~

~~1. Each parking space shall meet the following stall width and length:~~

Type of Space	Width (feet)	Length (feet)
Perpendicular/90°	10	18
Angled (30°/45°/60°)	10	18
Parallel	8	22

~~2. All spaces shall be marked with double lines so as to indicate their location, except those of a single family or two family dwelling.~~

~~c. Aisles. [Amended by Ord. 2016-05-01, 5/16/2016]~~

~~1. For one-way traffic only, each aisle providing access to the type of stall listed shall meet the corresponding minimum aisle width specified below:~~

Type of Parking Stall	Minimum Aisle Width (feet)
Parallel	12
30°	12

Type of Parking Stall	Minimum Aisle Width (feet)
45°	18
60°	18
90°	20

- ~~2. For two-way traffic, each aisle providing access to any type of stall shall be at least 24 feet in width.~~
- ~~3. Raised pedestrian crosswalks and refuge islands shall be provided along the length of each parking aisle and row at intervals of 200 feet or less.~~

~~d. Access Drives and Driveways.~~

- ~~1. Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use.~~
- ~~2. Private driveways serving one dwelling unit or agricultural use shall have a maximum grade of no more than 10%. S~~
- ~~3. Any other driveway or access way shall have a 6% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 3% grade.~~
- ~~4. Adequate provisions shall be made to maintain uninterrupted parallel drainage along a public street at the point of driveway or access drive entry.~~
- ~~5. At least 75 feet shall be provided between any two access drives along one street along one lot.~~
- ~~6. No access drive or driveway shall open onto a public street less than 80 feet from the existing right-of-way line of any intersecting public street.~~
- ~~7. Where access is to a public street, a state or Township (if applicable) highway access permit shall be obtained.~~
- ~~8. Where access drives and driveways are proposed as part of a subdivision or land development, the provisions of the Township's Subdivision and Land Development Ordinance [Chapter 22] shall also be met. If there are any conflicts between the requirements of the Zoning and the Subdivision and Land Development Ordinances, the stricter provision shall apply.~~
- ~~9. Driveway Setbacks from Residence. A minimum five feet unpaved area setback shall be maintained between any driveway or access way and any abutting lot line of a single-~~

~~family detached house, unless a shared driveway is specifically shown on the approved plan.~~

e.c. Paving, Grading and Drainage.

1. Except for areas that are landscaped and so maintained, all portions of required parking, off-street loading facilities and driveways shall be graded, surfaced with asphalt, concrete, porous paving, or permeable pavers, or concrete and drained in ways necessary to prevent dust, erosion or water flow across streets or adjoining properties. Any parking, loading, or driveway shall at a minimum meet the ~~The~~ paving standards of the Township Subdivision and Land Development Ordinance ~~are hereby included by reference.~~ However, driveways serving an individual single-family detached house on a lot of five acres or greater or that only provide access to general or crop farming shall not be required to be paved except for the first 50 feet of the driveway or to the ultimate right-of-way, whichever is less.

d. ~~Night time~~Nighttime Illumination.

1. Any paved area of 1,000 square feet or more designed for use, or that would be open to the public during night hours shall be adequately illuminated ~~for security purposes at no cost to the Township.~~ in accordance with the lighting standards for parking areas of the Subdivision and Land development Ordinance.

~~g. Paved Area Setbacks (including Off Street Parking Setbacks).~~

- ~~1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in storm water management along streets.~~
- ~~2. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks of six feet wide or less. Storm water control facilities may be located within this setback area. No fence shall be located within the paved area setback~~
- ~~3. No off street parking space nor outdoor display of vehicles or articles for sale shall be located within 10 feet of the ultimate right-of-way line of any street.~~
- ~~4. The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.~~
- ~~5. All paved areas, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial or industrial building. This setback shall not apply to driveways entering into a garage, delivery entrance, vehicle service bay or carport. This setback is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.~~

[Amended by Ord. 2017-01-01, 1/3/2017; and by Ord. 2017-06-07, 6/5/2017]

~~h. Paved Area Landscaping.~~

- ~~1. Any lot that would include more than 30 parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.~~
- ~~2. One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section or by the Subdivision and Land Development Ordinance [Chapter 22].~~
- ~~3. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."~~
- ~~4. Existing Trees. For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this section, one less shade tree shall be required to be planted.~~

~~i. Parking Lot Screening.~~

- ~~1. No off-street parking area for five or more vehicles shall be developed in such a way that vehicle headlights could shine into a dwelling located within 200 feet or less of the parking area.~~
- ~~2. Wooden fencing, brick walls or evergreen screening shall be required as needed to resolve the concern of this section. Such screening or fencing shall have a minimum height of four feet, except that screening or fencing of up to eight feet shall be required by the Zoning Officer as needed where there is unusual topography or the parked vehicles would be trucks or buses.~~

~~e. Handicapped Accessible Parking.~~

- ~~1. All The number and location of accessible parking and passenger loading zones spaces shall comply with the requirements of the Federal Americans with Disabilities Act.~~
- ~~2. If not otherwise specified in the Federal Americans with Disabilities Act, accessible parking facilities ~~for the handicapped~~ shall meet the following minimum standards:~~
 - ~~(a) Any parking lot for public use including at least six-one off-street parking spaces, except for single-family dwellings, shall include of minimum of one handicapped space. A minimum of 3% of all off-street parking spaces required for use shall be handicapped spaces. The total minimum number of accessible parking spaces shall be in accordance with the following chart:~~

Minimum Number of Accessible Parking Spaces ADA Standards for Accessible Design 4.1.2 (5)			
Total Number of Parking spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (60" & 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
	Column A		
1 to 25	1	1	0
26 to 50	2	1	1
51 to 75	3	1	2
76 to 100	4	1	3
101 to 150	5	1	4
151 to 200	6	1	5
201 to 300	7	1	6
301 to 400	8	1	7
401 to 500	9	2	7
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*	7/8 of Column A**
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*	7/8 of Column A**
* one out of every 8 accessible spaces ** 7 out of every 8 accessible parking spaces			

- (b) Handicapped-Accessible parking spaces shall be located where they would result in the shortest possible distance to an accessible building entrance.
- (c) Handicapped-Accessible spaces shall measure a minimum of 13 feet in width by 18 feet in length for each space.
- (d) The slope of handicapped-accessible parking spaces shall not exceed 2% in any direction.

§27-2904.d.3 – Any other driveway or access way shall have an 68% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 4.3% grade.

§ 27-2905 Parking of Trucks, Recreational and Other Vehicle Storage, and Junk Vehicles in Residential Districts.

- a. The intent of this section is to prevent residential areas from being adversely affected by non-residential vehicles; to maintain a residential character in residential districts, and to minimize traffic safety concerns by regulating damaged and junk vehicles, commercial trucks, recreational vehicles and other vehicle storage, etc.

- b. The following special definitions shall apply:
 - 1. Commercial Truck or Van. A vehicle designated by its issuing state of registration to be registered as either "truck, apportioned, or commercial" that is primarily used for commercial/business purposes including, but not limited to, making service calls, transporting equipment used in a business or in accomplishing physical work as part of a business (such as hauling material).
 - 2. Truck Tractor. A motor vehicle designed and used primarily for drawing other vehicles and not so constructed as to carry a load other than a part of the weight of the vehicle and load so drawn, or, a truck with two or more axles that is primarily intended to be used to pull a trailer, as defined below.
 - 3. Trailer. A vehicle with a length of 10 feet or more, designed to be towed by a motor vehicle, and that is not self-propelled; that is intended to haul equipment, materials, vehicles, goods, gases or liquids; and/or that is intended to be pulled by a truck tractor (as defined above).
[Amended by Ord. No. 2020-11-04, 11/16/2020]
- c. No part of this section shall apply to the following exceptions:
 - 1. Township-owned vehicles.
 - 2. Police, Fire, EMS, and rescue vehicles.
 - 3. Buses used primarily for transporting pupils to and from school.
 - 4. Vehicles operated by the U.S. Postal Service.
 - 5. Vehicles engaged in the construction or repair of streets, curbs, sidewalks or utilities.
 - 6. Vehicles engaged in making routine household deliveries or rendering routine household services to a property abutting or that is part of the location where the vehicle is parked.
- d. No commercial truck or van with a gross vehicle weight rating (GVWR) exceeding 14,001 pounds or greater than two axles, no truck tractor, no trailer (as defined by this section), nor recreational or other vehicle storage shall be maintained (except emergency repairs), parked, stored, or otherwise kept on a public or private street, or other location that is within a residential zoning district, without (1) displaying a valid registration and current registration, or (2) displaying a valid, current vehicle safety inspection certificate between the hours of 8:30 p.m. and 9:00 a.m., any day of the week. Such vehicles or trailers shall not pose a traffic safety hazard as determined by the New Britain Township Police Department at any time.
- e. All such vehicles or trailers may be parked or stored on private property provided they are located as follows:
 - 1. Within a carport;
 - 2. Within a completely enclosed structure;
 - 3. Within the side or rear of a lot, but no closer than ten feet to a property line;
 - 4. Within the front yard provided it complies with the following:
 - (a) No such vehicles or trailers shall be within the front yard setback line or used for

living, sleeping or housekeeping purposes when parked or stored on a residential lot or in any location not approved for that lot.

- (b) The vehicles or trailers shall be located on a paved or modified/crushed stone and permitted driveway.
- (c) The vehicles or trailers shall not cause ingress or egress, sight line, or safety issues as determined by the New Britain Township Police Department or the New Britain Township Zoning Officer.
- f. In addition to the requirements of this section, no vehicle that has been used for the bulk hauling of garbage shall be parked for more than 15 minutes in any 24-hour period on a portion of a lot or street that is within 200 feet of a dwelling.
- g. The provisions of this chapter that allow nonconforming uses to continue and expand do not apply to conditions under this section. Any nonconforming condition or use that exists under this section shall be made conforming within 90 days of this chapter.
- h. If a vehicle that is parked in a nonconforming fashion under this section is moved from the subject property or street for more than 24 consecutive hours, the nonconformity shall be considered to have been abandoned and the property or use shall then only occur in a manner that conforms to this chapter in that respect.
- i. No junk vehicle may be stored on a lot in a residential district unless that lot consists of one acre or more in area. No more than one junk vehicle may be stored on a lot in a residential area. No junk vehicle may be stored in a front or side yard.

§27-3003.a. All applications for zoning permits shall be made in writing by the owner, tenant, vendee under contract of sale, or authorized agent on a form supplied by the municipality and shall be filed with the Zoning Officer. The application shall include ~~four~~two copies of the following information:

Attachment 1 - Appendix A. Environmental Impact Statement Report

...

Add e. For projects that involve dedication of land to the Township, properties with current or former environmentally sensitive uses or where site conditions warrant it, upon request by the Board of Supervisors a Phase I Environmental Site Assessment shall be performed at the Applicant's expense. The Board of Supervisors may also request a Phase II Environmental Assessment and any similar additional environmental studies, work plans, remediation plans, environmental data, etc. as required by the Township Engineer pursuant to commonly accepted standards to characterize the site's environmental conditions considering the proposed use. The assessments shall conform with the scope and limitations of the ASTM Standard Practice for Environmental Site Assessment Process (ASTM E-1 525-05) as subsequently amended, and U.S. EPA Title 40 Code of Federal Regulations Part 312, Standard Practices for All Appropriate Inquiries (40 CFR Part 312) as subsequently amended.

Attachment 3 – Zoning Map – Replace with legible, digital copy.

ZONING

27 Attachment 1

Township of New Britain

APPENDIX A ENVIRONMENTAL IMPACT STATEMENT REPORT

- a. The impact on the environment generated by subdivision, land development and other projects necessitates a comprehensive analysis of the variety of problems that may result in actions that can be taken to minimize these problems. In order to effectively evaluate the environmental consequences or effects of certain projects proposed in the Township, an Environmental Impact Statement (EIS) report shall be submitted together with preliminary plans when required by this Chapter or by the Board of Supervisors. In order to encourage the thorough preparation of an EIS report, the applicant may use the components of the EIS report to satisfy the reporting requirements of the Subdivision and Land Development Ordinance [Chapter 22]; provided, however, that a list of the Sections of the Subdivision and Land Development Ordinance [Chapter 22] that are proposed to be satisfied by the EIS report shall be submitted with the EIS report.
- b. An updated EIS report shall accompany and form a part of a final land development or subdivision plan.
- c. Twenty copies of the EIS report shall be submitted with the plans, preliminary or final. Within the EIS report, specific emphasis shall be directed toward the proposed effects on and relationship to applicable site, neighborhood (including areas in adjacent municipalities where applicable) and Township-wide resources, conditions or characteristics. The EIS report shall include text, tables, maps and analyses for the purpose of describing the project site, proposed use(s), environmental characteristics and the environmental effect of the proposal as follows:
 1. Overview. Indicate the purpose and scope of the proposed project. Enumerate the benefits to the public which will result from the proposed project and describe the suitability of the site for the intended use. A description of the proposed project shall be presented to indicate the extent of which the site must be altered, the kinds of facilities to be constructed, how they are to be considered, and the uses intended. The resident population, working population and visitor population shall be projected. The basis of the projections shall be clearly stated in the report.
 2. Compatibility. The compatibility or incompatibility of the proposed project shall be described in relation to the Township Comprehensive Plan, especially the land use and open space elements.
 3. Location. An identification of the site location and area through the use of a location map drawn at a scale of not more than 2,000 feet to

NEW BRITAIN CODE

the inch. The location map shall depict all streets, adjoining properties, zoning district boundaries and municipal boundaries within 2,500 feet of any part of the tract. In the case of development of only a portion of the entire tract, the location shall also show the relationship of the section to the entire tract.

4. Photographs. An identification of the character and appearance of the site through the presentation of photographs or copies thereof. Such photographs shall provide a representation of what the site looks like from ground level and an aerial view. Photographs shall be properly identified or captioned and shall be keyed to a map of the site.
5. Description of the Project. An identification of the nature of the proposals through the presentation of the following:
 - (a) A site development plan, including notes pertaining to the number and type of lots or units, the square footage and/or acreage of the tract and a depiction of the features which are proposed such as streets, driveways, parking areas, buildings and other structures and all impervious surfaces. The plan shall be drawn at a scale of not smaller than 100 feet to the inch, i.e., 50 feet to the inch is permitted but 200 feet to the inch is not and may be submitted as an attachment to the report. The plan shall reflect all the information required under the plan requirements of the Subdivision and Land Development Ordinance [Chapter 22].
 - (b) A statement indicating the existing and proposed ownership of the tract and where applicable, the type of ownership, operation and maintenance proposed for areas devoted to open space or otherwise not under the control of a single lot owner.
6. Physical Resources Inventory. An identification of physical resources associated with the natural environment of the tract, including such features as geology, topography, soils, hydrology and the like. The identification of physical resources shall include a narrative description of the qualitative aspects of each of the resources mentioned above. In addition, these resources shall be mapped at a scale of not smaller than 100 feet to the inch as specified below and may be either incorporated into the EIS report or submitted as attachments to the report.
 - (a) A map depicting the geological characteristics of the tract. Such map shall define the location and boundaries of the rock formations at or influencing the tract and features such as faults and/or fractures.
 - (b) A map depicting the topographical characteristics of the tract. Such map shall contain contours with at least two-foot

ZONING

intervals and shall depict steep slopes as defined in the Subdivision and Land Development Ordinance [Chapter 22].

- (c) A map depicting the soil characteristics of the tract. Such map shall depict all soil types and shall include a table identifying soil characteristics pertinent to the proposed project such as prime agricultural soils, depth of bedrock, depth of water table, flood hazard potential and limitations for septic tank filter fields.
 - (d) A map depicting the hydrological characteristics of the tract. Such map shall depict surface water resources, their drainage characteristics, watersheds and floodplains and groundwater resources. Surface water resources include features such as creeks, runs and other streams, ponds, lakes and other natural bodies of water, springs, wetlands and any manmade impoundments. Groundwater resources include features such as aquifers and aquifer recharge areas.
- 7. Biological Inventory. An identification of biological resources associated with the natural environment of the tract, including such features as vegetation and wildlife. The identification of biological resources shall include a narrative description of each of the resources mentioned above.
 - 8. Land Use Inventory. An identification of the land use conditions and characteristics associated with the tract, such as current and past use, land cover and encumbrances and the relationship of these to adjacent tracts. The identification of land use conditions and characteristics shall include a narrative description of the above.
 - 9. Surface Water Inventory. Describe existing watercourses and water bodies that are partially or totally on the site and their relationship to the area of land disturbance. Calculate existing surface runoff from the site and the associated watershed, including the potential development of the remainder of the watershed. When the natural drainage pattern will be significantly altered an analysis shall be conducted which will investigate flow, depth, capacity and water quality of the receiving waters. When required, floodplain areas will be mapped in consultation with the Department of Environmental Protection. Existing drainage structures shall be mapped, and the capacity of the drainage network shall be determined. Additionally, wetland areas as defined by the Department of Environmental Protection and the U.S. Corps of Army Engineers shall be delineated.
 - 10. Subsurface Water Inventory. Describe the subsurface water conditions on the site both in terms of depth to groundwater and water supply capabilities of the site. Where existing conditions warrant, provide detailed information regarding existing wells within 1,000 feet of the site relative to depth, capacity and water quality. Discuss the water supply capabilities of the adjacent areas and the recharge capabilities of the site.
 - 11. Existing Features Inventory. Describe any existing features on the site that

NEW BRITAIN CODE

are not considered to be part of the natural environment. This may include, but not necessarily be limited to, roads, housing units, accessory structures, utility lines, etc.

12. Historic Resources Inventory. An identification of the manmade resources associated with or within 500 feet of the tract which are older than 50 years. Areas, structures and/or routes and trails included on the National Register of Historic Places, the Pennsylvania Inventory of Historic Places, the Historic American Building Survey, the Bucks County Conservancy and any which may be identified in the Comprehensive Plan shall be identified. The identification of historic resources shall include a narrative description of the above.
13. Visual Resources Inventory. An identification of the visual resources associated with the tract such as areas which have a particular amenity value and areas which offer interest in viewing the tract. The identification of visual resources shall include a narrative description of the above.
14. Community Needs Inventory. An identification of the community facility needs associated with the users and/or residents of the proposed project. The community facility needs assessment shall indicate in narrative form the type of services which will be in demand. Where applicable, community facilities (such as schools, park and recreation areas, libraries, hospitals and other health care facilities, fire protection, police protection, ambulance and rescue service and postal services) shall be discussed in terms of the ability of existing facilities and services to accommodate the demands of future users and/or residents of the lot(s) and/or tract and the need for additional or expanded community facilities.
15. Utility Needs Inventory. An identification of the utility needs associated with the users and/or residents of the proposed project and a statement whether the project is within the area to be served by public sewers under the Township's Act 537 Plan. The utility needs assessment shall indicate in narrative form the type of installations which will be in demand. Utilities (such as those used for water supply, sewage disposal, refuse disposal, storm drainage, communications and electrical transmission) shall be discussed in terms of the ability of existing utility installations to accommodate the demands of the future users and/or residents of the lot(s) and/or tract, the need for additional or expanded utility installations, the ability to achieve an adequate, potable quantity of water whenever individual wells are proposed, the ability to achieve an adequate system for onsite sewage disposal whenever such a system is proposed and the ability to achieve an adequate system for storm drainage and stormwater management. Certificates from the utilities confirming that adequate capacity exists to service the proposed development shall be included.
16. Transportation System Inventory. An identification of the relationship of the transportation and circulation system needs of the proposed project to the existing street or highway network. A discussion of this relationship shall be in narrative form and shall indicate factors such as methods to be used for traffic control within the tract and at points of ingress to and egress from it and expected traffic volumes generated from the project, including their

ZONING

relation- ship to existing traffic volumes on existing streets for both peak

hour and non-peak hour traffic conditions. In addition, there shall be a discussion of the physical condition of existing streets which will service the proposed project and what improvements are proposed to remedy any physical deficiencies.

17. Adverse Impacts. Probable adverse effects which cannot be precluded, including:
 - (a) Water quality and quantity.
 - (b) Air quality.
 - (c) Noise.
 - (d) Undesirable land use patterns.
 - (e) Damage or destruction of significant plant or wildlife systems.
 - (f) Aesthetic values.
 - (g) Destruction of natural resources.
 - (h) Displacement of people and businesses.
 - (i) Displacement of viable farms.
 - (j) Employment and property taxes.
 - (k) Destruction of manmade resources.
 - (l) Disruption of desirable community and regional growth.
 - (m) Health, safety and well-being of the public.

In indicating such effects, a discussion shall be presented regarding whether they will have primary or secondary implications, that is, whether the adverse effects will have direct or indirect influence on a particular resource, condition or characteristic.

18. Mitigation Measures. Measures to mitigate adverse effects. To indicate such measures, the applicant shall submit exhibits or diagrams which will depict the type of remedial, protective and mitigative measures described in narrative form. These measures shall include those required through existing procedures and standards.
19. Irreversible Impacts. Any irreversible environmental changes which would occur due to the proposed project should it be implemented. To indicate such changes, the use of non-renewable resources during the initial and continued phases of the project shall be

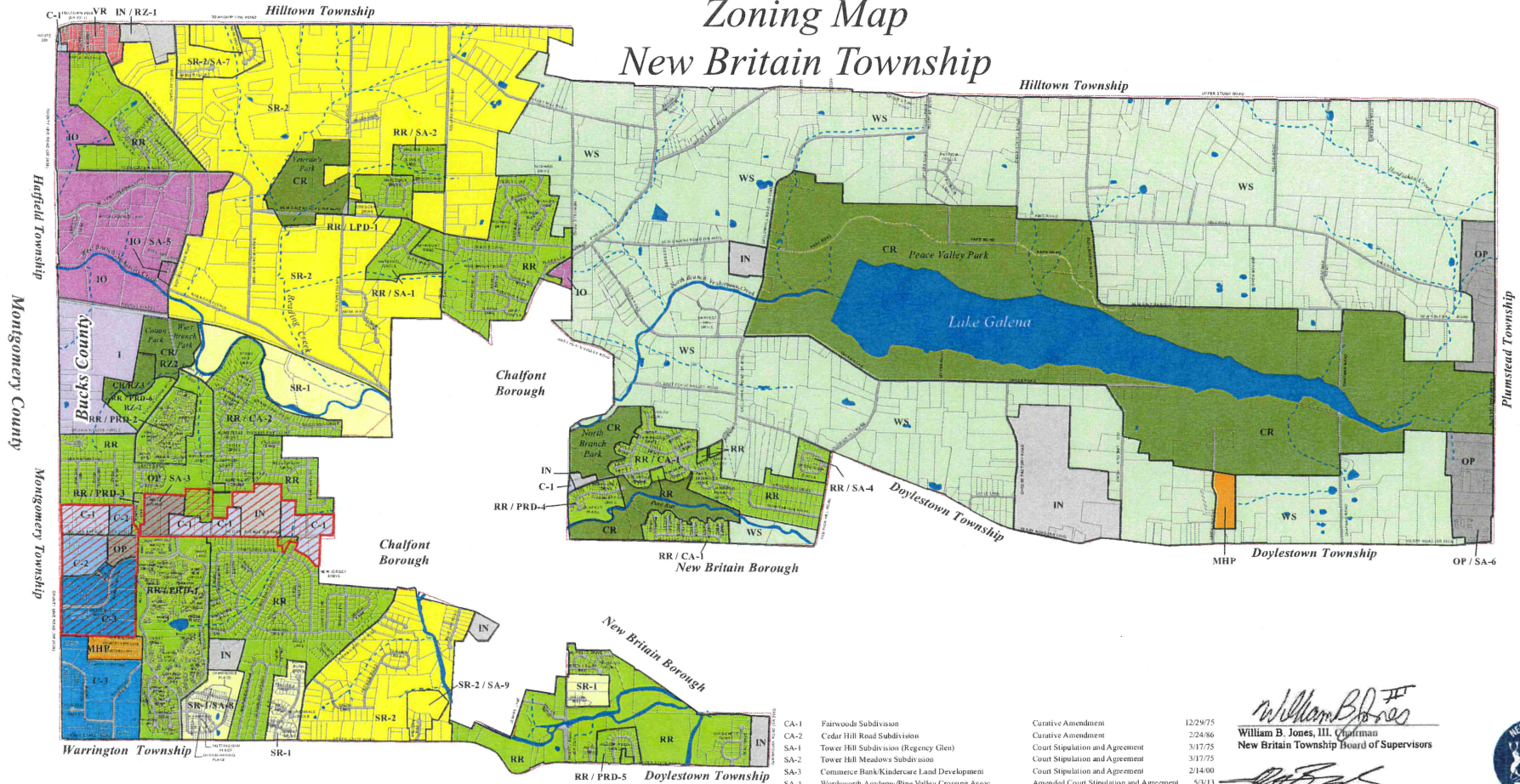
NEW BRITAIN CODE

discussed. Further, the loss of environmental resources shall be indicated through a presentation of the quantity of loss and related qualitative effects.

- d. In making its evaluation, the Board of Supervisors, and/or the Planning Commission, may request any additional information it deems necessary to adequately assess potential environmental impacts. Whenever any information required in this Section is assumed not directly applicable to the proposed project, the applicant shall indicate such assumed inapplicability in the narrative of the EIS report and state why such information is considered to be inapplicable in the case of the particular project in question.
- e. For projects that involve dedication of land to the Township, properties with current or former environmentally sensitive uses or where site conditions warrant it, upon request by the of Supervisors, a Phase I Environmental Site Assessment shall be performed at the Applicant's expense. The Board of Supervisors may also request a Phase II Environmental Assessment and any similar additional environmental studies, work plans, remediation plans, environmental data, etc. as required by the Township Engineer pursuant to commonly accepted standards to characterize the site's environmental conditions considering the proposed use. The assessments shall conform within the scope and limitations of the ASTM Standard Practice for Environmental Site Assessment Process (ASTM E-1 525-05) as subsequently amended, and U.S. EPA Title 40 Code of Federal Regulations Part 312, Standard Practices for All Appropriate Inquiries (40 CFR Part 312) as subsequently amended.

ZONING 27 ATTACHMENT 3

Zoning Map New Britain Township



Zoning Ordinance Adoption Date 8/4/1995

REVISION	DATES	NOTES
Rev. 1	February 3, 2003	
Rev. 2	April 28, 2003	
Rev. 3	October 2, 2013	Add Color SA-4
Rev. 4	February 23, 2015	PRD-4/RZ-2
Rev. 5	October 3, 2016	Correct Drafting Errors/ Add Seal
Rev. 6	February 5, 2018	Add Butler Avenue Corridor Overlay District
Rev. 7	May 21, 2018	
Rev. 8	July 23, 2020	Update Color Coding

ZONING DISTRICT

CR	Conservation and Recreation District
WS	Watershed District
SR-1	Single Family Residential 1 District
SR-2	Single Family Residential 2 District
RR	Residential District
VR	Village Residential District
MHP	Mobile (Manufactured) Home Park District
C-1	Commercial District
C-2	Commercial District
C-3	Commercial District
OP	Office Park District
IN	Institutional District
IO	Industrial District
IO	Industrial Office District
CO	Butler Avenue Corridor Overlay District

CA-1	Fairwoods Subdivision
CA-2	Cedar Hill Road Subdivision
SA-1	Tower Hill Subdivision (Regency Glen)
SA-2	Tower Hill Meadows Subdivision
SA-3	Commerce Bank/Kindercare Land Development
SA-4	Wordsworth Academy/Pine Valley Crossing Assoc.
SA-5	M & N Homes Lot #3 Land Development (Goddard School)
SA-6	Field Tract Land Development (Fontainville Center)
SA-7	Barclay Road S/LD
SA-8	New Britain Walk
SA-9	Frost Tract (Rolling Ridge)
PRD-1	Highlands Subdivision
PRD-2	Rocky Meadow Subdivision (Meadow Ridge)
PRD-3	Homer Way Subdivision
PRD-4	Forest Park Subdivision
PRD-5	Caneel Bank Subdivision (Willow Woods)
PRD-6	Colebrook Development
PRD-7	W.B. Homes Development
LPD-1	Twin Maples Subdivision
RZ-1	Line Lexington Menomonte Church
RZ-2	Colebrook/Quad Graphics/Cotton Park
RZ-3	Cotton Park-Quad Graphic Acquisition

Curative Amendment	12/29/75
Curative Amendment	2/24/86
Court Stipulation and Agreement	3/1/75
Court Stipulation and Agreement	3/1/75
Court Stipulation and Agreement	2/14/00
Amended Court Stipulation and Agreement	5/3/13
Court Stipulation and Agreement	3/11/02
Court Stipulation and Agreement	10/22/02
Court Stipulation and Agreement	10/21/02
Court Stipulation and Agreement	2/21/03
Court Stipulation and Agreement	5/5/06
Planned Residential Development	3/1/75
Planned Residential Development	9/2/75
Planned Residential Development	6/21/76
Planned Residential Development	2/14/94
Planned Residential Development	8/18/98
Planned Residential Development	5/4/15
Planned Residential Development	2/5/18
Land Preservation Development	10/27/97
Institutional Rezoning (SR-2 to IN)	2/12/01
Residential and Conservation Re-Zoning	2/23/15
Conservation Re-Zoning	2/5/18

William B. Jones, III
William B. Jones, III, Chairman
 New Britain Township Board of Supervisors

Eileen M. Bradley
Attest: Eileen M. Bradley
 New Britain Township Secretary



ZONING MAP

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
 ENGINEERING & CONSULTING SERVICES
 65 EAST BUTLER AVENUE NEW BRITAIN, PA 18901-0100 • (215) 345-4200 • www.gilmoreassoc.com

JOB NO: 21-01002

DATE: 10/19/2020

SCALE: 1" = 250'

TOWNSHIP OF NEW BRITAIN
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Subdivision and Land Development Ordinance, which is codified in Chapter 22 of the Code of Ordinances of New Britain Township; and

WHEREAS, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Subdivision and Land Development Ordinance in order to revise definitions of terms used in the Subdivision and Land Development Ordinance; to revise the requirements and procedures for submission of subdivision and land development plans and applications; to revise the requirements for natural resources and features that must be included on the plan; to add requirements for Environmental Site Assessments and Traffic Impact Studies; and to make editorial and clarifying amendments throughout the Subdivision and Land Development Ordinance;

NOW, THEREFORE, BE IT ORDAINED AND ENACTED, Chapter 22-Subdivision and Land Development of the Township of New Britain is amended to read as follows:

Section 1. The following Sections of Chapter 22 Subdivision and Land Development is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 202 Definitions of Terms.
 - i. Bioretention
 - ii. Bioswale
 - iii. Bypass Lane/ Escape Lane
 - iv. Green (Stormwater) Infrastructure
 - v. Impervious Surface
 - vi. Infiltration
 - vii. Invasive Plants
 - viii. Land Development
 - ix. Lot Area
 - x. Mobile Home
 - xi. Porous Pavement/ Pavers
 - xii. Rain Garden
 - xiii. Right-of-Way, Ultimate

- xiv. Soils on Floodplain
 - xv. Specimen Tree
 - xvi. Street Line
 - xvii. Tree Protection Zone (TPZ)
 - xviii. Water Supply
 - xix. Wetlands
-
- b. Section 401 General Procedures
 - c. Section 402 Sketch Plan and ERSAP Submission Review and Procedure
 - d. Section 405 Minor Plan Submission and Review Procedure
 - e. Section 406 Recording of Plans
 - f. Section 502 Preliminary Plan Requirements
 - g. Section 504 Minor Plan Requirements
 - h. Section 505 Community Impact Assessment Report
 - i. Section 703 Blocks and Lots
 - j. Section 704 Easements
 - k. Section 705 Streets
 - l. Section 707 Pedestrian Walkways, Recreational Trails, and Bicycle Lanes
 - m. Section 708 Parking Areas
 - n. Section 709 Off-Street Loading Facilities
 - o. Section 711 Grading, and Erosion and Sedimentation Control
 - p. Section 712 Stormwater Management
 - q. Section 713 Landscape Planting
 - r. Section 714 Lighting
 - s. Section 715 Park and Recreation Land
 - t. Section 719 Private On-Lot Water Supply
 - u. Section 721 Private On-Lot Sewage Disposal System
 - v. Section 722 Butler Avenue Corridor Overlay District

Section 2. New Section 506 Traffic Impact Study shall be added to the Ordinance as provided in Exhibit "A".

Section 3. New Part 6 Natural Resources shall be added to the Ordinance as provided in Exhibit "A".

Section 4. Appendix A to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "B".

Section 5. Appendix B to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "C".

Section 6. Appendix D to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "D".

Section 7. Appendix E to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "E".

Section 8. Severability.

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

Section 9. Effective Date.

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

ORDAINED AND ENACTED by the Board of Supervisors of New Britain Township
this _____ day of _____, 2025.

Attest:

Dan Fox,
Township Manager

Cynthia Jones, Chair

MaryBeth McCabe, Vice Chair

Stephanie Shortall, Member

William B. Jones, III, Member

Bridget Kunakorn, Member

EXHIBIT "A"

Subdivision and Land Development Ordinance Amendment

October 28, 2024

Add or amend the following Definitions of **§22-202** as follows:

BIORETENTION – A stormwater retention area that utilizes woody and herbaceous plants and soils to remove pollutants before infiltration occurs.

BIOSWALE – a swale that uses bioretention and often includes native plants to absorb runoff and pollutants.

BYPASS LANE/ESCAPE LANE Vehicular lane allowing traffic to pass the drive-through lane and/or allowing vehicles, because of emergencies or mistakenly entering the drive-through lane, to exit the drive-through lane.

GREEN STORMWATER INFRASTRUCTURE – Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

IMPERVIOUS SURFACE

Exterior surfaces which do not absorb water including all buildings, parking areas, driveways, roads, sidewalks, swimming pools and any area in concrete, asphalt, compacted stone and similar materials. Also includes other areas determined to be impervious by the Township Engineer.

INFILTRATION

Movement of surface water into the soil, where it is absorbed by plant roots, evaporated into the atmosphere, or percolated downward to recharge groundwater.

INVASIVE PLANTS – Those species that are not native to the state, grow aggressively, and spread and displace native vegetation as noted on the DCNR Invasive Plant List that may be updated from time to time.

LAND DEVELOPMENT – Any of the following activities:

- a. The improvement of one lot or two or more contiguous lots, tracts, or parcels of land for any purpose involving:
 1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or tenure; or
 2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code as may be amended.
- d. The condominium of land or buildings.
- e. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.

LAND DEVELOPMENT, MINOR

~~The expansion of an existing building or parking area.~~

LOT AREA

The area contained within the property lines of the individual parcels of land shown on a subdivision plan as required by this chapter, excluding any area within an existing or designated future street right-of-way and any area required as open space under the Township Zoning Ordinance [Chapter 27] and the area of any existing ~~or proposed~~ easement.

MOBILE HOME

A transportable single-family dwelling intended for permanent occupancy contained in one unit or in two or more units designed to be joined into one integral unit, capable of again being separated for repeated towing, which arrives at a site complete and ready for occupancy except for minor and incidental unpacking and assembly operations, constructed so that it may be used without a permanent foundation and built under U.S. HUD standards and not BOCA Uniform Commercial Code standards. A mobile home need not meet local building codes but shall meet the standards of the U.S. Department of Housing and Urban Development, as indicated in the Structural Engineering Bulletin(s) which shall be provided to the township by the applicant.

POROUS PAVEMENT/PAVERS – Stormwater controls that allow stormwater to infiltrate through the surface of the pavement/pavers to the ground below.

RAIN GARDEN

A stormwater facility planted with specially selected native vegetation to treat and capture runoff and by pooling water on the surface and settling out suspended solids and allowing for infiltration and pollutant removal in the plant/soil/microbe media.

~~SOILS, FLOODPLAIN (ALLUVIAL) Areas subject to periodic flooding and listed in the Soil Survey of Bucks and Philadelphia Counties.~~ **SOILS ON FLOODPLAIN** Areas subject to periodic flooding or listed in the Official Soil Survey provided by the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey (<http://websoilsurvey.nrcs.usda.gov/>), as soils having a flood frequency other than none. Such soils shall include, but may not be limited to, the following soil types: Bowmansville-Knauers silt loam (Bo), Buckingham silt loam (BwB), and Rowland silt loam (Ro). A landowner may submit detailed soil profiles and a report to the Township for the purpose of determining an alluvial soil classification, which the Township may or may not accept as the correct boundary of soils on floodplain.

SPECIMEN TREE Any tree with a caliper that is 75% or more of the record tree of the same species of the commonwealth. A unique, rare, or otherwise specifically selected tree considered worthy of conservation by New Britain Township because of its species, size, age, shape, form, historical importance, or any other significant characteristic, including listing as a species of special concern by the Commonwealth of Pennsylvania.

STREET LINE

The dividing line between a lot and a street. Also called Ultimate Right-of-Way Line, Legal or Required Right-of-Way line. Where no right-of-way line exists or is proposed, the street line shall be the edge of sidewalk farthest from the street.

RIGHT-OF-WAY, ULTIMATE

The street right-of-way projected as necessary for adequate handling of anticipated maximum traffic volumes, according to the Township Street Classification Map. The ultimate right-of-way is the legal right-of-way where it has been offered for dedication and accepted by the Township or other authority. It shall be measured from the centerline of the street or as determined by the Township Engineer.

TREE PROTECTION ZONE (TPZ)

An area that is radial to the trunk of a tree in which no construction activity shall occur. The tree protection zone shall be 15 feet from the trunk of the tree to be retained, or the distance from the trunk to the dripline, whichever is greater. Where there is a group of trees or woodlands, the tree protection zone shall be the aggregate of the protection zones for the individual trees.

WATER SUPPLY**A. PRIVATE WATER SUPPLY SYSTEM**

A system for supplying and distributing water to a single ~~lot or dwelling unit or building from a source located on the same lot.~~

B. PUBLIC WATER SUPPLY SYSTEM

Any water supply and distribution system that is owned and managed by the Township, the Bucks County Water and Sewer Authority, North Wales Water Authority, North Penn Water Authority, Aqua of Philadelphia or Philadelphia Suburban Water Company or other approved water purveyor, which services more than a single community or subdivision and may be interconnected with other water supply systems.

C. COMMUNITY WATER SYSTEM

A privately-owned system for supplying and distributing water from a common source(s) to two or more dwellings and/or other buildings in a single neighborhood and/or land development.

WETLANDS

Areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions, including swamps, marshes, bogs and similar areas. The term includes but is not limited to wetland areas listed in the Pennsylvania State Water Plan, the United States Forest U.S. Fish & Wildlife Service Wetlands Inventory of Pennsylvania, the Pennsylvania Coastal Zone Management Plan and/or a wetland area designated by a river basin commission. Wetlands shall be determined by current standards established by the United States Army Corps of Engineers and the Pennsylvania Department of Environmental Protection Agency.

§22-401.6. ~~Subdivision applications creating a single new building lot are not considered minor subdivisions and such applications are required to submit a completed plan submission as required by §§ 22-403 and 22-404 of this chapter. Subdivision proposals creating a single new building lot must establish a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots.~~

§22-401.7. All plan submissions shall include ~~two compact discs (CDs)~~ a flashdrive or electronic submission that includes PDF copies of all the plan sheets, supporting documentation and any other application material included in this submission.

§22-401.8. Notification Requirements. The applicant for a subdivision or land development shall, with the submission of a sketch plan if submitted, and preliminary plan, notify all surrounding property owners (minor subdivision-adjacent property owners and major subdivisions and land developments within ~~500~~ 1,000 feet of the proposed development perimeter). The notice shall state that a subdivision or land development plan has been filed for the property (indicate tax map parcel number) and shall state that the Township office will schedule the meetings at which the plans will be reviewed. ~~The developer shall include in the notice the date the plan is scheduled for the initial Township Planning Commission meeting.~~ The notice shall include a copy of the proposed development plan showing the proposed lots and streets and perimeter roads. ~~The plan shall be either 8 1/2 inches by 11 inches or 11 inches by 17 inches.~~ The notification shall be sent within five days of the time the plans are submitted to the Township. The applicant shall submit an affidavit to the Township setting forth the list of the names and addresses to which notices have been sent and include the content of the notice. The affidavit shall be supplied by the applicant to the Township at least five days prior to the first meeting of the Planning Commission at which the plans are to be discussed. The applicant shall post the property at the time of preliminary plan submission. The sign must be readable, maximum size of two feet by three feet and state that the property is the subject of a subdivision or land development with New Britain Township, (215) 822-1391, for any questions.

§22-402.4. Sketch Plan Processing Procedures:

- A. The applicant shall make a request to the Township Zoning Office to be scheduled on a Planning Commission or Board of Supervisors' meeting agenda for an informal discussion of the sketch plan.
- B. The applicant shall appear at the scheduled meeting to explain the plan and to discuss issues identified by the Planning Commission or Board of Supervisors. The applicant should be prepared to discuss significant issues including, but not limited to, land use proposed (residential, commercial, industrial, etc.), density or intensity of proposal; access to the subject site, including intersection locations and road realignments; site plan design, including subdividing, roads, buildings, common areas, curbs, sidewalks and pedestrian walkways and open space.
- C. The Township Planning Commission or Board of Supervisors may make suggestions and recommendations to the applicant during the meeting at which the plan is discussed. Suggestions and/or recommendations shall be summarized in the minutes of the Township Planning Commission or Board of Supervisors for reference by the applicant.

...

§22-402.5.B.(4) Once the aerial photograph and sketch plan have been received, the zoning office ~~shall~~may coordinate a site visit with the applicant, Township staff and elected officials. The purpose of the visit is to familiarize officials with the property's existing conditions and special features, to identify potential site design issues, and to provide an informal opportunity to discuss site design concepts, including the general layout of a designated required open space (if applicable), potential locations for proposed buildings and street alignments, stormwater management concepts, and protection of resources (natural and historic). Comments made by the Township representatives, or their staff and consultants shall ~~be as only~~ be advisory and are not binding on either the Township or the applicant. It shall be understood by all parties that no formal recommendations can be offered, and no official decisions can be made, at the site visit or during the sketch plan process.

§22-405.1 Minor plans may be submitted and processed for only lot line adjustments and minor ~~land development~~subdivisions, as defined in this chapter.

§22-406.1.H. If the final plan is approved with ~~public~~-streetlights to be formally accepted for dedication by the Township, the applicant shall submit a streetlight petition to the Township in accordance with the requirements of the MPC.

§22-406.2. Submission Record Plans.

A. ~~Six-Three~~ paper copies of the final plan to be recorded shall be submitted directly to the Township Engineer for review and execution, prior to approval by the Board with the following information:

- (1) Five signature lines shall be provided for the Board of Supervisors.
- (2) The ~~final plan shall bear the~~ signature of the landowner(s) of record.
- (3) Notary public with sufficient white space to avoid any text conflicts with the required notary stamp.
- (4) The signature and seal of the registered professional engineer and/or surveyor responsible for the plans, and
- (5) ~~signature of an official of the~~ Bucks County Planning Commission file number, and-
- (6) The signature of the certified wetlands scientist certifying any delineated wetlands.

§22-406.2.B. At the time of record plan submission, the applicant shall also submit to the Township Engineer:

- (1) ~~Five-Three (3)~~ complete paper sets (rolled) of the final plans for construction; and
- (2) One electronic copy of all drawings ~~on CD-ROM media in PC language~~ in either DWG or DEF Vector format. The information on the electronic plan shall be the same in exact detail as the final plans to be recorded. ~~In the event that electronic submission is not possible, the applicant may request preparation of an electronic plan by the Township Engineer. All expenses associated with preparation of the electronic plan by the Township Engineer shall be considered review expenses incurred by the Township on behalf of the applicant. Any~~

proposed Conservation Easement linework within the electronic copy of the Final Plan(s) in DWG or DEF Vector format shall be provided to the Township with georeferencing in order for the Township to plot the easement on a Township mapping system.

§22-502.1.B(7) The overall tract boundary from a field survey with bearings and distances ~~and~~, total tract acreage, the survey benchmark, north arrow orientation, datum, and any relevant survey control elements.

§22-502.1.B.(21) The following recording notes and certifications shall be provided for recording of the final plans: Professional land surveyor's certification, professional engineer's certification, professional wetlands/soils scientist's certification, Bucks County Recorder of Deeds Certification, ownership acknowledgment; notary public statement; Bucks County Planning Commission Certification; Township Engineer's Certification; ~~Planning Commission Chairman Approval with one signature line~~ and Board Approval with five signature lines.

Add **§22-502.1.B.(23)** The total amount of impervious area accounted for in the stormwater design within each sub drainage and bypass area shall be noted on the Record Plan.

§22-502.1.D.(8) Other natural features including:

- (a) Location, size and species, of individual trees six inches in diameter or greater, when standing alone or in small stands. The plan shall also identify any dead, dying, invasive, or diseased tree(s) within existing or proposed conservation easements or trees that may pose a threat to safety as determined by the Township or Township Engineer.
- (b) Outer limits of woodlands to remain. ~~Approximate~~ Limits of site disturbance, including a clear delineation of existing vegetation, including trees, hedge rows, wooded areas, and scrub growth, ~~meadow and actively farmed land~~. Indicate items to be removed and items to be preserved, including method of preservation. Healthy Trees need not be individually identified in areas proposed to be permanently preserved, set aside as open space or in areas proposed not to be disturbed.
- (c) Locations and limits of geologic features that may affect the locations of proposed streets or buildings, including rock outcroppings, quarries and sink holes.
- (d) Natural resources that are protected by the provisions of the Township Zoning Ordinance [Chapter 27], such as watercourses, floodplains, wetlands, natural steep slopes, riparian areas, ~~forests~~woodlands, agricultural soils and other features.

§22-502.1.D.(10)(a) Contour lines measured at vertical intervals of two feet, as determined by an on-site field survey, not interpretation of United States Geologic Service (USGS) Maps. The plans shall indicate the benchmark elevation and the location ~~and shall be based on the Chalfont New Britain Township Joint Sewage Authority vertical datum.~~

§22-502.1.D.(12) All information shown on the plans shall be from an onsite field survey conducted within five ~~two~~ years of the date of the application.

Add **§22-502.1.D.(13)** Locations and type of existing underground and overhead utilities.

§ 22-502.1.H. Lighting Plan.

- ~~(1) Location of all proposed streetlights, lighting fixtures and standards, including wall mounted lights.~~
- ~~(2) Location of buildings, building setback lines, proposed streets, rights-of-way, parking areas, sidewalks and walkways.~~
- ~~(3) Location of all proposed landscape plantings.~~
- ~~(4) All individual trees, vegetated areas and woodlands designated to remain and other related landscape features such as berms, water features, etc.~~
- ~~(5) Isofootcandle data and plots for each proposed lighting fixture.~~
- ~~(6) Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.~~
- ~~(7) Lighting intensities in footcandles plotted for the entire site.~~

(1) Existing and proposed site features including:

- a. Existing and proposed streetlights, lighting fixtures and standards, including architectural wall mounted lights.
- b. Existing and proposed buildings, retaining walls, parking areas, driveways and walkways
- c. Required setback and right-of-way lines
- d. Existing and proposed above and below ground utilities
- e. Location of all existing and proposed vegetation
- f. Site Grading

(2) Lighting information and calculations including:

- a. A ten-foot by ten-foot (10' x 10') point by point illuminance grid extending 10 feet beyond the property lines.
- b. Luminaire Schedule including:
 - i. Luminaire catalog number
 - ii. Luminaire IES file
 - iii. Quantity of luminaires
 - iv. Mounting height of luminaires
 - v. Light loss factor used in lighting calculations
- c. Site Lighting Statistics for illuminated areas including:
 - i. Building entrances

- ii. Pedestrian ways
- iii. Parking Areas
- iv. Fueling and/or charging canopies
- v. Other areas as deemed necessary by the Township Engineer
- d. Site lighting statistics for each area shall include:
 - i. Maximum illumination level
 - ii. Minimum illumination level
 - iii. Average illumination level
 - iv. Maximum to minimum ratio
 - v. Additional information as required to determine compliance with IES guidelines
- e. Limits of each statistical area.
- f. Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.
- g. Seal and signature of the design professional responsible for the preparation of the plan
- h. Chart to demonstrate compliance with IES recommended practices

§22-502.1.J.(3) Street, widening, right-of-way, access drive and driveway paving cross-section details.

§22-504.2. Minor Plan, Lot Line Adjustment or Subdivision. The following plan information shall be shown:

...

E.Subdivision proposals creating one single new building lot must develop a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots unless otherwise approved by the Board of Supervisors.

F.For a lot line change where no new lots are created and where no physical improvements are proposed, public improvements such as road widening, curb, sidewalk, street trees, etc. are not required.

G.Any additional information as reasonably required by the Township Engineer.

~~**§22-504.3.** Minor Plan, Land Development. The plan requirements shall be the same as those required for preliminary and final plans, except for the following:~~

- ~~A. An aerial photograph plan shall not be required.~~
- ~~B. Horizontal plan and profile shall not be required.~~
- ~~C. Existing features and natural resource plan shall be submitted for the property only.~~
- ~~D. The applicant may submit one minor plan that combines all other plan requirements.~~

§22-505.4.D.(3) Surface water resources and their drainage characteristics, including creeks, streams, ponds, lakes, springs, wetlands, watersheds, floodplains and man-made structures and impoundments. The existing and proposed surface runoff from the

tract shall be calculated, including the potential development of the remainder of the watershed. The flow, depth, capacity and quality of the receiving waters shall be investigated and need for any onsite streambank stabilization evaluated.

Add **\$22-505.4.D.(5)** Any Phase I and Phase II Environmental Site Assessments completed for the site in question shall be submitted to the Township for review.

Add **\$22-506** Traffic Impact Study

1. Purpose and Applicability.

A. Purpose. A traffic impact study shall be required as a prerequisite to a zoning permit for the following uses:

- (1) Residential land development or subdivision of 50 or more dwelling units.
- (2) Shopping Center.
- (3) Commercial: A commercial building or buildings consisting of 25,000 square feet or more of total floor area.
- (4) Office: A development consisting of 25,000 square feet or more of total floor area.
- (5) Industrial: A development consisting of 50,000 square feet or more of total floor area or any truck terminal as a principal use.
- (6) Institutional Hospital, Nursing Home or Institutional: A development of 50,000 square feet or more total floor area.
- (7) Any other use expected to generate greater than 100 new trips inbound to the site or out bound from the site in site peak hour traffic, or 1,000 trips per day.
- (8) The Township may request a Traffic Impact or Trip Generation Analysis for any proposed use at the Township's discretion.

B. The traffic study shall be submitted with the preliminary plans. This study will enable the Township to assess the impact of a proposed development on highways and public transportation. Its purpose is to identify any traffic problems and to delineate solutions.

2. Conduct of the Traffic Impact Study. The traffic impact study (TIS) or traffic impact analysis (TIA) shall be prepared by a qualified traffic engineer and/or transportation planner with previous traffic study experience. The procedures and standards for the traffic impact study are set forth in Subsection A of this section and the Highway Occupancy Permit Operations Manual Appendix A PennDOT Transportation Impact Study Guidelines dated September 2022 or as amended. If there is any discrepancy between the Township's and PennDOT Traffic Study Guidelines, the stricter standard shall apply.

A. General Requirements and Standards. A transportation impact study shall contain the following information:

- (1) General Site Description. The site description shall include the size, location, proposed land uses, construction staging and completion date of the proposed development. A brief description of other major existing and proposed land developments for which preliminary plans have been

submitted within the proposed study area shall be included. The Township reserves the right to determine the study area at a preapplication conference.

- (2) Transportation Facilities Description. The description shall contain documentation of the proposed internal and existing external transportation system. This description shall include proposed internal vehicular, bicycle and pedestrian circulation, all proposed ingress and egress locations, all internal roadway widths, and any traffic signals or other intersection control devices at all intersections within the site.
- (3) Existing Traffic Conditions. Existing traffic conditions shall be documented for all major roadways and intersections in the study area and any other intersections or roadways the Township deems will be affected by the proposed development. Existing traffic volumes for average daily traffic, peak highway hour(s) traffic and peak development-generated hour(s) traffic shall be recorded. Traffic counts at major intersections in the study area and others which the Township deems will be affected by the proposed development shall be conducted, encompassing the peak highway hour(s), and documentation shall be included in the report. A volume/capacity analysis based upon existing volumes shall be performed during the peak highway hour(s) and the peak development-generated hour(s) for all roadways and major intersections in the study area where those intersections which the Township deems will be impacted by the proposed development. Based upon the Highway Capacity Manual, or as amended, this analysis will determine the adequacy of the existing roadway system to serve the current traffic demand. Roadways and/or intersections experiencing levels of service D, E or F shall be noted as congested locations. A development generated peak hour analysis may be required per the Township Engineer's request.
- (4) Traffic Impact of Development. Estimation of vehicular trips to result from the proposed development shall be completed for the average daily peak highway hour(s) and peak development-generated hour(s). These development-generated traffic volumes shall be provided for the inbound and outbound traffic movements as estimated, and the I.T.E. Trip Generation Manual, 11th edition or as revised. All turning movements shall be calculated. These generated volumes shall be distributed and assigned to the existing roadways and intersections throughout the study area for which existing conditions were identified in Subsection A.(3) above. Documentation of all assumptions used in the distribution and assignment phase shall be provided. Traffic volumes shall be assigned to individual access points. Pedestrian volumes shall also be calculated, if applicable. If school crossings are to be used, pedestrian volumes shall be assigned to each crossing. Any characteristics of the site that will cause particular trip generation problems shall be noted.
- (5) Analysis of Traffic Impact. The total future traffic demand shall be calculated. This demand shall consist of the combination of the existing traffic expanded to the completion year (using an annual traffic growth rate available from the Delaware Valley Regional Planning Commission), the development-generated traffic, and the traffic generated by other proposed developments in the study area. Traffic generation data shall be developed by the applicant from trip generation rates or from other traffic impact studies if they are available. A volume/capacity analysis shall be conducted using future

demand. A 'without development' and 'with development' future roadway capacity shall be conducted. If staging of the proposed development is anticipated, calculations for each stage of completion shall be made. This analysis shall be performed during the peak highway hour(s) for all roadways and major intersections in the study area which are deemed to be impacted by the proposed development. Volume/capacity calculations shall be completed for all major intersections. All access points and pedestrian crossings shall be examined as to the feasibility of installing traffic signals. This evaluation shall compare the projected traffic and pedestrian volumes to the minimum standards as per PennDOT standards for installation of a traffic signal. Turn lane analysis and queuing analysis shall be provided as requested by the Township Engineer.

- (6) Conclusions and Recommended Improvements. The level of services shall be listed for all intersections including all individual movements and the overall intersection. All roadways, individual intersection movements, and/or intersections showing a level of service below C shall be considered deficient. Specific recommendations for the elimination of these problems shall be listed for critical movements and overall level of service drops and delays which increase by more than 10 seconds. This listing of recommended improvements shall include, but not be limited to, the following elements: internal circulation design, site access location and design, external roadway and intersection design and improvements and widenings, traffic signal installation and operation including signal timing, transit design improvements, and reduced intensities of use. The Township may request all physical roadway improvements to be shown in sketches. The recommended improvements for both roadways and transit shall include, for each improvement, the party responsible for the improvement, the cost and funding of the improvement and the completion date for the improvement.
- (7) Implementation. The Township Board of Supervisors shall review the traffic impact study to analyze the impact of the proposed development. If major problems are identified by the traffic impact study, or if any intersection, critical movement, or segment of road would fall below level C as the result of the proposed development, then the Board of Supervisors may:

 - (a) Reject the application for zoning permits.
 - (b) Require specific onsite or offsite improvements as a condition of plan approval.
 - (c) Reduce the intensity of use permitted.
 - (d) A combination of (b) and (c) above.

Add Part 6 Natural Resources

§ 22-600 Natural Resources.

All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. Where alterations occur, restoration of the lot to its original condition shall be required. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap.

1. Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads and trails may cross watercourses where design approval is obtained from the Township and, if required, the Pennsylvania Department of Environmental Protection.
2. Floodplains. See Part 19 of the Zoning Ordinance, Chapter 27.
3. Floodplain (Alluvial) Soils. See Part 19 of the Zoning Ordinance, Chapter 27.
4. Wetlands. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon. Where the property owner demonstrates to the Township's satisfaction that there is no reasonable alternative, minor road crossings, utility line crossings, streambank rehabilitation, and endwalls may be permitted, so long as state and federal permits have been obtained for such work. Wetland boundaries shall be delineated through an on-site assessment conducted by a professional soil scientist. Such person shall certify that the methods used correctly reflect currently accepted technical concepts, including the presence of wetlands vegetation, floodplain soils and/or hydrologic indicators. The study shall be submitted with sufficient detail to allow a thorough review by the Township prior to approval by the Board of Supervisors. The Township shall have the right to inspect the site as a part of its review of the study, and the Township reserves the right to verify the presence and/or extent of wetlands through the retention of its own professional soil scientist.
5. Lakes and Ponds. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon.
6. Woodlands. In areas of woodlands, the following standards shall apply:
 - A. No more than 20% of woodlands located upon a lot or site shall be altered, regraded, cleared, or built upon in the CR, WS, SR-1, SR-2, and RR Districts.
 - B. In all other zoning districts, no more than 50% of woodlands located upon a lot or site may be altered, regraded, cleared, or built upon, provided the following requirements are met:
 - (1) Where more than 20% of the woodlands are being disturbed, all disturbed woodlands exceeding this 20% limit shall be replaced on an acre-for-acre

basis through the planting of replacement trees. The actual number of replacement trees shall be calculated by multiplying the acreage of disturbance exceeding 20% by 200 trees per acre. All replacement trees shall have a minimum tree caliper of 3 1/2 inches' DBH.

(2)The planting of replacement trees or woodlands restoration shall be done in accordance with a woodlands management plan prepared by a licensed forester as may be required by the Board of Supervisors based on the nature of the trees removed and nature of proposed trees.

(3)The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors.

(4)Any trees that are dead, dying, or diseased, and may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.

7.Steep Slopes. In areas of steep slopes, the following standards shall apply:

A.Eight percent to 15% grade. No more than 40% of such areas shall be altered, regraded, cleared or built upon.

B.Fifteen percent to 25% grade. No more than 30% of such areas shall be altered, regraded, cleared or built upon.

C.Twenty-five percent or steeper. No more than 15% of such areas shall be altered, regraded, cleared or built upon.

8.Wetlands Margin. No impervious surface area shall be located within 25 feet of a wetland boundary, and no more than 20% of such areas shall be disturbed. Any Department of Environmental Protection regulations concerning activities in wetlands margins shall also be met.

9.Riparian Buffer. The riparian buffer shall include only the portion of land sloping towards the surface water bodies being protected and shall extend no more than 75 feet from each side of the watercourse, lake or pond, at bankfull flow edge, or shall extend the extent of the 100-year floodplain, whichever is greater. No land disturbance shall be permitted within any riparian buffer except as permitted below. The buffer area will consist of two distinct protection zones.

A.Zone 1. This buffer area will begin at the edge of the lake, pond or watercourse and occupy a margin of land with a minimum width of 25 feet measured horizontally on a line perpendicular to the edge of water at bankfull flow or level. Open space uses that are primarily passive in nature may be permitted in Zone 1, including:

(1)Open space uses such as wildlife sanctuaries, nature preserves, forest preserves, fishing areas, passive areas for public or private parklands and reforestation.

- (2) Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks County Conservation District and a nutrient management plan in accordance with state requirements, if applicable.
- (3) Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines, and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
- (4) Vegetation management in accordance with an approved landscape or open space management plan.
- (5) Runoff to be buffered or filtered by Zone 1 will be limited to sheet flow or subsurface flow only. Concentrated flows must be converted to sheet flow or subsurface flows prior to entering Zone 1 for proposed stormwater management facilities.
- (6) The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.

B. Zone 2. This buffer zone will begin at the outer edge of Zone 1 and occupy a minimum width of 50 feet in addition to Zone 1. However, where the width of the 100-year floodplain extends greater than 75 feet from the edge of water at bankfull flow or level, Zone 1 shall remain a minimum of 25 feet and Zone 2 shall extend from the outer edge of Zone 1 to the outer edge of the 100-year floodplain. Uses permitted in this buffer area include open space uses that are primarily passive in nature, including:

- (1) Open space uses such as wildlife sanctuaries, nature preserves, forest preserves and passive areas for public or private parklands, recreational trails for non-motorized use only and reforestation.
- (2) Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks Conservation District.
- (3) Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
- (4) Recreational activities or uses not involving impervious surfaces such as playing fields or golf courses.

- (5)The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.

C.Prohibited Uses. Any use or activity not authorized in Subsection i.1 or i.2 above shall be prohibited within the riparian buffer. The following activities and facilities are specifically prohibited:

- (1)Clear cutting of trees and other vegetation.
- (2)Selective cutting of trees and/or the clearing of other vegetation, except where such clearing is necessary to prepare land for a use permitted under Subsection i.1 or i.2 above, or where removal is necessary as a means to eliminate dead, diseased or hazardous trees. Removal is subject to revegetation by native plants that are most suited to the riparian corridor.
- (3)Storage of any hazardous or noxious materials.
- (4)Roads, access drives or driveways, except as permitted by the Pennsylvania Department of Environmental Protection and Township.
- (5)Parking lots.
- (6)Subsurface and elevated sewage disposal areas and other wastewater disposal systems.

D.Revegetation of Riparian Area. In cases where a major subdivision or land development is proposed, replanting of the riparian corridor shall be required where there is little or no existing streamside vegetation. Native vegetation approved by the Township must be used in replanting. Three layers of vegetation are required when replanting the riparian corridor. These layers include herbaceous plants that serve as ground cover, understory shrubs and trees that form an overhead canopy. The revegetation plan shall be prepared by a qualified professional, who has specific experience in the delineation of riparian buffer areas, and shall comply with the following minimum requirements, unless modified by the Board of Supervisors upon recommendation of the Planning Commission.

- (1)Ground Cover. Ground cover consisting of a native seed mix extending a minimum of 25 feet in width from the edge of the stream bank must be provided along the portion(s) of the stream corridor where little or no riparian vegetation exists. Appropriate ground cover includes native material, exclusive of noxious weeds, as defined by the Pennsylvania State Department of Agriculture. This 25-foot wide planted area shall be designated on the plan as a "no mow zone" and shall be left as natural cover, except in accordance with the maintenance instructions stated on the plan.
- (2)Trees and Shrubs. These planting layers include trees that form an overhead canopy and understory shrubs. Species shall be taken from Appendix D of this Chapter Required Plant Material List. These plants shall be planted in an informal manner clustered within Zone 1 of the riparian buffer as indicated in Subsection 9.D.(1) above. These plants shall be provided at a rate of at least one overstory tree and three shrubs for every 20 linear feet of waterway.
- (3)Exceptions. These planting requirements shall not apply to existing farm

fields located within the riparian buffer or the farmland tract areas if farming operations are to be continued and the required state nutrient management plan is met.

§22.601. Land With Resource Restrictions and Resource Protection Land. Calculate the land with resource restrictions and the resource protection land through the use of the following chart. In the event that two or more resources overlap, only the resource with the highest protection ratio shall be used in the calculations.

<u>Natural Resources</u>	<u>Protection Ratio</u>	<u>Acres of Land in Resources</u>	<u>Resource Protection Land (acres x Acres of protection ratio)</u>	<u>Land to be Disturbed</u>
<u>Watercourses</u>	<u>1.00</u>			
<u>Riparian Buffer</u>	<u>1.00</u>			
<u>Floodplain</u>	<u>1.00</u>			
<u>Floodplain (Alluvial) Soils</u>	<u>1.00</u>			
<u>Wetlands</u>	<u>1.00</u>			
<u>Lakes or Ponds</u>	<u>1.00</u>			
<u>Wetlands Margins</u>	<u>0.80</u>			
<u>Woodlands</u>	<u>0.80</u>			
<u>Steep Slopes 8-15%</u>	<u>0.60</u>			
<u>Steep Slopes 15-25%</u>	<u>0.70</u>			
<u>Steep Slopes 25% or more</u>	<u>0.85</u>			
<u>Total Land With Resource Restrictions</u>		<u> acres</u>		
<u>Total Land With 1.00 Protection Ratio Resource Restrictions</u>		<u> acres</u>		
<u>Total Resource Protection Land Required</u>			<u> acres</u>	
<u>Total Resource Protection Land Provided</u>			<u> acres</u>	
<u>Total Disturbed Resources</u>				<u> acres</u>

1.) Minimum Open Space. Calculate the minimum open space using the following:

<u>Base Site Area</u>	<u> </u> acres
<u>Multiply by Minimum Open Space Ratio</u>	<u>x</u> <u> </u> acres
<u>Standard Minimum Open Space =</u>	<u> </u> acres

§22-703.4.A(1) Each lot shall meet or exceed the minimum lot area and width requirements of the Township Zoning Ordinance. The area within any existing ~~or proposed~~ easement shall not be counted towards the minimum lot area.

§22-703.4.C. Lot Lines. Lot lines shall be drawn parallel, concentric, at right angles or radial ~~to from~~ the street right-of-way line to the front yard setback unless not feasible or undesirable due to existing, permanent, natural or man-made features or to minimize multiple changes in horizontal direction. In general, lot lines shall follow Township boundary lines rather than cross them.

§22-703.6.A. A lane lot ~~may be used for only a single family detached dwelling and~~ shall not be ~~permitted created~~ in a subdivision with proposed streets or extensions of existing streets.

§22-703.6.D. Points of access for lane lots shall be separated from another lane lot by at least 300 feet along the street right-of-way line.

§22-704.2.B. Easements for pedestrian or vehicular access shall be a minimum of 20 feet, unless a wider easement is required by the Board, upon recommendation of the Township Engineer. ~~Easements for pedestrian or vehicular access shall not be combined with utility easements.~~

§22-704.3. Proposed utility easements shall be ~~centered on or~~ adjacent to front, side, or rear property lines.

§22-704.4. Nothing shall be placed, planted or set within the area of an easement and the area shall be kept as lawn or in a natural state, unless otherwise approved by the Township Engineer.

§22-705.3.D. The primary street through a residential subdivision of 50 or more dwelling units shall at a minimum be designed to the specifications of a ~~minor collector local~~ street. Additional width may be required at the discretion of the Board of Supervisors.

§22-705.3.E. Private streets within a subdivision shall be designed to the specifications of a local street. Private streets shall be recorded with a minimum 50-foot access easement to benefit New Britain Township. Additional width may be required at the discretion of the Board of Supervisors.

§22-705.3.G. Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1 1/2 inches or install a leveling course and a wearing course where requested by the Public Works Superintendent.

§22-705.4.C. Intersection spacing, and curb radii listed below shall be considered minimum requirements.

Functional Classification	Intersection Spacing		Curb Radius
Arterial	1000 feet	100 feet	35 feet
Major and Minor Collector	800 feet	75 feet	25 feet
Local Street	500 feet	50 feet	25 feet

Intersection spacing, clear sight triangles and curb radii listed below shall be considered minimum requirements.

§22-705.5.A. Clear sight triangles for street intersections ~~and driveway intersections with street right-of-way lines~~ shall be ~~shown on the Record Plan and Landscape Plan and measured from the point of intersection of the street right-of-way lines in accordance with Section §2111 of the Township Zoning Ordinance.~~

§22-705.6. Sight Distances. ~~Minimum sight distances for stopping, passing and intersections shall comply with PennDOT standards shall be noted on the Land Development and Landscaping Plans, in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended.~~

§22-705.7.C.(3) At all approaches to intersections, grades for arterial and major collector streets shall not exceed 3% for a minimum distance of 100 feet from the intersection of curblines or edges of cartways. Street grades for all other streets shall not exceed ~~3~~4% for a minimum distance of 50 feet from the intersection of curblines or edges of cartways.

§22-705.8.B. Cul-de-sac streets shall have a minimum length of 400 feet, but shall not exceed ~~800-1,200~~ feet in length nor serve more than 25 dwellings or units. ~~Cul-de-sac streets may be extended to 1,200 feet upon approval by the Board.~~ Measurement of the length shall be from the edge of cartway of the abutting through street to the center of the cul-de-sac turnaround, measured along the cul-de-sac street center line.

§22-705.8.C. Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet. ~~Alternatively, for private cul-de-sac streets, a landscaped island is permitted to reduce impervious areas and for stormwater collection and treatment. The cartway width shall be a minimum paved width of twenty (20) feet unless a greater width is needed to accommodate emergency vehicles and as approved by the Fire Marshall. "No Parking" signs shall be installed as directed by the Fire Marshall. The island shall have mountable curb unless otherwise approved for drainage. If no curb is proposed, there shall be a minimum 2% salt-tolerant vegetated slope for 5 feet for pavement support.~~

§22-705.8.D. Cul-de-sac streets shall ~~not~~ be permitted ~~only as side streets extending from a through street off of another cul-de-sac street.~~ Such Cul-de-sac streets may not create a four-way intersection unless two permanent cul-de-sac streets intersect directly opposite one another along a local access street.

§22-705.8.F. ~~A fifteen foot by twenty foot snow storage easement shall be required along the right of way of the cul-de-sac bulb at a location approved by the Board.~~

§22-705.12.A All proposed street names shall be recommended ~~by staff~~presented to and reviewed by the Township Fire Marshal's office for duplication. ~~Street names shall be subject to approval by the Board. All street names shall be shown on the final plans to be recorded.~~

Remove **§22-705.12.H.(6)(a) through (d)** and replace with **§22-705.12.H.(6)** All street name sign posts, standards, and nameplates shall be in accordance with the Street Sign Detail provided in Appendix E Construction Detail and Specifications.

§22-705.13.C. All access drives and driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 4%, measured from the edge of cartway.

§22-705.13.D. All access drive and driveway construction shall be designed in accordance with the details listed in the Appendix and the following criteria. Alternatively, profiles and/or truck turning plans can be provided to demonstrate that emergency access vehicles can adequately maneuver the site to the satisfaction of the Fire Marshall:

Type of Access	Minimum Driveway Width	Minimum Radius	Maximum Grade	Maximum Change of Grade
Residential <u>or Agricultural</u>	12 feet	<u>10 feet</u>	<u>10%</u>	<u>8%</u>
Residential (Shared)	16 feet	10 feet	8%	<u>68%</u>
Non-Residential (One-Way)	<u>10-12</u> feet	25 feet	6%	<u>78%</u>
Non-Residential (Two-Way)	25 feet	25 feet	6%	<u>78%</u>

§22-705.13.H. ~~Sight distances shall be noted on the Land Development and Landscaping Plans in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended. Clear sight triangle for access drives and driveways intersecting a street shall be 10 feet, measured from the point of intersection of the street right-of-way line and edge of the access drive or driveway. For access drives and driveways, the dimensions used shall be determined by the classification of street being intersected. The site plan shall contain a notation that states that the applicant is required to maintain the area of the clear sight triangle and the Township has the right to enter and perform required maintenance in the area if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions and Conditions approved by the Board. The applicant shall be required to obtain easements from adjoining property owners if deemed critical to public welfare.~~

§22-705.13.J- ~~Driveways shall have a minimum turnaround area of 10 feet by 20 feet, or as recommended by the Township Fire Marshal's Office and approved by the Board.~~

§22-705.14.C. Pavement underdrains shall be placed along both sides of all proposed streets and in areas of cartway widening of existing streets as directed by the Township Engineer's representative in the field and in accordance with the details listed in the Appendix. A note shall be added to the plan to this effect.

§22-705.15.B. Crosswalks shall be a minimum of five-six feet in width and shall be constructed in accordance with PennDOT standards.

Add §22-705.18. Centralized mail delivery and cluster box units (CBU's). A freestanding, concrete pad pedestal-mounted mailbox containing more than one individually locked mailboxes and parcel compartments.

A. Where cluster box units (CBUs) are proposed, the following requirements shall apply:

- (1) CBU shall be designed such that they are centrally located to serve the residents of the development, while providing safe and efficient access for pedestrians and motor vehicles in the vicinity of the CBU.
- (2) Provisions for off-street and/or on-street parking, and compliance with accessibility, shall be provided to each CBU.
- (3) CBU and location shall be subject to the United States Postal Service's approved specifications which are incorporated herein by reference.
- (5) At least two parking spaces shall be provided near the CBU with one space signed as 15-minute parking only.

§22-705.15.D. Crosswalks shall consist of ~~brick red~~white thermoplastic ~~striping in a street imprint with herringbone continental~~ pattern and six inch white stripes, unless otherwise approved by the ~~Board of Supervisors~~Public Works Superintendent.

§22-707.1.B.(8) Curb ramps shall be required at all intersecting streets. ~~Curb ramps shall have a maximum slope of six horizontal to one vertical, with maximum side of two horizontal to one vertical, in accordance with accessibility guidelines.~~

§22-707.1.C. Construction Standards. As approved by the Board, pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas. Asphalt pedestrian walkways or recreational trails shall be constructed with 2 1/2 inches of wearing course and six inches of 2A stone subbase. Concrete pedestrian walkways or recreational trails shall be constructed with four-inch ~~class 'AA' air-entrained (3,500,000 PSI)~~ cement concrete and four inches 2B (Clean) stone subbase. Pervious asphalt, concrete, or pavers may be installed for facilities to be privately owned and maintained.

§22-708.1. General Standards

A. Parking areas shall be provided for all subdivisions and/or land developments in accordance with the Zoning Ordinance [Chapter 27] ~~and retrofitted for projects where the building is proposed to be expanded by 50% or more of the existing building square footage to improve the performance of the existing parking lots in an equitable manner.~~

...
G. All parking areas should include clearly defined and marked traffic patterns. Major vehicular routes shall be separated from major pedestrian routes within the lot.

H. Parking lots shall integrate green stormwater infrastructure by the use of plants and soils to naturally detain, treat, and infiltrate runoff from impervious surfaces. Bioretention, infiltration, amended soils, or other alternative design(s) as approved by the Township Engineer, shall be incorporated into all new parking areas, all parking lot expansions of 20 spaces or more, or redevelopment projects where existing parking areas have sufficient parking and can eliminate paved areas to add pervious areas.

I. Grid/grass structures are encouraged in perimeter parking areas that are seldom used or used seasonably. Permeable pavement systems, including interlocking concrete pavers and grid systems, are encouraged in low-traffic areas such as parking bays, residential parking pads, driveways, and reserve areas or overflow parking areas.

J. Redevelopment of Existing Parking Lot – For projects where an existing principal building is being expanded by 50% or more of the existing footprint, a minimum of 50% of the existing parking lot area shall be brought into compliance with these requirements.

~~§22-708.2.B. All parking stall striping shall be double lined in accordance with the detail listed in the Appendix.~~

§22-708.2.

C. All proposed planting islands and strips shall be provided with curb. Depressed curb or curb cuts are permitted where planting islands and strips are adjacent to a stormwater facility upon approval of the Township Engineer.

D. No more than 15 parking spaces shall be permitted in a continuous row without being separated by a minimum 10' by 18' planting island.

E. No parking areas shall exceed 30 spaces in capacity, without being separated into smaller parking areas by a minimum ten-foot plantings-strips.

~~§22-708.3.C.~~ The minimum parking aisle width shall be determined by the angle of parking and direction of traffic as follows.

Angle of Parking	Minimum Aisle Width
Parallel/one-way	12 feet
<u>30°/one-way</u>	<u>12 feet</u>
45°/one-way	18 feet
60°/one-way	18 feet
90°/one-way	20 feet
90°/two-way	24 feet

~~§22-708.4.B. The minimum width shall be 25 feet and parking along access drives is prohibited. Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use. Parking along access driveways is prohibited.~~

§22-708.5. Service Drives – Drive-Through Lanes, and Bypass/Escape Lanes Around

Buildings.

- A. The primary function of service drives is to provide emergency service access to the building, and to provide access to employee parking areas, loading facilities, trash collection areas and service areas.
- B. The minimum width shall be 20 feet for service driveways and parking along service drives shall be prohibited.
- C. Drive-through lanes shall be a minimum of 12 feet wide, or 10 feet wide if multiple drive-through lanes are proposed. Drive-through lanes shall be separated from the bypass lanes by painted lines or other delineation.
- D. A minimum 10-foot-wide bypass lane/escape lane shall be provided for all drive-through facilities.
- E. A drive-through lane shall not be the sole ingress and egress to the site.
- F. The design of a drive-through lane and bypass lane/escape lane shall minimize the blocking, crossing, or passing through of off-street parking areas and minimize crossing of, or the need to be crossed by, pedestrian accessways for patrons.
- G. Drive-through lanes shall be marked by signs which indicate the entrance and exit for the drive-through lane. The direction of traffic flow for the drive-through lane and bypass lane/escape lane shall be clearly marked.
- H. Delayed service parking areas shall be provided.
- I. The minimum stacking length provided for vehicles waiting for service shall be 132 feet.

§22-708.6. Parking Lot Design Standards

- A. All off-street parking shall be set back a minimum of 10 feet from any street ultimate right-of-way line, property line, sewage disposal system or private well. All off-street parking spaces shall be set back a minimum of ~~three-twenty~~ (20) feet from any side of any non-residential building. This setback shall not apply to driveways entering garages, service bays or carports and is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.
- ...
- G. Parking areas serving nonresidential uses that allow shopping carts in the parking areas shall be designed with cart return areas of suitable sizes and in suitable locations. Such cart return areas shall not be counted as parking spaces. The number and location of such cart return areas shall be approved by the Board Township Engineer.
- ...
- J. Walkways shall be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian full view of oncoming vehicles with minimum interference from trees, shrubs, and parking cars.
- K. Where pedestrian circulation crosses vehicular routes, a crosswalk with different material, pavement striping, speed tables, and/or signage shall be provided.
- L. At least one pedestrian route shall be provided and aligned within the parking lot with the main entry of a building to facilitate pedestrian movement where the building is open to the public. Clear separation/division from vehicular areas with landscaping, grade change, or surface material change shall be provided.

§22-709.1.

~~C. Each required loading space shall be no less than 14 feet by 60 feet for a tractor-trailer and 12 feet by 35 feet for smaller trucks.~~

DC. Each loading space and the area needed for maneuvering shall be located entirely on the lot being served and shall not conflict with parking aisles, stalls, access drives or service drives.

ED. Loading facilities shall be paved in accordance with the details listed in the Appendix, unless higher strength paving is required due to the type of anticipated vehicles.

~~F. The loading area shall be designed and used in such a manner so that at no time will it constitute a nuisance, a public safety hazard or an unreasonable impediment to traffic.~~

§22-711.3.A. All disturbed land within a development to be vegetated shall be graded at a minimum slope of 2% to provide proper drainage and dispose of stormwater runoff without ponding, except stormwater facilities designed to promote infiltration.

Add **§22-711.5.E.** Any areas of erosion along any onsite embankment, existing watercourse, etc. shall be identified and details provided for means and method of stabilization. A permit shall be obtained from the County Conservation District and/or PADEP as required.

§22-711.7.A. The Board in its consideration of all preliminary plans for subdivision and/or land development shall condition its approval upon the execution of erosion and sedimentation control measures as contained in this section. ~~The Township Engineer shall ensure compliance with the appropriate policies and standards of PADEP and the Bucks County Conservation District.~~

§22-711.7.D. An erosion and sedimentation control plan approved by the Bucks County Conservation District for projects disturbing 5,000 sf or more is required prior to the recording of final plans and any earthmoving activities, and shall be maintained onsite at all times. Implementation and maintenance of erosion and sediment controls is required for any earthmoving activity. Projects having less than 5,000 square feet of earth disturbance are required to implement and maintain erosion and sedimentation controls, however are exempt from developing a written plan (unless in a Special Protection watershed).

Add **§22-711.7.E.** The Sequence of Construction shall note that the Township shall be notified at least three (3) days prior to start of construction in order to coordinate construction observation.

§22-712 Stormwater Management

...
2. General Requirements...

...

- B. Stormwater Management Facilities. The applicant shall install stormwater management facilities, on- ~~and off~~-site, as necessary, to meet the following minimum requirements:

...

- 3) To convey stormwater runoff along or through the property to a natural outfall, such as a watercourse, drainage swale, storm sewer or other drainage facilities. If an applicant concentrates or redirects stormwater runoff to discharge at another location on the property, the applicant ~~is responsible for constructing~~ shall pursue offsite easements to install an adequate channel or storm sewer system on downstream properties and rights-of-way until a natural outfall is reached. A natural outfall shall have sufficient capacity to receive stormwater without deterioration of the facility and without adversely affecting property in the watershed.

...

- F. Where stormwater runoff will be collected within the subdivision and/or land development and discharged over lands within or beyond the boundaries of the subdivision and/or land development, the applicant shall reserve or obtain easements over all lands affected. The stormwater easement width shall be of adequate width to collect the stormwater runoff and for access to the stormwater facility (ies) for maintenance and repairs. If requested by the Board, the applicant shall convey, at no cost, the easement(s) to the Township. Otherwise, all such easements shall be owned and maintained by individual lot owner(s) or another approved entity. Ownership and maintenance responsibilities shall be noted on the site plan and stormwater agreement ~~for such shall be as~~ in a form approved by the Township Solicitor.

...

- K. Roof drains and sump pumps for proposed residential and nonresidential buildings shall discharge to infiltration or vegetative BMPs to satisfy the criteria for disconnected impervious areas. However, Sump pump and roof drains may be connected to an existing or proposed storm sewer system or discharged directly to a stormwater detention facility as approved by the Township Engineer. Sump pump and roof drains may also be discharged to a watercourse or drainage swale provided a minimum twenty-foot drainage easement is provided over all affected properties. Sump pumps and roof drains shall not be discharged over a driveway or sidewalk on an adjunct property, or through a curb onto a public street or directly connected to a roadway underdrain system.

...

- N. Stormwater management best management practices (BMPs) must be incorporated into the design of the stormwater management system ~~as determined by the Township Engineer~~. All proposed best management practices for stormwater and erosion control shall be designed in accordance with the latest DEP BMP Manual and the Township's Stormwater Management Ordinances, as amended [Chapter 26].

3. Stormwater Runoff Methodology.

- ~~A. Any stormwater detention facilities required by this chapter shall meet the applicable water quality requirement for the one-year return period, and peak rate requirements for the two, five, ten, twenty-five, fifty and one hundred-year return periods, consistent with the calculation methodology specified herein and in accordance with the regulations of the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~
- ~~B. To calculate the increase in total stormwater runoff and peak flow resulting from a proposed subdivision and/or land development, the "cover complex" method will be used, as outlined in Urban Hydrology for Small Watersheds, U.S. Department of Agriculture, Soil Conservation Service, Technical Release 55 (NTIS PB87-101580) and following mathematical analyses described in Computer Program for Project Formulation — Hydrology (SCS Technical Release 20, 1983), as amended. The design of any stormwater management facility intended to meet the requirements of this chapter shall be verified by routing the design storm hydrographs through the proposed stormwater detention facility.~~
- ~~C. All stormwater detention facilities shall be designed to meet the Release Rate Districts requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~
- ~~D. All stormwater detention facilities shall be designed to meet the water quality requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~
- ~~E. Farm field or disturbed earth (existing conditions) within a watershed, or portion thereof, used for modeling purposes shall be considered as "meadow" when developing the necessary "cover complex" calculations.~~
- A. Runoff calculation methodology, release rate districts requirements, water quality requirements, stormwater management plan requirements, operations and maintenance requirements, etc., shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].
- B. The Soil Conservation Service Type II twenty-four-hour rainfall distribution shall be used in the soil cover complex calculations. The twenty-four-hour rainfall depths for the return periods used in the calculations shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].
- C. In calculating the time of concentration for a watershed, the maximum length of sheet flow over paved or unpaved surfaces shall not exceed 150 feet. All time of concentration paths used for calculation purposes shall be shown on the Watershed Area Plan.

- 4. Detention Basin Facilities and Bioretention Facilities with a drainage area of one acre or larger, or with an aboveground ponding depth of greater than 2.5 feet as measured from the finished grade of the facility to the 100-year water surface elevation, shall be designed in accordance with the following minimum requirements:

...

- ~~B. The use of regional detention basins to combine and eliminate numerous smaller basins is encouraged. Within subdivisions, detention basins shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries, unless a homeowners association will own and maintain the detention basin. If a homeowners association is not created for a subdivision, any detention basin located on an individual lot shall be owned and maintained by the lot owner.~~
- ~~C.B.~~ All detention basin berms, including emergency spillways, shall have a maximum interior and exterior side slope of three horizontal to one vertical. The toe of any slope shall be located a minimum of five feet from any property line or street right-of-way line.
- ~~DC.~~ The maximum difference between the top of berm elevation and the lowest invert ~~elevation~~ of the outlet structure shall be seven feet.
- ~~E.~~ ~~Post development runoff volume generated from the one-year, twenty-four-hour design storm shall be controlled so that it is released over a minimum of 24 hours. Except with the one-year design storm, basins shall be designed so that they return to normal conditions within 12 hours after the termination of the storm.~~
- D. Storage facilities shall completely drain both the volume control and rate control capacities over a period of time not less than 24 and not more than 72 hours from the end of the design storm, unless approved by the Township Engineer. All open-air facilities shall be designed to completely infiltrate runoff volume within 3 days from the start of the design storm.
- ~~F.E.~~ The grading and utility plan shall contain a note that all detention basin embankments shall be placed in lifts not to exceed one foot in thickness. Each lift shall be compacted to a minimum of 95% of Modified Proctor Density as established by A.S.T.M. D-1557
- ~~G.F.~~ Outlet pipes from detention facilities shall be designed to control the peak rate for the one-hundred-year design storm. All basin outlet pipes shall be ~~watertight~~ reinforced concrete pipe having watertight "O-Ring" joints, with a minimum size of 48-15 inches.
- H.G. An emergency spillway shall be provided for a detention basin in order to convey basin inflow in excess of design flows, or in the event the outlet structure becomes blocked and is unable to convey the design flow. The minimum capacity of the emergency spillway shall be equivalent to the one-hundred-year peak inflow rate for the post-development design storm. Emergency spillways shall be constructed with a suitable liner, as determined by the Township Engineer, designed in accordance with the manufacturers' specifications, backfilled with topsoil, and seeded to protect the berm against erosion. The emergency spillway lining shall extend to the toe of the embankment on the exterior of the berm and shall extend to an elevation of three feet below the spillway crest on the interior of the berm.
- H.H. The minimum freeboard through the emergency spillway for basins shall be one foot and the maximum spillway length shall not exceed 75 feet.

- ~~J.I.~~ All portions of the detention basin shall be sloped towards the outlet structure at a minimum slope of 2%. A slope less than 2% is permitted for facilities relying on infiltration for drainage if an underdrain system is provided with cleanouts for maintenance. The underdrain shall have a valve at the outlet structure to allow the system to be drained should the infiltrative capabilities of the soils become compromised.
- ~~K.J.~~ The minimum ~~basin~~-berm width at the design elevation for basins shall be 10 feet. A cutoff trench (keyway) of impervious material shall be provided under all embankments that require fill material. The cut-off trench shall be a minimum of eight feet wide, three feet deep and have side slopes of one horizontal to one vertical.
- ~~L.K.~~ For all detention basins, the permanent outlet control structure shall be a Type "M" inlet grate and box. The inlet grate shall only be used as an emergency outflow and the grate elevation shall be equal to or higher than the one-hundred-year water surface elevation, but at least six inches below the emergency spillway elevation.
- ~~M.L.~~ Two anti-seep collars shall be installed around the basin outlet pipe and shall be centered within the normal saturation zone of the berm. The anti-seep collars and their connections to the pipe barrel shall be watertight.
- ~~N.M.~~ Detention basins shall be installed before the construction of any buildings or site improvements, unless otherwise approved by the Board and the Bucks County Conservation District. A preliminary basin as-built plan must be submitted and approved by the Township Engineer prior to beginning any building construction to confirm that the constructed volumes are in accordance with the design plans. A note confirming this shall be included on the record plan and in the sequence of construction.
- ~~O.N.~~ If a detention basin will serve as a temporary sedimentation basin, the temporary control measures shall be shown for the basin as required by PennDOT/Pennsylvania Code, Chapter 102 Regulations, as amended. Temporary sediment basins shall be in place prior to any earth moving activities within their tributary drainage areas.
- ~~P.O.~~ Energy dissipating devices (cable concrete/~~rip rap~~, or equivalent) shall be provided at all discharge points. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required where a basin outlet pipe is discharged along or within a public road right-of-way.
- ~~P.~~ Basins shall be screened and landscaped in accordance with the Landscape Planting requirements of this chapter and the following minimum requirements:
- 1.) Bioretention and infiltration facilities shall be planted with vegetation and/or seed mix other than turf grass to encourage evapotranspiration. Planting soil depth shall be at least 18" where only herbaceous plant species will be utilized. If trees and woody shrubs will be used, soil media depth shall be increased depending on plant species.
 - 2.) Planting soil shall be amended with a composted organic material. A typical organic amended soil is combined with 20-30% organic material (compost), and 70-80% soil base (preferably topsoil).

Q. Retention basins or wet ponds are recommended for areas of natural high ground water with a recommended minimum drainage area to the facility of 5 acres. To protect the public health, safety and welfare, At a minimum, the any retention basin design shall include be designed in accordance with the following:

1) a ~~A~~ ten-foot wide safety ledge, a clay liner, a maximum four-foot permanent pool depth, wet-tolerant plantings, cutoff trench, two fountain aerators with locked controls, the location of power source, and specifications for embankment construction and soil testing. The above criteria shall be specified in a retention basing ~~g~~-cross section detail.

2) a forebay for sediment collection and removal,

3) a dewatering mechanism,

~~Q.R.~~ Underground detention basins may be utilized for stormwater management, ~~when approved by the Board. When approved, t~~The underground detention basins shall be designed in accordance with the following criteria:

1) Underground detention basins shall be located outside all public rights-of-way.

2) Underground detention basins shall be constructed of ~~high density~~high-density corrugated polyethylene pipe, or approved equal. ~~The required volume shall be provided utilizing only underground pipe capacity. Each pipe shall have a minimum slope of 0.5%, except pipe slopes may be flat for infiltration facilities or Managed Release Facilities.-~~

...

4) A minimum of ~~one foot~~six inches of freeboard shall be provided between the one-hundred-year water surface elevation and the top of all inlet grates or manhole rims.

...

7) As-built plans shall be provided for any underground detention basin to verify it was constructed in accordance with the approved plan ~~prior to backfilling of the basin. A note to this effect shall be included on the record plan and in the sequence of construction.~~

S. Managed Release Basins. If it has been determined that it is not feasible to manage the required volume through infiltration and evapotranspiration alone due to soil or other environmental constraints on the site, all Managed Release Concept stormwater facilities shall be in accordance with the most recent Managed Release Concept design guidance provided by PADEP.

5. Storm Sewer.

...

E. Storm sewer within the Township ultimate right-of-way shall be reinforced concrete pipe ~~with a minimum diameter of 15 inches or equivalent.~~ Storm sewer located outside a public ultimate right-of-way or easement shall be high density corrugated polyethylene.

6. Inlets.

- C. Inlet spacing in paved areas shall be arranged so that a minimum of 80% of the gutter flow tributary to the inlet will be captured. The designer shall be required to verify that bypass surface runoff from the one-hundred-year design storm will enter the storm sewer piping system at some point, prior to discharge into a ~~detention basin~~stormwater facility or other approved outlet point. Inlets shall be spaced so that the accumulation of surface bypass runoff and surface runoff tributary to an individual inlet will not exceed other design requirements specified in this chapter. Inlet capacity shall be based on inlet efficiency curves provided in PennDOT Design Manual, Part 2, as amended.

7. Manholes.

- C. Storm sewer manholes located within public rights-of-way, ~~the manhole covers~~ shall have the word "STORM" cast in two-inch high letters.

8. Headwalls and Endwalls.

- B. A Type "DW" endwall shall be provided at the termination of all storm sewer systems, unless conditions warranted an alternate type approved by PennDOT and/or ~~the Board~~the Township Engineer.

9. Overflow System. An overflow system shall be provided to carry all bypass flow and/or flow in excess of storm sewer design capacity, to ~~the detention basin~~stormwater facility (or other approved outlet point) when the capacity of the storm sewer system is exceeded. Stormwater runoff will not be permitted to discharge from any storm sewer structures.

11. Bridges and Road Culverts.

- ~~D. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required at the upstream and downstream ends of all bridges and culverts.~~

12. Access Drive and Driveway Culverts.

- B. The minimum culvert size shall be 15 inches, or equivalent and constructed of reinforced concrete pipe with flared end sections or HDPE with flared end sections. The Township may approve a smaller culvert if it is demonstrated that the pipe is adequate for the 100-year design storm.

- D. Where an existing roadside drainage swale is too shallow to permit installation of a driveway pipe, the Board Township Engineer may approve the use of a concrete trench box with grate.

13. Drainage Easements, Ownership and Maintenance. Drainage easements, ownership and maintenance responsibilities for all stormwater management facilities shall be as follows:

A. ~~Detention Basin~~Stormwater Easements.

- (1) When any ~~detention basin~~stormwater facility is proposed within a subdivision and/or land development, a ~~blanket or defined~~ easement shall be provided. The description of the facility defined easement, access to facility, and the terms of the ownership and required maintenance, shall be provided on the recorded Post Construction Stormwater Management Plan incorporated on the site plan.
- (2) ~~An easement and~~ stabilized access to a ~~detention basin~~stormwater facility shall be provided for maintenance and operation. ~~This access easement shall be cleared and shall be a minimum of 20 feet in width.~~ Access to detention basins and similar facilities shall be constructed of interlocking grass paving system and backfilled with topsoil and seeded if required by the Township Engineer. The access shall be a minimum of 12 feet in width and be no steeper in slope than 12 horizontal to one vertical. In addition, depressed curb and concrete driveway apron shall be provided where the access enters a road or access drive. ~~Access easement shall be owned and maintained by the individual lot owner or homeowners association.~~
- (3) A homeowners association, or other entity as approved by the Township Solicitor, shall be required for any facility managing stormwater flows from more than one lot. Within residential subdivisions, stormwater facilities shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries unless a homeowners association will own and maintain the facility(ies).

B. Storm Sewer and Drainage Swale Easements and Agreements.

- (1) Easements shall be a minimum of 20 feet in width and shall be provided to accommodate required storm sewer facilities and drainage swales. No other utilities shall be located within a storm sewer easement, unless approved by the Township Engineer and Utility provider.
- (2) On private property, the individual owner or homeowners association shall maintain the easement area, including ground cover, fencing and/or landscaping.
- (3) Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be calculated as set by Township resolution.

C. ~~Stormwater Maintenance Agreement~~.

- (1) ~~When an applicant retains ownership of any stormwater management facility, such entity shall be responsible for repair and maintenance of the facility. The site plan shall contain a notation permitting access to such facilities deemed~~

~~critical to public welfare, for inspection at any reasonable time by the Township or its designee.~~

- ~~(2) The site plan shall also contain a notation that states the approval of the final plans is conditioned upon the applicant agreeing to be responsible for all repairs and maintenance of the stormwater management facility and permitting access to such facilities deemed critical to public welfare, for inspection at any reasonable time by the Township or its designee. This Stormwater Maintenance Agreement shall be in writing, as prepared by the Township Solicitor, for recording. The failure of the applicant to properly maintain any stormwater management facility shall be construed to be a violation of this chapter and shall be declared to be a public nuisance, subjecting the violator to any and all penalties provided by law.~~

~~D. Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee in order to maintain the stormwater management facilities. The fee shall apply to all storm sewers located in public rights of way or any easement owned by the Township. The amount of the fee shall be set by Township resolution.~~

§22-713.1.E Provide planted buffers of native species for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape and protect the surrounding areas.

Add §22-713.1.G. To manage existing vegetation through the removal or management of dead, diseased, dying trees and invasive species that could create a hazard to the health, safety, and welfare of the community.

§22-713.2.B.(5) The site plan shall contain plan notations stating that, in the opinion of the Township Engineer's representative or certified arborist, any trees intended to remain and are disturbed, damaged or killed during or as a result of construction shall be replaced at a rate of one caliper inch for one caliper inch.

Add §22-713.2.E. Any specimen tree having a diameter of thirty (30) inches or more, measured at twelve (12) inches above natural grade line, shall not be removed, whether located within a woodland area or standalone.

§22-713.3. Parking Area Greening and Landscaping

Parking lots should be effectively landscaped with trees and shrubs to reduce the visual impact of glare from headlights, and parking lot lights; to delineate driving lanes; and define rows of parking. Furthermore, parking lots should be adequately landscaped to provide shade in order to reduce the amount of reflected heat, to allow surface infiltration of stormwater runoff, and to approve the aesthetics of parking lots.

- A. Planting islands. All 10-foot by 36-foot planting islands shall contain 2 shade trees and all 10-foot by 18-foot plantings islands shall contain one shade tree. Planting islands require a minimum of 85% ground coverage of low-growing shrubs, grasses, and/or ground cover plants, as determined by the design ground coverage of the plant species proposed, including any parking islands that are designed as a stormwater facility which shall have wet tolerant species.

- B. Plantings Strips. Planting strips shall be provided for all rows of parking spaces

not separated by a drive aisle a minimum of 10 feet wide and shall run the length of the parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average, including any parking strips that are designed as a stormwater facility which shall have wet tolerant species.

- C. § 22-713.4.B(1) Any lot with 30 parking spaces or more shall have landscaped areas within the paved area equal to a minimum of 5% of the total paved area. The total paved area shall exclude landscape strips around the perimeter.

~~D.C.~~ All planting islands and strips shall be underlain by soil improved to a minimum depth of 30 inches, not stone or bituminous material, and shall be graded not to exceed a slope of 5 horizontal to 1 vertical. A soil improvement detail and notes on the Landscape Plan shall include the removal of all construction debris and existing compacted soils and the specifications for the soil improvement mix.

~~E.D.~~ The placement of light standards shall be coordinated with the landscape plan to avoid a conflict with the effectiveness of light fixtures.

~~F.E.~~ ~~Shade trees~~ All required plantings shall be native plants and shall be selected from the List of Required Plant Material contained in the Appendix.

G. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands well-distributed throughout the paved surface. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."

§22-713.4.A. – Street Trees. Street trees shall be planted every 30 feet along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development. If existing trees meet the intent of this section, they may be utilized to meet the street tree requirements subject to approval by the Township Engineer.

§22-713.4.B. – Street trees shall be planted between ~~three and five~~ and ten feet outside the ultimate right-of-way line unless otherwise specified in this Chapter, and as an alternative, the same quantity of trees may be planted in an informal arrangement along the perimeter of the street, when approved by the Board.

§22-713.5.A. All subdivisions and/or land developments shall comply with the buffer yard requirements of the Township Zoning Ordinance [Chapter 27]. The spacing and composition of the buffer yard plantings strips required by the Zoning Ordinance shall comply with the following provisions:

- (1) Each strip shall contain a combination of native evergreen and deciduous trees and shrubs listed below in naturalistic groupings rather than linear strips.
- (2) The mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. Unless required elsewhere in this chapter, plantings are not required to run parallel or be aligned on property or right-of-way boundaries. At the discretion of the Township, plant material may be sited on any portion of the property for buffer purposes and may be staggered or grouped, if a satisfactory buffer can be achieved in this fashion.

Buffer Width	Planting Options
<u>25-foot buffer width</u>	(a) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen per 60 feet</u>
<u>35 and 45-foot buffer widths</u>	(b) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen tree per 30 feet and 1 shrub per 20 feet</u> (c) <u>A Vegetated Filter Strip in accordance with the PA Stormwater BMP Manual including 1 canopy tree per 60 feet and 1 flowering tree every 60 feet and 1 evergreen per 60 feet and planted with native grasses or flowering meadow mix with a wide variety of species, not standard turf grass.</u> (d) <u>1 canopy tree per 40 feet and 1 evergreen per 30 feet and 1 shrub per 5 feet</u>
<u>45 feet buffer width or greater</u>	(e) <u>1 canopy tree per 40 feet and 1 flowering tree per 50 feet and 1 evergreen per 50 feet and 1 shrub per 15 feet</u> (f) <u>1 canopy tree per 100 feet and 1 evergreen per 30 feet and 1 shrub per 15 feet</u> (g) <u>1 evergreen per 25 feet and 1 shrub per 10 feet</u> (h) <u>A berm varying in height with maximum side slopes of all to be 4 horizontal to 1 vertical and 1 flowering or evergreen tree per 20 feet and 1 shrub per 10 feet Stormwater infiltration berms are permitted in accordance with the PA Stormwater BMP Manual, as amended, with species chosen to suit the proposed soil conditions.</u>

§22-713.5.A(3). Plant materials shall be native and selected from Appendix D of this Chapter Required Plant Material List.

§22-713.5.B.(1) Off-Street Parking Areas. ~~One deciduous or evergreen shrub~~ Densely planted with a mixture of evergreen and deciduous shrubs and grasses every five feet to create a screen along the perimeter of the parking area.

(a) In addition to the above, for every parking lot buffer that abuts a sidewalk or a street for a parking area of 5 spaces or more, one of the options below shall be installed to block headlights:

(1) Option A: One (1) shade tree and 10 evergreen shrubs shall be planted for each 30 feet of buffer length and 1 square foot of perennial plantings for every linear foot of total buffer.

(2) Option B: A low-wall fence or berm not to exceed 4 feet in height or 3:1 slope as measured from the adjoining sidewalk, along with 1 tree per 30 feet of buffer length and three shrubs for every 20 feet of buffer length. An increased height may be permitted up to 8 feet high where there is unusual topography, larger vehicles, or other similar circumstances.

§22-713.5.B.(2) Trash Collection Areas and Mechanical Units. A minimum six-foot ~~wooden shadow box opaque~~ fence ~~or wall, or approved equal~~, on at least three sides, with a staggered row of evergreen trees planted every 10 feet along the fence perimeter.

§22-713.5.B.(8) Easements.—The boundary of a pedestrian ~~or vehicular~~ access easement, when located on, or adjacent to, ~~a lot private property~~, shall have a method of physical delineation ~~on both sides~~ consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors.

Add **§22-713.5.B.(9)** The boundary of a vehicular access easement, such as emergency access easements, when located on, or adjacent to a private property, shall have a method of physical delineation on both sides consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors and Fire Marshall.

Add **§22-713.5.B.(10)** Proposed and existing conservation easements shall be physically delineated in the field by a concrete monument at the intersection of the easement with the property line. A two or three-rail split-rail tapered fence or stone-shaped concrete monument corner may be substituted at the discretion of the Board of Supervisors.

§22-713.6.A. – General Requirements. The location, dimensions and spacing of required plantings should be adequate for their proper growth and maintenance, taking into account the sizes of such plantings at maturity and their present and future environmental requirements, such as wind, soil, moisture and sunlight. Plantings should be selected and located where they will not contribute to conditions hazardous to public safety and trees shall be a minimum of 10 feet from all existing and proposed underground and overhead utilities.

§22-713.6.B. – Plant Specifications. All plant material shall meet the minimum standards for health, form, and root condition as outlined in the American National Standards Institute (ANSI) Z60.1 — ~~1996~~2014, as amended. All plant material shall be hardy and within the United States Department of Agricultural (USDA) Hardiness Zone 6, applicable to Bucks County, Pennsylvania.

§22-713.6.C. – Installation. All shade and evergreen trees shall be supported with stakes and guy wiring in accordance with The American Nursery and Landscape Association (ANLA) Standards. The backfill for excavated planting areas shall be composed of native topsoil and shall be mulched six inches beyond the dripline. Mulch shall not be applied against the trunk. The trunk flare shall remain visible.

Add **§22-713.6.E.** To ensure plant diversity and the sustainability of the installation in parking lots, the following plant diversity is required, where 60% of trees in parking lots must be large shade tree species and 25% of all trees evergreen:

Plant Diversity Requirements		
Minimum Number of Required Trees	Minimum Number of Tree Species	Maximum % of any 1 species
1-5	1	100
6-15	2	50
16-30	3	40
31-50	4	30
51+	5	20

§ 22-714. Lighting

1. Purpose. It is the purpose of these requirements to regulate the design, placement, orientation and distribution of lighting in order to:
 - A. Provide lighting of facilities to protect public health, safety and welfare.
 - B. ~~Control glare from parking areas and protect the privacy of adjacent properties.~~ Minimize adverse offsite impacts of lighting such as light trespass and glare.
 - C. ~~Provide lighting for safe vehicular and pedestrian movements.~~
 - D. ~~Limit spacing, fixture type and height of lighting to lessen light pollution.~~ Protect the natural environment from the adverse effects of night lighting from artificial light sources.
 - E. ~~Promote efficient design and construction with regard to energy conservation.~~ energy conservation.
2. Definitions
 - A. **Backlight** – For an exterior luminaire, lumens emitted in the quarter sphere below horizontal and in the opposite direction of the intended orientation of the luminaire. For luminaires with symmetric distribution, backlight will be the same as front light.
 - B. **BUG** - A luminaire classification system that classifies Backlight (B), Uplight (U) and Glare (G).
 - C. **Footcandle** -The unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one-foot square from a distance of one foot.
 - D. **Glare** – Lighting entering the eye directly from luminaires or indirectly from reflective surfaces that causes visual discomfort or reduced visibility.
 - E. **IES** - An acronym for the Illuminating Engineering Society, a professional guidance body for lighting engineers.
 - F. **LED** - Light Emitting Diode
 - G. **Light Trespass** - Light that falls beyond the property boundary it is intended to illuminate
 - H. **Mounting Height** – The height of the photometric center of a luminaire above grade level
 - I. **Uplight** – For an exterior luminaire, flux radiated in the hemisphere at or above the horizontal plane.
- 2-3. Applicability. Lighting shall be required for facilities as deemed necessary by the Board, including but not limited to ~~for all~~ public streets, parking areas, ~~sidewalk~~pedestrian ways, entrances, loading facilities, access drives, nonresidential buildings, multifamily subdivisions, recreational facilities and, other public facilities. ~~and at any other locations deemed necessary by the Board.~~

4. ~~Public~~ Streetlights.

A. Residential Streets. ~~Public~~ Streetlights shall be required for all residential subdivisions at the following locations: ...

...

C. Prior to the submission of Final Plans, the applicant shall submit a petition to create a streetlight district to the Township. All streetlights shall be the responsibility of the property owner.

D. The site plan shall contain a plan notation stating, "All streetlights shall be installed and energized prior to the issuance of the first occupancy permit for any subdivision and/or land development or first phase or section thereof and the lighting and maintenance costs shall be assessed to affected property owners on a per lot basis or by an owners' association."

E. The applicant shall be responsible for all costs involved in lighting the streets until such time that the Township accepts the streets for dedication or accepts the improvements at the end of the 18-month maintenance period. Thereafter the property owner(s) shall be responsible.

F. Streetlight Specifications

...

(2) Where streetlights are installed at intersections, the applicant ~~shall~~may install combination street name signs and streetlights.

...

(1) (4) All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk. ~~For all commercial, industrial, public recreational, and institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring wound) backup to extinguish light sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.~~

...

4. ~~Parking Areas and Loading Facilities.~~

A. ~~Lighting of parking areas, including access drives and loading facilities, shall meet the minimum illumination levels and uniformity ratio specified in this chapter.~~

B. ~~Light standards shall be a maximum of 20 feet in height, and have a concrete base raised 30 inches above finished grade.~~

- ~~C. Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface.~~
- ~~D. All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk.~~
- ~~E. All electrical power lines to lighting fixtures shall be underground.~~
- ~~F. Glare Control.~~
- ~~(1) The maximum light intensity measured at any point along the property line shall be 0.2 footcandles.~~
 - ~~(2) All lighting fixtures shall meet all applicable IESNA cutoff criteria.~~
 - ~~(3) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.~~
 - ~~(4) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.~~
- ~~5. All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Board in accordance with the recommended practices and standards of the IESNA.~~
- ~~6. The applicant shall submit three copies of an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.~~
- ~~7. Where required by this chapter, illumination levels shall have intensities and uniformity ratios in accordance with recommended practices of the IESNA handbook RP-20-98 and IESNA Handbook RP-8-00, as amended, and in accordance with the minimum standards listed below:~~

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
High Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Retail, Office)	0.9 Minimum	4:1
Medium Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Industrial, Institutional)	0.4 Minimum	4:1
Multifamily Residential Parking	0.2 Minimum	4:1
All Nonresidential Subdivision Streets	0.9 Average	6:1

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
Pedestrian Walkways, Bike Lanes, Trails	0.2 Average	5:1
Building Entrances	2.0 Average	—

5. Parking Areas and Loading Facilities.

A. Illumination Levels

Lighting of parking areas, including access drive, loading facilities, pedestrian walkways and building entrances, shall have intensities and uniformity ratios in accordance with the recommended practices of the Illuminating Engineering Society (IES) as contained in the most current editions of the following publications:

- (1) IES RP-43-22 Lighting Exterior Applications
- (2) IES RP-8-22 Lighting Roadway and Parking Facilities
- (3) IES G-1-22 Guide for Security Lighting for People, Property and Critical Infrastructure

<u>Description of Use/Area</u>	<u>Light Level (footcandles)</u>	<u>Uniformity</u>
<u>General Uncovered Parking Area Drive Aisles & Parking Spaces</u>	<u>0.2 Minimum</u>	<u>20:1 max:min</u>
<u>Parking Area General Pedestrian & Vehicle Transaction Areas</u>	<u>0.9 Minimum</u>	<u>15:1 max:min</u>
<u>Mixed Use Trails (when required)</u>	<u>0.8 Minimum</u>	<u>5:1 ave:min</u>
<u>Building Entrances</u>	<u>1.0 Average</u>	<u>5:1 ave:min</u>

B. Luminaire Design

- (1) Mounting height. Light standards shall be a maximum of 20 feet in height.
- (2) Location. Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface. Poles shall be a minimum of five feet (5') from the edge of pavement or protected by a raised concrete base thirty inches (30") in height.
- (3) Color Temperature. Luminaires shall have a maximum color temperature of 3,000K.
- (4) Uplight (U) value for all luminaires shall be zero (0).
- (5) All electrical power lines to lighting fixtures shall be underground.

C. Control of Light

- (1) For all commercial, industrial, public recreational, and institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to extinguish light sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.
- (2) The maximum light intensity measured at any point along the property line shall be 0.1 footcandles at any point along off-street areas and 0.30 footcandles along public roadways.
- (3) The maximum uplight (U) value as defined by IES TM 15-20 shall be 0 and the maximum glare (G) value shall be 2 adjacent to properties with a residential use.
- (4) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.
- (5) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.
- (6) All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Township Engineer in accordance with the recommended practices and standards of the IESNA.

D. Compliance Monitoring

- (1) The applicant shall submit an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.
- (2) The Township reserves the right to conduct post-installation inspections to verify compliance with the requirements of this Ordinance and approved lighting plan commitments, and to require remedial action at no expense to the Township.

§22-715.2.G.(3) ~~Recreation Fees Districts. The fees~~ shall be recorded to one of the ~~recreation fee districts~~ Township Planning Areas in Appendix C to ensure that the lands and facilities are accessible to the residents of the development(s) that paid fees towards their cost. ~~The Recreation Fee District Map in this Appendix designates "Recreation Fee Districts."~~ Any fees collected under this chapter shall be expended only within the same ~~Recreation Fee District Planning Area~~ as the subdivision and/or land development that contributed the fees, except that fees from any district may be used for public Township-wide amenities such as trails, community parks and recreation areas.

§22-715.3.A.(5)(b) Stormwater ~~De~~Retention Facilities. Stormwater retention basins may be approved by the Board if the resulting body of water is integrated into the landscape

and the area can be used by the residents for active recreational activities.

§22-717.3 All underground utilities shall be located as much as possible between the curb or edge of cartway and the edge of the sidewalk or right-of-way line.

§22-719.6. The site plan shall contain a plan notation stating that any existing or proposed well is subject to the provisions of the well construction standards, which includes requirements for well permitting, water quality testing and well production certification.

§22-719.7.A. ~~Four~~ Two copies of a Water Resource Impact Study shall be submitted to the Township with the preliminary plan application. An application for subdivision and/or land development shall be considered incomplete without the required water resource impact study.

§22-719.8.A. Purpose. These regulations are to ensure that existing wells and new wells constructed in New Britain Township can provide a reliable, safe and adequate supply of water to support the intended use within the capacity of available groundwater resources and to estimate any impacts of the additional water withdrawals on existing nearby wells, underlying aquifers and watercourses.

§27-721.6. If the property being subdivided or developed contains an existing on-site sewage disposal system, the applicant shall submit to the Township acknowledgment from ~~the Bucks County Department of Health~~ a reputable septic system inspection company indicating that the existing system has been inspected and is functioning properly.

§27-721.9. The property owner shall execute an operation and maintenance agreement with the Township and post the required financial security for any non-conventional, alternate or experimental sewage system, such as an Individual Residential Spray Irrigation System, Small Flow Treatment Facility or Community Sewage System. The design, plans and specifications for the proposed system shall be approved by the Township and Bucks County Health Department prior to final plan approval. The agreement shall provide for a non-refundable fee to the Township for administration and future compliance monitoring and shall furthermore provide for sufficient financial security to guarantee the proper operation and maintenance of the proposed facility in accordance with the Act, which may include cash, a letter of credit or other Township approved financial security.

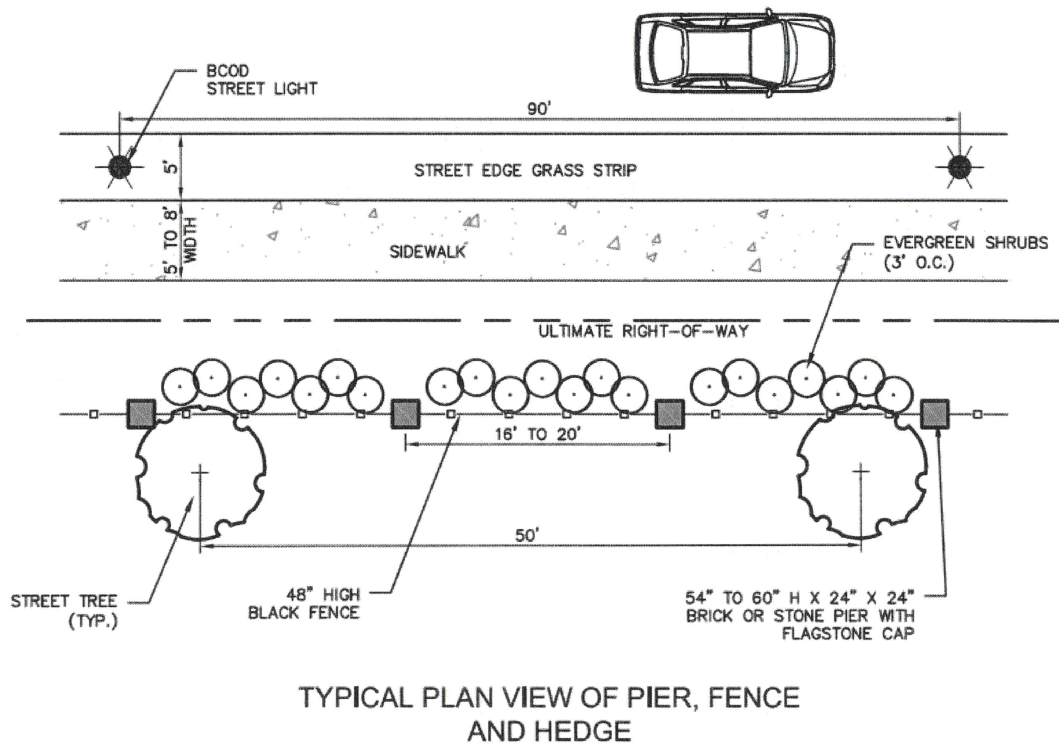
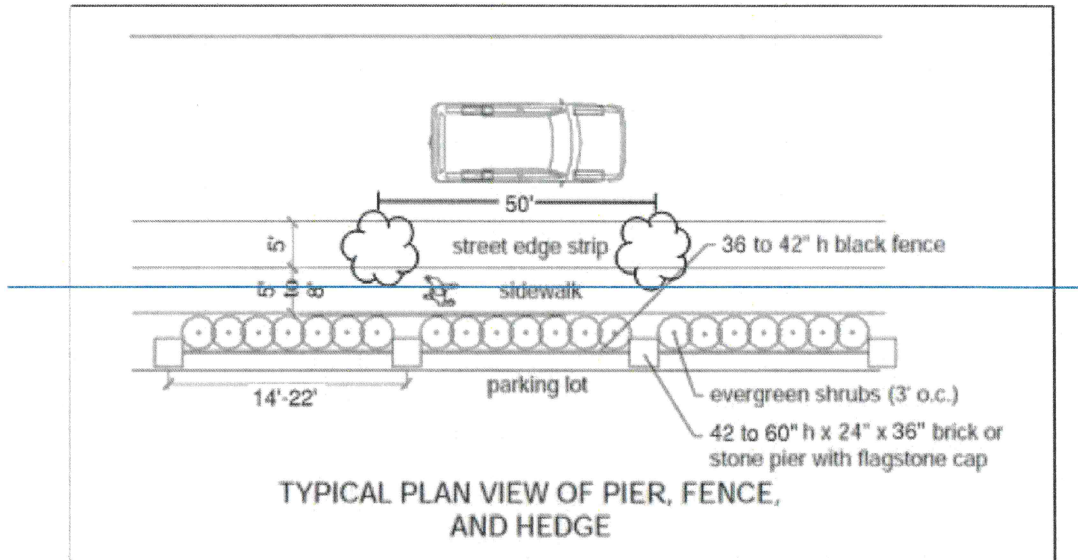
§§22-722.4.C.(7)(b) All street trees shall be planted ~~in the planting strip located between the curbline and the sidewalk~~ 5 to 10 feet behind the ultimate right-of-way. See the "Typical Plan View" illustration in Subsection 4D(7).

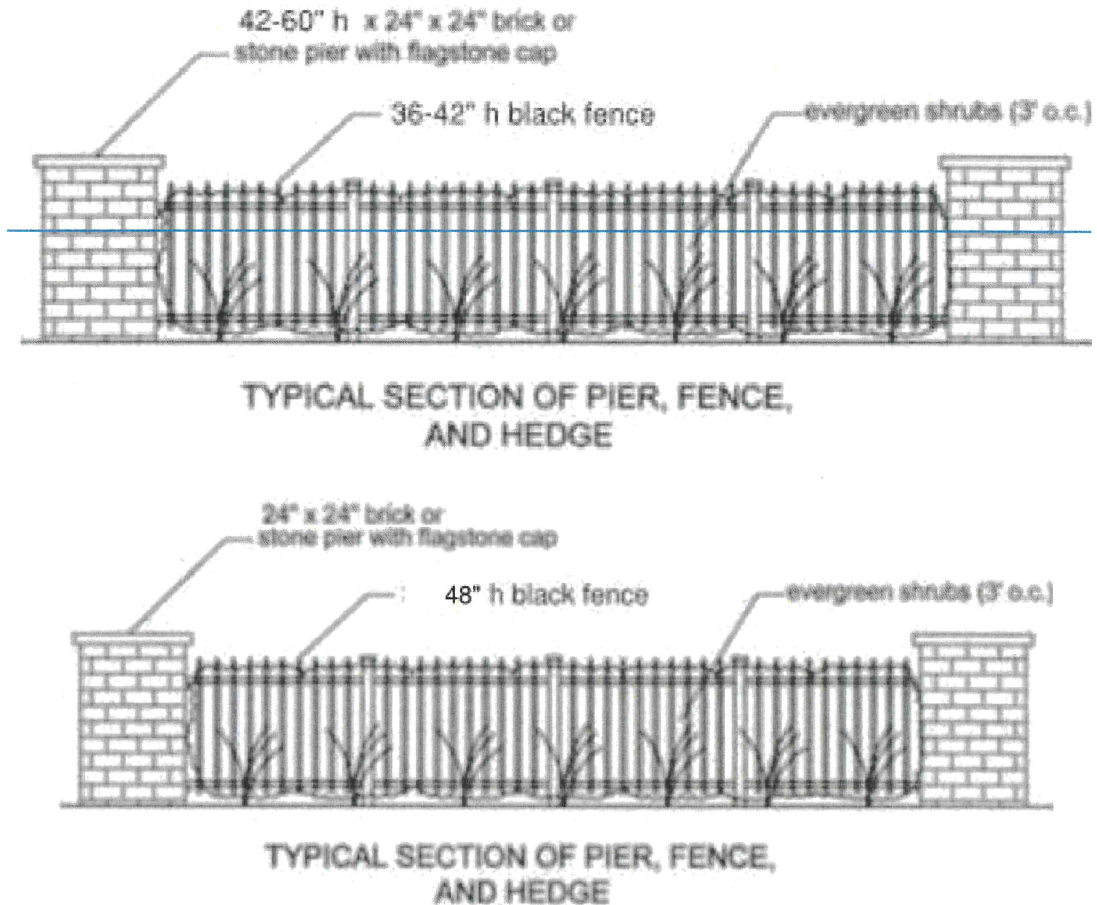
22-722.4.D.(7)(a) Where parking areas are located or are proposed to be located between a street and a principal building, a buffer fence shall be installed within ~~between~~ five and ten feet outside of the ultimate right-of-way line of the street between this parking area and the street. This buffer fence shall be constructed and installed in accordance with the following standards, figures, and illustrations:

- 1) The fencing shall be black steel or aluminum, ~~36 inches to 42~~ 48 inches in height, and installed and maintained between the masonry piers. The masonry piers shall be constructed out of stone or brick, six to 18 inches taller than the fencing between them, 24 ~~to 36~~ inches or greater in width and depth, and with a concrete or stone

cap. The piers shall be evenly installed ~~44 to 22~~ 16 to 20 feet on center or at a spacing to be approved by the Township Engineer.

- 2) Evergreen hedge plants, initially at least 18 to 24 inches in height and maintained at a height of no less than 30 inches, shall be installed and maintained between the fencing and the street.



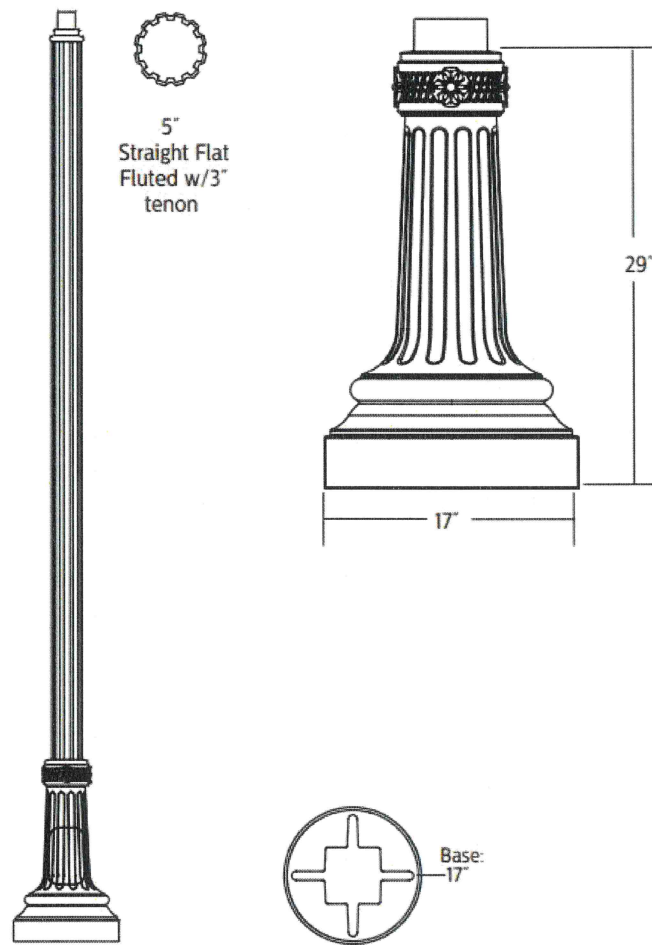


§22-722.4.e. All parking areas, walkways, and passages shall be adequately illuminated with a lighting system designed to complement the general areas and the site of the proposed development and to prevent any off-site glare and spillover light onto adjacent properties.

- (1) All light fixtures shall be shielded to reduce light spillage beyond the extent of the property line. At no point shall any light trespass onto adjacent residential properties exceed 0.1 footcandle at the residential property line, and at no point shall any light trespass onto adjacent nonresidential properties exceed ~~0.5~~ 0.3 footcandle at the nonresidential property line.
- (2) Pedestrian scaled lighting shall be positioned along on-site pedestrian walks and trails such that lighting levels ~~along them maintain a consistent 0.2 footcandle~~ are consistent with IES recommended guidelines.
- ...
- (4) Freestanding fixtures shall utilize appropriate ~~shape cutoff~~ luminaires with shielding of the light source at angles above 72° from the vertical ~~having an Uplight (U) rating of (0)~~.

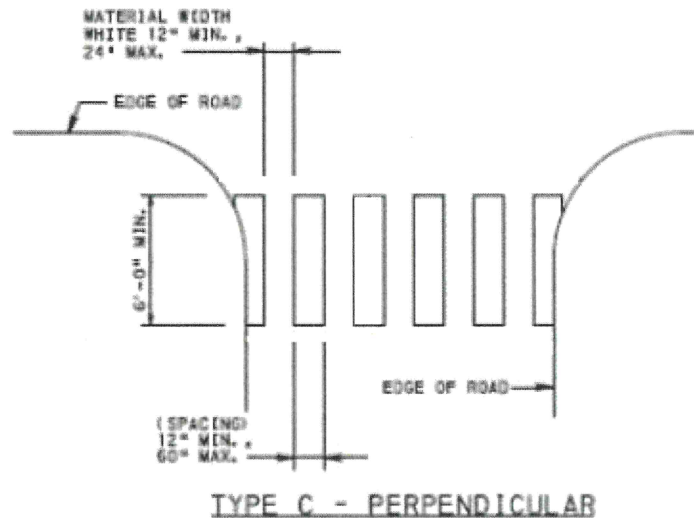
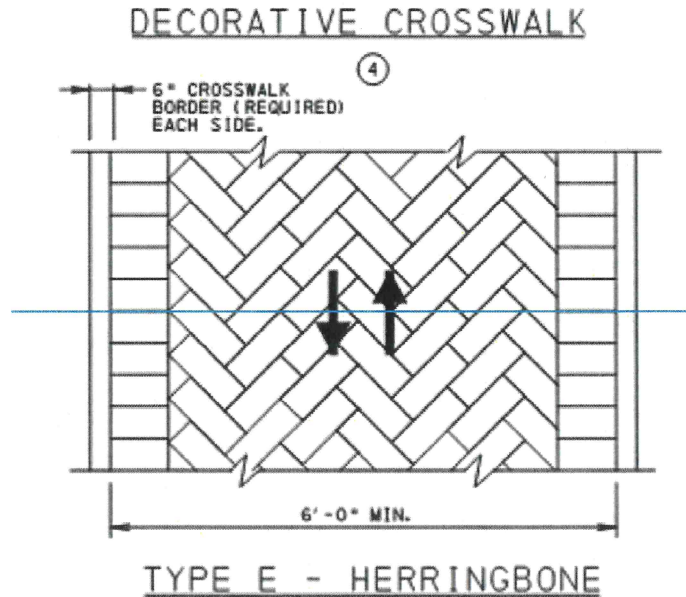
- (a) in order to establish a consistent design scheme along the corridor overlay district, all freestanding fixture types shall be constructed of metal, with a black finish. The luminaire shall be in the style illustrated below from ~~philips [citypost led post top (tx1)]~~ Signify [Hagerstown LED Post Top Comfort (txo3c)-Gen 2], Type III Distribution, 3000K Color Temperature and shall be placed upon a P3165 pole from Signifyphilips, or the Board of Supervisors may approve an appropriate alternative. The detail shall be in accordance with the Township's Standard Butler Avenue Corridor Overlay District Street Light Detail unless otherwise approved.





- ...
- (c) The maximum height of freestanding fixtures ~~shall~~ may vary to provide scale and dimension to the project. All lighting fixtures shall not exceed 15 feet in height, except up to 25% of the fixtures may be up to 25 feet in height. Fixture heights shall be measured from the top of the fixture to ground level. Streetlights directly along West Butler Avenue shall be 14 feet in height.
- (5) Building-mounted lighting shall be shown on all plans. All building-mounted lighting shall ~~be designed so that all light from the source is shielded at angles above 72° from the vertical so as not to create any glare or visible source of light~~ have an Uplight (U) rating of zero (0). Building-mounted lighting shall not be installed higher than the building upon which it is mounted and shall not exceed 30 feet in height in all cases, as measured from the top of the fixture to ground level. Lights are not permitted to outline buildings or rooflines.

§22-722.4.F.(3) Pedestrian crosswalks in public streets, internal streets, drives, and parking areas shall be distinguished from asphalt driving surfaces through the use of ~~maroon-colored StreetPrint asphalt imprinted textured~~ crosswalks. Crosswalks shall consist of white thermoplastic in a continental pattern, or an appropriate alternative approved by the Board of Supervisors. The use of this distinguishing material is to enhance pedestrian safety and comfort, as well as the attractiveness of the crosswalks. These crosswalks shall be at least as wide as the sidewalks/walkways to which they connect and shall match the following illustration.





NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

SUBDIVISION & LAND DEVELOPMENT APPLICATION

<p>1. Date of Application: _____</p> <p>2. Date of Plan or Revision: _____</p> <p>3. Application for (check all that apply): <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Prelim/Final</p> <p>4. Name of Subdivision or Land Development: _____</p> <p>5. Location: _____</p> <p>6. Tax Map Parcel #: 26-_____ Total Acreage: Gross _____ Base Site Area _____</p> <p>7. Net Buildable Site Area (from Section 2401): _____</p> <p>8. Zoning Requirements: Zoning District _____ Minimum Lot Size _____ Maximum Density _____ Front Yard _____ Side Yard _____ Rear Yard _____</p> <p>9. Number of Lots or Dwelling Units: _____</p> <p>10. Equitable Owner of Record of Land: _____ Address: _____ Phone: _____ E-mail: _____</p> <p>11. Applicant: _____ Address: _____ Phone: _____ E-mail: _____</p> <p>12. Attorney: _____ Address: _____ Phone: _____ E-mail: _____</p> <p>13. Registered Engineer or Surveyor: _____ Address: _____ Phone: _____ E-mail: _____</p> <p>14. Type of Water & Sewer: <input type="checkbox"/> Public Water <input type="checkbox"/> Private Water <input type="checkbox"/> Public Sewer <input type="checkbox"/> Private Sewer</p> <p>15. Proposed Use: _____</p>	TOWNSHIP USE ONLY <hr/> <p>Date Recieved: _____</p> <p>Payment: _____</p> <p>Check #: _____</p> <p>Receipt #: _____</p> <p>Escrow Amt: _____</p> <p>PSA #: _____</p>
--	--

This is to certify that I have read Article V of the New Britain Township Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of that Article to the best of my knowledge.

Signature of Applicant

Signature of Registered Engineer or Surveyor

SUBDIVISION & LAND DEVELOPMENT PLAN SUBMISSION CHECKLIST

Date of Application: _____
Subdivision/Land Development Name: _____
Address of Property: _____
Owner(s) Name: _____
Applicant(s) Name: _____
Tax Map Parcel Number: _____

Plan Sets for New Britain Township - Folded to 8 1/2 x 11: (9 Full Size, 5 11x17)

- | | |
|--|---|
| <input type="checkbox"/> NBT Board of Supervisors (Full Size) - 5 Copies | <input type="checkbox"/> NBT Planning Commission (11x17) - 2 Copies |
| <input type="checkbox"/> Township Engineer (Full Size) - 1 Copy | <input type="checkbox"/> NBT File (Full Size) - 2 Copies |
| <input type="checkbox"/> Fire Marshal (Full Size) - 1 Copy | <input type="checkbox"/> Digital Submission - Email or File Sharing Service |

Application Forms & Fees to be Submitted to the Township: *All applicants include these items or the application will be considered administratively incomplete and returned to the applicant. **Please also submit digital copies of all applicable forms/reports.***

- ☐ New Britain Township Subdivision and Land Development Application (1 Signed Original)
- ☐ Filing Fee according to the most current Fee Schedule adopted by Resolution
- ☐ Escrow Fee according to the most current Fee Schedule adopted by Resolution
- ☐ Contract for Professional Services Agreement (3 Signed Originals)
- ☐ Proof of Submission to Bucks County Planning Commission
- ☐ Proof of Submission to Bucks County Conservation District
- ☐ Proof of Submission to Water Authority (North Penn/North Wales/Aqua), if applicable
- ☐ Proof of Submission to Chalfont New Britain Joint Sewer Authority **OR** Buck County Department of Health
- ☐ Stormwater Management Report (2 Copies) (Digital Acceptable)
- ☐ PADEP Sewage Facilities Planning Module Application/Mailer approved by Sewer Authority or SEO (Original & 2 Copies)
- ☐ Traffic Impact Study, if applicable (2 Copies) (Digital Acceptable)
- ☐ PADOT Highway Occupancy Permit Plan/Application, if applicable (2 Copies)
- ☐ Community Impact Assessment Report, if applicable (4 Copies)
- ☐ Affidavit of Mailing Notification, Mailing Content & Post Property of SLD Application (§ 22-401.8 General Procedures)
- ☐ Township Road Opening Permit, if applicable
- ☐ Water Resource Impact Study, if applicable (2 Copies) (Digital Acceptable)
- ☐ Waiver Request Letter with Justification

Reviewed By: _____
Township Representative

Date: _____

**All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.*

****The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.****



NEW BRITAIN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT PROCEDURES INFORMATION FOR APPLICANTS

Applications:

All formal applications must be submitted to the Township Zoning Officer during regular office hours.

All required plans, fees and accompanying documentation must be submitted to the Township in accordance with the New Britain Township Plan Submission Checklist (attached). No application shall be considered complete without this information.

If the application is found to be incomplete, the Zoning Officer will advise the applicant, in writing, of the deficiencies within five (5) business days.

If the application is found to be complete, the application will be date-stamped and a letter will be forwarded to the applicant with the anticipated application processing dates and scheduled Planning Commission and Board of Supervisor's meeting dates. The application will then be distributed for review to the Township professional staff, boards, commissions and professional consultants.

If for any reason the Planning Commission does not meet within 30 days of the initial application filing approval date of the Township Zoning Officer, the Municipalities Planning Code (MPC) timetable for plan review processing will then automatically begin, unless waived by the applicant.

Review Process:

Upon receipt of the Township Engineer's review letter, it is recommended that the applicant conference with Township staff and/or the Township Engineer prior to the scheduled Planning Commission meeting when the Planning Commission would consider the application for a recommendation. During the conference, if it is determined that the application will require substantial revisions for compliance with Township ordinances, the Township staff and/or engineer will advise the applicant of an appropriate course of action for revising the application. An extension/waiver to the 90-day limit (attached to SALDO Application), as set forth by the MPC, may be necessary to allow sufficient time for the applicant to make necessary plan revisions and for Township staff and its engineer to review the revised application.

All revised applications must be resubmitted directly to the Township Zoning Officer. It shall be the responsibility of the applicant to submit the same number of revised plans to the Township as with the original application.

Recommendations and Plan Decisions:

The applicant is responsible for posting the property, notifying property owners within 1000ft (or adjoining owners for minor plans), and submitting an affidavit of mailing & the mailings content to the Township five days prior to the plans appearing before the Township Planning Commission (§ 22-401.8 General Procedures).

The Planning Commission in its review shall consider the comments, if submitted, of the Bucks County Planning Commission, Fire Marshal, Bucks County Conservation District and Township professional staff and consultants. At their anticipated monthly meeting, the Planning Commission may do any of the following:

- Recommend that the applicant address plan deficiencies or unresolved planning issues with Township staff.
- Recommend to the Board of Supervisors that the plan be approved with conditions and specifically list such conditions.
- Recommend to the Board of Supervisors that the plan be denied and specifically list the reasons for such a recommendation.

The Board of Supervisors shall take official action on all applications, after receiving the Township engineer's report and the recommendation by the Planning Commission and within the 90-day time limit, unless the applicant grants a time extension/waiver. The action of the Board of Supervisors shall be in writing and communicated to the applicant by mail within five (5) days following the date of the official action.



Record Plans:

Final record plans to be recorded must be submitted ***directly to the Township Engineer*** for review and execution prior to approval by the Board of Supervisors. The plans must include four (4) paper copies of the record plan(s). **All record plans must bear the original seal and signature and title of the professional engineer or land surveyor responsible for preparation of the plans and bear the notarized signature of the land owner(s).** At the time of record plan submission, five (5) complete paper sets of construction drawings should be submitted to the Township Engineer to be stamped approved for construction.

No final record plans shall be recorded for any project unless all of the following have been satisfied:

- All conditions of final approval have been met (including water and sewer approvals/agreement) and approved by Township Solicitor and Engineer.
- All required outside agency approvals/permits have been obtained.
- All Township legal, engineering, planning and administrative costs relative to the plan submission have been paid in full.
- The required financial security and developer's agreements have been executed and the construction escrow has been posted with the Township.

The Township Solicitor will record all final record plans at the Bucks County Courthouse. The Township will notify the applicant when the copies of the recorded plans are available to be picked up at the Township Zoning Office.

Contract for Professional Services Agreement and Professional Escrows:

The applicant shall be responsible for maintaining the original escrow balance relative to the escrow account established with the Township for the payment of Township incurred costs and fees on behalf of the applicant per the Contract for Professional Services Agreement. The Township shall forward an invoice to the applicant setting forth the amount deducted from said escrow account for payment of costs and fees. Within fourteen (14) days of the date of the invoice, the applicant shall remit the amount of the invoice to the Township, thereby bringing the balance of the escrow back to the original amount. In the event the applicant's escrow account balance falls below the original amount, the Township may direct its professionals and consultants to cease work on the applicant's submission until such time as the escrow account balance is restored to its original amount.

Any applicant who desires to meet with the Township's professionals or consultants prior to submitting a plan application shall execute a Contract for Professional Services Agreement with the Township and post an escrow amount to be determined therein to cover any costs incurred by the Township associated with the aforementioned consultations.

The applicant should also be advised that the Township has enacted a "Disclosure Ordinance No. 2001-09-01" which mandates that the seller of any lot divulge certain information to the purchaser of the lot prior to settlement.

****These guidelines may be amended from time to time, as needed.***



**NEW BRITAIN TOWNSHIP
90-DAY REVIEW PERIOD WAIVER**

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

Name of Subdivision/Land Development: _____

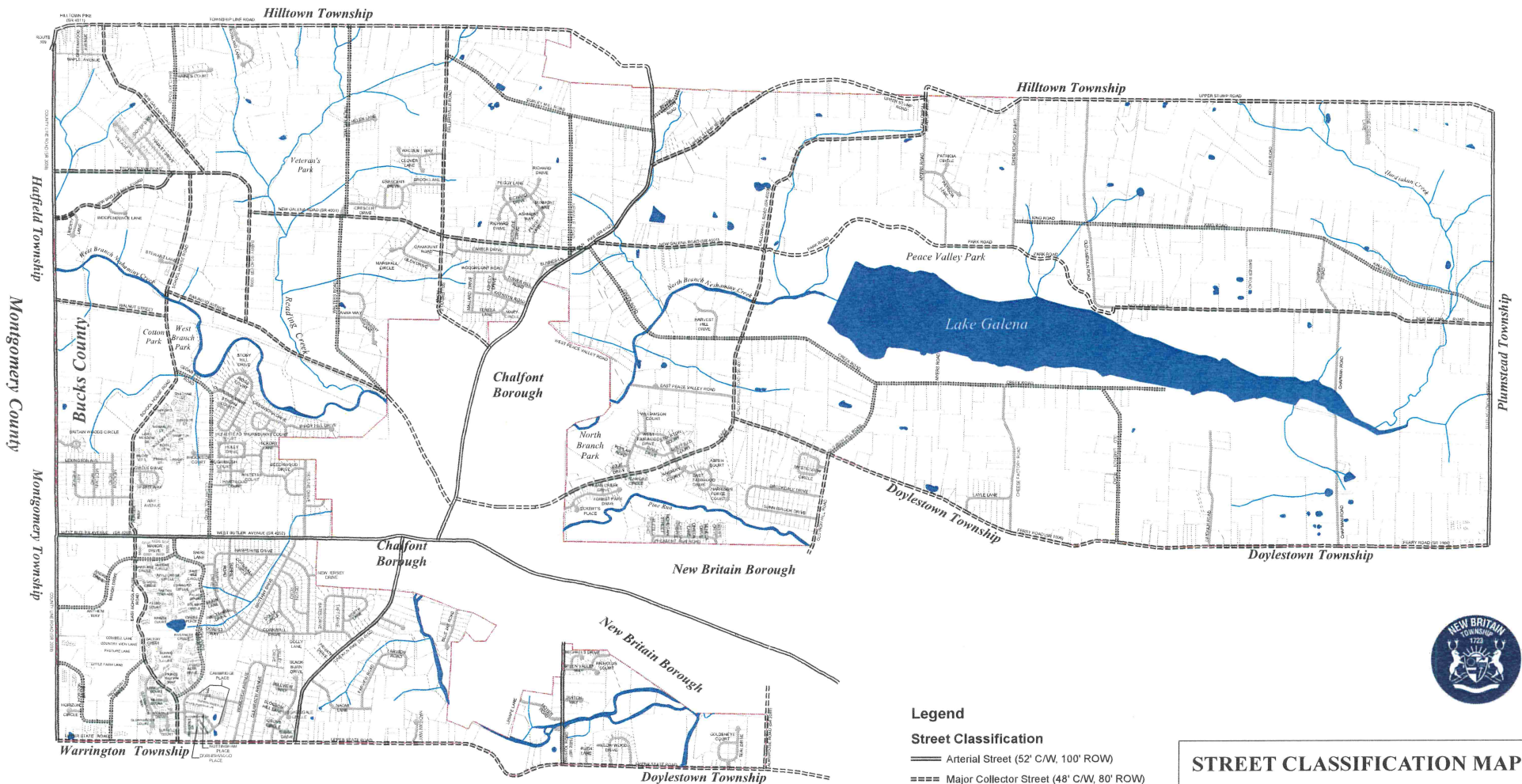
Tax Map Parcel Number(s): _____

Signature of Applicant: _____ Date: _____

Signature of Applicant: _____ Date: _____



Street Classification Map New Britain Township



Legend

Street Classification

- Arterial Street (52' C/W, 100' ROW)
- === Major Collector Street (48' C/W, 80' ROW)
- ||||| Minor Collector Street (36' C/W, 60' ROW)
- Local Roads (28' C/W, 50' ROW)
- Private Roads



STREET CLASSIFICATION MAP

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
65 EAST BUTLER AVENUE NEW BRITAIN, PA 18901-5105 • (215) 345-4330 • www.gilmore-assoc.com

JOB NO: 22-01002

DATE: February 2022

SCALE: 1" = 1100'

SUBDIVISION AND LAND DEVELOPMENT

22 Attachment 4

Township of New Britain

Appendix D

Required Plant Material List

Tall (Canopy) Trees – Trees suitable for street trees, parking areas, buffer yards, replacement trees, revegetation of riparian buffers, and site element buffers and screens. Only marked trees may be used as street trees or riparian buffer trees. Unless otherwise specified in the Ordinance, the minimum caliper size shall be 2-1/2 inches. Minimum height shall be 8 ft.

Tall (Canopy) Trees				
Scientific name	Common name	Location Usage & Soil Conditions		
		Street	Riparian Buffer	Soil Moisture Preference
<i>Acer rubrum</i>	red maple	X	X	dry to wet
<i>Acer saccharinum</i>	silver maple	X	X	moist
<i>Aesculus flava</i>	yellow (sweet) buckeye		X	moist
<i>Carya cordiformis</i>	bitternut hickory	X	X	
<i>Carya glabra</i>	pignut hickory		X	dry to moist
<i>Carya laciniosa</i>	shellbark hickory		X	medium to wet
<i>Carya ovata</i>	shagbark hickory			dry to moist
<i>Carya tomentosa</i>	mockernut hickory			dry to moist
<i>Gleditsia triacanthos forma inermis</i>	thornless honeylocust	X		moist
<i>Gleditsia triacanthos wild type</i>	honeylocust		X	moist
<i>Gymnocladus dioicus</i>	Kentucky coffee-tree			moist
<i>Juglans cinerea</i>	butternut			moist
<i>Juglans nigra</i>	black walnut			moist
<i>Liquidambar styraciflua (seedless variety)</i>	sweet gum	X	X	moist to wet
<i>Liriodendron tulipifera</i>	tulip tree (tulip polar, yellow-poplar)			moist
<i>Magnolia acuminata</i>	cucumbertree	X		moist
<i>Nyssa sylvatica</i>	blackgum	X	X	medium to wet
<i>Platanus occidentalis</i>	American sycamore	X	X	wet
<i>Prunus serotina</i>	black cherry	X	X	moist
<i>Quercus alba</i>	white oak	X		dry to moist
<i>Quercus bicolor</i>	swamp white oak	X	X	moist to wet

Tall (Canopy) Trees				
Scientific name	Common name	Location Usage & Soil Conditions		
		Street	Riparian Buffer	Soil Moisture Preference
<i>Quercus borealis</i> ¹	northern red oak	X		dry to moist
<i>Quercus coccinea</i>	scarlet oak			dry to moist
<i>Quercus falcata</i> ¹	southern red oak	X		dry to moist
<i>Quercus imbricaria</i>	shingle oak	X		moist
<i>Quercus laurifolia</i>	laurel oak	X		moist
<i>Quercus macrocarpa</i>	burr oak	X	X	dry to wet
<i>Quercus palustris</i> ²	pin oak		X	moist to wet
<i>Quercus phellos</i>	willow oak	X	X	moist to wet
<i>Quercus prinus</i>	chestnut oak	X		dry
<i>Quercus rubra</i> ^{1,3}	northern red oak	X		dry to moist
<i>Quercus stellata</i>	post oak	X		dry
<i>Quercus velutina</i>	black oak	X		dry to moist
<i>Robinia pseudoacacia</i>	black locust	X		dry to moist
<i>Taxodium distichum</i>	baldcypress		X	wet
<i>Tilia americana</i>	basswood (American linden)	X	X	moist
<i>Ulmus americana</i> cv. 'Jefferson' or 'Valley Forge'	American elm cultivars (Dutch elm disease-resistant)	X	X	moist to wet

¹ All red oak varieties should be spaced no closer than 60 feet on center to prevent spread of disease through root grafting.

² *Quercus palustris* is limited 10% of the total street tree and/or shade tree requirement (Ord. 2010-03-01)

³ *Quercus rubra* is limited 10% of the total street tree and/or shade tree requirements (Ord. 2010-03-01)

Short to Medium Height Deciduous Trees – Trees suitable for parking areas, buffer yards, replacement trees, revegetation of riparian buffers, and site element buffers and screens. Unless otherwise specified in the Ordinance, the minimum caliper size shall be 1-1/2 inches. Minimum height shall be 8 ft.

Note: Some trees in this list may be appropriate for street use. Only marked trees may be used as noted.

Short to Medium Height Deciduous Trees				
Scientific name	Common name	Location Usage & Soil Conditions		
		Riparian Buffer	Showy Flowers/ Fruit	Soil Moisture Preference
<i>Acer pensylvanicum</i>	striped maple			moist
<i>Aesculus pavia</i>	red buckeye	X		moist
<i>Amelanchier canadensis</i>	serviceberry (juneberry, shadbush)	X	X	moist
<i>Asimina trilobum</i>	common pawpaw			moist
<i>Benthamidia (Cornus) florida</i>	flowering dogwood		X	moist
<i>Betula alleghaniensis</i>	yellow birch			moist
<i>Betula lenta</i>	sweet birch			dry to moist
<i>Betula nigra</i>	river birch	X		moist
<i>Betula papyrifera</i>	paper birch			moist
<i>Betula populifolia</i>	gray birch			dry
<i>Carpinus caroliniana</i>	American hornbeam			moist
<i>Catalpa speciosa</i>	northern catalpa		X	
<i>Celtis occidentalis</i>	hackberry	X		dry to moist
<i>Cercis canadensis</i>	eastern redbud	X	X	moist
<i>Chionanathus virginic</i>	fringetree		X	moist
<i>Crataegus crusgalli</i>	cockspur hawthorn		X	moist
<i>Crataegus mollis</i>	downy hawthorn		X	moist
<i>Crataegus phaenopyrum</i>	Washington Hawthorn		X	moist
<i>Diospyros virginiana</i>	common persimmon			dry to moist
<i>Larix laricina</i>	tamarack (American larch)			moist
<i>Magnolia virginiana</i>	sweetbay magnolia	X	X	moist to wet

Short to Medium Height Deciduous Trees				
Scientific name	Common name	Location Usage & Soil Conditions		
		Riparian Buffer	Showy Flowers/ Fruit	Soil Moisture Preference
<i>Malus angustifolia</i>	southern crabapple		X	dry to moist
<i>Malus coronaria</i>	sweet crabapple		X	dry to moist
<i>Ostrya virginiana</i>	American hop-hornbeam			dry to moist
<i>Oxydendrum arboreum</i>	sourwood		X	moist
<i>Prunus pensylvanica</i>	pin cherry		X	dry
<i>Prunus virginiana</i>	common chokeberry		X	dry to moist
<i>Ptelea trifoliata</i>	water-ash		X	dry to moist
<i>Quercus marilandica</i>	black jack			
<i>Quercus stellata</i>	post oak			
<i>Salix nigra</i>	black willow	X		moist to wet
<i>Sassafras albidum</i>	sassafras	X		dry to moist
<i>Swida (Cornus) alternifolia</i>	pagoda dogwood		X	moist

Evergreen Trees – Trees suitable for parking areas, buffer yards, replacement trees, revegetation of riparian buffers, and site element buffers and screens. Only marked trees may be used as noted. Minimum height shall be 6 ft.

Evergreen Trees			
Scientific name	Common name	Location Usage & Soil Conditions	
		Riparian Buffer	Soil Moisture Preference
<i>Chamaecyparis thyoides</i>	Atlantic white-cedar	X	moist to wet
<i>Ilex opaca</i>	American holly	X	moist
<i>Juniperus virginiana</i>	eastern redcedar	X	rich
<i>Picea pungens</i>	Colorado spruce		moist, well-drained
<i>Pinus echinata</i>	shortleaf pine		dry
<i>Pinus resinosa</i>	red pine		dry
<i>Pinus rigida</i>	pitch pine		dry
<i>Pinus strobus</i>	white pine	X	dry to wet
<i>Pinus virginiana</i>	Virginia pine (scrub pine)		dry
<i>Thuja occidentalis</i>	American arborvitae		moist

Deciduous Shrubs - Shrubs suitable for parking areas, buffer yards, replacement shrubs, revegetation of riparian buffers, and site element buffers and screens. Only marked trees may be used as noted. Unless otherwise specified in the Ordinance, minimum 30 inches in height or width.

Deciduous Shrubs					
Scientific name	Common name	Location Usage & Soil Conditions			
		Riparian Buffer	Rain Garden	Showy Flowers/ Fruit	Soil Moisture Preference
<i>Aesculus parviflora</i>	bottlebrush buckeye			X	moist
<i>Aesculus pavia</i>	red buckeye			X	
<i>Alnus serrulata</i>	smooth alder	X			wet
<i>Aronia arbutifolia</i>	red chokeberry	X	X	X	dry to wet
<i>Aronia melanocarpa</i>	black chokeberry	X	X	X	dry to wet
<i>Callicarpa Americana</i>	American beautyberry			X	
<i>Calycanthus florida</i>	sweetshrub			X	moist
<i>Ceanothus americanus</i>	New Jersey tea			X	dry to moist
<i>Cephalanthus occidentalis</i>	buttonbush	X	X	X	wet
<i>Clethra alnifolia</i>	coastal sweet-pepperbush	X	X	X	wet
<i>Corylus americana</i>	American hazelnut				dry to moist
<i>Dasiphora floribunda</i>	shrubby cinquefoil			X	dry to wet
<i>Eubotrys racemosus</i>	coastal fetterbush			X	moist
<i>Euonymus americanus</i>	strawberry-bush (hearts-a-bursting)			X	dry to moist
<i>Euonymus atropurpureus</i>	American wahoo			X	dry to moist
<i>Fothergilla major</i>	large fothergilla				moist
<i>Hamamelis vernalis</i>	vernal witch hazel				moist
<i>Hamamelis virginiana</i>	northern witch hazel				moist
<i>Hydrangea arborescens</i>	smooth hydrangea			X	medium to moist
<i>Hydrangea quercifolia</i>	oakleaf hydrangea	X		X	moist
<i>Hypericum densiflorum</i>	shrubby St. John's wort	X	X	X	moist
<i>Ilex verticillata</i>	winterberry	X	X		wet
<i>Itea virginica</i>	Virginia sweetspire	X	X	X	moist
<i>Lindera benzoin</i>	spicebush	X	X		moist
<i>Morella pensylvanica</i>	northern bayberry	X			moist

Deciduous Shrubs					
Scientific name	Common name	Location Usage & Soil Conditions			
		Riparian Buffer	Rain Garden	Showy Flowers/ Fruit	Soil Moisture Preference
<i>Philadelphus inodorus</i>	mock orange			X	medium
<i>Physocarpus opulifolius</i>	common ninebark	X	X		moist
<i>Rhododendron arborescens</i>	sweet azalea			X	moist
<i>Rhododendron periclymenoides</i>	pinxterbloom azalea	X		X	dry to moist
<i>Rhododendron maximum</i>	rosebay rhododendron	X		X	moist
<i>Rhododendron viscosum</i>	swamp azalea	X		X	wet
<i>Rhus aromatica</i>	fragrant sumac	X			dry
<i>Rhus copallina</i>	winged sumac	X			dry
<i>Rosa blanda</i>	meadow rose			X	dry to moist
<i>Rosa carolina</i>	Carolina rose			X	dry to moist
<i>Rosa palustris</i>	swamp rose	X		X	wet
<i>Rosa setigera</i>	prairie rose			X	moist to wet
<i>Rosa virginiana</i>	Virginia rose			X	moist
<i>Salix discolor</i>	pussy willow	X	X		moist
<i>Sambucus canadensis</i>	common elderberry	X	X	X	moist to wet
<i>Sambucus racemosa</i>	eastern red elderberry	X		X	moist
<i>Spiraea alba</i> , <i>Spiraea latifolia</i>	meadowsweet	X	X	X	moist to wet
<i>Spiraea tomentosa</i>	steeplebush	X		X	moist
<i>Staphylea trifolia</i>	American bladdernut	X		X	moist
<i>Swida (Cornus) amomum</i>	silky dogwood	X			wet
<i>Swida (Cornus) racemosa</i>	gray dogwood	X			moist to wet
<i>Swida (Cornus) sericea</i>	red-osier dogwood	X	X		moist to wet
<i>Symphoricarpos albus</i>	snowberry			X	dry to moist
<i>Vaccinium angustifolium</i>	lowbush blueberry			X	dry
<i>Vaccinium corymbosum</i>	highbush blueberry			X	dry
<i>Viburnum acerifolium</i>	mapleleaf viburnum	X		X	moist
<i>Viburnum cassinoides</i>	witherod	X		X	moist

Deciduous Shrubs					
Scientific name	Common name	Location Usage & Soil Conditions			
		Riparian Buffer	Rain Garden	Showy Flowers/ Fruit	Soil Moisture Preference
<i>Viburnum dentatum</i>	southern arrowwood	X		X	wet
<i>Viburnum lentago</i>	nannyberry	X		X	moist
<i>Viburnum nudum</i>	possumhaw	X		X	moist
<i>Viburnum prunifolium</i>	blackhaw viburnum	X	X	X	wet
<i>Viburnum trilobum</i>	American cranberrybush	X	X	X	wet

Evergreen Shrubs - Shrubs suitable for parking areas, buffer yards, replacement shrubs, revegetation of riparian buffers, and site element buffers and screens. Only marked trees may be used as noted. Unless otherwise specified in the Ordinance, minimum 30 inches in height or width.

Evergreen Shrubs				
Scientific name	Common name	Location Usage & Soil Conditions		
		Riparian Buffer	Rain Garden	Soil Moisture Preference
<i>Ilex glabra</i>	inkberry holly	X	X	moist
<i>Juniperus communis</i>	common juniper			dry
<i>Kalmia latifolia</i>	mountain laurel			dry to moist
<i>Leucothoe axillaris</i>	coast doghobble			moist
<i>Leucothoe fontanesiana</i>	mountain doghobble	X		moist
<i>Rhododendron catawbiense</i>	Catawba rhododendron	X		moist
<i>Rhododendron maximum</i>	rosebay rhododendron	X		moist to wet
<i>Taxus canadensis</i>	American yew			moist

Some Common Perennials Suitable for Riparian Buffers, Rain Gardens, and Basins

Some Common Perennials Suitable for Riparian Buffers, Rain Gardens, and Basins			
Scientific name	Common name	Dry side ¹	Wet area ²
<i>Amsonia tabernaemontana</i>	eastern bluestar	X	
<i>Andropogon virginicus</i>	broomsedge	X	
<i>Asclepius incarnata</i>	swamp milkweed		X
<i>Baptisia australis</i>	tall blue wild indigo	X	
<i>Boltonia asteroides</i>	green wild indigo	X	
<i>Caltha palustris</i>	marsh-marigold		X
<i>Carex stricta</i>	tussock sedge		X
<i>Chelone glabra</i>	white turtlehead		X
<i>Coreopsis verticillata</i>	threadleaf coreopsis	X	
<i>Elymus hystrix</i>	bottlebrush grass	X	
<i>Equisetum species</i>	horsetail		X
<i>Eupatorium coelestinum</i>	blue mistflower		X
<i>Eupatorium perfoliatum</i>	common boneset	X	
<i>Helianthus angustifolius</i>	narrowleaf sunflower	X	
<i>Helenium autumnale</i>	sneezeweed	X	
<i>Hibiscus moscheutos</i>	eastern rose-mallow		X
<i>Iris Versicolor</i>	northern blue flag		X
<i>Juncus effusus</i>	soft rush		X
<i>Lobelia cardinalis</i>	cardinal flower		X
<i>Lobelia siphilitica</i>	great blue lobelia		X
<i>Ludwigia alternifolia</i>	seedbox		X
<i>Mimulus ringens</i>	Allegheny monkeyflower		X
<i>Onoclea sensibilis</i>	sensitive fern		X
<i>Osmunda cinnamomea</i>	cinnamon fern		X
<i>Osmunda regalia</i>	royal fern	X	
<i>Panicum virgatum</i>	switchgrass		X
<i>Physostegia virginiana</i>	obedient plant	X	
<i>Scirpus atrovirens</i>	green bulrush		X
<i>Scirpus cyperinus</i>	woolgrass		X
<i>Senecio aureus</i>	golden ragwort	X	
<i>Solidago patula</i>	rough-leaved goldenrod	X	
<i>Solidago rugosa</i>	wrinkle-leaved goldenrod	X	
<i>Symphyotrichum novae-angliae</i>	New England aster	X	
<i>Symphyotrichum novi-belgii</i>	New York aster	X	
<i>Verbena hastata</i>	blue vervain	X	
<i>Veronicastrum virginicum</i>	Culver's-root	X	

¹ Suitable for usually well-drained areas that may be subject to occasional flooding.

² Generally suitable for sustained wet areas.

APPENDIX E:

CONSTRUCTION DETAILS AND SPECIFICATIONS

TABLE OF CONTENTS

<u>SHEET NO.</u>	<u>TITLE</u>
1	GENERAL CONSTRUCTION NOTES
2	TYPICAL ROADWAY WIDENING SECTION DETAIL FOR ARTERIAL, COLLECTOR, AND NON-RESIDENTIAL ROADS
3	TYPICAL ROADWAY WIDENING SECTION DETAIL FOR RESIDENTIAL AND LOCAL ROADS
4	PIPE BEDDING DETAIL
5	STORM SEWER & UTILITY TRENCH RESTORATION WITHIN PAVED AREAS DETAIL
6	STORM SEWER & UTILITY TRENCH RESTORATION WITHIN PERVIOUS AREAS DETAIL
7	RESIDENTIAL DRIVEWAY PAVING SECTION DETAIL
8	NON-RESIDENTIAL AND MULTI-RESIDENTIAL DRIVEWAYS, PARKING AREAS AND LOADING AREAS PAVING SECTION DETAIL
9	PLAIN CEMENT CONCRETE CURB DETAIL
10	BELGIAN BLOCK CURB DETAIL
11	CONCRETE SIDEWALK DETAIL
12	DEPRESSED CURB DETAIL
13	DRIVEWAY AND APRON DETAIL
14	ROAD UNDERDRAIN DETAIL
15	STREET LIGHT DETAIL
16	PARKING SPACE STRIPING DETAIL
17	STREET SIGN DETAIL
18	PEDESTRIAN CROSSWALK DETAIL
19	BUTLER AVENUE CORRIDOR OVERLAY DISTRICT STREET LIGHT DETAIL
20	BUTLER AVENUE CORRIDOR OVERLAY DISTRICT BENCH DETAIL
21	BUTLER AVENUE CORRIDOR OVERLAY DISTRICT TRASH RECEPTACLE DETAIL
22	BUTLER AVENUE CORRIDOR OVERLAY DISTRICT BICYCLE PARKING DETAIL

THE FOLLOWING NOTES PERTAIN TO ALL PROPOSED CONSTRUCTION METHODS, MATERIALS, STRUCTURES AND FACILITIES WITHIN NEW BRITAIN TOWNSHIP. THESE CONSTRUCTION NOTES, IN A SIMILAR FORMAT, MUST BE PROVIDED ON THE RECORD PLAN. THE APPLICANT SHOULD MODIFY THE CONSTRUCTION NOTES OR PROVIDE ADDITIONAL NOTES, AS NECESSARY, WHEN THE DESIGN METHODS AND STANDARDS ARE NOT SPECIFICALLY STATED. UNLESS A MORE RESTRICTIVE DESIGN METHOD OR STANDARD IS SPECIFIED IN NEW BRITAIN TOWNSHIP'S ZONING OR SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, THE FOLLOWING SHALL APPLY TO ALL CONSTRUCTION ACTIVITIES:

1. ALL CONSTRUCTION METHODS AND MATERIALS MUST COMPLY WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, LATEST REVISION.
2. ALL PROPOSED STRUCTURES AND FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 72, "ROAD CONSTRUCTION STANDARDS", LATEST REVISION.
3. ALL PROPOSED STREETS, ACCESS DRIVES, DRIVEWAYS AND UTILITIES SHALL COMPLY WITH THE PENNSYLVANIA CODE, TITLE 67, CHAPTER 441, "ACCESS TO AND OCCUPANCY OF HIGHWAYS BY DRIVEWAYS AND LOCAL ROADS", AND CHAPTER 459, "OCCUPANCY OF HIGHWAYS BY UTILITIES", LATEST REVISION.
4. ALL PROPOSED STRUCTURES AND FACILITIES MUST COMPLY WITH THE AMERICANS WITH DISABILITY ACT, "ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES", LATEST REVISION.
5. ALL PROPOSED WATER AND SEWER FACILITIES MUST COMPLY WITH THE STANDARDS AND POLICIES OF THE APPLICABLE WATER AUTHORITY, SEWER AUTHORITY, BUCKS COUNTY HEALTH DEPARTMENT, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND NEW BRITAIN TOWNSHIP.
6. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION ACTIVITIES ARE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND POLICIES OF THE BUCKS COUNTY CONSERVATION DISTRICT.
7. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION ACTIVITIES ARE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND POLICIES OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
8. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES AND COMPLYING WITH THE PENNSYLVANIA ACT 38 AND ACT 187, AS AMENDED.
9. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
10. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, No. 287, 12/10/74, AS AMENDED 12/12/86, P.L. 1574, No. 172. CONTRACTOR MUST NOTIFY PA-1 CALL SYSTEM, INC. 3 DAYS PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL NOT ENCROACH ONTO ABUTTING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED IN AREAS WHERE GRADING WILL ENCROACH WITHIN 5 FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCROACHMENT ONTO ADJACENT PROPERTIES.
12. NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.

GENERAL CONSTRUCTION NOTES

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

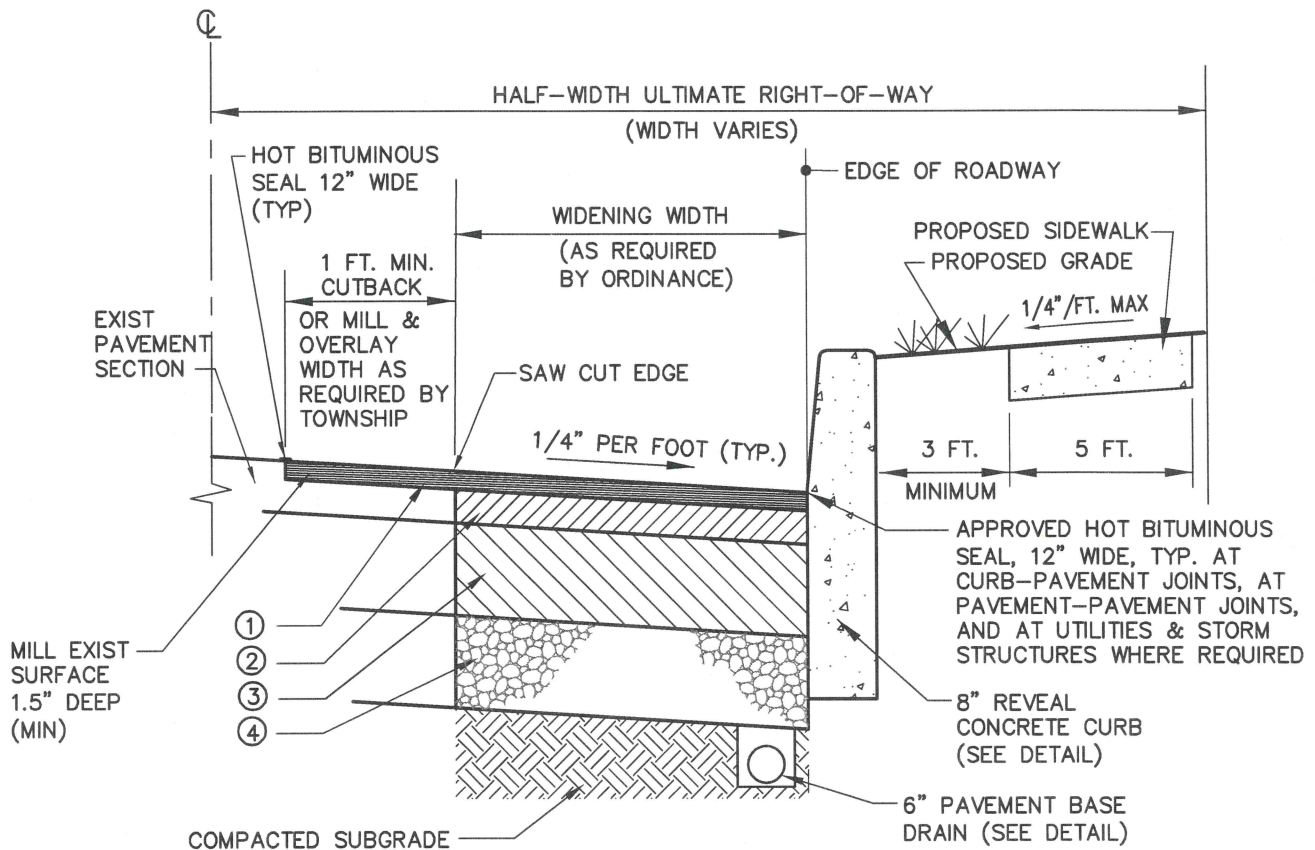
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

1 OF 22



- ① 1.5" SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5 mm MIX, WEARING COURSE, 0.3 TO 30.0 MILLION ESALS, SRL BASED ON ADT
- ② 2.0" SUPERPAVE ASPHALT MIXTURE DESIGN, 19 mm MIX, BINDER COURSE, 0.3 TO 30.0 MILLION ESALS
- ③ 5" SUPERPAVE ASPHALT MIXTURE DESIGN, 25 mm MIX, BASE COURSE, 0.3 TO 30.0 MILLION ESALS
- ④ 6" 2A OR 3A MODIFIED STONE SUBBASE (MATCH EXISTING IF GREATER)

- NOTES:**
1. NEW ROADS SHALL COMPLY WITH THE ABOVE SPECIFICATION
 2. PAVEMENT BASE DRAIN TO BE INSTALLED AS DEEMED NECESSARY BY TOWNSHIP ENGINEER BASED ON FIELD CONDITIONS

TYPICAL ROADWAY WIDENING SECTION DETAIL FOR ARTERIAL, COLLECTOR, AND NON-RESIDENTIAL ROADS

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

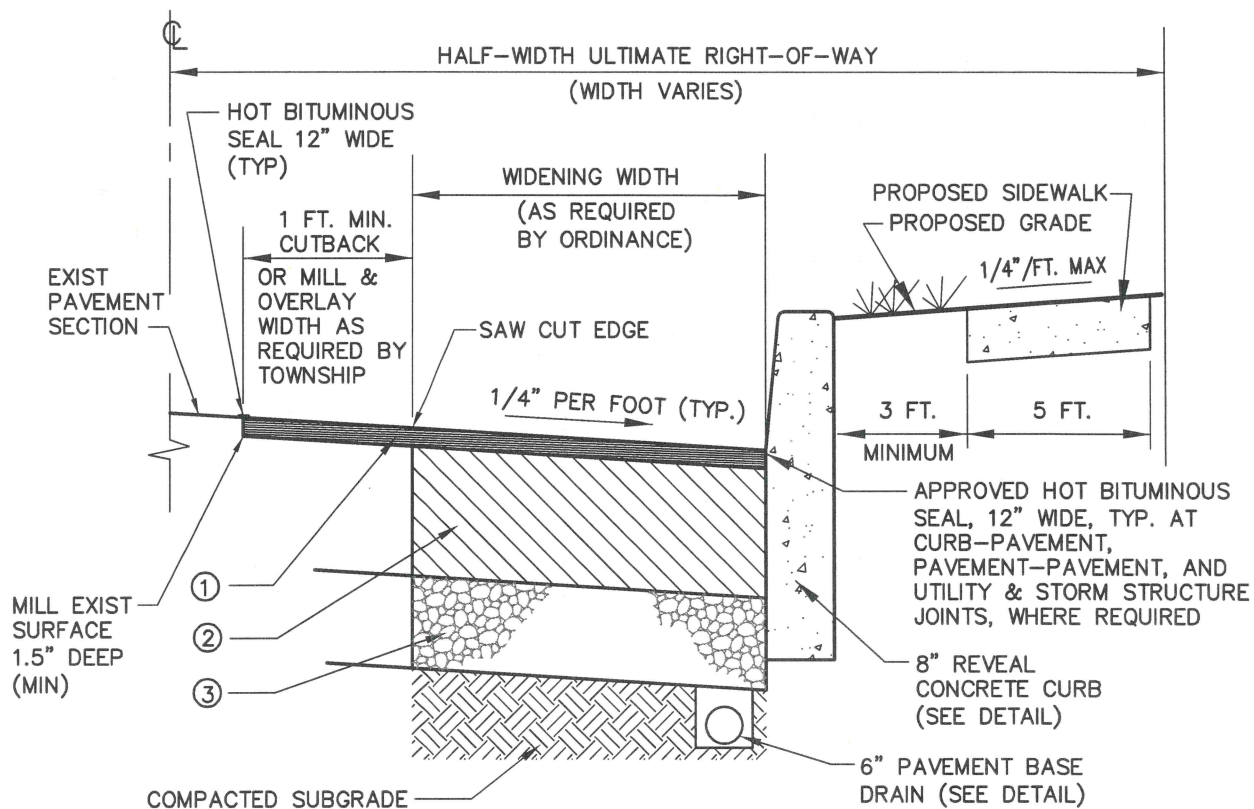
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

2 OF 22



- ① 1.5" SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5 mm MIX, WEARING COURSE
- ② 4.5" SUPERPAVE ASPHALT MIXTURE DESIGN, 25 mm MIX, BASE COURSE
- ③ 6" 2A MODIFIED STONE SUBBASE (MATCH EXISTING IF GREATER)

NOTES:

1. NEW ROADS SHALL COMPLY WITH THE ABOVE SPECIFICATION
2. PAVEMENT BASE DRAIN TO BE INSTALLED AS DEEMED NECESSARY BY TOWNSHIP ENGINEER BASED ON FIELD CONDITIONS

TYPICAL ROADWAY WIDENING SECTION DETAIL FOR RESIDENTIAL AND LOCAL ROADS

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

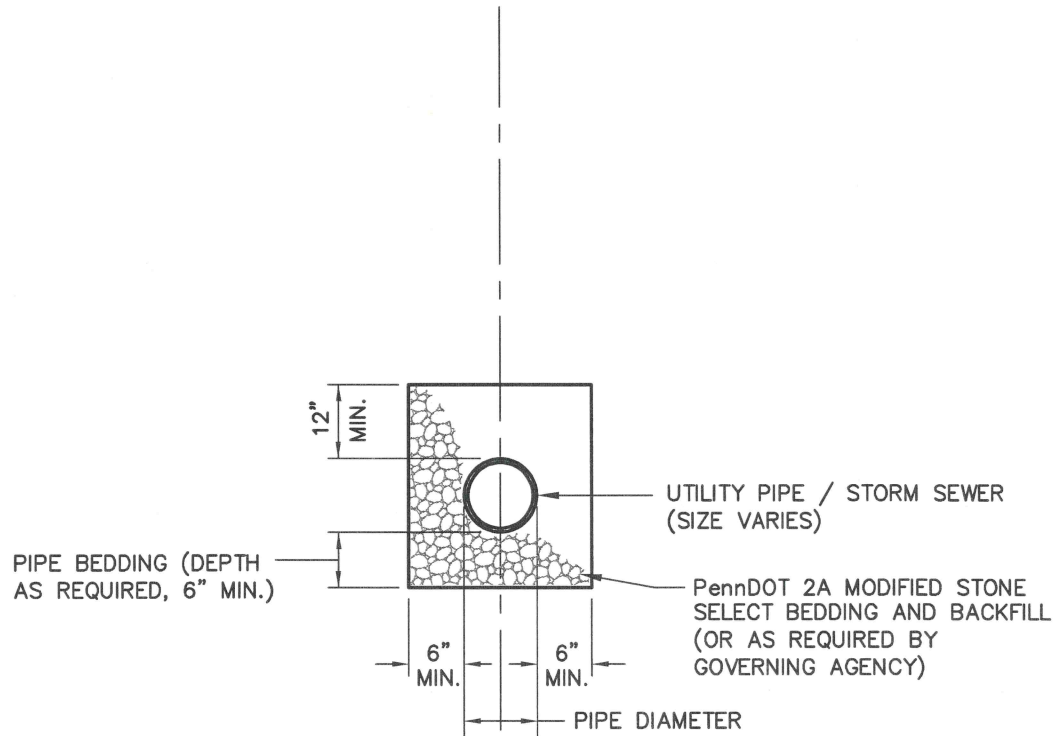
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

3 OF 22



PIPE BEDDING DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

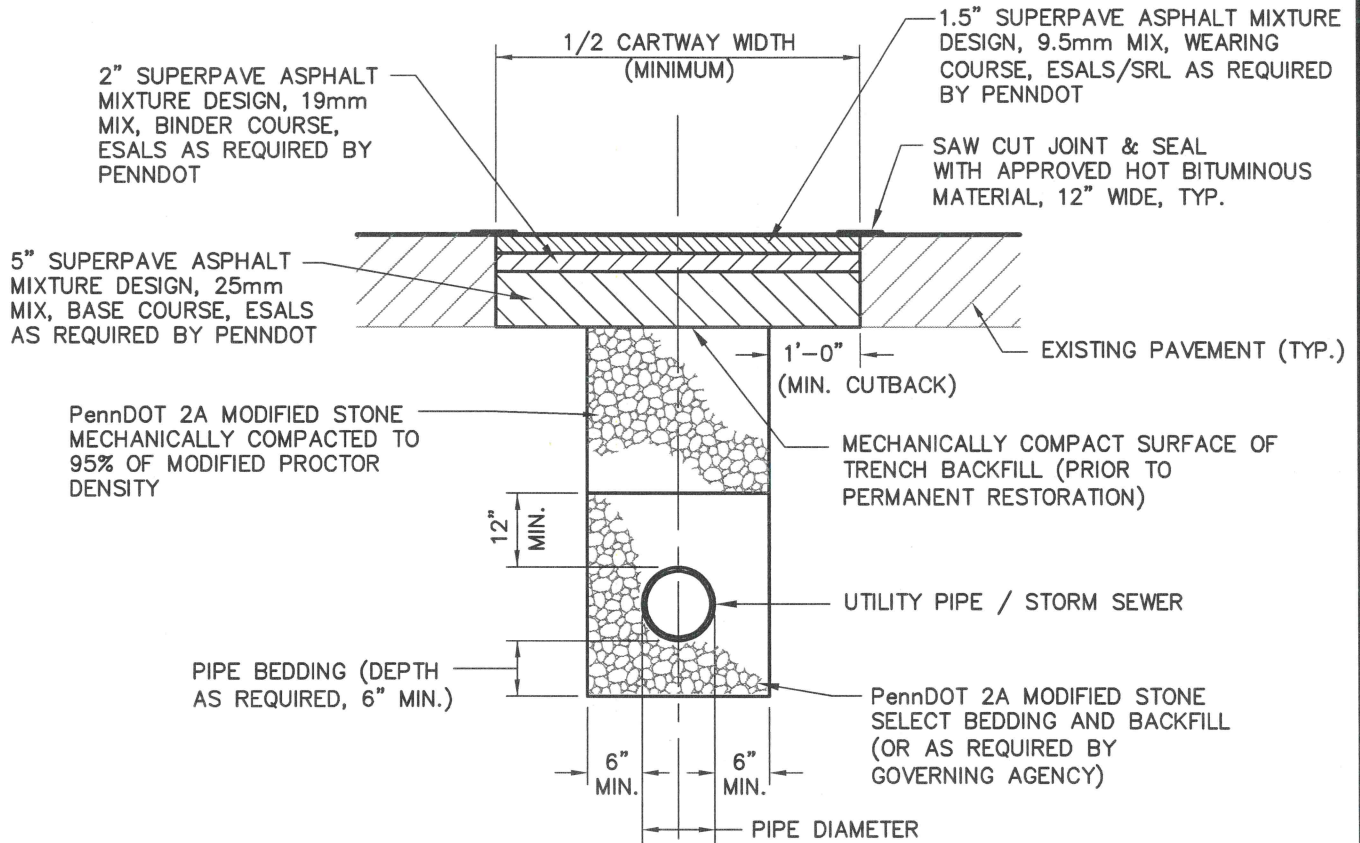
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

4 OF 22



AFTER 90 DAYS RESTORATION

NOTES:

- BEFORE 90 DAYS, ROADS SHALL BE TEMPORARILY RESTORED WITH 2A COURSE AGGREGATE AND 2" OF PENNDOT BINDER COURSE (TO GRADE) AND ALLOWED TO SETTLE 90 DAYS PRIOR TO PERMANENT RESTORATION, AS SHOWN ABOVE. PERMANENT RESTORATION OF TRENCHES SHALL BE COMPLETED ONLY AFTER APPROVAL BY TOWNSHIP ENGINEER.
- RETAINED SUITABLE MATERIAL MAY BE USED AS BACKFILL FOR TRENCHES IN TOWNSHIP RIGHT-OF-WAY (OUTSIDE OF CARTWAY) WHEN MORE THAN THREE (3) FEET FROM EDGE OF EXISTING CARTWAY, CURB, AND/OR SIDEWALK.
- THE MINIMUM WIDTH OF PAVEMENT RESTORATION SHALL BE 1/2 OF THE CARTWAY WIDTH. IN AREAS WHERE THE TRENCH CROSSES THE CENTERLINE OF THE CARTWAY, THE ENTIRE CARTWAY WIDTH (CURB TO CURB OR EDGE TO EDGE) OF THE AFFECTED STREET SHALL BE MILLED AND REPAVED WITH WEARING COURSE, UNLESS OTHERWISE APPROVED BY TOWNSHIP PUBLIC WORKS.
- COLD PATCH SHALL BE APPLIED ON ALL TRENCH RESTORATIONS (PRIOR TO 90 DAYS) WHEN BINDING OR BASE COURSE ARE NOT AVAILABLE DUE TO WEATHER CONDITIONS.
- FOR PLASTIC UTILITIES, INSTALL DETECTION TAPE OVER PIPE AT TOP OF STONE BACKFILL.

STORM SEWER & UTILITY TRENCH RESTORATION WITHIN PAVED AREAS DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

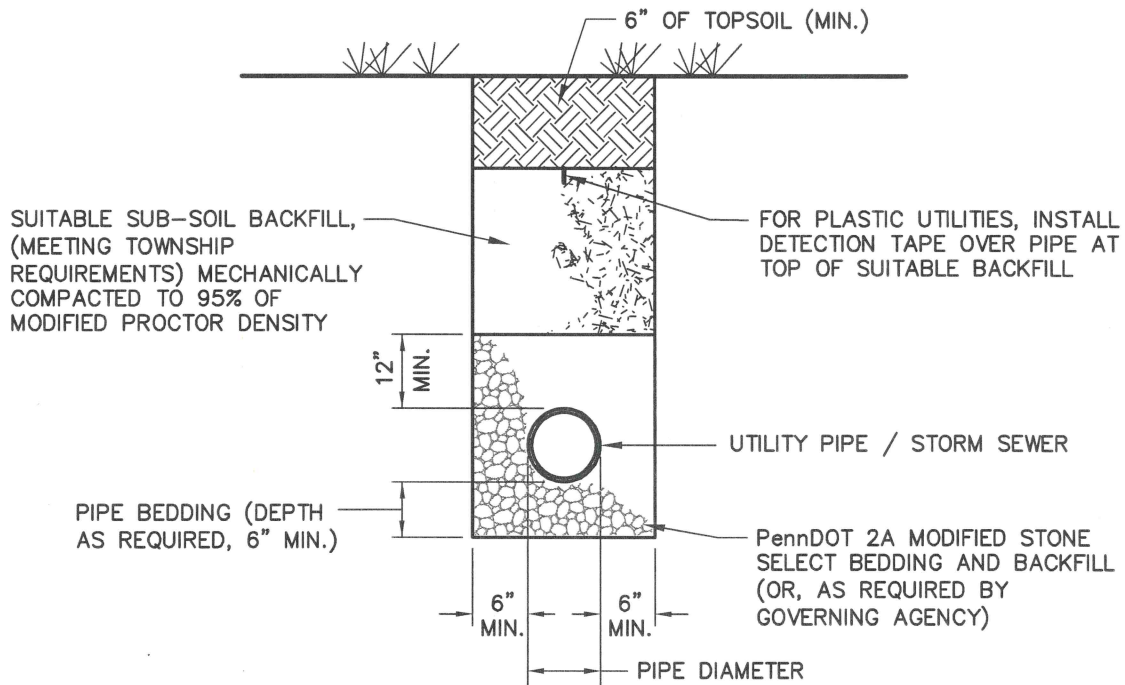
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

5 OF 22



STORM SEWER & UTILITY TRENCH RESTORATION WITHIN PERVIOUS AREAS DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

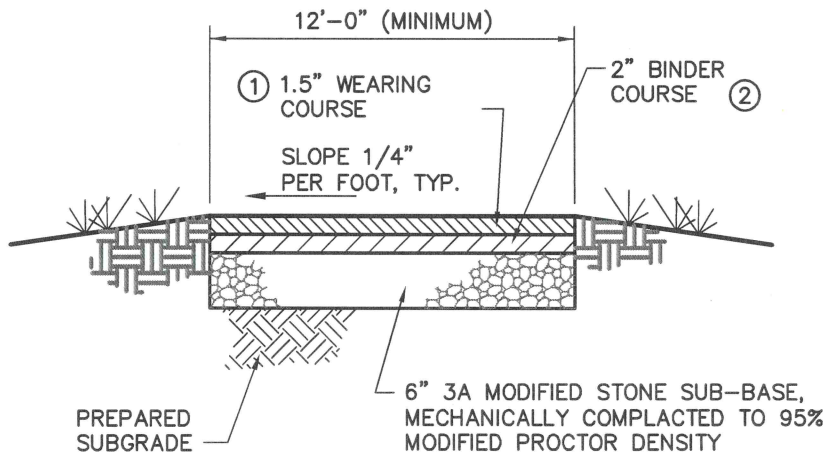
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

6 OF 22



MINIMUM SPECIFICATION

- ① 1.5" SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5 mm WEARING COURSE
- ② 2.0" SUPERPAVE ASPHALT MIXTURE DESIGN, 19mm MIX BINDER COURSE

RESIDENTIAL DRIVEWAY PAVING SECTION DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

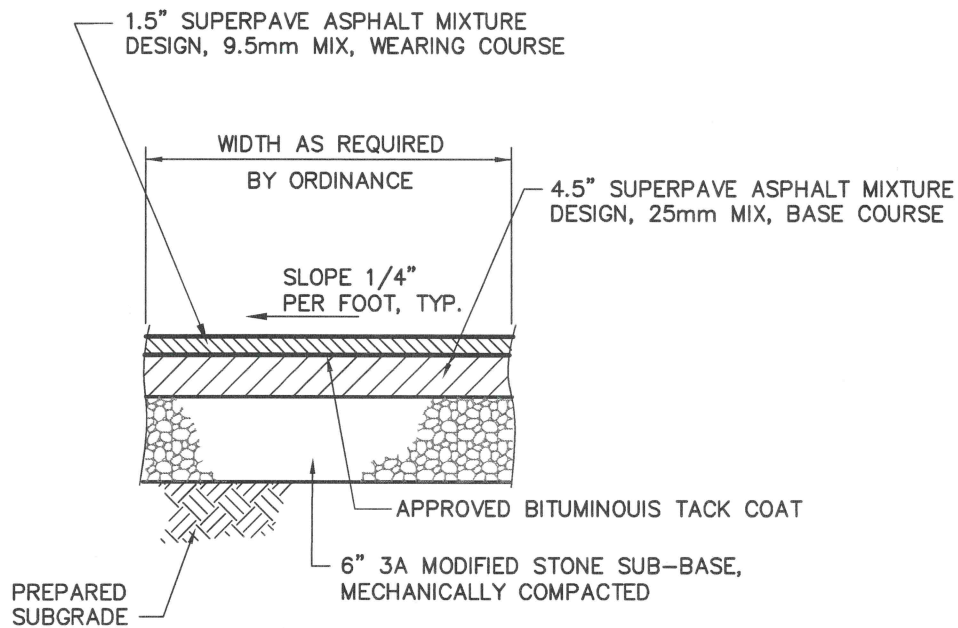
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

7 OF 22



**NON-RESIDENTIAL AND MULTI-RESIDENTIAL DRIVEWAYS,
PARKING AREAS AND LOADING AREAS
PAVING SECTION DETAIL**

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

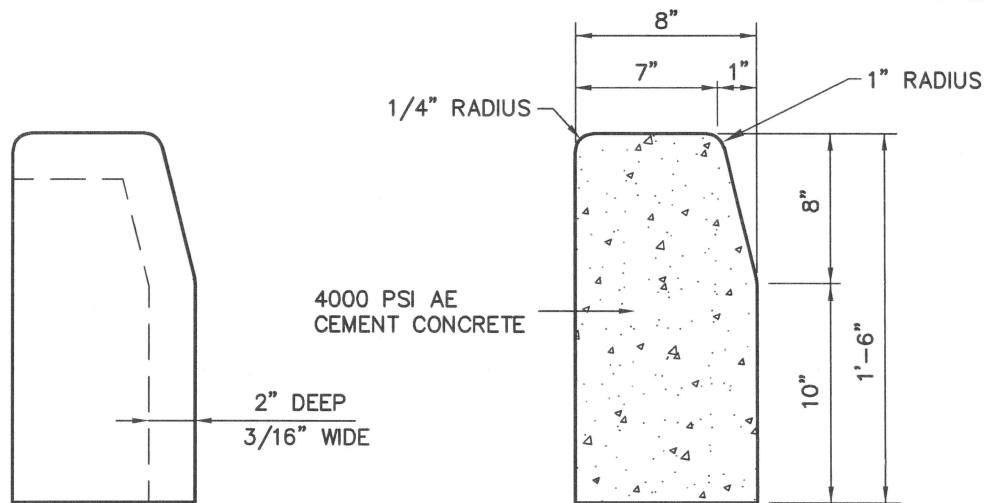
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

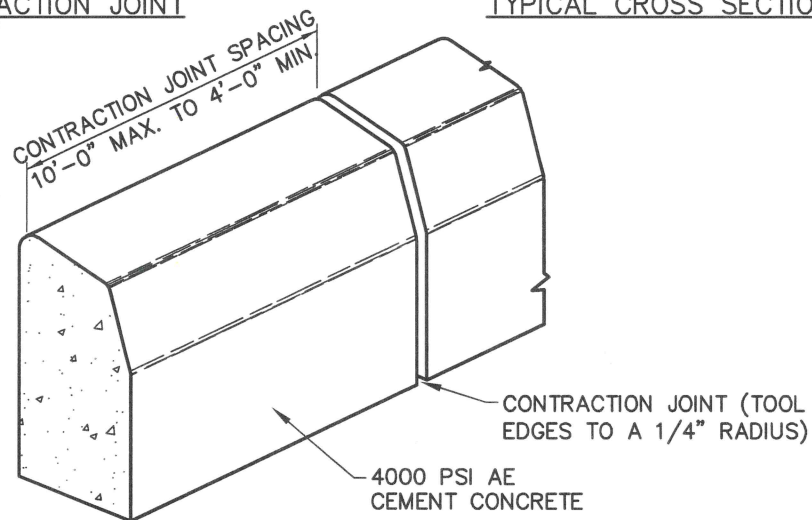
DRAWING No:

8 OF 22



CONTRACTION JOINT

TYPICAL CROSS SECTION



NOTES:

1. PLACE 1/2" PREMOLDED EXPANSION JOINT MATERIAL EVERY 50 FEET (MAX.) AND AT ALL DRIVEWAYS (DEPRESSED CURB CUTS), INLETS, AND CURB RADII.
2. MINIMUM 2-#6 REINFORCING BARS PER SIDE WHERE CURB ABUTS INLET HOODS, INCLUDING PREMOLDED EXPANSION JOINT MATERIAL.
3. WHERE CURB ARE INSTALLED BY A MACHINE, SAW CUTS SHALL BE 2" DEEP, EVERY 10 FEET.

PLAIN CEMENT CONCRETE CURB DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

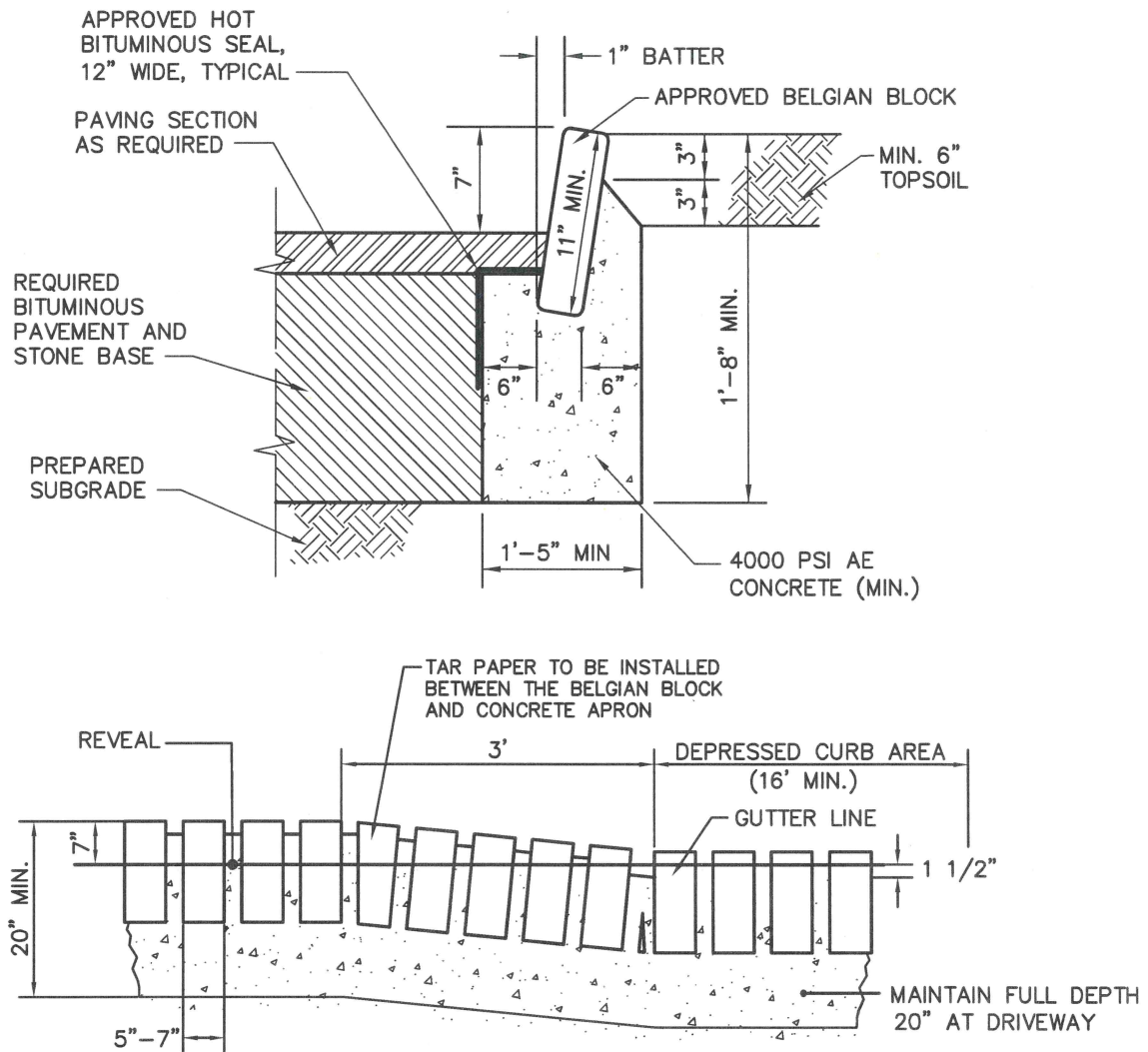
DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No:

9 OF 22



DEPRESSED BELGIAN BLOCK CURB AT DRIVEWAY

NOTES:

1. TO BE USED ONLY WHERE APPROVED BY TOWNSHIP.
2. TYPE AND COLOR OF BELGIAN BLOCKS SHALL BE UNIFORM. THE TOWNSHIP MAY REJECT ANY BLOCK PRIOR TO DEDICATION OF STREET.
3. INDIVIDUAL BLOCKS CONSISTING OF 5% OF TOTAL LINEAR CURB FOOTAGE SHALL BE DELIVERED TO THE TOWNSHIP'S PUBLIC WORKS FACILITY, AND STORED AT A LOCATION APPROVED BY THE PUBLIC WORKS DIRECTOR (AS REQUIRED).

BELGIAN BLOCK CURB DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

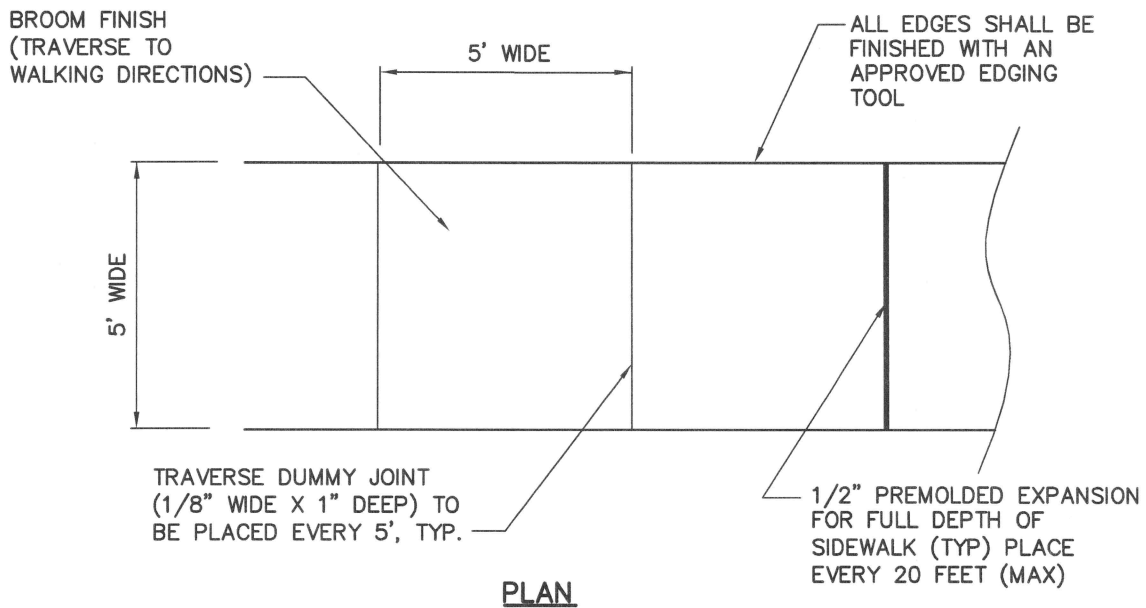
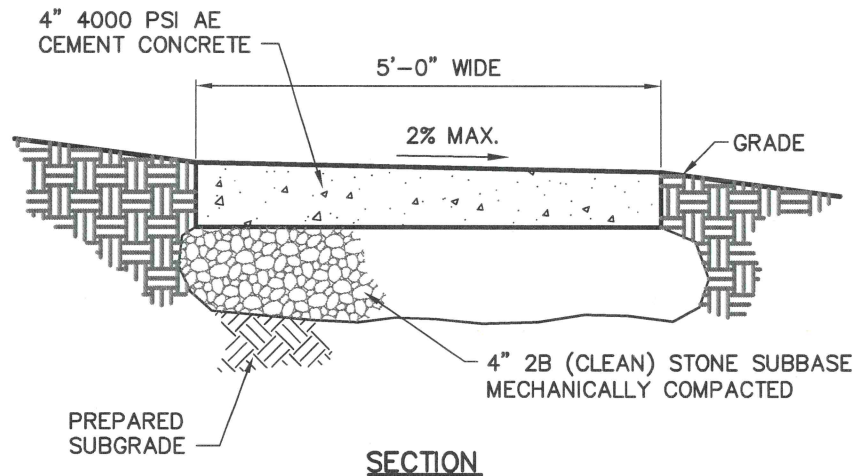
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 10 OF 22



NOTES:

1. WITH ALL PROPOSED SIDEWALK, A NON-SLIP SURFACE TEXTURE SHALL BE BROOMED TRAVERSE TO THE SLOPE OF THE SIDEWALK.
2. ALL SIDEWALK SHALL BE IN ACCORDANCE WITH ACI & TOWNSHIP STANDARDS.

CONCRETE SIDEWALK DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

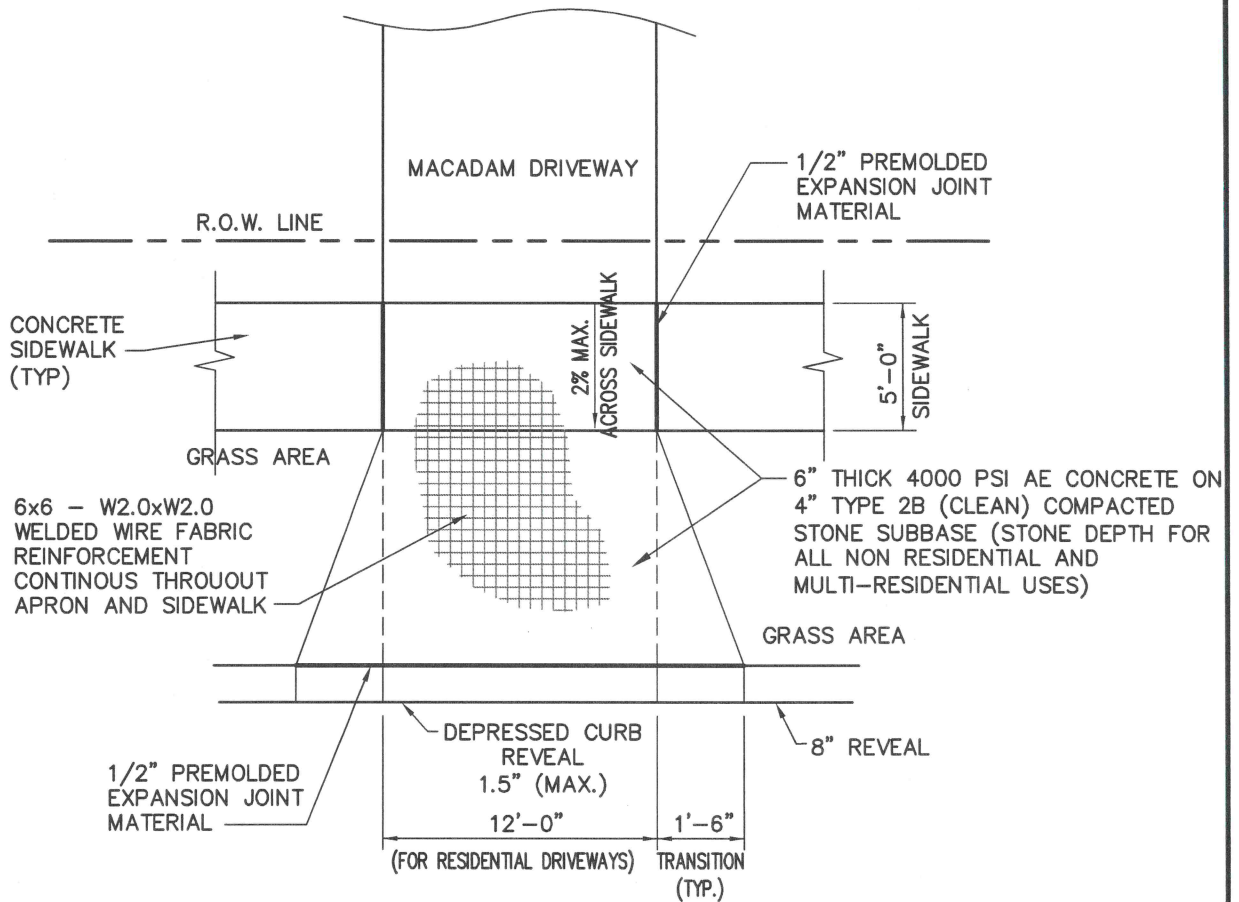
SCALE:
N.T.S.

DRAWING No:

11 OF 22



DRAWING No: 12 OF 22



DRIVEWAY AND APRON DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

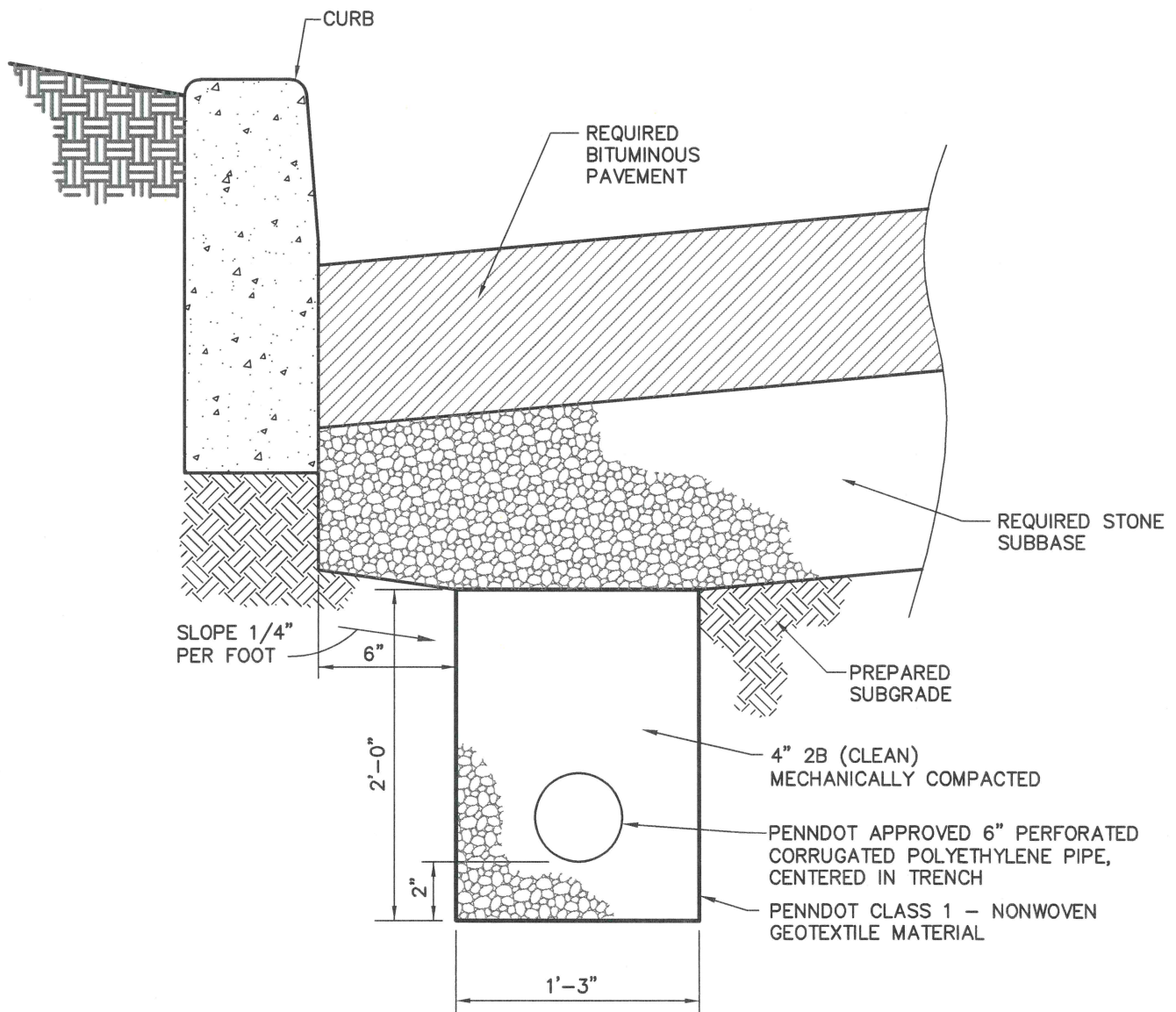
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 13 OF 22



ROAD UNDERDRAIN DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES

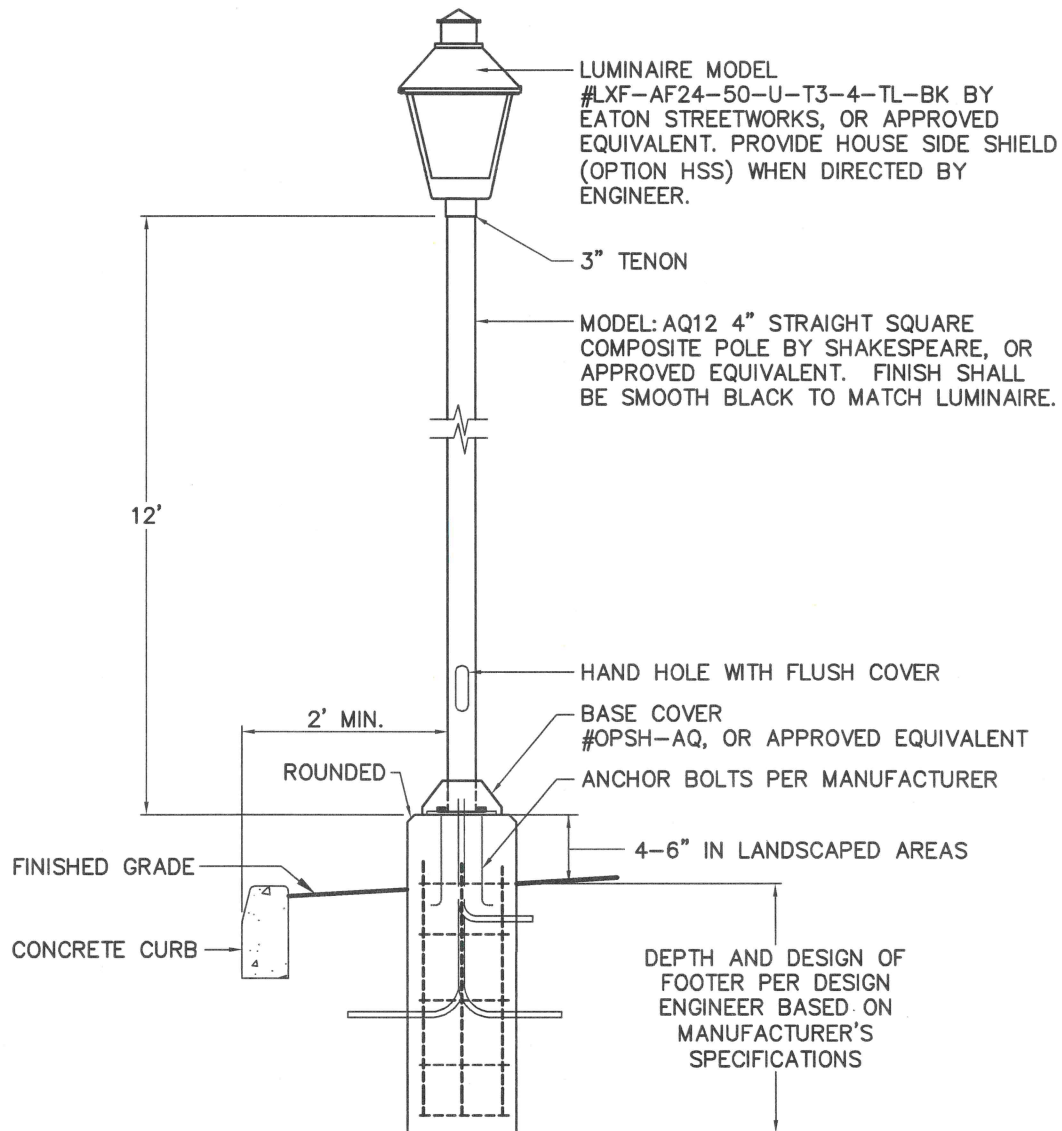
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 14 OF 22



NOTES:

1. 3" OF CONCRETE COVER SHALL BE PROVIDED OVER ALL REINFORCEMENT BARS.
2. PROVIDE GROUND ROD BONDED TO FIXTURE AS REQUIRED BY CODE.
3. ELECTRICAL CONDUIT DEPTH SHALL BE PER CODE REQUIREMENTS.
4. FOOTING DEPTH MAY VARY DUE TO UNSUITABLE SUB-SURFACE SOIL CONDITIONS. VERIFY IN FIELD AND NOTIFY ENGINEER IF UNSUITABLE CONDITIONS EXIST.

RESIDENTIAL STREET LIGHT DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

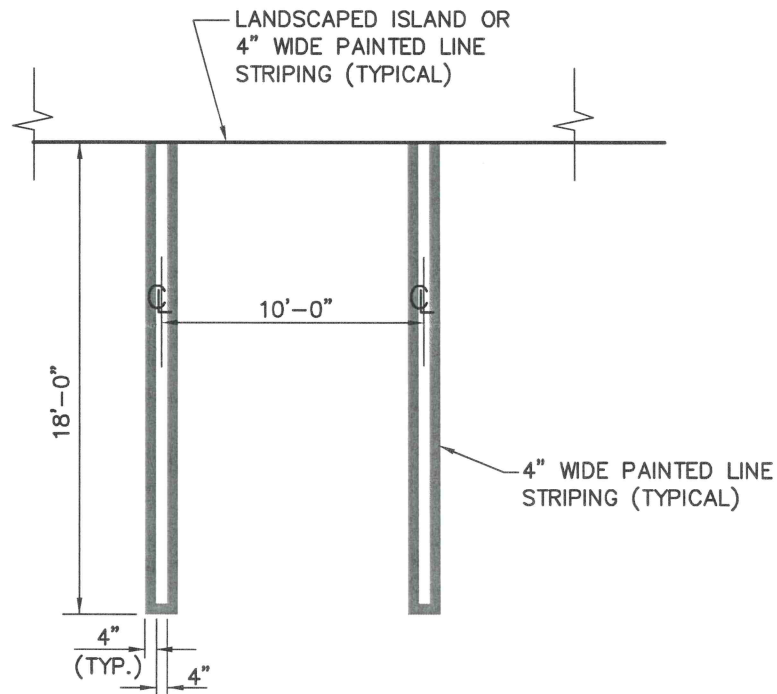
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 15 OF 22



PARKING SPACE STRIPING DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

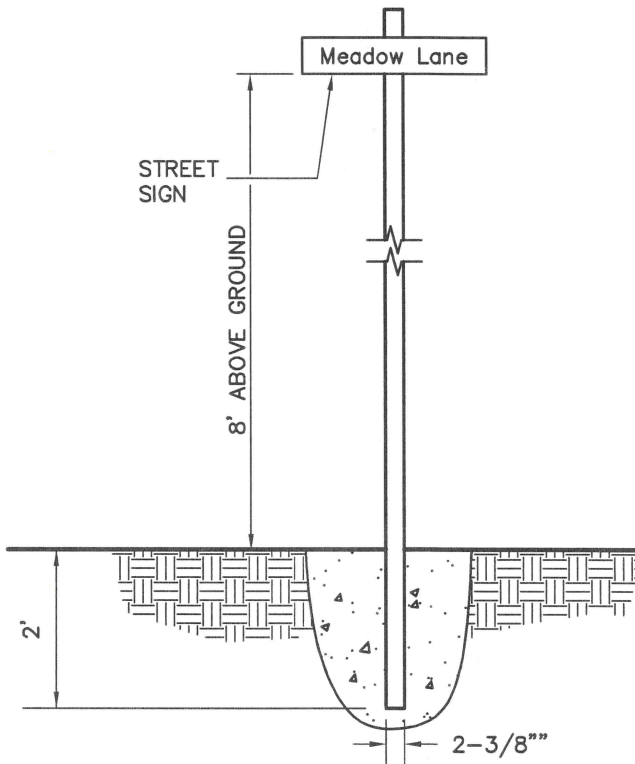
SCALE:
N.T.S.

DRAWING No: 16 OF 22



NOTES:

1. STREET NAME SIGNS SHALL BE OF HIGH INTENSITY PRISMATIC MATERIAL (HIP) MEETING MINIMUM ASTM TYPE III RETRO-REFLECTIVE STANDARDS; NO ENGINEER GRADE SIGNS SHALL BE ACCEPTED.
2. STREET SIGNS TO BE 9" EXTRUDED ALUMINUM SHEETED GREEN BACKGROUND WITH WHITE 6" HIP "SERIES B" LEGEND.
3. STREET NAME SIGN POST SHALL BE ALUMINUM, 2 3/8" DIAMETER, 10' LONG, AND BE CEMENTED IN A 5 GALLON BUCKET AND BURIED SO THAT 8' REMAINS ABOVE FINISHED GRADE.
4. STREET NAME SIGN HARDWARE: ALL BRACKETS SHALL BE 12" LONG GS 12 BOLT THROUGH FOR EXTRUDED SIGNS AND SHALL BE FITTED ON A 2-3/8" DIAMETER POST.
5. LOCATION OF SIGN MUST NOT OBSCURE ANY POTENTIAL TRAFFIC HAZARD. AT ANY LOCATION WHERE THE TYPICAL PLACEMENT OF A SIGN INTERFERES WITH A SAFE SIGHT DISTANCE, AN ALTERNATIVE LOCATION MUST BE FOUND. THE LOWER EDGE OF THE PLATES SHALL BE 8 FEET ABOVE THE GROUND LEVEL OR CURB. THE PLATES SHALL BE ATTACHED TO THE STANDARD BY RUST-PROOF METAL FASTENERS.



STREET SIGN DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

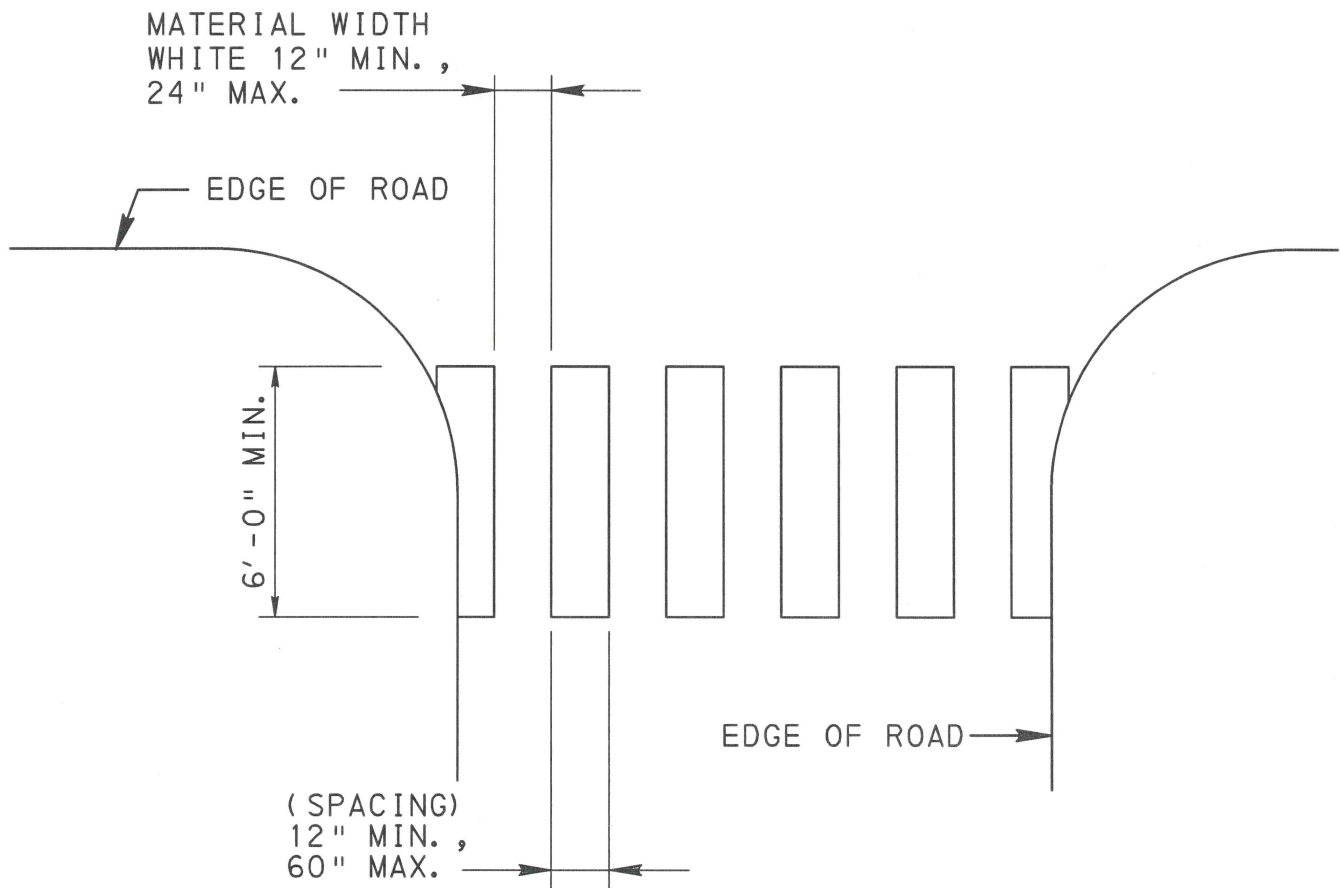
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
5/22/09

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 17 OF 22



TYPE 3 PERPENDICULAR CROSSWALK

NOTE:

1. ALL CROSSWALK STRIPING WITHIN RIGHT-OF-WAY TO BE THERMOPLASTIC MATERIAL UNLESS OTHERWISE SPECIFIED BY THE TOWNSHIP.
2. CROSSWALKS SHALL BE IN ACCORDANCE WITH PENNDOT PUB TC-8600 - PAVEMENT MARKINGS

PEDESTRIAN CROSSWALK DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

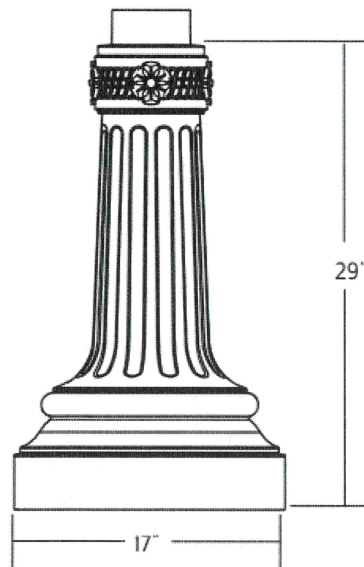
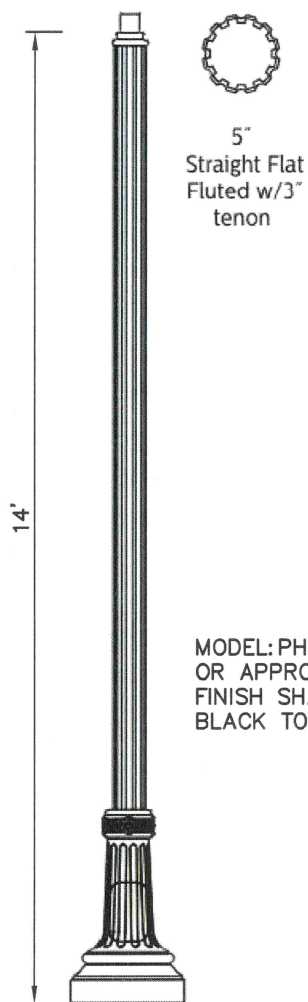
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

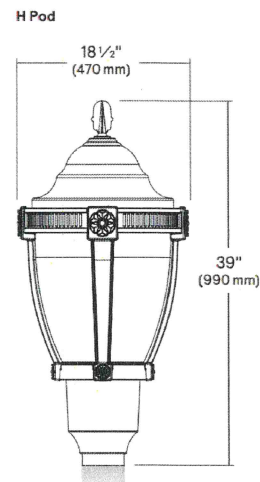
LAST REVISED:
07/31/24

SCALE:
N.T.S.

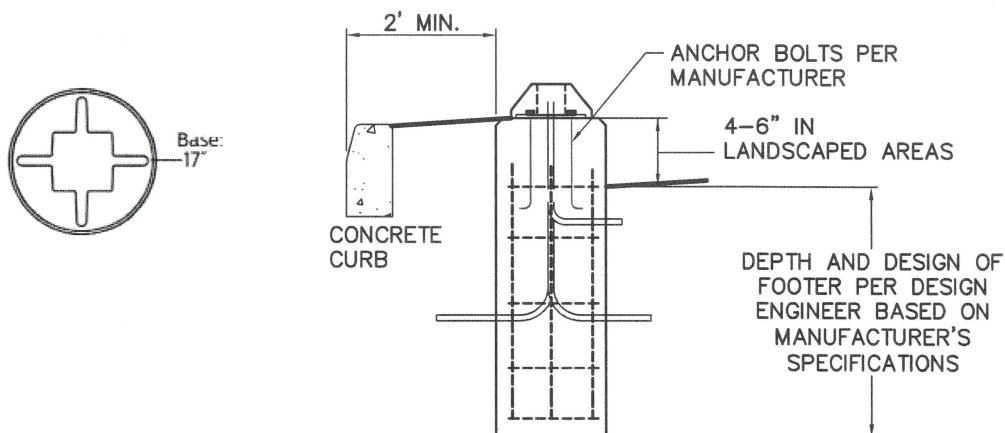
DRAWING No: 18 OF 22



MODEL: PHILIPS P3165 POLE (14 FT HEIGHT),
OR APPROVED EQUIVALENT.
FINISH SHALL BE SMOOTH
BLACK TO MATCH LUMINAIRE.



LUMINAIRE MODEL PHILIPS CITY POST LED
POST TOP (TX1), TYPE 3, 3000K,
CONSTRUCTED OF METAL WITH A BLACK FINISH,
OR APPROVED EQUIVALENT.
PROVIDE HOUSE SIDE SHIELD (OPTION HSS)
WHEN DIRECTED BY ENGINEER.



NOTES:

1. FIXTURE AND POLE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. 3" OF CONCRETE COVER SHALL BE PROVIDED OVER ALL REINFORCEMENT BARS.
3. PROVIDE GROUND ROD BONDED TO FIXTURE AS REQUIRED BY CODE.
4. ELECTRICAL CONDUIT DEPTH SHALL BE PER CODE REQUIREMENTS.
5. FOOTING DEPTH MAY VARY DUE TO UNSUITABLE SUB-SURFACE SOIL CONDITIONS. VERIFY IN FIELD AND NOTIFY ENGINEER IF UNSUITABLE CONDITIONS EXIST.

BUTLER AVENUE CORRIDOR OVERLAY DISTRICT STREET LIGHT DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.

ENGINEERING & CONSULTING SERVICES

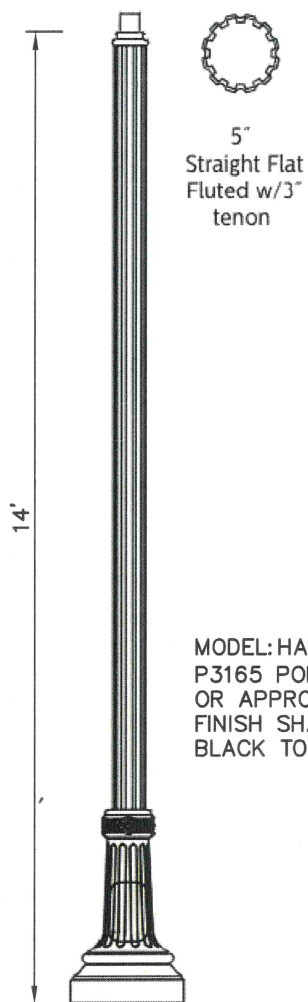
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

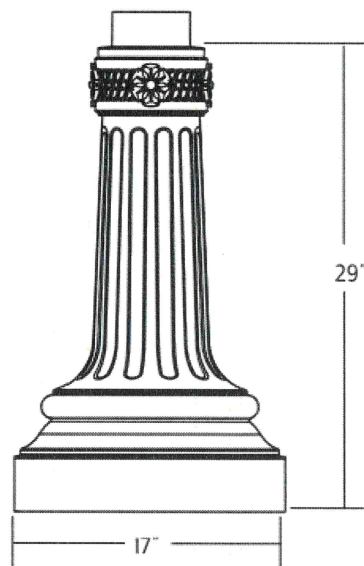
LAST REVISED:
07/31/24

SCALE:
N.T.S.

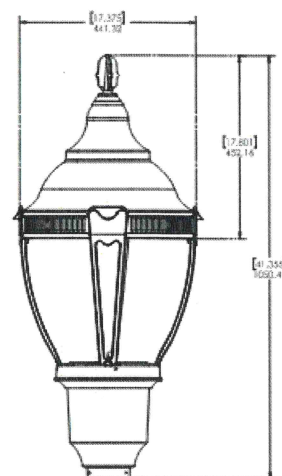
DRAWING No: 19 OF 22



5"
Straight Flat
Fluted w/3"
tenon

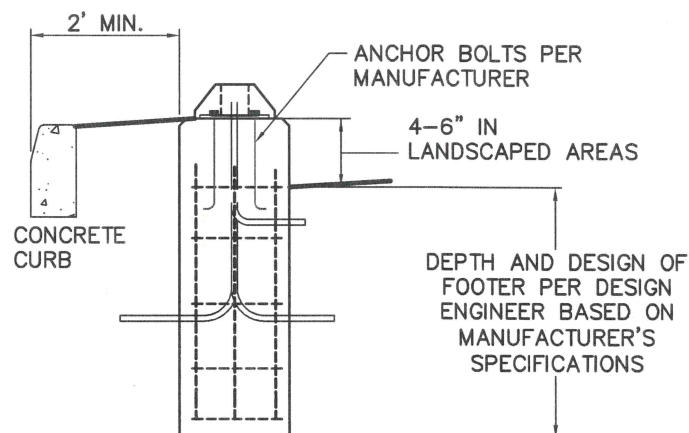
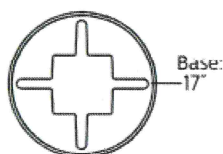


MODEL: HADCO (BY SIGNIFY)
P3165 POLE (14 FT HEIGHT),
OR APPROVED EQUIVALENT.
FINISH SHALL BE SMOOTH
BLACK TO MATCH LUMINAIRE.



(TX03C-196-G2-H-C-HP-A-1-A-3-*-830-*-*)
* OPTIONS TO BE SELECTED BY CONTRACTOR

LUMINAIRE MODEL HADCO (BY SIGNIFY)
URBAN HAGERSTOWN POST TOP (TX03-C),
TYPE 3, 3000K
CONSTRUCTED OF METAL WITH A BLACK FINISH,
OR APPROVED EQUIVALENT.
PROVIDE HOUSE SIDE SHIELD (OPTION HSS)
WHEN DIRECTED BY ENGINEER.



NOTES:

1. FIXTURE AND POLE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. 3" OF CONCRETE COVER SHALL BE PROVIDED OVER ALL REINFORCEMENT BARS.
3. PROVIDE GROUND ROD BONDED TO FIXTURE AS REQUIRED BY CODE.
4. ELECTRICAL CONDUIT DEPTH SHALL BE PER CODE REQUIREMENTS.
5. FOOTING DEPTH MAY VARY DUE TO UNSUITABLE SUB-SURFACE SOIL CONDITIONS. VERIFY IN FIELD AND NOTIFY ENGINEER IF UNSUITABLE CONDITIONS EXIST.

BUTLER AVENUE CORRIDOR OVERLAY DISTRICT STREET LIGHT DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.

ENGINEERING & CONSULTING SERVICES

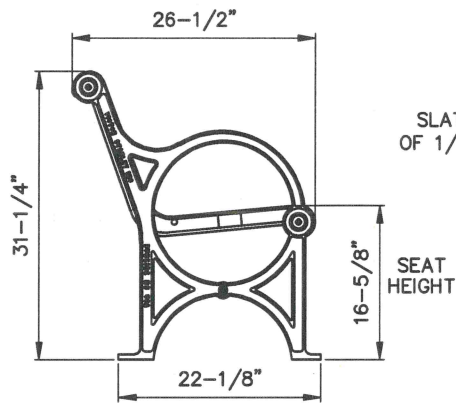
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

LAST REVISED:
07/31/24

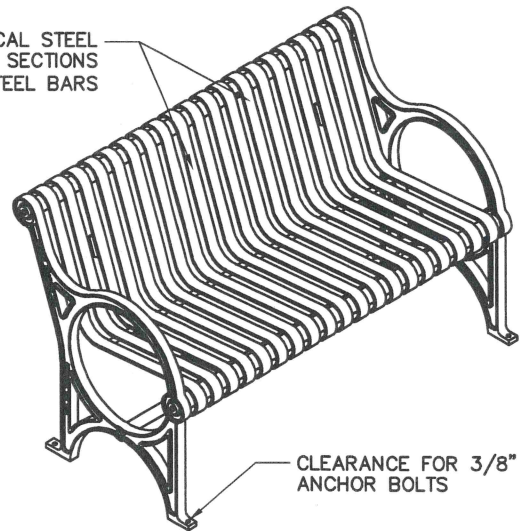
SCALE:
N.T.S.

DRAWING No: 19 OF 22

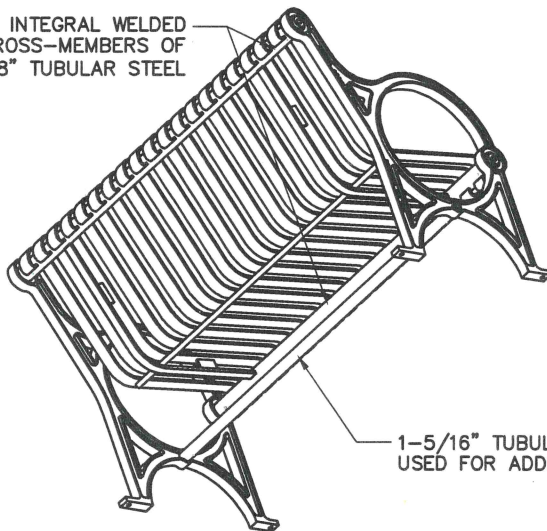


* ALL DIMENSIONS ARE IN INCHES *

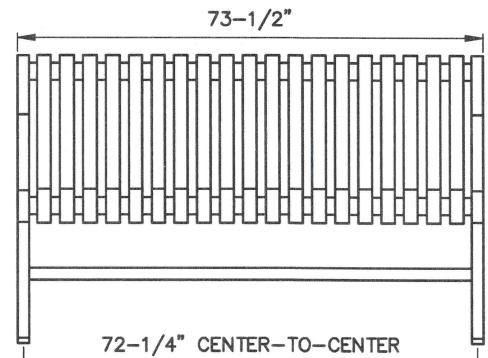
SCROLLED VERTICAL STEEL
SLATS ARE FORMED FROM SECTIONS
OF 1/4" x 1-1/2" SOLID STEEL BARS



INTEGRAL WELDED
CROSS-MEMBERS OF
1-7/8" TUBULAR STEEL



1-5/16" TUBULAR STEEL RUNG
USED FOR ADDITIONAL SUPPORT



CENTER-TO-CENTER DISTANCES ARE APPROXIMATE
(VARIATIONS IN CASTINGS ARISE FROM DIFFERENT
RATES OF COOLING)

NOTES:

1. BENCH TO BE VICTOR STANLEY CITY SERIES CR-12, BLACK, 6-FOOT LENGTH WITH DUCTILE IRON END FRAMES OR APPROVED EQUAL.
2. DUCTILE IRON CASTINGS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
3. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
4. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
5. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

BUTLER AVENUE CORRIDOR OVERLAY DISTRICT BENCH DETAIL

NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

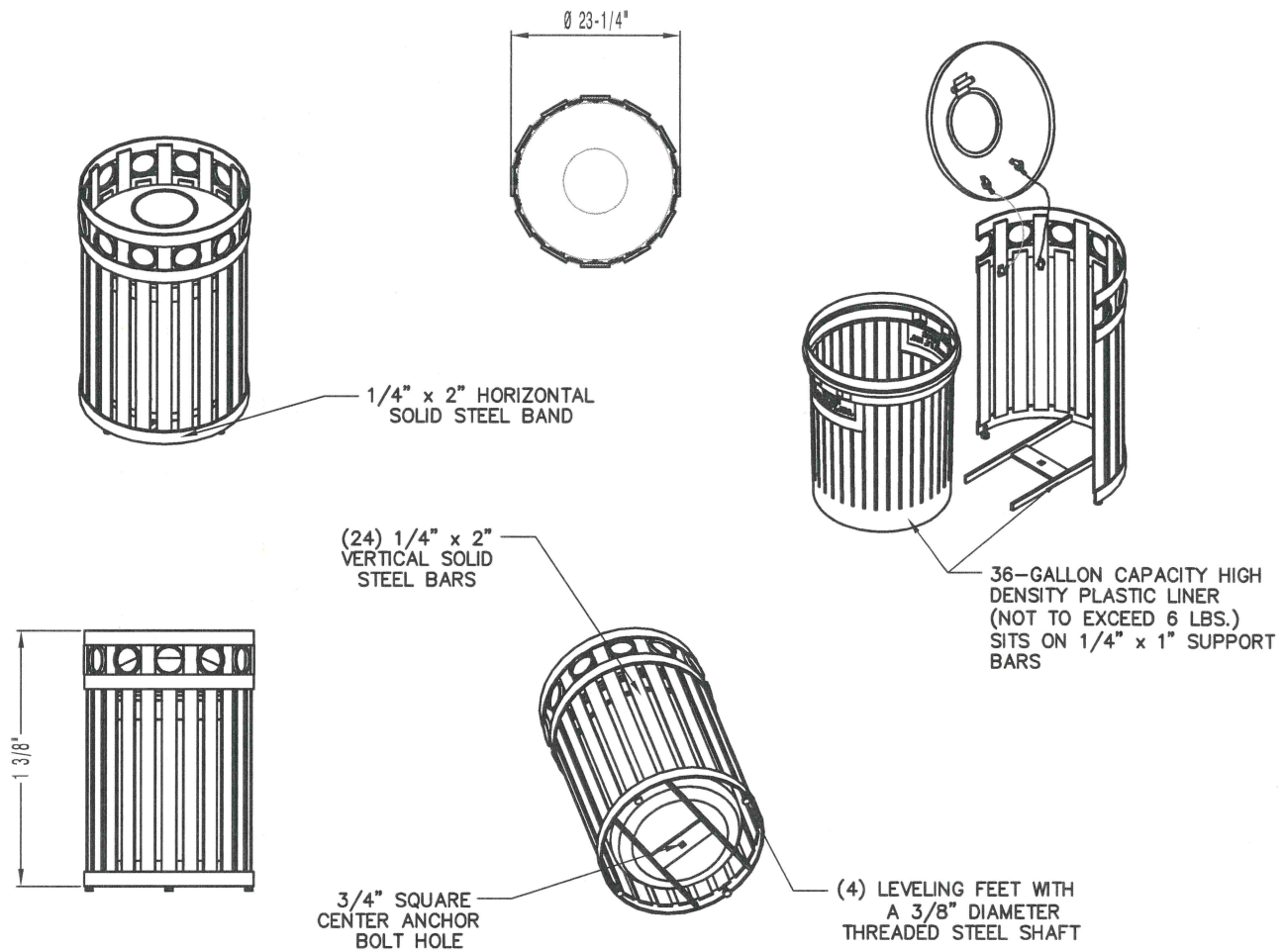
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 20 OF 22



NOTES:

1. TRASH RECEPTACLE TO BE VICTOR STANLEY CONCOURSE SERIES, FC-12, BLACK, 36 GALLON OR APPROVED EQUAL.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD FILM COATING. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. VICTOR STANLEY, INC., PLASTIC INNER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING CRITICAL MOLDED RIBS, INTEGRAL HANDHOLDS, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE WHILE AFFORDING LONG SERVICE LIFE.
5. ANCHOR BOLT NOT PROVIDED BY VICTOR STANLEY, INC.
6. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

**BUTLER AVENUE CORRIDOR OVERLAY DISTRICT
TRASH RECEPTACLE DETAIL**
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

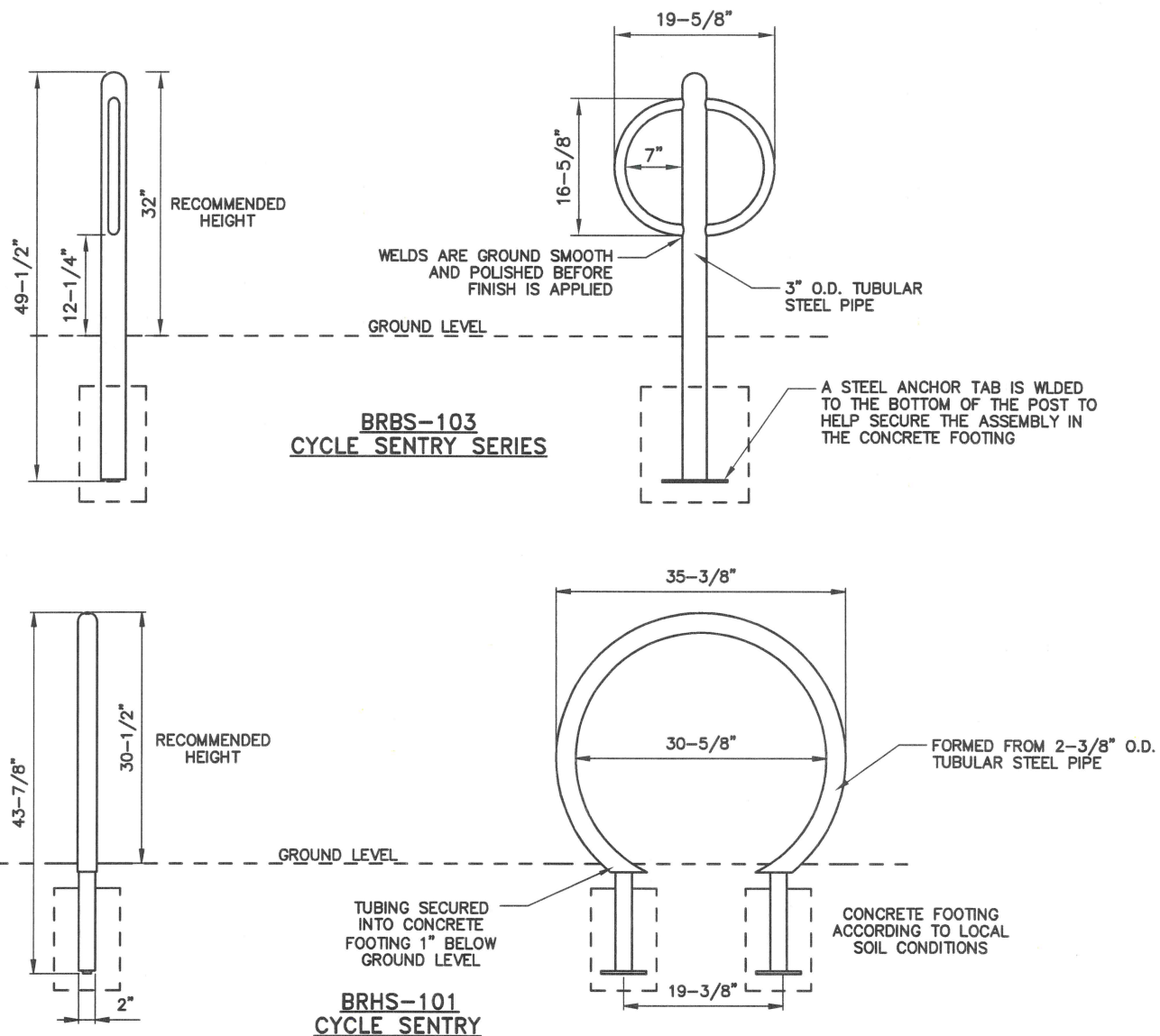
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 21 OF 22



NOTES:

1. BICYCLE PARKING AREAS TO BE VICTOR STANLEY CYCLE SENTRY SERIES, BRBS-103, BRHS-101 OR APPROVED EQUAL.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. THIS SECURE SITE DESIGN, LLC. PRODUCT MUST BE PERMANENTLY AFFIXED IN THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

**BUTLER AVENUE CORRIDOR OVERLAY DISTRICT
BICYCLE PARKING DETAIL**
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-5106 • (215) 345-4330
www.gilmore-assoc.com

DATE:
8/16/22

LAST REVISED:
07/31/24

SCALE:
N.T.S.

DRAWING No: 22 OF 22

ORDINANCE NO. 2025-_____

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP PROVIDING FOR THE ADOPTION OF CERTAIN PROCEDURES RELATED TO THE SOLICITATION AND AWARD OF PUBLIC CONTRACTS; PROVIDING FOR CERTIFICATION REQUIREMENTS FOR PUBLIC CONTRACTORS AND SUBCONTRACTORS FOR PUBLIC CONTRACTS; PROVIDING FOR PUBLIC CONTRACT REVIEW PROCEDURES; PROVIDING FOR ASSURANCE ON THE USE OF PROPERLY TRAINED CONSTRUCTION PERSONNEL

WHEREAS, New Britain Township ("Township") is empowered to enact certain requirements needed to protect its proprietary and financial interests relating to major capital investments it makes in public works projects, as well as those relating to the public health, safety, and welfare of its customers; and

WHEREAS, the Township has particular concerns regarding the challenges it faces in planning and executing public works projects, especially those relating to its ability to ensure the use of properly qualified contractors and subcontractors and adequate numbers of craft personnel who have industry recognized training in the respective skills and trades needed for future projects; and

WHEREAS, the Township recognizes the need to address the above-referenced challenges through appropriate procurement legislation as embodied in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED AND ENACTED by the Township, the following requirements are adopted for public works contracts as specified herein;

Section 1. Purpose.

The Township recognizes there is a need to ensure that all work on public construction and maintenance contracts is performed by responsible, qualified firms that maintain the capacity, expertise, personnel and other qualifications and resources necessary to successfully perform public contracts in a timely, reliable and cost-effective manner.

To effectuate the purpose of selecting responsible contractors for public contracts and to protect the Township's proprietary investments in such contracts, prospective contractors and sub- contractors, should be required to meet pre-established, clearly defined minimum standards relating to contractor responsibility, particularly requirements concerning technical qualifications, competency, experience, adequacy of resources, including equipment, financial and personnel, and satisfactory records of past performance in terms of safety, law compliance and business integrity.

It is also critical to recognize that due to the substantial impact that skilled craft labor has on public works projects, and due to the limited availability of skilled construction craft labor and imminent craft labor skill shortages, it is necessary to require contractors and

subcontractors to participate in established, formal apprenticeship training programs as a condition of bidding and performing work, for the purpose of both promoting successful project delivery and ensuring future workforce development needed for future projects.

Therefore, the Township shall require compliance with the provisions of this Ordinance by business entities seeking to provide services to the Township as specified herein. The requirements of this Ordinance are intended to supplement, not replace, existing contractor qualification and performance standards or criteria currently required by law, public policy or contracting documents. However, in the event that any of the provisions of this Ordinance conflict with any law, public policy or contracting documents of the Township, this Ordinance shall prevail, unless legally prohibited from doing so.

Section 2. Responsible Contractor Requirements.

- a. This Ordinance shall apply to all public works projects undertaken by the Township for construction, demolition, alteration, renovation, repair, service and maintenance work valued at or above \$500,000.00 annually and shall apply to all contractors and subcontractors at any tier on such projects. Beginning in January 2029 and then every third year thereafter, the Board of Supervisors shall review any changes in economic conditions and modify this threshold as the Board of Supervisors determines to be necessary.
- b. All firms engaged in contracts covered by this Ordinance shall be qualified, responsible contractors or subcontractors that have sufficient capabilities in all respects to successfully perform contracts on which they are engaged, including the necessary experience, equipment, technical skills and qualifications and organizational, financial and personnel resources. Firms bidding on public contracts shall also be required to have a satisfactory record of past performance, law compliance and business ethics.

Section 3. Contractor Responsibility Certifications

- a. As a condition of performing work on a public works contract subject to this Ordinance, a general contractor, construction manager or other lead or prime contractor seeking award of a contract shall submit a Contractor Responsibility Certification, as specified herein. Subcontractors used on the contract are likewise required to provide similar Subcontractor Responsibility Certifications as provided by Section 5 of this Ordinance.
- b. The Contractor Responsibility Certification shall be completed on a form provided by the Township and shall reference the project for which a bid is being submitted by name and contract or project number.
- c. In the Contractor Responsibility Certification, the construction manager, general contractor, other lead or prime contractor or subcontractor shall confirm the following facts regarding its past performance and work history and its current qualifications and performance capabilities:

- i. The firm and its employees have all valid, effective licenses, registrations, certificates, or other credentials required by federal, state, Township, or local law, including, but not limited to, licenses, registrations or certificates required to: (a) do business in the designated locale; and (b) perform the contract work it seeks to perform. These shall include, but not limited to, licenses, registrations, or certificates for any type of construction or maintenance trade work or specialty work which the firm proposes to self-perform.
- ii. The firm meets the bonding requirements for the contract, as required by applicable law or contract specifications, as well as applicable insurance requirements for the contract including general liability insurance, workers compensation insurance and unemployment insurance.
- iii. The firm has not been debarred or suspended by any federal, state, or local government agency or Township in the past three years.
- iv. The firm has not defaulted on any project in the past three years.
- v. The firm has not had any type of business, contracting or trade license, registration, or other certification revoked or suspended in the past three years.
- vi. The firm and its Principals/owners have not been convicted of any crime relating to its contracting business in the past ten years.
- vii. Within the past three years, the firm has not been found in violation of any law applicable to its contracting business, including, but not limited to, licensing laws, tax laws, prompt payment laws, wage and hour laws, prevailing wage laws, environmental laws or others, where the result of such violation was the payment of a fine, back pay damages or any other type of penalty in the amount of \$5,000 or more.
- viii. The firm will employ a sufficient number of craft labor personnel required to successfully perform any project work it self-performs or shall use qualified subcontractors to meet this requirement and shall assign workers to perform only work in their respective craft or trade for which they have sufficient skills and training or shall use qualified subcontractors to meet this requirement.
- ix. The firm will pay all craft employees on the project, at a minimum, the applicable wage and fringe benefit rates, as established for the classification in which the worker is employed, in accordance with 43 PA. CONS. STAT. § 165-1 *et seq.* These wages shall also be paid to employees performing any custom fabrication work for the project. For purposes of this subsection, custom fabrication shall mean the fabrication, assembly modification or other production of non-standard goods, or materials, including components, fixtures, or parts thereof, that are fabricated assembled or modified offsite, but produced specifically for a project covered by this Ordinance. This requirement shall include, but not be limited to custom fabrication for electrical, plumbing, mechanical, refrigeration, heating, cooling, ventilation, sheet metal or other duct systems, mechanical insulation, ornamental iron work or boiler systems. Fabrication shall also include the fabrication, assembly or other production of

components or structures prefabricated to specifications for a particular project covered by this Ordinance.

- x. The firm will ensure that all craft labor it employs on the project complete, prior to working on the project, the OSHA 10-hour training course for safety established by the U.S. Department of Labor. If the firm is a prime contractor, it shall also ensure that at least one person on the project has completed the OSHA 30-hour construction training course established by the U.S. Department of Labor.
- xi. The firm participates in a Class A Apprenticeship Training Program, as defined below, for each separate trade or classification in which it employs craft employees.
 - 1. For purposes of this Ordinance, a Class A Apprenticeship Program is an apprenticeship program registered with and approved by the U.S. Department of Labor or a state apprenticeship agency and has graduated apprentices to journey person status for at least three of the past five years. This may be an apprenticeship program subject to the Employee Retirement Income Security Act of 1974, 29 U.S.C. § 1001 *et seq.* ("ERISA"), or a non-ERISA program.
 - 2. To demonstrate compliance with this Ordinance, the firm shall provide, with this certification, a list of all trades or classifications of craft employees it will employ on the project and documentation verifying it participates in a Class A Apprenticeship Program for each trade or classification listed.
 - 3. The requirements of this Section of the Ordinance help ensure that the bulk of the craft labor workforce employed on the project will have sufficient skills and training to correctly perform work assigned to them.
- xii. The firm shall assign craft labor personnel to work only in the craft or trade in which they are employed.
- xiii. The firm has all other technical qualifications and resources, including equipment, personnel, and financial resources, to successfully perform the referenced contract and shall maintain such capabilities throughout the duration of the project, or will obtain same through the use of qualified, responsible subcontractors or vendors.
- xiv. The firm shall notify the Township within seven days of any material changes in its operation that related to any matter attested to in this certification.
- xv. The firm understands that the Contractor Responsibility Certification required by this Ordinance shall be executed by a person who has sufficient knowledge to address all matters in the certification and shall include an attestation stating, under the penalty of perjury, that the information submitted is true, complete, and accurate.
- d. Execution of the Contractor Responsibility Certification required by this Ordinance shall not establish a presumption of contractor responsibility, and the Township may require any additional information it deems necessary to evaluate a firm's status as a responsible contractor, including information regarding the firm's technical

qualifications, financial capacity or other resources and performance capabilities. The Township may require that such information be included in a separate Statement of Qualifications and Experience or as an attachment to the Contractor Responsibility Certification.

- e. The submitting firm shall stipulate in the Contractor Responsibility Certification that, if it receives a Notice of Intent to Award Contract, it will provide a Subcontractor List and required subcontractor information as specified in Section 5 of this Ordinance.
- f. If the submitting firm has ever operated under another name or is controlled by another company or business entity or in the past five years controlled or was controlled by another company or business entity, whether as a parent company, subsidiary or in any other business relation, it shall attach an appendix to its Contractor Responsibility Certification that explains in detail the nature of any such relationship. Additional information may be required from such an entity if the relationship in question could potentially impact contract performance.
- g. If a firm fails to provide a Contractor Responsibility Certification required by this Ordinance, it shall be disqualified from bidding. No action of any nature shall lie against the Township because of its refusal to accept a bid for this reason.

Section 4. Notice of Intent To Award Contract.

- a. After it has received bids for a project, the Township shall issue a Notice of Intent to Award Contract to the firm offering the lowest responsible bid.
- b. Such Notice shall be issued immediately or as soon as practicable after bids are opened and Notice of Intent to Award Contract. The Notice shall stipulate that the contract award is conditioned upon compliance with this Ordinance, the issuance of a written contractor responsibility determination and any other conditions deemed appropriate by the Township.

Section 5. Subcontractor Responsibility Requirements.

- a. Within seven (7) days of receiving a Notice of Intent to Award Contract, the prospective awardee shall submit to the Township a Subcontractor List, which provides the name and address of the subcontractors it will use on the project, the scope of the work assigned to each subcontractor, and Subcontractor Responsibility Certifications as required by this Ordinance.
- b. The prospective awardee shall not be permitted to use a subcontractor on any work performed for the Township unless it has identified the subcontractor on its Subcontractor List and provided a Subcontractor Responsibility Certification in accordance with the requirements of Section 3 above.
- c. At the time a perspective awardee submits the Subcontractor List it shall also submit Subcontractor Responsibility Certifications and applicable supporting information for all listed subcontractors to the Township. Subcontractor Responsibility Certifications

shall be executed by the respective subcontractors on forms prepared by the Township and shall contain the same information, representations, and supporting information required in Contractor Responsibility Certifications, including verification of apprenticeship qualifications as required by Section 3(c)(xi), for each trade or classification of craft workers it will employ on the project.

- d. A prospective awardee shall determine whether any firm on its Subcontractor List is organized as a sole proprietorship owned and operated by a single person. This shall apply to subcontractors at any tier. For any such entity, the prospective awardee shall ensure that the sole proprietorship subcontractor is a legitimate business entity and not a misclassified employee by requiring the subcontractor to supplement its Subcontractor Certification with its Employer Identification Number and copies of any license, certificate, or registration it is required to maintain in order to do business in the state in which it is located.
- e. A subcontractor listed on a firm's Subcontractor List shall not be substituted unless written authorization is obtained from the Township and a Subcontractor Responsibility Certification is provided for the substitute subcontractor.
- f. In the event that the Township determines that a subcontractor fails to meet the requirements of this Ordinance or is otherwise determined to be non-responsible, it may, after informing the prospective awardee, exercise one of the following options:
 - i. Permit the awardee to substitute a qualified, responsible subcontractor in accordance with the requirements of this Ordinance, upon submission of a completed Subcontractor Certification for the substitute and approval of the substitute by the Township.
 - ii. Require the awardee to self-perform the work in question if the firm has the required experience, licenses, and other qualifications to perform the work in question; or
 - iii. Disqualify the prospective awardee.
- g. In the event a subcontractor is disqualified under this Ordinance, the general contractor, construction manager or other lead or prime contractor shall not be permitted to make any type of claim against the Township based on a subcontractor disqualification.

Section 6. Contractor Responsibility Review and Determination.

- a. After a Notice of Intent to Award Contract has been issued, the Township shall undertake a review process to determine whether the prospective awardee is a qualified, responsible contractor in accordance with the requirements of this Ordinance and other applicable laws and regulations and has the resources and capabilities to successfully perform the contract. The time of the review process shall be as determined necessary by the Township, but in no event shall be less than five (5) calendar days.
- b. As part of this review process, the Township shall ensure that the Contractor Responsibility Certification, the Subcontractor List and the Subcontractor Responsibility

Certifications, as required by this Ordinance, have been submitted, properly executed and the contractors and subcontractors have provided the necessary documentation to support their Contractor Responsibility Certifications.

c. The Township may conduct any additional inquiries to verify that the prospective awardee and its subcontractors have the technical qualifications and performance capabilities necessary to successfully perform the contract and that the firms have a sufficient record of law compliance and business integrity to justify the award of a public contract. In conducting such inquiries, the Township may seek relevant information from the firm, its prior clients or customers, its subcontractors or any other relevant source.

d. If at the conclusion of the review process the Township determines that all responsibility certifications have been properly completed and executed and if it concludes that the qualifications, background and responsibility of the prospective awardee and the firms on its Subcontractor List are satisfactory, it may issue a formal written Contractor Responsibility Determination verifying that the prospective awardee is a qualified, responsible contractor. In the event a firm is determined to be non-responsible, the Township shall proceed to conduct a responsibility review of the next lowest, responsive bidder or, if necessary, rebid the project.

e. A Contractor Responsibility Determination may be issued after the conclusion of the review process under this Section. A Responsibility Determination may be revoked or revised in any manner at any time if the Township obtains relevant information warranting any such revocation or revisions.

f. In the event none of the firms that bid on the Project meet the requirements of this Ordinance, the Project will be bid a second time. After the second bid, if none of the firms meet the requirements, the provisions of this Ordinance are waived and the Board of Supervisors may proceed with the award of the contract from the second round of bids.

Section 7. False or Misleading Contractor Responsibility Certifications.

If the Township determines that a Contractor or Subcontractor Responsibility Certification contains false or misleading material information that was provided knowingly or with reckless disregard for the truth or omits material information knowingly or with reckless disregard of the truth, the firm for which the certification was submitted shall be prohibited from performing work for the Township for a period of three (3) years and shall be subject to any other penalties and sanctions, including contract termination, available to the Township under law. A contract terminated under these circumstances shall further entitle the Township to withhold payment of any monies due to the firm as damages.

Section 8. Execution of Final Contract.

A contract subject to this Ordinance shall not be executed until all requirements of this Ordinance have been fulfilled and until Contractor and Subcontractor Responsibility Certifications have been issued by the Township under Section 6(d). Upon completion of all requirements under this Ordinance, the Township may execute a final contract based upon the Notice of Intent.

Section 9. Repealer.

Any and all other Ordinances or parts of Ordinances in violation of or in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

Section 10. Severability.

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, enforceable or unconstitutional, the Board of Directors hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, enforceable or unconstitutional portion, part or provision of this Ordinance.

Section 11. Effective Date.

This Ordinance shall become effective thirty (30) days after enactment.

ENACTED by the Board of Supervisors of New Britain Township this the ____ day of _____, 2025.

ATTEST:

NEW BRITAIN TOWNSHIP

Dan Fox, Township Manager

Cynthia Jones, Chair

MaryBeth McCabe, Vice-Chair

William B. Jones, III

Stephanie Shortall

Bridget Kunakorn

ORDINANCE NO. 2025-_____

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP AMENDING CHAPTER 1, PART 3 OF THE NEW BRITAIN TOWNSHIP CODE OF ORDINANCES TO PROVIDE FOR ADDITIONAL RESPONSIBILITIES OF THE ENVIRONMENTAL ADVISORY COUNCIL

WHEREAS, ON May 15, 2023, the New Britain Township Board of Supervisors adopted Ordinance No. 2023-04-02 to provide for an Environmental Advisory Council ("EAC"); and

WHEREAS, after two years of operation, the Board of Supervisors has determined the EAC can and should perform additional duties and responsibilities; and

WHEREAS, the additional duties and responsibilities will further the EAC's purpose advising on matters dealing with the protection, conservation, management, and use of natural resources, including air, land, and water resources located within the Township, and to help educate residents about the importance of environmental protection;

NOW, THEREFORE, BE IT ORDAINED AND ENACTED by the Township, the following requirements are adopted for public works contracts as specified herein;

Section 1. Amendments.

1. Section 1-302 Establishment and Purpose is amended to read as follows:

An Environmental Advisory Council (EAC) is hereby established for the purpose of advising the New Britain Township Board of Supervisors and other boards and committees of the Township on matters dealing with the protection, conservation, **preservation**, management, and use of natural resources, including air, land, and water resources located within the Township, and to help educate residents about the importance of environmental protection.

2. Subsections A and F of Section 1-308 Powers and Duties are amended as follows:

A. The Council shall identify environmental problems and recommend plans and programs for the promotion, ~~and~~ conservation **and preservation** of the natural resources of New Britain Township and for the protection and improvement of the quality of the environment within New Britain Township, as permitted by law.

F. The Council shall advise appropriate local government agencies, including the Planning Commission, Park and Recreation Board, and Board of Supervisors in the acquisition of both real and personal property by gift, purchase, grant, bequest, easement, devise or lease, in matters dealing with the purposes of environmental conservation **and land preservation**.

3. Section 1-308 Powers and Duties is amended to renumber existing subsection G as

subsection I to include the following new subsections G and H:

- G. The EAC shall assign a priority number to each area identified for Land Preservation indicating the level of desirability for preservation, with 1 being the highest and 10 being the lowest. When setting priorities, the following factors shall be taken into consideration:**
- 1. the presence of natural resources and other natural features, including, but not limited to, the presence of wetlands, the location of the property within a flood plain or watershed area, and the presence of flora and fauna of concern;**
 - 2. Suitability for use of agricultural purposes;**
 - 3. Suitability for recreational purposes;**
 - 4. Suitability for other uses of the land as open space;**
 - 5. Aesthetic value to the community;**
 - 6. Negative features such as known contaminants or other nuisances;**
 - 7. Presence of historical structures;**
 - 8. Presence of archaeological sites or other features important to the preservation of the township's heritage;**
 - 9. Likelihood of development;**
 - 10. Importance to the movement of wildlife through the area; and**
 - 11. Links to adjoining areas of current protected open space or areas that may be protected in the future.**
- H. The EAC shall present the list of said properties for preservation to the Board of Supervisors for action as well as its recommendations for procedures to make contact with said landowners to advise of the Township's interest in preserving the property.**
- I. The Council shall make written report of its activities to the Board of Supervisors at least annually, and more frequently as mandated by the Board of Supervisors, and shall furnish a representative to appear at a public meeting of the Board of Supervisors to report and discuss the EAC's activities upon request for the same.**

Section 2. Repealer.

Any and all other Ordinances or parts of Ordinances in violation of or in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

Section 3. Severability.

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, enforceable or unconstitutional, the Board of Directors hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, enforceable or unconstitutional portion, part or provision of this Ordinance.

Section 4. Effective Date.

This Ordinance shall become effective thirty (30) days after enactment.

ENACTED by the Board of Supervisors of New Britain Township this the ____ day of _____, 2025.

ATTEST:

NEW BRITAIN TOWNSHIP

Dan Fox, Township Manager

Cynthia Jones, Chair

MaryBeth McCabe, Vice-Chair

William B. Jones, III

Stephanie Shortall

Bridget Kunakorn

RESOLUTION NO. 2025 - _____

**NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA**

A RESOLUTION OF THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP GRANTING PRELIMINARY AND FINAL LAND DEVELOPMENT APPROVAL TO SPOTLESS BRANDS, LLC FOR THE LAND DEVELOPMENT OF TAX PARCEL #26-006-101-001 LOCATED AT OR NEAR 545 W. BUTLER AVENUE, WHICH SAID PLANS WERE PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES, LLC, DATED APRIL 3, 2025, AND LAST REVISED JUNE 3, 2025, CONSISTING OF 18 SHEETS, WHICH PROPOSE THE CONSTRUCTION OF A 2,904 SF DRIVE-THROUGH CAR WASH.

WHEREAS, Spotless Brands, LLC ("*Applicant*") has submitted an Application for Preliminary / Final Land Development Approval which proposes the construction of a 2,904 SF drive-through car wash ("*Project*") on a parcel located at or near 545 W. Butler Avenue, New Britain Township, Bucks County, Pennsylvania, further identified as Tax Map Parcel No. 26-006-101-001 ("*Property*"); and

WHEREAS, this proposal is reflected on a Plan Set entitled Land Development Plan Prepared for Flagship Carwash, prepared by Van Cleef Engineering Associates, LLC, dated April 3, 2025, last revised June 3, 2025, consisting of eighteen (18) sheets ("*Plan*"); and

WHEREAS, Applicant has modified the Plan to fit its use of the Property, which is to construct a drive through car wash, which is permitted by right as Use J19 in the Commercial (C-1) Zoning District;

NOW THEREFORE, BE IT ADOPTED AND RESOLVED, that the Board of Supervisors of New Britain Township hereby grants Preliminary / Final Land Development Approval to the Project subject to Applicant's compliance with the following conditions:

1. Applicant shall comply with all requirements and recommendations of the Gilmore and Associates Review Letter of June 17, 2025 unless herein modified. A true and correct copy of this letter is attached hereto and incorporated herein as Exhibit "A".
2. Applicant shall comply with any other technical design comments from the Township Engineer prior to the recording of the Record Plans.
3. The Applicant shall coordinate with the Fire Marshal to ensure access to the Property for Emergency Vehicles.

4. Applicant shall construct all public improvements shown on the approved Final Plan, including, but not limited to, water and sewer facilities, stormwater facilities, street trees, roadway widening, installation of curbs and sidewalks, and roadway milling and overlay.
5. Applicant shall execute the required Stormwater Maintenance Agreement in a form approved by the Township Solicitor. Applicant shall pay a required stormwater fee to be based 5% of the estimated construction cost of the proposed stormwater facilities plus a separate storm sewer fee of \$905.00 based on existing street frontage.
6. Applicant agrees to provide a supplemental stormwater contribution in addition to the stormwater management they are installing on the Property in the amount of Twenty-Thousand (\$10,000.00) Dollars.
7. Applicant agrees to provide the Township with a traffic signal maintenance contribution in the amount of Five Thousand (\$5,000.00) Dollars.
8. Applicant shall pay a required park and recreation fee based on a proposed building area of 2,904 sf at a rate of \$2,500.00 per 4,000 sf, for a total of \$1,815.00.
9. Within sixty (60) days of recording of the Plan, Applicant shall submit renderings and design specifications for a "Welcome to New Britain Township" monument sign to be constructed on the Property. The renderings and design specifications shall be approved by the Township Board of Supervisors and Township Engineer. Construction of the sign shall be completed prior to final occupancy issuance.
9. Applicant shall obtain all required approvals from various agencies having jurisdiction over the Project, including, but not limited to: Pennsylvania Department of Environmental Protection ("DEP") NPDES Permit, DEP Sewage Facilities Planning Module, Bucks County Health Department, Bucks County Conservation District E & S Permit, and Pennsylvania Department of Transportation Highway Occupancy Permit.
10. Applicant shall submit to the Township Engineer for review all necessary legal descriptions and construction cost estimates of the site improvements.
11. Applicant shall execute Development and Financial Security Agreements and all other development documents (including all necessary guarantees, agreements, easements, deeds, and declarations), all in a form and manner to be approved by the Township Solicitor; Applicant shall post sufficient financial security in a form acceptable to the Township; Applicant shall provide proof of sufficient insurance coverage to the Township.
12. Applicant shall execute all deeds of dedication, legal descriptions of rights-of-way,

access easement descriptions, lot descriptions, notes, etc., all in a form and manner to be approved by the Township Solicitor. These deeds shall be accompanied by title insurance to the benefit of the Township indicating that title to these areas is free and clear of all liens, encumbrances and restrictions that could adversely affect the use of these dedicated for roadways and other proper purposes.

13. Applicant shall pay all appropriate fees applicable to this Project including all outstanding bills from the Township's professional consultants.
14. All documentation shall be executed prior to recording of Record Plans.
15. Applicant and its professionals shall execute, notarize and seal the Final Record Plan.
16. Applicant shall comply with all other applicable Township, County, State, and Federal rules, regulations, codes, ordinances, and statutes.
17. The Plan shall be ADA compliant, if applicable.

BE IT FURTHER RESOLVED that the following waivers from the Township's Subdivision and Land Development Ordinance are granted by the Board of Supervisors at Applicant's request dated April 3, 2025, revised June 6, 2025:

1. SALDO Section 403 – A waiver is granted to not require the Applicant to submit separate preliminary and final submissions.
2. SALDO Section 706.1.D & 708.6.I – A waiver is granted from the requirement that all curbs must have a minimum 5-foot radius.
3. SALDO Section 707.2.F – A waiver is granted from the requirement to provide 6-foot-wide sidewalk adjacent to parking stalls, on the condition that the Applicant provides wheel stops for the parking spaces.
4. SALDO Section 711.4.C – A waiver is granted from the requirement that the top and bottom slopes be a minimum of five (5) feet from the property lines.
5. SALDO Section 712.5.E – A waiver is granted from the requirement that storm sewers be reinforced concrete pipe with a minimum diameter of 15 inches.
6. SALDO Section 722.4.C.(1)(a)(b)(2) – A waiver is granted from the Bulter Avenue Corridor Overlay District 25-foot setback requirement for parking areas and interior drives from Butler Avenue and 10-foot setback from other street lines.
7. SALDO Section 722.4.C.(7)(b) – A waiver is granted from the requirement that all street trees be planted in the planting strip between the curblin and the sidewalk.
8. SALDO Section 722.4.D.(6) – A waiver is granted from the requirement to provide bicycle parking.

BE IT FINALLY RESOLVED that the conditions of approval have been made known to Applicant, and this Preliminary and Final Land Development Approval is to be deemed expressly contingent upon Applicant's affirmative written acceptance of the said conditions on a form prescribed by the Township within 30 days of the approval of this Resolution. If an unconditional acceptance of the conditions is not received in writing by that date, the application for Final plan approval shall be deemed denied based upon Applicant's failure to agree to and/or fulfill the said conditions.

THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK.

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA
RESOLUTION NO. 2025-

DULY ADOPTED, this ____ day of _____, 2025, by the Board of Supervisors of New Britain Township, in lawful session duly assembled.

ATTEST:

Dan Fox, Township Manager

Cynthia M. Jones, Chair

MaryBeth McCabe, Vice-Chair

Stephanie Shortall, Supervisor

William Jones, III, Supervisor

Bridget Kunakorn, Supervisor

APPLICANT'S ACCEPTANCE OF THE RESOLUTION'S CONDITIONS

Applicant agrees to the above terms and conditions contained in Resolution 2025-_____
this the ____ day of _____, 2025.

APPLICANT:
SPOTLESS BRANDS, LLC

Name: _____
Title: _____



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

June 17, 2025

File No. 220705201

Doreen Curtin, Zoning Officer
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Reference: 545 W. Butler Avenue (Spotless Carwash) – Preliminary/ Final Plan Review 2
TMP #26-006-101-001

Dear Doreen:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the revised Preliminary Land Development Plan for the above-referenced project. Accordingly, we offer the following comments for consideration:

I. Submission

- A. Preliminary/Final Land Development Plans for Flagship Carwash, as prepared by Van Cleef Engineering Associates, LLC, consisting of sixteen (16) sheets, dated April 3, 2025, last revised June 3, 2025.
- B. Post Construction Stormwater Conveyance Calculation for Flagship Carwash, as prepared by Van Cleef Engineering Associates, LLC, dated April 3, 2025, last revised June 3, 2025.
- C. Supplemental Traffic data received June 12, 2025 from Albert Federico Consulting, LLC Waiver Request letter for Flagship Car Wash, as prepared by Van Cleef Engineering Associates, LLC, dated April 3, 2025, revised June 6, 2025.

II. Reference Documentation

- A. Zoning Hearing Board Decision of Spotless Brands, LLC, dated March 4, 2025.

III. General Description

The 0.65-acre parcel is located at the intersection of West Butler Avenue (S.R. 4202) and County Line Road (S.R. 2038) within New Britain Township's C-1 Commercial Zoning District and Butler Corridor Overlay District. The site previously contained Wawa and is now vacant with a 24-space parking lot and full access from both West Butler Avenue and County Line Road. The site is currently at maximum 75% permitted impervious area for a lot in the C-1 Zoning District.

The Applicant, Flagship Pennsylvania Propco LLC, proposes to remove the existing building and construct a 2,904-sf drive-through car wash, a J19 Use, which is permitted by-right in the C-1 Zoning District. The plan shows a drive-through, 16-space parking area with 15 vacuums and 3 additional employee parking spaces. A double lane is proposed for queuing and a bypass lane provided as requested by the Township. The existing access from County Line Road is proposed to be modified to a right-in/ right-out access while the West Butler Avenue access is proposed to be eliminated. The plan includes a possible gateway sign along with Butler Corridor Overlay features. The project is exempt from stormwater management due to the amount of impervious surface area not being increased.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606
www.gilmore-assoc.com

IV. Review Comments

A. Subdivision and Land Development Ordinance Waivers

The following waivers have been formally requested by the Applicant:

1. §22-403 – From providing separate preliminary and final submissions.
2. §22-706.1.D & §22-708.6.I – From the requirement that all curbs have a minimum 5-foot radius, which we support.
3. §22-708.2.F – From the requirement to provide 6-foot-wide sidewalk adjacent to parking stalls. The sidewalk along the building has a width of 4.33 feet. We have no objection to this waiver request conditioned upon the Applicant providing wheel stops for these spaces to prevent overhang.
4. §22-711.4.C – From the requirement that the top and bottom of slopes be a minimum of five (5) feet from the property line. The proposed grading extends to the northeastern and northwestern property lines. We have no objection to this waiver.
5. §22-712.5.E – From the requirement that storm sewers be reinforced concrete pipe with a minimum diameter of 15 inches. The plan proposes 12-inch HDPE pipe within the site. We have no objection to this waiver as the submitted calculations indicate that the 12-inch storm pipe is adequate to convey the anticipated flows.
6. §22-722.4.C.(1)(a)&(b) and (2) – From the Butler Avenue Corridor Overlay District 25-foot setback requirement for parking areas and interior drives from Butler Avenue and 10-foot setback from other street lines. The closest drive-through lane is 8 feet from the Butler Avenue legal right-of-way, where the existing parking lot is 20 feet, and 8 feet from County Line Road. We have no objection to this waiver.
7. §22-722.4.C.(7)(b) – From the requirement that all street trees be planted in the planting strip between the curbline and the sidewalk. The plan proposes to install the street trees between the sidewalk and the Butler Avenue Corridor Overlay District buffer fence as requested by the Township. We have no objection to this waiver.
8. §22-722.4.D.(6) – From the requirement to provide bicycle parking, which we support.

B. Subdivision and Land Development Ordinance

We offer the following comments with respect to the current New Britain Township Subdivision and Land Development Ordinance:

1. §22-401.8 – The Township shall confirm that the applicant sent out the project and Planning Commission Meeting notification to properties within 1,000 feet of the proposed development.
2. §22-502.1 – A review of the plan standards and technical information will be provided directly to the Design Engineer under separate cover.
3. §22-704 – The Existing Features/ Demolition Plan notes that a portion of the existing driveway pavement for TMP 26-6-101-2 that extends onto the subject tract is to be removed. In addition, the business sign for this adjacent property appears to be on the subject property as well. The Applicant should coordinate with the adjacent owner on the removal or relocation of these features, or an easement should be provided for these features to remain.
4. §22-705 – All plans that require access to a street or highway under the jurisdiction of PennDOT shall require a Highway Occupancy Permit. Any documentation submitted as part of the HOP process shall be simultaneously submitted to the municipality for review purposes.
5. §22-710.2.D. – The water supply for fire protection shall be approved by the Fire Marshall. We note that the domestic and fire services are required as the building is required to be sprinklered.

6. §22-711.4 – A retaining wall is proposed along the northwestern property line with an exposed wall height over 4 feet at the middle. The following comments should be addressed:
 - a. The Site Plan shows the proposed fence 1.5' from the face of curb. The proposed split rail fence does not provide a sufficient barrier at the edge of the retaining wall. We recommend a guiderail, concrete wheel stops, or other edge protection be considered to protect vehicles.
 - b. The retaining wall has a maximum height of 4 feet and building code requires fall protection for an elevation change exceeding 30 inches. Appropriate fall protection shall be provided.
 - c. Retaining wall specifications and design details shall be approved by the Township Engineer prior to final plan approval. The wall design should consider curb cross-section and paving sections if they overlap the geogrid, and other features such as vacuums to verify that the wall can be constructed as designed. Similarly, the proposed storm pipe between Manhole MH#7A and Inlet INL#7B is directly behind the retaining wall and may conflict with the wall reinforcement. We recommend the design engineer consider realigning the pipe connections to avoid this conflict.
7. §22-714.7 – Medium activity nonresidential parking areas shall have a minimum footcandle coverage of 0.4 and an 4:1 avg:min ratio. The Calculation Summary on the Lighting Plan notes a minimum footcandle coverage of 0.1 and an avg:min ratio of 21 for the parking circulation area. In addition, two parking spaces on the northwestern side of the parking lot appear to have minimal coverage. The lighting should be revised to meet the minimum and uniformity requirements.
8. §§22-715.2.C.(1) & G(2) – The amount of land dedicated for park and recreation areas for nonresidential subdivisions shall be 2,500 square feet per 4,000 square feet of building area unless a fee-in-lieu of land is offered. Based on a proposed building area of 2,904 square feet at a rate of \$2,500 per 4,000 s.f., a fee of \$1,815.00 is required.
9. §22-720 – A PADEP Sewage Facilities Planning Module shall be submitted for review.
10. §22-722.4.B.(2)&(4) – The subject property is within the Township's Butler Avenue Corridor Overlay District (COD) and shall conform to this section as required by Zoning §27-2118. The proposed building materials shall be stone, brick, slate, etc. We recommend the preliminary renderings for the building, gateway sign, retaining wall, buffer fence pillars, lighting, landscaping, fencing, etc. be presented to the Supervisors and Planning Commission for discussion.
11. §22-905.1.A – The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC, PennDOT, BCCD, Fire Marshal, NWWA, CNBJSA, etc.) as applicable.

C. Traffic Comments

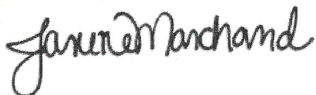
1. §27-2501 – Though PennDOT has previously reviewed the Traffic Impact Analysis: (TIA) and has no additional comments, we request the collision data analysis be updated to include a summary of the crash data and indicate any accident clusters that should be reviewed for corrective measures at the study area intersections.
2. The Applicant should determine if the signal equipment on the northeast corner of County Line Road and West Butler Avenue needs to be modified due to the relocation and modifications to the sidewalk. The Applicant will need to revise the Traffic Signal Permit plan to incorporate the modifications to any signal equipment and sidewalk modifications.
3. The plans show the curb ramps at the intersection of County Line Road and West Butler Avenue are being replaced. The pedestrian push button poles should be shown on the plans.
4. At the intersection of County Line Road and West Butler Avenue, we recommend the signal backplates be updated to louvered backplates with reflective yellow tape.
5. There may be conflicts between customers maneuvering the site and trash pickup based on the truck turning movements, therefore, we recommend trash pickup hours be limited to outside of the hours of operation.

D. Stormwater Management Ordinance

1. §26-121.8.C – We recommend green infrastructure and/or low impact development practices be considered and documented for the site to offset the impacts of the impervious on the PennDOT MS4 storm sewer system and downslope properties receiving stormwater from the site.
2. §26-132.2.E, -164.1, & -165.2 – Inspection, operations, and maintenance responsibilities for the proposed storm sewer facilities shall be provided on the plans for the stormwater conveyance systems and the “Constructed Filter” at Inlet INL#6. The Applicant shall sign an Operation and Maintenance (O&M) Agreement prepared by the Township covering all privately owned storm sewer facilities.
3. §26-151.A – A Storm Sewer Maintenance Fee applies to all existing and proposed storm sewer located in public rights-of-way within the Township at a rate of \$2.50 per linear foot of existing/ proposed roadway. Based on 362 feet of frontage, a fee of \$905.00 is required.

If you have any questions regarding the above, please contact this office.

Sincerely,



Janene Marchand, P.E.
Gilmore & Associates, Inc.
Township Engineers & Assistant Township Zoning Officer

JM/tw

cc: Daniel Fox, Township Manager
Alexandra Mullin, Assistant to the Manager
Randy Teschner, Fire Marshall
Scott Holbert, Esq. Township Solicitor
David M. Shafkowitz, Esq., Shafkowitz Law Group, P.C.
Spotless Brands, LLC (jlombardo@spotlessbrands.com), Applicant
L. Scott Mill, R.L.A., Van Cleef Engineering
Robert Bender, Director, NWWA
John Larson, Director, CNBTJSA
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.





PRELIMINARY / FINAL LAND DEVELOPMENT PLANS FOR FLAGSHIP CARWASH

PREPARED FOR
**SPOTLESSTM
BRANDS**
SITUATED IN
**NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA**

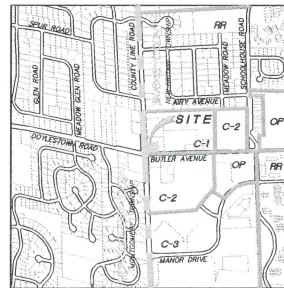
OWNER OF RECORD:
FLAGSHIP PENNSYLVANIA PROPCO, LLC

SITE ADDRESS:
545 WEST BUTLER AVENUE
CHALFONTE, PA 18914

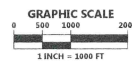
PARCEL 26-006-101-001
INSTRUMENT NUMBER 2025004671

SITE AREA:

28,434 SQ. FT. OR 0.652 ACRES



LOCATION MAP
SCALE: 1"=1000'



DATE: APRIL 3, 2025
REVISED: JUNE 3, 2025



VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18901
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (215) 345-1876

INDEX OF SHEETS

SHEET No.	TITLE
1	COVER SHEET
2	SITE PLAN (SHEET 1 OF 1 TO BE RECORDED)
3	EXISTING FEATURES PLAN
4	AERIAL PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	EROSION AND SEDIMENTATION CONTROL PLAN
10	CONSTRUCTION DETAILS
11	UTILITY DETAILS
12	EROSION AND SEDIMENTATION CONTROL NOTES
13	EROSION AND SEDIMENTATION CONTROL DETAILS
14	CONSTRUCTION DETAILS
15	CONSTRUCTION DETAILS
16	ADA DETAILS
17	UTILITY PROFILES
18	VEHICLE NAVIGATION PLAN



AT TOWNSHIP ENGINEERING LETTER
FILE NO. 2025004671

REV. DESCRIPTION: DATE

SERIAL NO. 2025004671

811
Before You Dig, Call 811
Call before you dig. To locate underground utilities, call 811.

PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A SOCIAL
ENGINEERING OR CIVIL ENGINEERING SEAL OF THE
PENNSYLVANIA PROFESSIONAL ENGINEER OR ARCHITECT
ARE TO BE RECORDED. THE SEAL OF THE PROFESSIONAL
ENGINEER OR ARCHITECT MUST BE PLACED IN THE
MIDDLE OF THE PLAN. THE SEAL OF THE PROFESSIONAL
ENGINEER OR ARCHITECT MUST BE PLACED IN THE
MIDDLE OF THE PLAN. THE SEAL OF THE PROFESSIONAL
ENGINEER OR ARCHITECT MUST BE PLACED IN THE
MIDDLE OF THE PLAN.

SEAN DAVID MCGRAHAM 8/6/25
PROFESSIONAL ENGINEER
PROVIDED NUMBER 811



VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18901
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (215) 345-1876

COVER SHEET

FOR



DATE: APRIL 3, 2025
SCALE: AS NOTED

DESIGNED BY: ALM

DRAWN BY: KLM / TWP

CHECKED BY: LDC

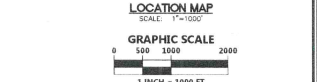
DATE: 2025-06-03

TMP'S 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

1 of 18

[illegible]



[illegible]

GENERAL NOTES:

1. SOILS SHOWN HEREON ARE AS MAPPED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS) WEBSITE FOR BUCKS COUNTY ON SEPTEMBER 26, 2023.
2. THE SITE FLOWS DRAIN TO THE WEST BRANCH OF THE NESHAMINY CREEK (WBF, MF) WITHIN THE NESHAMINY CREEK WATERSHED. THE WATERS DESIGNATED/EXISTING USES ARE CLASSIFIED BY THE PA CODE CHAPTER 93.

SUMMARY OF ADVERSE FEE-SIMPLE CONVEYANCES:

50,244 S.F. DEED INSTRUMENT NO. 2022064655
- 12,569 S.F. DEED BK. 2860 PG. 429
- 8,050 S.F. PLAN INSTRUMENT NO. 1990047344
- 1,214 S.F. DEED LRB 6356 PG. 1264

29,414 S.F. CURRENT SURVEY

OWNER OF RECORD:
FLAGSHIP PENNSYLVANIA PROPCO, L

SITE ADDRESS:
545 WEST BUTLER AVENUE
CHALFONT, PA 18914

PARID 26-006-101-001
INSTRUMENT NUMBER 2025004671

SITE AREA:
28,414 SQ. FT. OR 0.652 ACRES

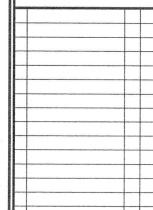
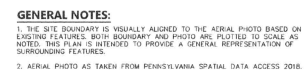
DAVID H. ARTMAN
 PENNSYLVANIA PROFESSIONAL
 LAND SURVEYOR NUMBER SU-851893-C

DATE:	APRIL 3, 2025
SCALE:	1"=20'
DESIGNED BY:	SOM
DRAWN BY:	RJN / ENP
CHECKED BY:	SDC
JOB NUMBER:	2402-NBR

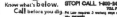
TMP'S 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

2 of 18

[illegible]

Before You Dig Any Deeper



PLAN NOTATION

<p> </p>	<p> </p>
--	--

ENGINER NÚMERO 001040



FOR



TMP'S 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA



1. RETAINING WALL SPECIFICATIONS AND DESIGN DETAILS SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO FINAL PLAN APPROVAL.
2. WALL STYLE, FINISH AND COLOR SHALL BE COORDINATED WITH PROPOSED BUILDING ARCHITECTURE.

1. RETAINING WALL SPECIFICATIONS AND DESIGN DETAILS SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO FINAL PLAN APPROVAL.
2. WALL STYLE, FINISH AND COLOR SHALL BE COORDINATED WITH PROPOSED BUILDING ARCHITECTURE.

1. RETAINING WALL SPECIFICATIONS AND DESIGN DETAILS SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO FINAL PLAN APPROVAL.
2. WALL STYLE, FINISH AND COLOR SHALL BE COORDINATED WITH PROPOSED BUILDING ARCHITECTURE.

ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&P PLAN, COP OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.

- AT LEAST 7 DAYS PRIOR TO THE START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR(S), TOWNSHIP ENGINEER(S), COUNTY CONSERVATION DISTRICT, AND THE PLAN DESIGNER.
- THE LIMITS OF DISTURBANCE SHALL BE Delineated WITH SURVEY STAKES OR SIMILAR, PRIOR TO ANY DISTURBANCE AND SHALL NOT BE EXCEEDED UNLESS THE COUNTY CONSERVATION DISTRICT IS NOTIFIED PRIOR TO ANY TEMPORARY IMPACTS FOR REMEDIATION OR REVEGETATION PER THE PLAN.
- UNLESS THE ROCK CONSTRUCTION ENTRANCE PER THE PLAN.
- CONSTRUCTION FENCING SHALL BE INSTALLED ALONG THE SOUTH AND EASTERN PROPERTY LINES, PLANT COMPOST FILTER SOIL AND INLET PROTECTION AS Delineated ON THE PLAN AND DOWNSTREAM OF ALL EXCAVATED OR TYPICAL ROCK STOCKPILING AREAS TO BE DISTURBED. INSTANT CONSTRUCTION WORKFACILITY SHALL BE USED.
- DEMOLISH EXISTING BUILDING.
- STRIP TOPSOIL WITHIN AREAS OF PROPOSED EARTHWORK AND STOCKPILE PER THE PLAN. CESSATION OF GRAZING ACTIVITIES FOR FOUR (4) DAYS OR LONGER REQUIRED TEMPORARY FENCING.
- REUSE CONSTRUCTION OF IMPROVED RETAINING WALL, STORM SEWERS, SEWER/GAS/WATER LATERALS, BUILDING FEATURES, DRIVEWAY AND PARKING AREAS, FLAGSHIP CARWASH SIGNAGE, SIDEWALK AND ADA FEATURES AND ANY OTHER ASSOCIATED FEATURES.
- 7.1.2. THE COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO ANY DISTURBANCE AND SHALL NOT EXCEED THE CONSTRUCTION ENTRANCE UPON THE COMPLETION OF THE SANITARY SENIOR LATERAL CONNECTION WORK. THE COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO ANY DISTURBANCE AND SHALL NOT EXCEED THE CONSTRUCTION ENTRANCE UPON THE COMPLETION OF THE SANITARY SENIOR LATERAL CONNECTION.
- AT ALL 3:1 SLOPES SHALL BE STABILIZED AND UNDER WITH TEMPORARY EROSION CONTROL MATTING.
- FINISH GRADE AND SPREAD TOPSOIL, SEED AND MULCH EACH AREA OF DISTURBANCE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED, AS Delineated ABOVE WITH A PRELIMINARY SPRING, SUMMER AND FALL SEEDING SCHEDULE. SEEDING AND MULCHING TO BE COMPLETED PRIOR TO COMPLETION DATE AND SCHEDULE SCHEDULING.
- REMOVE TEMPORARY CONSTRUCTION MEASURES AFTER UNIFORM PROGRESS TO PLANTING TOPSOIL, SEEDING SHALL BE SCARIFIED, PLANT LANDSCAPING AND MULCHING TO BE COMPLETED PRIOR TO COMPLETION DATE AND SCHEDULE SCHEDULING.
- ATTEMPT TEMPORARY CONSTRUCTION MEASURES AFTER UNIFORM PROGRESS TO PLANTING TOPSOIL, SEEDING SHALL BE SCARIFIED, PLANT LANDSCAPING AND MULCHING TO BE COMPLETED PRIOR TO COMPLETION DATE AND SCHEDULE SCHEDULING.
- AREAS COVERED UNDER A DENSITY OF 70% ACROSS THE DISTURBED AREA, TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION. THE REMOVAL OF THE CONSTRUCTED SHALL BE STABILIZED. THE COUNTY CONSERVATION DISTRICT IS TOWNSHIP SHALL BE

1. TREES - CHIPPED AND REMOVED OFFSITE FOR MULCH

1. SILT FENCE/FILTER SOCK SHOULD BE

- IF THE SITE WILL NEED

ENVIRONMENTAL DUE DILIGENCE, INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL, PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDBOX MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR LEAK OF HAZARDOUS MATERIALS. IF VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR LEAK OF HAZARDOUS MATERIALS, ANALYTICAL TESTING SHOULD BE PERFORMED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S "POLICY MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS RECLASSIFIED FILL. RECLASSIFIED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MANAGEMENT OF RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 387, RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

1. THE CONTRACTOR SHALL MINIMIZE THE EXTENT AND

- ### GRASS SEEDING SPECIFICATIONS

<u>TEMPERATURE</u>	
SPECIES	ANNUAL RYEGRASS
PLANTING DATE	

THIS SHEET



Van Cleef
—ENGINEERING WITH FOCUS—

Local/Regional Highway
Municipal Engineering
Site Development
Surveying and Mapping
Water/Wastewater

Bridge/Highways
Construction Inspection
Environmental
Transportation
Surveying/Mapping
Landscape Architecture

PER TOWNSHIP ENGINEER REVIEW LETTER DATED 03/21/2020.	FILED	06/23/20
DESCRIPTION	AUTH	DATE

SERIAL NO. 2022183581

Before You Dig Anywhere

It ...



STOP! CALL 1-800-342-9776

For more information, call 1-800-342-9776

PA ONE CALL SYSTEM, INC.

IN NOTATION

IF THOSE PLANS WHICH CONTAIN A DIGITAL
RESSED, OR COLORIZED INK SEAL OF THE
CONSIBLE PROFESSIONAL, SHALL BE CONSIDERED
OF THIS PLAN HAS BEEN SPECIFICALLY PREPARED
THE OWNER DESIGNATED HEREIN, AND
IFICATION, REVISION, DUPLICATION OR USE
OUT THE WRITTEN CONSENT OF WAK GLEED
ENGINEERING ASSOCIATES IS PROHIBITED
RANCE ON THIS PLAN FOR ANY PURPOSES
ER THAN THAT WHICH IS INTENDED SHALL BE
THE SOLE DISCRETION AND LIABILITY OF THE
ABLE PARTY.

ALBERT EINSTEIN




Van Clee
ENGINEERING WITH FOCUS

H CLEEF ENGINEERING ASSOCIATES, LLC
81 NORTH MAIN STREET, DOYLESTOWN, PA 18901
WEB: WWW.HCCLEEFENGINEERING.COM
PHONE: (215) 345-1876

**EROSION &
SEDIMENTATION
CONTROL NOTES**

FOR



1 APRIL 3, 2025

2 NO SCALE

3 SIGNED BY: SOM

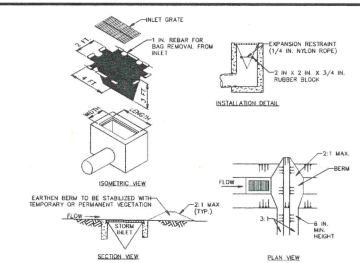
4 OWN BY: RUN / ENP

5 CHECKED BY: SDC

6 NUMBER: 2402-NBR

TMP'S 26-006-101-001

NEW BRITAIN TOWNSHIP
JACKSON COUNTY, PENNSYLVANIA



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACH.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BIRMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

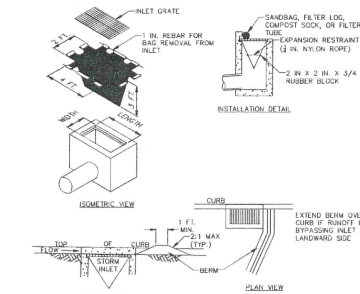
ROLES: EARTHEN BIRM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BIRM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BIRM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 LBS. AND A MINIMUM TENSILE TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT BAGS SHALL BE EMPTIED OR RINSED IF PLACED WITHIN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOSED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSAL OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

FILTER BAG INLET PROTECTION - TYPE M INLET
(NOT TO SCALE)



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACH.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BIRMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

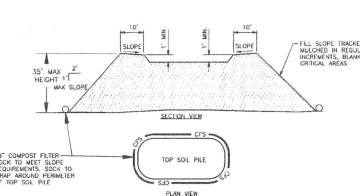
ROLES: EARTHEN BIRM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BIRM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BIRM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 LBS. AND A MINIMUM TENSILE TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT BAGS SHALL BE EMPTIED OR RINSED IF PLACED WITHIN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOSED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSAL OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

FILTER BAG INLET PROTECTION - TYPE C INLET
(NOT TO SCALE)

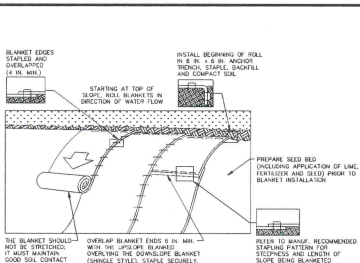


NOTES:

TEMPORARY BIRMS TO BE PLACED, MAINTAINED, AND ADJUSTED CONTINUOUSLY UNTIL SOIL WEATHERING AND STABILIZATION ON THE EXTERIOR SLOPES WITH PERMANENT EROSION DRAINAGE FACILITIES FUNCTIONING.

2. BIRMS MUST OULLET TO TEMPORARY SLOPE PILES, PERMANENT SLOPE PILES, TEMPORARY CHANNELS, OR PERMANENT CHANNELS.

TOPSOIL STOCKPILE AREA
(NOT TO SCALE)



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLATION OF THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOP OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

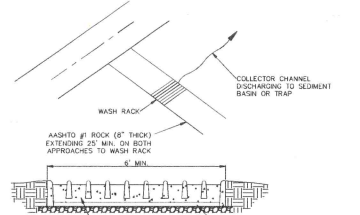
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STOCKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH LAY (BLANKET) LAYERS AND STAPLES OR STAPLES TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT EXCEED.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKET AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERMANENT VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM TOP COVERAGE. THROUGHOUT THE BLANKET AREA, DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN A CALENDAR DATE.

EROSION CONTROL BLANKET INSTALLATION DETAIL
(NOT TO SCALE)



NOTES:

SOIL PILING SHALL BE STAPLED TO THE FACE OF THE PILE WITH THE STAPLES OF THE PILE TOP EROSION CONTROL.

SOIL PILING SHALL BE STAPLED TO THE FACE OF THE PILE WITH THE STAPLES OF THE PILE TOP EROSION CONTROL.

PUMPED WATER FILTER BAG
(NOT TO SCALE)



NOTES:

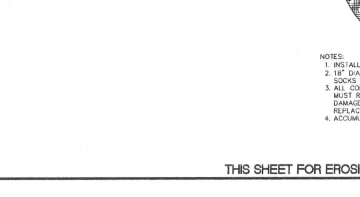
WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.

WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED OVERLAPPING BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. GRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, CREEKS, DITCHES, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ACCESS WITH WASH RACK
(NOT TO SCALE)



NOTES:

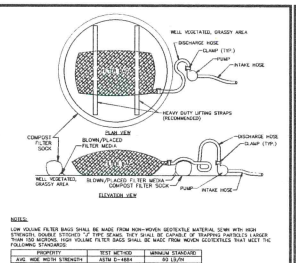
1. INSTALL ON FLAT GRADE (2% MAXIMUM SLOPE) FOR OPTIMAL PERFORMANCE.

2. 18" DIAMETER FILTER SOCK MAY BE STOKED INTO DOUBLE 24" DIAMETER FILTER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

3. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. COMPOST SOCK MUST REMAIN IN CONTINUOUS CONTACT WITH THE GEOMEMBRANE AT ALL LOCATIONS. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

4. ACCUMULATED MATERIALS TO BE REMOVED WHEN THEY REACH 75% CAPACITY.

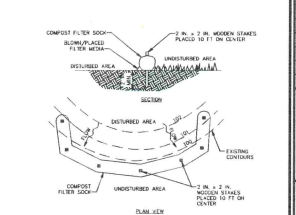
COMPOST SOCK CONCRETE WASHOUT
(NOT TO SCALE)



NOTES:

LOW DRAINAGE FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL WITH HIGH TENSILE STRENGTH. THE BAGS SHALL BE MADE OF POLYPROPYLENE OR POLYESTER. THE BAGS SHALL BE MADE OF POLYPROPYLENE OR POLYESTER. THE BAGS SHALL BE MADE OF POLYPROPYLENE OR POLYESTER.

FILTER BAG INLET PROTECTION - TYPE M INLET
(NOT TO SCALE)

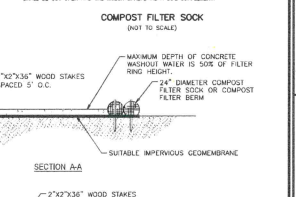


NOTES:

SOIL PILING SHALL BE STAPLED TO THE FACE OF THE PILE WITH THE STAPLES OF THE PILE TOP EROSION CONTROL.

SOIL PILING SHALL BE STAPLED TO THE FACE OF THE PILE WITH THE STAPLES OF THE PILE TOP EROSION CONTROL.

PUMPED WATER FILTER BAG
(NOT TO SCALE)



NOTES:

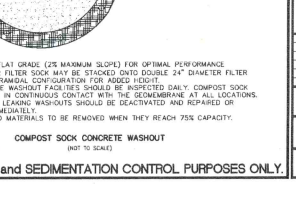
WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.

WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED OVERLAPPING BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. GRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, CREEKS, DITCHES, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ACCESS WITH WASH RACK
(NOT TO SCALE)



NOTES:

1. INSTALL ON FLAT GRADE (2% MAXIMUM SLOPE) FOR OPTIMAL PERFORMANCE.

2. 18" DIAMETER FILTER SOCK MAY BE STOKED INTO DOUBLE 24" DIAMETER FILTER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

3. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. COMPOST SOCK MUST REMAIN IN CONTINUOUS CONTACT WITH THE GEOMEMBRANE AT ALL LOCATIONS. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

4. ACCUMULATED MATERIALS TO BE REMOVED WHEN THEY REACH 75% CAPACITY.

COMPOST SOCK CONCRETE WASHOUT
(NOT TO SCALE)

Van Clee
Engineering with Focus
 Local/Regional Planning
 Environmental Impact
 Site Development
 Surveying/Mapping
 Construction Management
 Engineering

PLAN NOTATION
 ONLY: THESE PLANS WHICH CONTAIN A "SCALE" INDICATED BY THE ARCHITECT OR ENGINEER SHALL BE THE AUTHORITY FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PLANS. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PLANS. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PLANS.

SERIAL NO. 20231001
 811
 Know what's below. 811 CALL 1-800-800-8000
 Call before you dig.

SEAN DAVID MGRANAHAN DATE
 PROJECT MANAGER
 PROJECT NUMBER 20231001

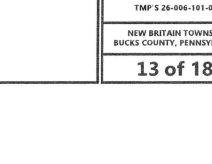
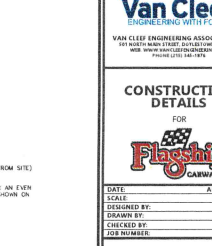
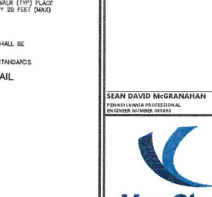
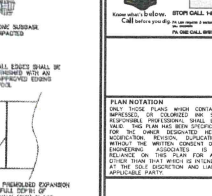
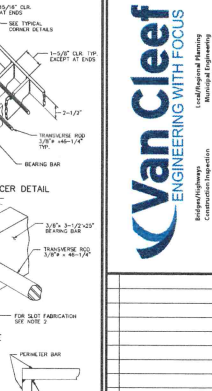
 VAN CLEE ENGINEERING ASSOCIATES, LLC
 1401 WEST MAIN STREET, SUITE 200
 PHILADELPHIA, PA 19104
 PH: 215-595-1400

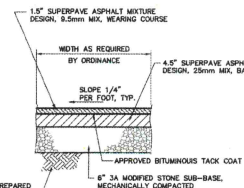
EROSION & SEDIMENTATION CONTROL DETAILS
 FOR

 DATE: APRIL 4, 2023
 SCALE: NO SCALE
 DESIGNED BY: JCM
 DRAWN BY: KJM/ETP
 CHECKED BY: JCM
 JOB NUMBER: 20231001

TMP'S 26-006-101-001
 NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PENNSYLVANIA
11 of 18

\\penn01\cadd\2023\20231001\20231001-26-006-101-001.dwg User: jcm Date: 4/3/2023 10:03:37 PM



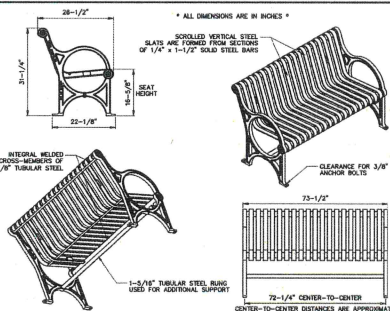


NON-RESIDENTIAL AND MULTI-RESIDENTIAL DRIVEWAYS, PARKING AREAS AND LOADING AREAS
PAVING SECTION DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

40 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 17857-0500 • 717-534-0200
WWW.GILMORE-ASSOCIATES.COM

DATE: 5/22/09 LAST REVISED: N.T.S. SCALE: N.T.S. DRAWING NO: 8 OF 22



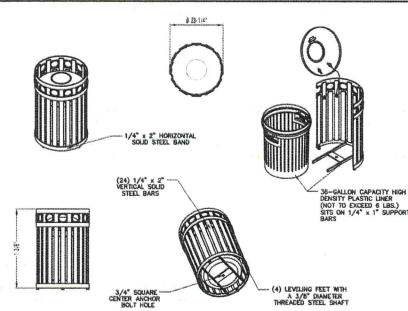
NOTES:
1. BENCH TO BE VICTOR STANLEY CITY SERIES OR-12, BLACK, 6-FOOT LENGTH WITH OUTSIDE RIM AND FRAMES OR APPROVED EQUIVALENT.
2. ALL FRAMES AND RIMS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
3. ALL FRAMES AND RIMS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
4. ELECTROSTATICALLY POWDER-COATED WITH T-10 POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FULL COVERAGE AND BAKED FOR COATINGS COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
5. NOT RECOMMENDED TO LOCATE ANCHOR BOLT UNITS, BENCH IS IN PLACE, THE VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
6. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

BUTLER AVENUE CORRIDOR OVERLAY DISTRICT
BENCH DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

40 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 17857-0500 • 717-534-0200
WWW.GILMORE-ASSOCIATES.COM

DATE: 6/16/22 LAST REVISED: N.T.S. SCALE: N.T.S. DRAWING NO: 20 OF 22



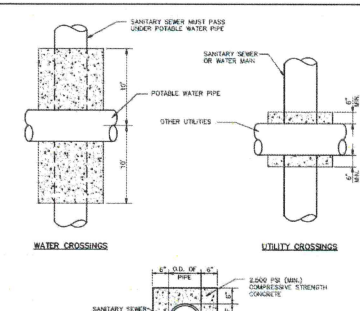
NOTES:
1. TRASH RECEPTACLE TO BE VICTOR STANLEY CONCOURSE SERIES FC-12, BLACK, 38 GALLON OR APPROVED EQUAL. ALL FRAMES AND RIMS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
2. ALL FRAMES AND RIMS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
3. ELECTROSTATICALLY POWDER-COATED WITH T-10 POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FULL COVERAGE AND BAKED FOR COATINGS COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
4. NOT RECOMMENDED TO LOCATE ANCHOR BOLT UNITS, BENCH IS IN PLACE, THE VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
5. ANCHOR BOLT NOT PROVIDED BY VICTOR STANLEY, INC.
6. FOR HIGH DAILY ABUSE CLIMATES, NOT OF BALANCING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

BUTLER AVENUE CORRIDOR OVERLAY DISTRICT
TRASH RECEPTACLE DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

40 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 17857-0500 • 717-534-0200
WWW.GILMORE-ASSOCIATES.COM

DATE: 6/16/22 LAST REVISED: N.T.S. SCALE: N.T.S. DRAWING NO: 21 OF 22



NOTES:
1. PROVIDE REINFORCEMENT AT UTILITY CROSSINGS OR AS DIRECTED BY AUTHORITY'S ENGINEER.

CONCRETE ENCASUREMENT
BUCKS COUNTY WATER & SEWER AUTHORITY
CONCRETE ENCASUREMENT
STANDARD DETAIL M-2

Van Cleef
ENGINEERING WITH FOCUS

Local/Regional Planning
Site Development
Surveying and Geomatics
Infrastructure Design
Landmark Architecture

811
Know what's below. STOP CALL 1-800-888-8888
Call before you dig. Digging is dangerous.

SEAN DAVID MCGRAHANAN DATE
PRINTED AND PROFESSIONAL
STAMP NUMBER 1000000000

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
40 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 17857-0500
WWW.VAN-CLEEF-ENGINEERING.COM
PHONE 717-534-0200 FAX 717-534-0201

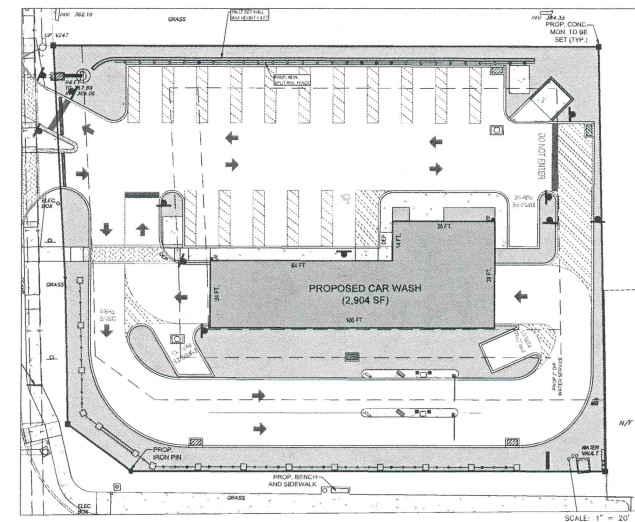
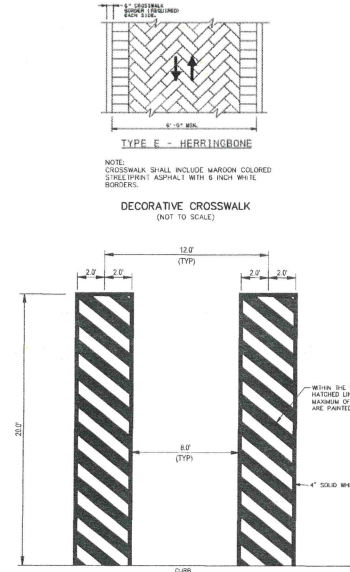
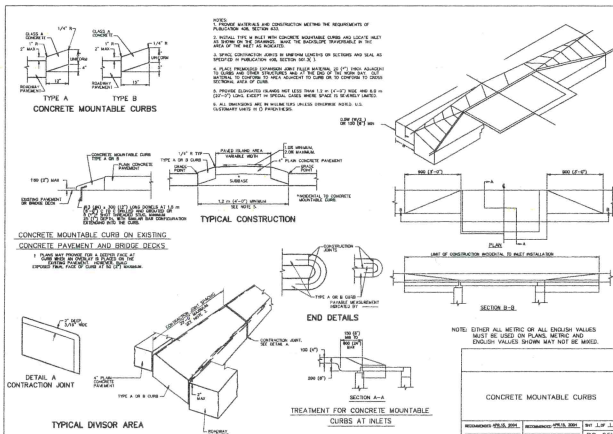
CONSTRUCTION
DETAILS
FOR
Flagship
Garage

DATE: APRIL 8, 2009
SCALE: AS NOTED
DESIGNED BY: JCM
DRAWN BY: KJM/JEP
CHECKED BY: JCM
DATE: APRIL 8, 2009

TMP'S 26-096-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

15 of 18



15% MIN. SITE AREA TO BE DESIGNED AS GREEN SPACE:
0.65 ACRES X 43,560 SF = 28,314 SF X 0.15 = 4,247 SF GREEN SPACE REQUIRED.
GREEN SPACE AROUND BENCH, GATEWAY MONUMENT SIGN, AND TRASH RECEPTACLE
OPEN GREEN AREA = 6,112 SF PROVIDED.

**POST CONSTRUCTION
STORMWATER CONVEYANCE
CALCULATIONS**

for

**FLAGSHIP CARWASH
VCEA No. 24-02-NBR**

Situated in:

**New Britain Township
Bucks County, Pennsylvania**

**April 03, 2025
Revised June 03, 2025**

Prepared by:

**Van Cleef Engineering Associates
501 North Main Street
Doylestown, PA 18901**

**Sean David McGranahan, P.E.
P.E. No. 085090**



Consulting Civil, Environmental & Municipal Engineering
Land Surveying•Professional Planning•Landscape Architecture

Post Construction Stormwater Management Flagship Carwash (VCEA No. 24-02-NBR)

Applicant:

Spotless Brands
545 West Butler Avenue
Chalfont, PA 18914

General Site Description:

Spotless Brands proposes to redevelop the existing parcel to include a car wash. The parcel is located at 545 West Butler Avenue in New Britain Township, Bucks County. The project will include the construction of a commercial building with, parking facilities, stormwater conveyance facilities, and other associated utilities. Pertinent data characterizing the existing and future site conditions are shown on the accompanying Land Development Plans.

Pre-Development

The pre-development condition drains to an existing inlet located at the site entrance that directs traffic onto County Line Road. The site currently consists of a commercial building (no longer in use) parking lot and other amenities. The site has been in this condition for the past thirty years as indicated in aerial photographs available via the Penn Pilot website (www.pennpilot.psu.edu) and Google images.

Post-Development

The post-development condition of the site maintains the same point of interest and relative drainage patterns. There is a decrease in the total impervious surface coverage with a subsequent decrease in runoff rates and volume. Therefore, no stormwater management storage facility has been designed.

Analysis of Impact:

The pre-development condition of the development site consists of one (1) point of interest that flows offsite and ultimately converges downstream into the West Branch of the Neshaminy Creek. Stormwater flows from the southeast corner of the site to the northwest corner of the site to an existing inlet. Stormwater is then conveyed to the West Branch of the Neshaminy Creek (WWF, MF).

Volume Control (Section 26-123)

The proposed condition for this site reduces the impervious coverage on site, therefore, these requirements are satisfied.

Stormwater Peak Rate Control and Management Districts (Section 26-124)

The proposed condition for this site reduces the impervious coverage on site, therefore, these requirements are satisfied.

Storm Drainage System:

The storm drainage system has been designed to intercept runoff and convey stormwater to the existing inlet located along County Line Road. Hydraflow Storm Sewers Extension, version 10.4, has been utilized for designing the storm conveyance system. Conveyance design precipitation amounts are based on NOAA Atlas 14 precipitation data for the 100 year storm event. The Rational method was used in sizing all proposed storm sewers. The calculations and drainage areas have been provided on Drainage Area Plans included with this Report.

Soils Information:

Soils data for the site was obtained from a Soil Survey of Bucks County, Pennsylvania issued September 26, 2023. Soils types found on the property are as follows:

UfuB – Urban Land, 0 to 8 percent slopes

There are no naturally occurring geologic formations (Karst Soils) that may cause pollution within the project limits of disturbance. The potential soil conditions that may cause pollution are listed in the soil limitations and resolutions in this report. The instructions for proper handling and/or disposal of all materials have been addressed within the Soils Resolution notes. Although there is no potential for stream pollution, inlet filter bags and silt socks have been provided downstream of earth disturbance to capture sediment runoff.

Appendix A
Stormwater Conveyance Calculations



Project: Spotless Carwash
 Location: New Britain Township

By: SDM
 Checked: _____

Date: 3/14/2025
 Date: _____

RUNOFF C CALCULATIONS

LAND USE	AREAS (SF)			TOTAL AREA (SF)	WEIGHTED RUNOFF C
	Impervious	Pervious			
HSG	C	C			
INLET #	RUNOFF C	0.99	0.25		
EX-INL-1	0	254		254	0.25
EX-INL-1B	6,463	1,310		7,773	0.87
EX-INL-1C	4,557	525		5,082	0.91
EX-INL-1D	3,615	0		3,615	0.99
TD-1	5,924	355		6,280	0.95
TD-2	2,569	449		3,018	0.88
INL-4	2,686	2,235		4,921	0.65
INL-5	2,549	2,135		4,684	0.65
INL-6	3,004	1,779		4,783	0.71
INL-7B	1,656	119		1,775	0.94
INL-9	3,687	552		4,239	0.89



Project: Spotless Carwash
 Location: New Britain Township

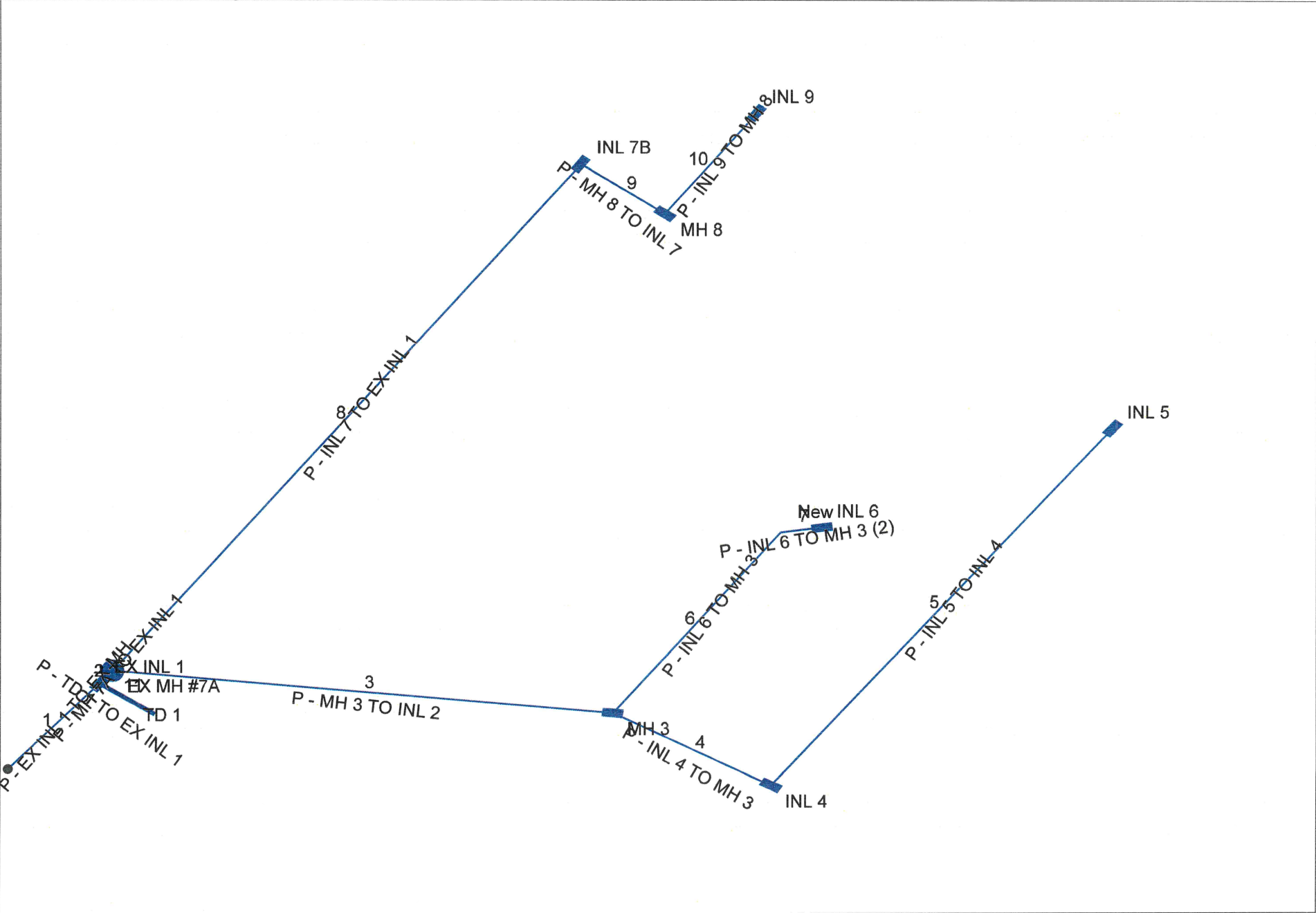
By: SDM
 Checked: _____

Date: 3/14/2025
 Date: _____

RUNOFF C CALCULATIONS

		AREAS (AC)			TOTAL AREA (AC)	WEIGHTED RUNOFF C
		Impervious	Pervious			
INLET #	HSG RUNOFF C	C	C			
EX-INL-1		0.000	0.006		0.006	0.25
EX-INL-1B		0.148	0.030		0.178	0.87
EX-INL-1C		0.105	0.012		0.117	0.91
EX-INL-1D		0.083	0.000		0.083	0.99
TD-1		0.136	0.008		0.144	0.95
TD-2		0.059	0.010		0.069	0.88
INL-4		0.062	0.051		0.113	0.65
INL-5		0.059	0.049		0.108	0.65
INL-6		0.069	0.041		0.110	0.71
INL-7B		0.038	0.003		0.041	0.94
INL-9		0.085	0.013		0.097	0.89

Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



Project File: SPOTLESS STORM PIPE-Rev1.stm	Number of lines: 11	Date: 6/6/2025
--	---------------------	----------------

Storm Sewer Inventory Report

Line No.	Alignment				Flow Data				Physical Data								Line ID
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)	Inlet/ Rim El (ft)	
1	End	27.000	-49.831	Grate	0.00	0.01	0.25	5.0	363.77	1.00	364.04	12	Cir	0.013	1.50	367.69	P - EX INL 1 TO EX
2	1	4.000	0.000	MH	0.00	0.00	0.00	0.0	364.16	1.00	364.20	12	Cir	0.013	0.86	368.50	P - MH 7A TO EX IN
3	2	96.000	56.058	MH	0.00	0.00	0.00	0.0	365.73	0.50	366.21	12	Cir	0.013	0.89	371.20	P - MH 3 TO INL 2
4	3	35.000	23.715	Curb	0.00	0.11	0.65	5.0	366.41	1.00	366.76	12	Cir	0.013	1.49	371.25	P - INL 4 TO MH 3
5	4	108.000	-82.837	Curb	0.00	0.11	0.65	5.0	366.96	1.00	368.04	12	Cir	0.013	1.00	371.25	P - INL 5 TO INL 4
6	3	54.000	-59.857	None	0.00	0.00	0.00	0.0	366.41	0.80	366.84	12	Cir	0.013	0.75	371.20	P - INL 6 TO MH 3
7	6	8.000	45.000	Grate	0.00	0.11	0.71	5.0	366.84	0.75	366.90	12	Cir	0.013	1.00	371.20	P - INL 6 TO MH 3
8	2	151.000	-3.910	Curb	0.00	0.04	0.94	5.0	364.40	1.35	366.44	12	Cir	0.013	1.50	370.87	P - INL 7 TO EX IN
9	8	20.000	90.480	MH	0.00	0.00	0.00	0.0	366.65	1.00	366.85	12	Cir	0.013	1.00	371.25	P - MH 8 TO INL 7
10	9	30.000	-90.679	Curb	0.00	0.10	0.89	5.0	367.05	1.00	367.35	12	Cir	0.013	1.00	370.56	P - INL 9 TO MH 8
11	1	7.000	85.016	Grate	0.00	0.14	0.95	5.0	365.86	2.86	366.06	12	Cir	0.013	0.50	367.89	P - TD 1 TO EX INL
Project File: SPOTLESS STORM PIPE-Rev1.stm												Number of lines: 11				Date: 6/6/2025	

Structure Report

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
1	EX INL 1	Grate	367.69	Rect	4.00	2.00	12	Cir	364.04	12	Cir	364.16
2	EX MH #7A	Manhole	368.50	Cir	4.00	2.00	12	Cir	364.20	12	Cir	365.73
3	MH 3	Manhole	371.20	Rect	4.00	2.00	12	Cir	366.21	12	Cir	366.41
4	INL 4	Curb-Horiz	371.25	Rect	4.00	2.00	12	Cir	366.76	12	Cir	366.96
5	INL 5	Curb-Horiz	371.25	Rect	4.00	2.00	12	Cir	368.04			
6	New	None	371.20	n/a	n/a	n/a	12	Cir	366.84	12	Cir	366.84
7	INL 6	Grate	371.20	Rect	4.00	2.00	12	Cir	366.90			
8	INL 7B	Curb-Horiz	370.87	Rect	4.00	2.00	12	Cir	366.44	12	Cir	366.65
9	MH 8	Manhole	371.25	Rect	4.00	2.00	12	Cir	366.85	12	Cir	367.05
10	INL 9	Curb-Horiz	370.56	Rect	4.00	2.00	12	Cir	367.35			
11	TD 1	Grate	367.89	Rect	12.00	1.00	12	Cir	366.06	12	Cir	366.85
Project File: SPOTLESS STORM PIPE-Rev1.stm							Number of Structures: 11			Run Date: 6/6/2025		

Storm Sewer Summary Report

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
1	P - EX INL 1 TO EX MH	3.73	12	Cir	27.000	363.77	364.04	1.000	364.61	364.92	0.61	365.53	End	Grate
2	P - MH 7A TO EX INL 1	2.36	12	Cir	4.000	364.16	364.20	1.000	365.53*	365.54*	0.12	365.67	1	Manhole
3	P - MH 3 TO INL 2	1.55	12	Cir	96.000	365.73	366.21	0.500	366.30	366.78	0.16	366.94	2	Manhole
4	P - INL 4 TO MH 3	1.02	12	Cir	35.000	366.41	366.76	1.000	366.94	367.18	n/a	367.18 j	3	Curb-Horiz
5	P - INL 5 TO INL 4	0.56	12	Cir	108.000	366.96	368.04	1.000	367.23	368.35	n/a	368.35	4	Curb-Horiz
6	P - INL 6 TO MH 3	0.62	12	Cir	54.000	366.41	366.84	0.796	366.94	367.17	n/a	367.17 j	3	None
7	P - INL 6 TO MH 3 (2)	0.62	12	Cir	8.000	366.84	366.90	0.750	367.17	367.23	n/a	367.23	6	Grate
8	P - INL 7 TO EX INL 1	0.95	12	Cir	151.000	364.40	366.44	1.351	365.67	366.85	n/a	366.85 j	2	Curb-Horiz
9	P - MH 8 TO INL 7	0.67	12	Cir	20.000	366.65	366.85	1.000	366.94	367.19	0.13	367.19	8	Manhole
10	P - INL 9 TO MH 8	0.69	12	Cir	30.000	367.05	367.35	1.000	367.35	367.70	0.13	367.70	9	Curb-Horiz
11	P - TD 1 TO EX INL 1	1.56	12	Cir	7.000	365.86	366.06	2.857	366.21	366.59	0.11	366.59	1	Grate

Project File: SPOTLESS STORM PIPE-Rev1.stm

Number of lines: 11

Run Date: 6/6/2025

NOTES: Return period = 100 Yrs. ; *Surcharged (HGL above crown). ; j - Line contains hyd. jump.

Storm Sewer Tabulation

Station		Len	Drng Area		Rnoff coeff	Area x C		Tc		Rain (l)	Total flow	Cap full	Vel	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr	Total		Incr	Total	Inlet	Syst					Size	Slope	Dn	Up	Dn	Up	Dn	Up	
		(ft)	(ac)	(ac)	(C)			(min)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	
1	End	27.000	0.01	0.69	0.25	0.00	0.54	5.0	8.7	6.9	3.73	3.56	5.21	12	1.00	363.77	364.04	364.61	364.92	367.82	367.69	P - EX INL 1 TO E
2	1	4.000	0.00	0.47	0.00	0.00	0.34	0.0	8.7	6.9	2.36	3.56	3.01	12	1.00	364.16	364.20	365.53	365.54	367.69	368.50	P - MH 7A TO EX
3	2	96.000	0.00	0.33	0.00	0.00	0.22	0.0	7.9	7.1	1.55	2.52	3.37	12	0.50	365.73	366.21	366.30	366.78	368.50	371.20	P - MH 3 TO INL
4	3	35.000	0.11	0.22	0.65	0.07	0.14	5.0	7.5	7.2	1.02	3.56	2.82	12	1.00	366.41	366.76	366.94	367.18	371.20	371.25	P - INL 4 TO MH
5	4	108.000	0.11	0.11	0.65	0.07	0.07	5.0	5.0	8.0	0.56	3.56	3.00	12	1.00	366.96	368.04	367.23	368.35	371.25	371.25	P - INL 5 TO INL
6	3	54.000	0.00	0.11	0.00	0.00	0.08	0.0	5.2	7.9	0.62	3.18	2.13	12	0.80	366.41	366.84	366.94	367.17	371.20	371.20	P - INL 6 TO MH
7	6	8.000	0.11	0.11	0.71	0.08	0.08	5.0	5.0	8.0	0.62	3.08	2.79	12	0.75	366.84	366.90	367.17	367.23	371.20	371.20	P - INL 6 TO MH
8	2	151.000	0.04	0.14	0.94	0.04	0.12	5.0	6.0	7.7	0.95	4.14	2.18	12	1.35	364.40	366.44	365.67	366.85	368.50	370.87	P - INL 7 TO EX I
9	8	20.000	0.00	0.10	0.00	0.00	0.09	0.0	5.6	7.8	0.67	3.56	3.16	12	1.00	366.65	366.85	366.94	367.19	370.87	371.25	P - MH 8 TO INL
10	9	30.000	0.10	0.10	0.89	0.09	0.09	5.0	5.0	8.0	0.69	3.56	3.18	12	1.00	367.05	367.35	367.35	367.70	371.25	370.56	P - INL 9 TO MH
11	1	7.000	0.14	0.21	0.95	0.14	0.20	5.0	5.2	7.9	1.56	6.02	5.07	12	2.86	365.86	366.06	366.21	366.59	367.69	367.89	P - TD 1 TO EX I
Project File: SPOTLESS STORM PIPE-Rev1.stm																Number of lines: 11				Run Date: 6/6/2025		
NOTES:Intensity = 46.21 / (Inlet time + 9.30) ^ 0.66; Return period =Yrs. 100 ; c = cir e = ellip b = box																						

Inlet Report

Line No	Inlet ID	Q = CIA (cfs)	Q carry (cfs)	Q capt (cfs)	Q Byp (cfs)	Junc Type	Curb Inlet		Grate Inlet			Gutter							Inlet			Byp Line No
							Ht (in)	L (ft)	Area (sqft)	L (ft)	W (ft)	So (ft/ft)	W (ft)	Sw (ft/ft)	Sx (ft/ft)	n	Depth (ft)	Spread (ft)	Depth (ft)	Spread (ft)	Depr (in)	
1	EX INL 1	0.02	0.00	0.02	0.00	Grate	0.0	0.00	0.00	4.00	2.00	0.010	2.00	0.050	0.020	0.013	0.04	0.87	0.00	0.00	0.0	Off
2	EX MH #7A	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.00	0.00	0.00	0.00	0.0	1
3	MH 3	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.00	0.00	0.00	0.00	0.0	Off
4	INL 4	0.57	0.00	0.57	0.00	Curb	4.0	4.00	0.00	0.00	0.00	Sag	2.00	0.005	0.040	0.013	0.13	5.03	0.13	5.03	0.0	Off
5	INL 5	0.56	0.00	0.56	0.00	Curb	4.0	4.00	0.00	0.00	0.00	Sag	2.00	0.005	0.040	0.013	0.13	4.99	0.13	4.99	0.0	4
6	New	0.00	0.00	0.00	0.00	None	0.0	0.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.00	0.00	0.00	0.00	0.0	3
7	INL 6	0.62	0.00	0.62	0.00	Grate	0.0	0.00	8.00	4.00	2.00	Sag	2.00	0.050	0.020	0.013	0.14	3.88	0.14	3.88	0.0	6
8	INL 7B	0.30	0.00	0.30	0.00	Curb	4.0	4.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.13	3.33	0.13	3.33	0.0	2
9	MH 8	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.00	0.00	0.00	0.00	0.0	8
10	INL 9	0.69	0.00	0.69	0.00	Curb	4.0	4.00	0.00	0.00	0.00	Sag	2.00	0.050	0.020	0.013	0.18	5.79	0.18	5.79	0.0	9
11	TD 1	1.09	0.00	1.09	0.00	Grate	0.0	0.00	12.00	12.00	1.00	Sag	2.00	0.050	0.020	0.013	0.11	2.64	0.11	2.64	0.0	1
Project File: SPOTLESS STORM PIPE-Rev1.stm													Number of lines: 11					Run Date: 6/6/2025				
NOTES: Inlet N-Values = 0.016; Intensity = 46.21 / (Inlet time + 9.30) ^ 0.66; Return period = 100 Yrs. ; * Indicates Known Q added. All curb inlets are Horiz throat.																						

FL-DOT Report

Line No	To Line	Type of struc	n - Value	Len (ft)	Drainage Area			Time of conc (min)	Time of Flow in sect (min)	Inten (I) (in/hr)	Total CA	Add Q Total Flow Q (cfs)	Inlet elev (ft)	Elev of HGL			Rise	HGL	ADD		Date: 6/6/2025	
					C1 = 0.2 C2 = 0.5 C3 = 0.9									Elev of Crown					Span	Pipe	Full Flow	Frequency: 100 yrs
														Elev of Invert								Proj: SPOTLESS STORM P
					Up (ft)	Down (ft)	Fall (ft)							Size (in)	Slope (%)	Vel (ft/s)	Cap (cfs)	Line description				
1	End	Grate	0.013	27.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	8.70	0.09	6.86	0.54	0.00 3.73	367.69	364.92 365.04 364.04	364.61 364.77 363.77	0.31 0.27	12 12 Cir	1.13 1.00	5.21 4.53	3.73 3.56	P - EX INL 1 TO EX MH	
2	1	MH	0.013	4.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	8.68	0.02	6.87	0.34	0.00 2.36	368.50	365.54 365.20 364.20	365.53 365.16 364.16	0.02 0.04	12 12 Cir	0.44 1.00	3.01 4.53	2.36 3.56	P - MH 7A TO EX INL 1	
3	2	MH	0.013	96.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	7.94	0.74	7.06	0.22	0.00 1.55	371.20	366.78 367.21 366.21	366.30 366.73 365.73	0.48 0.48	12 12 Cir	0.50 0.50	3.37 3.21	1.55 2.52	P - MH 3 TO INL 2	
4	3	Curb	0.013	35.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	7.52	0.42	7.18	0.14	0.00 1.02	371.25	367.18 367.76 366.76	366.94 367.41 366.41	0.25 0.35	12 12 Cir	0.71 1.00	2.82 4.53	1.02 3.56	P - INL 4 TO MH 3	
5	4	Curb	0.013	108.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.00	2.52	7.99	0.07	0.00 0.56	371.25	368.35 369.04 368.04	367.23 367.96 366.96	1.12 1.08	12 12 Cir	1.04 1.00	3.00 4.53	0.56 3.56	P - INL 5 TO INL 4	
6	3	None	0.013	54.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.17	1.14	7.93	0.08	0.00 0.62	371.20	367.17 367.84 366.84	366.94 367.41 366.41	0.23 0.43	12 12 Cir	0.43 0.80	2.13 4.05	0.62 3.18	P - INL 6 TO MH 3	
7	6	Grate	0.013	8.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.00	0.17	7.99	0.08	0.00 0.62	371.20	367.23 367.90 366.90	367.17 367.84 366.84	0.06 0.06	12 12 Cir	0.76 0.75	2.79 3.93	0.62 3.08	P - INL 6 TO MH 3 (2)	
8	2	Curb	0.013	151.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.95	2.02	7.66	0.12	0.00 0.95	370.87	366.85 367.44 366.44	365.67 365.40 364.40	1.18 2.04	12 12 Cir	0.78 1.35	2.18 5.27	0.95 4.14	P - INL 7 TO EX INL 1	
9	8	MH	0.013	20.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.57	0.38	7.79	0.09	0.00 0.67	371.25	367.19 367.85 366.85	366.94 367.65 366.65	0.25 0.20	12 12 Cir	1.24 1.00	3.16 4.53	0.67 3.56	P - MH 8 TO INL 7	
10	9	Curb	0.013	30.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	5.00	0.57	7.99	0.09	0.00 0.69	370.56	367.70 368.35 367.35	367.35 368.05 367.05	0.35 0.30	12 12 Cir	1.16 1.00	3.18 4.53	0.69 3.56	P - INL 9 TO MH 8	

NOTES: Intensity = 46.21 / (Inlet time + 9.30) ^ 0.66 (in/hr) ; Time of flow in section is based on full flow.

Project File: SPOTLESS STORM PIPE-Rev1.stm

FL-DOT Report

Line No	To Line	Type of struc	n - Value	Len (ft)	Drainage Area			Time of conc (min)	Time of Flow in sect (min)	Inten (I) (in/hr)	Total CA	Add Q Total Flow Q (cfs)	Inlet elev (ft)	Elev of HGL			Rise	HGL	ADD		Date: 6/6/2025
					C1 = 0.2 C2 = 0.5 C3 = 0.9									Elev of Crown			Span	Pipe	Full Flow		Frequency: 100 yrs
														Elev of Invert							Proj: SPOTLESS STORM P
					Up (ft)	Down (ft)	Fall (ft)							Size (in)	Slope (%)	Vel (ft/s)	Cap (cfs)	Line description			
11	1	Grate	0.013	7.000	0.00 0.00 0.00	0.00 0.00 0.00	0.00	5.19	0.06	7.92	0.20	0.00 1.56	367.89	366.59 367.06 366.06	366.21 366.86 365.86	0.38 0.20	12 12 Cir	5.46 2.86	5.07 7.66	1.56 6.02	P - TD 1 TO EX INL 1

NOTES: Intensity = $46.21 / (\text{Inlet time} + 9.30)^{0.66}$ (in/hr) ; Time of flow in section is based on full flow.

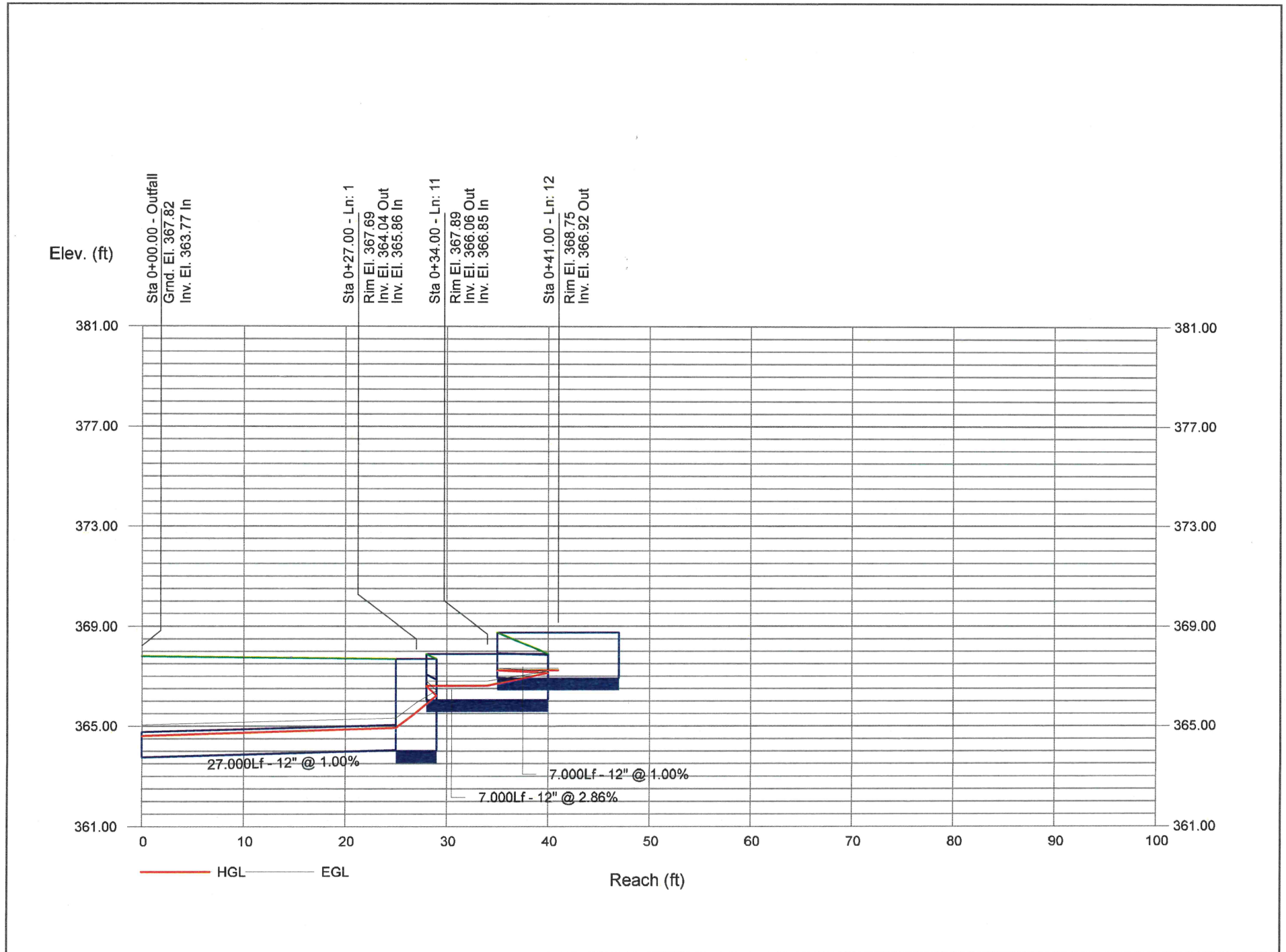
Project File: SPOTLESS STORM PIPE-Rev1.stm

Storm Sewer Inlet Time Tabulation

Line No.	Line ID	Tc Method	Sheet Flow					Shallow Concentrated Flow					Channel Flow							Total
			n-Value	flow Length (ft)	2-yr 24h P (in)	Land Slope (%)	Travel Time (min)	flow Length (ft)	Water Slope (%)	Surf Descr	Ave Vel (ft/s)	Travel Time (min)	X-sec Area (sqft)	Wetted Perim (ft)	Chan Slope (%)	n-Value	Vel	flow Length (ft)	Travel Time (min)	Travel Time (min)
1	P - EX INL 1 TO E	User																		5.00
2	P - MH 7A TO EX	User																		0.00
3	P - MH 3 TO INL	User																		0.00
4	P - INL 4 TO MH	User																		5.00
5	P - INL 5 TO INL	User																		5.00
6	P - INL 6 TO MH	User																		0.00
7	P - INL 6 TO MH	User																		5.00
8	P - INL 7 TO EX I	User																		5.00
9	P - MH 8 TO INL	User																		0.00
10	P - INL 9 TO MH	User																		5.00
11	P - TD 1 TO EX I	User																		5.00
Project File: SPOTLESS STORM PIPE-Rev1.stm					Min. Tc used for intensity calculations = 5 min					Number of lines: 11					Date: 6/6/2025					

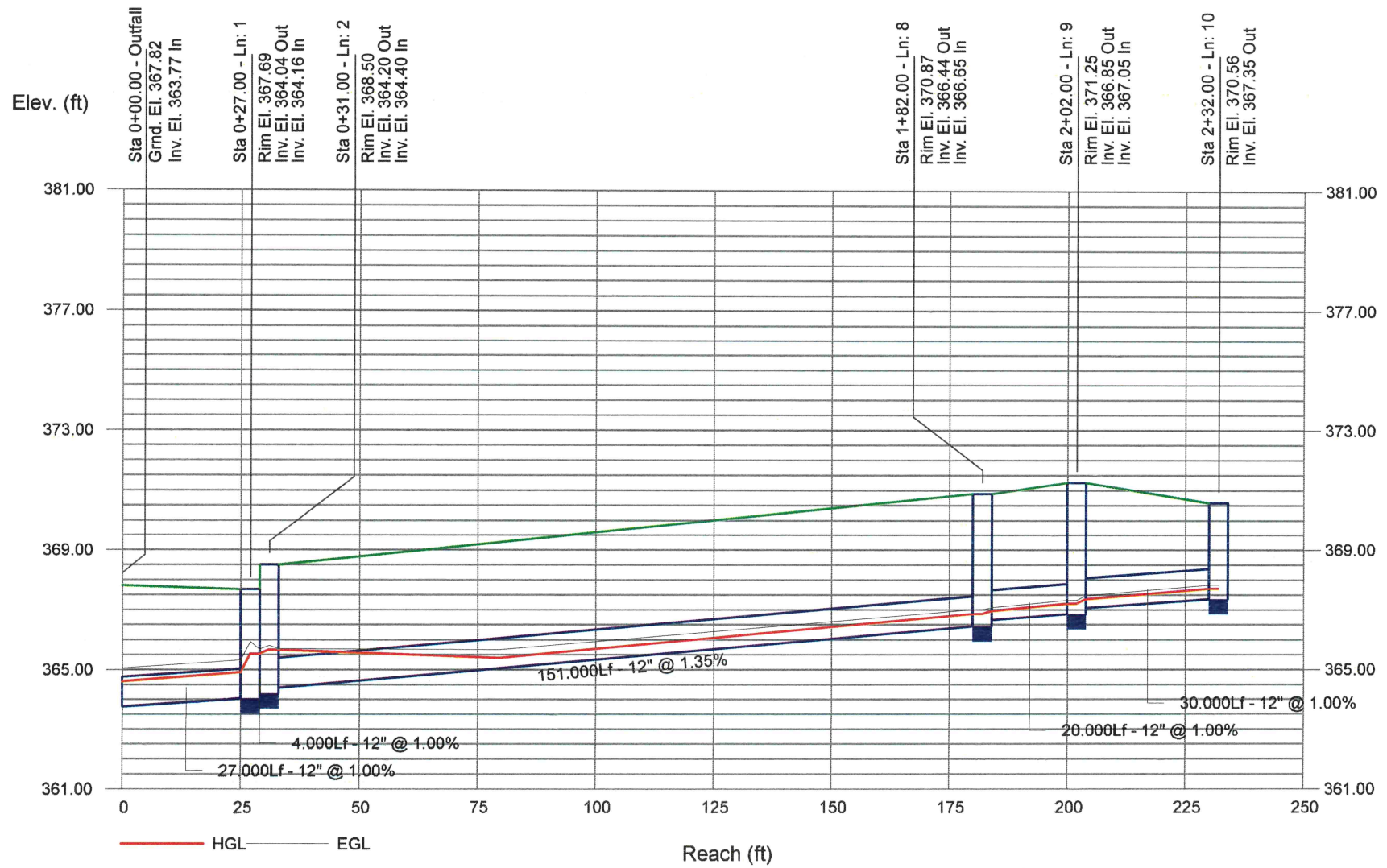
Storm Sewer Profile

Proj. file: SPOTLESS STORM PIPE-Rev1.stm



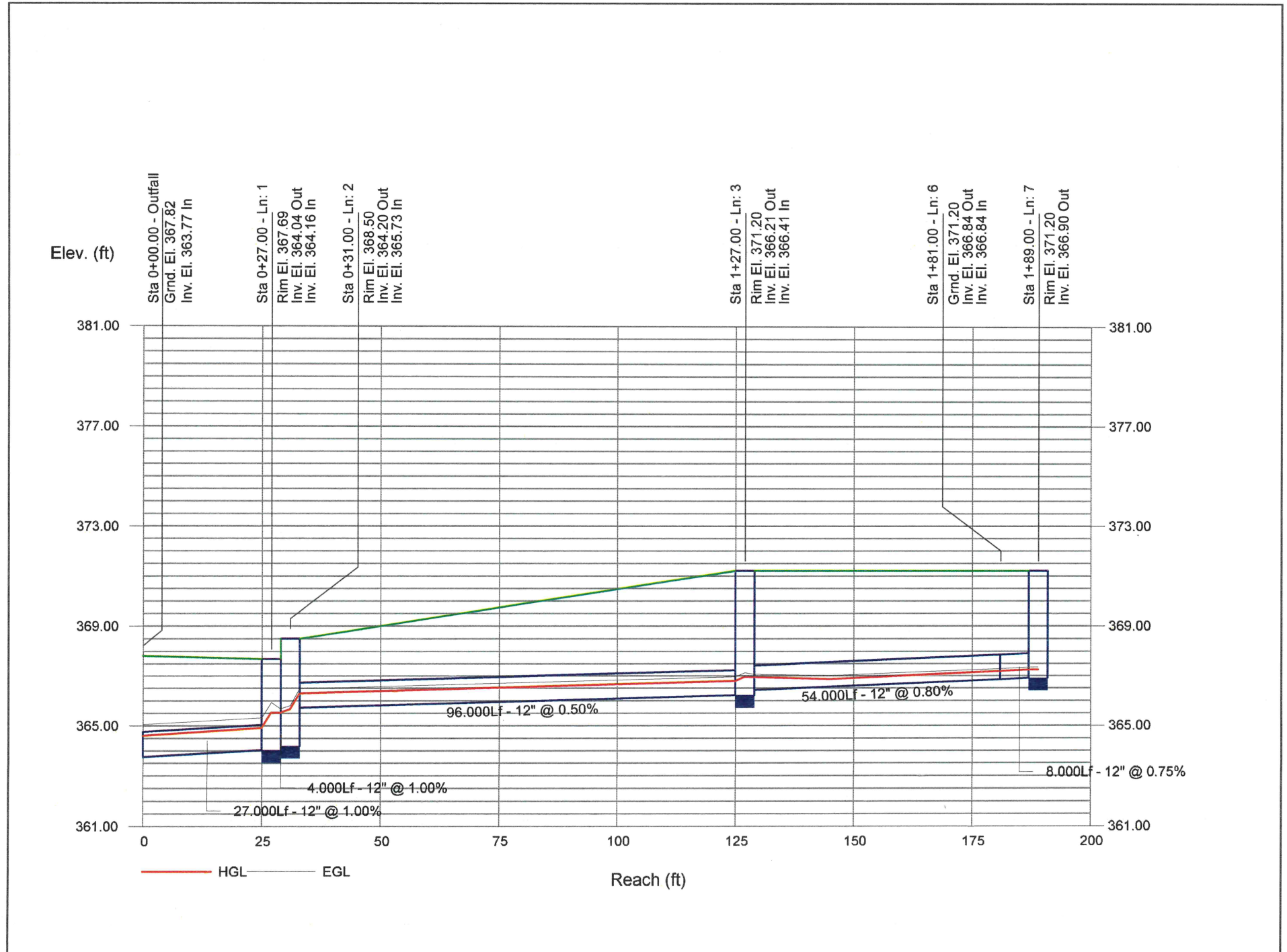
Storm Sewer Profile

Proj. file: SPOTLESS STORM PIPE-Rev1.stm



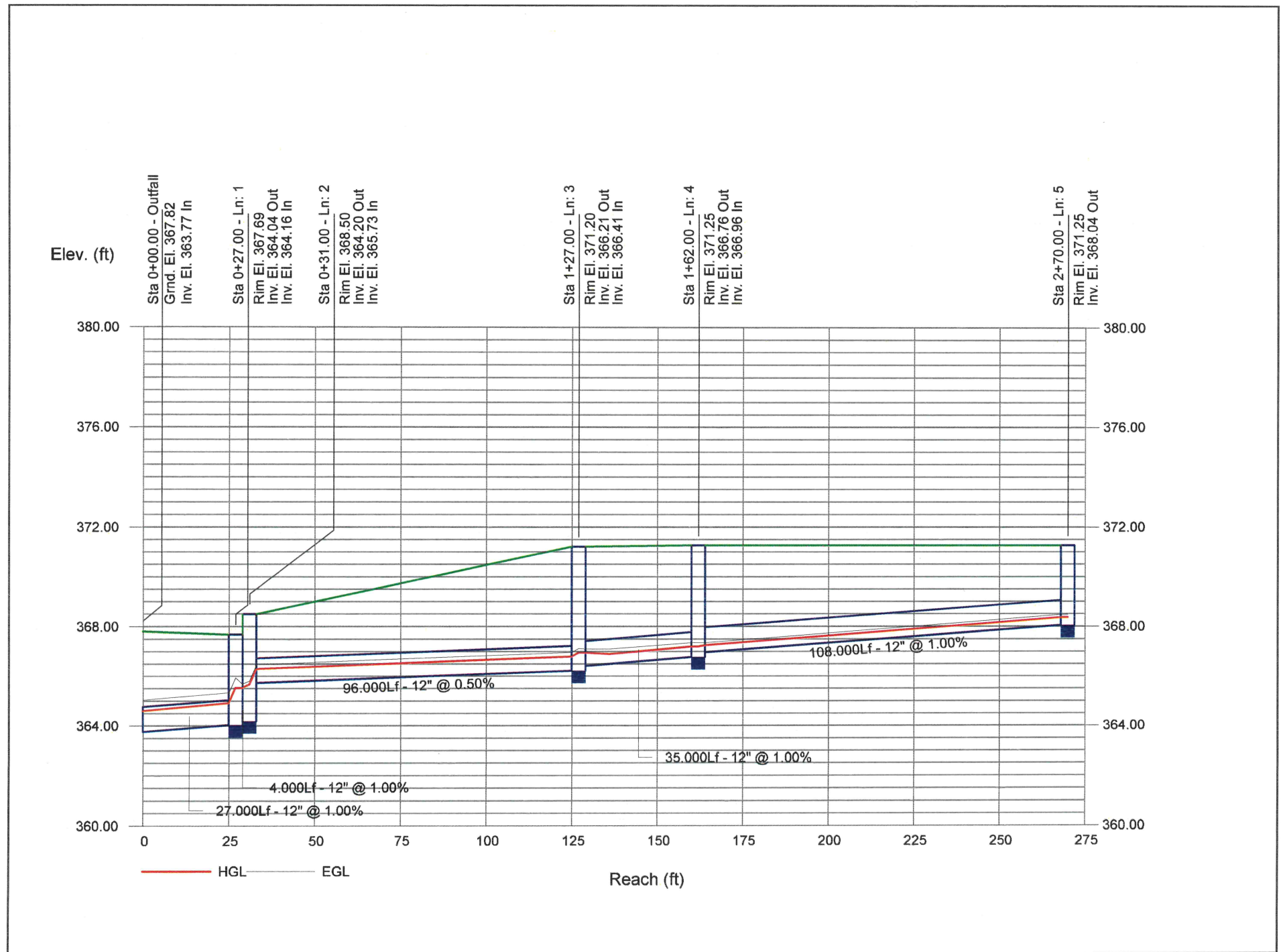
Storm Sewer Profile

Proj. file: SPOTLESS STORM PIPE-Rev1.stm



Storm Sewer Profile

Proj. file: SPOTLESS STORM PIPE-Rev1.stm



Appendix B
Maps and Supplemental Information



NOAA Atlas 14, Volume 2, Version 3
 Location name: Chalfont, Pennsylvania, USA*
 Latitude: 40.2661°, Longitude: -75.2283°
 Elevation: 375 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

G.M. Bonnin, D. Martin, B. Lin, T. Parzybok, M. Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	4.06 (3.71-4.43)	4.82 (4.42-5.28)	5.68 (5.17-6.19)	6.28 (5.72-6.86)	7.01 (6.35-7.64)	7.51 (6.77-8.21)	7.99 (7.19-8.75)	8.42 (7.54-9.24)	8.94 (7.92-9.83)	9.31 (8.20-10.3)
10-min	3.24 (2.96-3.54)	3.86 (3.53-4.22)	4.54 (4.15-4.96)	5.02 (4.58-5.48)	5.59 (5.06-6.10)	5.98 (5.39-6.53)	6.35 (5.71-6.95)	6.68 (5.97-7.32)	7.07 (6.26-7.77)	7.33 (6.46-8.08)
15-min	2.70 (2.47-2.95)	3.23 (2.96-3.54)	3.83 (3.50-4.18)	4.23 (3.86-4.62)	4.72 (4.28-5.15)	5.05 (4.55-5.52)	5.36 (4.81-5.86)	5.62 (5.02-6.16)	5.93 (5.26-6.52)	6.13 (5.40-6.76)
30-min	1.85 (1.69-2.02)	2.23 (2.04-2.44)	2.72 (2.48-2.97)	3.07 (2.80-3.35)	3.50 (3.17-3.81)	3.80 (3.43-4.15)	4.10 (3.69-4.48)	4.37 (3.91-4.79)	4.72 (4.18-5.19)	4.96 (4.37-5.48)
60-min	1.15 (1.06-1.26)	1.40 (1.28-1.53)	1.74 (1.59-1.90)	2.00 (1.82-2.18)	2.33 (2.11-2.54)	2.58 (2.32-2.81)	2.82 (2.54-3.09)	3.07 (2.74-3.36)	3.38 (3.00-3.72)	3.62 (3.19-4.00)
2-hr	0.686 (0.625-0.753)	0.833 (0.760-0.914)	1.04 (0.948-1.14)	1.20 (1.09-1.32)	1.42 (1.28-1.55)	1.59 (1.42-1.74)	1.76 (1.57-1.93)	1.94 (1.71-2.12)	2.17 (1.90-2.39)	2.35 (2.04-2.59)
3-hr	0.500 (0.453-0.552)	0.606 (0.550-0.669)	0.760 (0.689-0.838)	0.879 (0.794-0.968)	1.04 (0.933-1.14)	1.16 (1.04-1.28)	1.30 (1.15-1.42)	1.43 (1.25-1.57)	1.60 (1.39-1.77)	1.74 (1.50-1.93)
6-hr	0.313 (0.286-0.347)	0.379 (0.345-0.419)	0.473 (0.430-0.523)	0.550 (0.498-0.606)	0.658 (0.591-0.725)	0.746 (0.665-0.820)	0.839 (0.741-0.922)	0.937 (0.819-1.03)	1.07 (0.924-1.18)	1.18 (1.00-1.31)
12-hr	0.189 (0.173-0.210)	0.229 (0.209-0.254)	0.288 (0.262-0.319)	0.337 (0.305-0.373)	0.409 (0.366-0.450)	0.469 (0.417-0.517)	0.535 (0.470-0.589)	0.606 (0.525-0.668)	0.710 (0.603-0.786)	0.797 (0.666-0.883)
24-hr	0.112 (0.103-0.122)	0.135 (0.124-0.148)	0.170 (0.156-0.185)	0.199 (0.182-0.216)	0.241 (0.219-0.261)	0.276 (0.250-0.299)	0.314 (0.283-0.340)	0.356 (0.317-0.385)	0.416 (0.367-0.450)	0.466 (0.406-0.505)
2-day	0.065 (0.059-0.071)	0.078 (0.071-0.086)	0.098 (0.089-0.108)	0.115 (0.104-0.126)	0.138 (0.125-0.152)	0.158 (0.142-0.173)	0.178 (0.159-0.195)	0.200 (0.178-0.220)	0.232 (0.204-0.254)	0.258 (0.224-0.283)
3-day	0.045 (0.041-0.050)	0.055 (0.050-0.060)	0.069 (0.063-0.075)	0.080 (0.073-0.088)	0.096 (0.087-0.105)	0.109 (0.099-0.119)	0.123 (0.111-0.135)	0.138 (0.124-0.151)	0.160 (0.141-0.174)	0.177 (0.155-0.194)
4-day	0.036 (0.033-0.039)	0.043 (0.040-0.047)	0.054 (0.049-0.059)	0.063 (0.057-0.068)	0.075 (0.068-0.082)	0.085 (0.077-0.093)	0.096 (0.087-0.104)	0.107 (0.097-0.117)	0.123 (0.110-0.134)	0.136 (0.121-0.149)
7-day	0.024 (0.022-0.026)	0.028 (0.026-0.031)	0.035 (0.033-0.038)	0.041 (0.038-0.044)	0.049 (0.045-0.053)	0.055 (0.051-0.060)	0.062 (0.057-0.067)	0.069 (0.063-0.075)	0.080 (0.072-0.087)	0.088 (0.079-0.096)
10-day	0.019 (0.017-0.020)	0.022 (0.021-0.024)	0.027 (0.025-0.030)	0.031 (0.029-0.034)	0.037 (0.034-0.040)	0.041 (0.038-0.045)	0.046 (0.042-0.050)	0.051 (0.046-0.055)	0.057 (0.052-0.062)	0.063 (0.057-0.068)
20-day	0.012 (0.012-0.013)	0.015 (0.014-0.016)	0.018 (0.017-0.019)	0.020 (0.019-0.022)	0.023 (0.022-0.025)	0.026 (0.024-0.028)	0.028 (0.026-0.030)	0.031 (0.028-0.033)	0.034 (0.031-0.036)	0.036 (0.033-0.039)
30-day	0.010 (0.010-0.011)	0.012 (0.011-0.013)	0.014 (0.013-0.015)	0.016 (0.015-0.017)	0.018 (0.017-0.019)	0.020 (0.018-0.021)	0.021 (0.020-0.022)	0.023 (0.021-0.024)	0.025 (0.023-0.026)	0.026 (0.024-0.028)
45-day	0.009 (0.008-0.009)	0.010 (0.010-0.011)	0.012 (0.011-0.012)	0.013 (0.012-0.014)	0.014 (0.014-0.015)	0.016 (0.015-0.016)	0.017 (0.016-0.018)	0.018 (0.017-0.019)	0.019 (0.018-0.020)	0.020 (0.018-0.021)
60-day	0.008 (0.007-0.008)	0.009 (0.009-0.010)	0.010 (0.010-0.011)	0.011 (0.011-0.012)	0.013 (0.012-0.013)	0.014 (0.013-0.014)	0.014 (0.014-0.015)	0.015 (0.014-0.016)	0.016 (0.015-0.017)	0.017 (0.016-0.018)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **Bucks County, Pennsylvania**



March 29, 2024

Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

Contents

Preface.....	2
How Soil Surveys Are Made.....	5
Soil Map.....	8
Soil Map.....	9
Legend.....	10
Map Unit Legend.....	11
Map Unit Descriptions.....	11
Bucks County, Pennsylvania.....	13
UfuB—Urban land, 0 to 8 percent slopes.....	13
References.....	14

How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

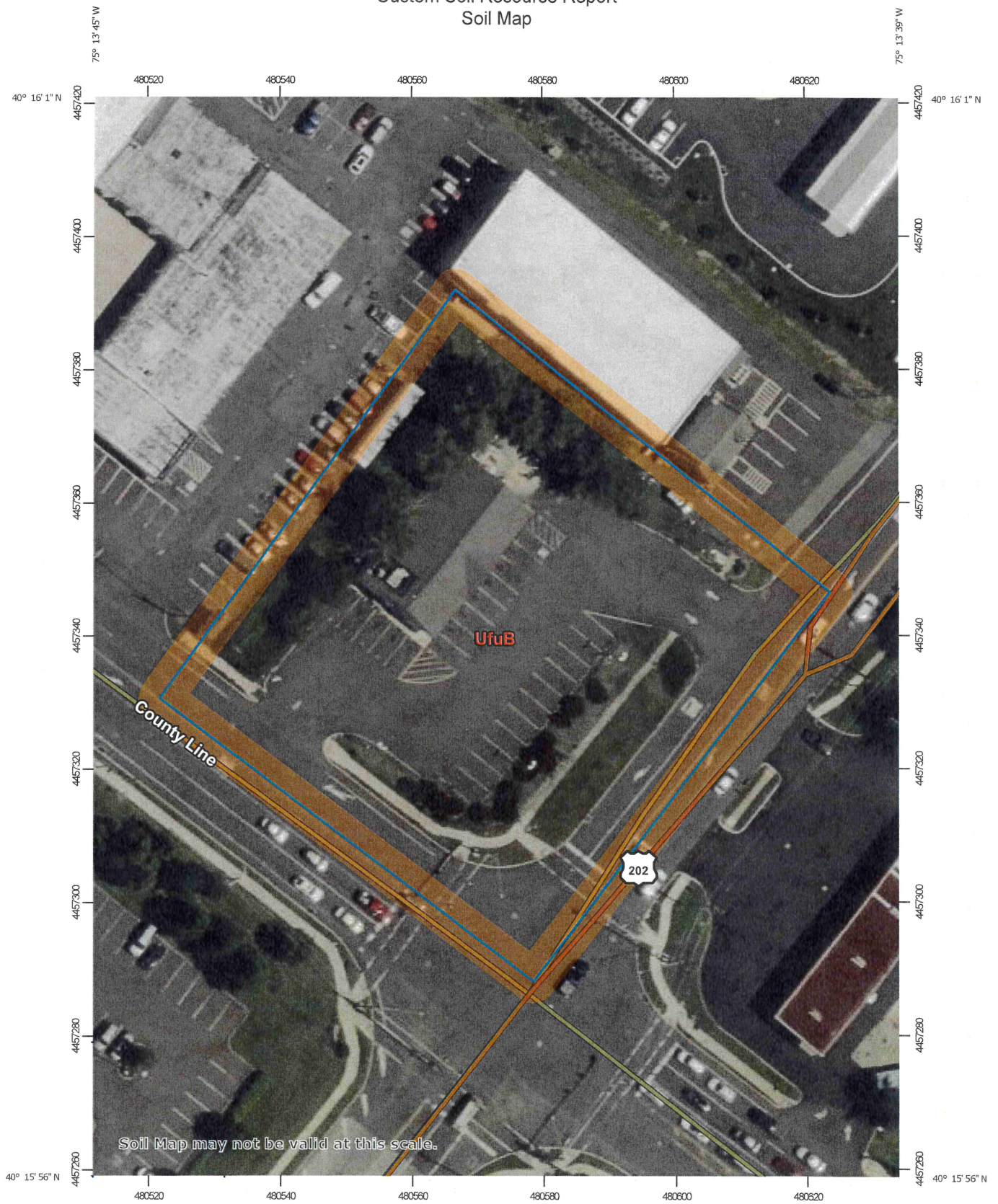
Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

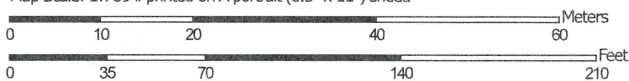
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:789 if printed on A portrait (8.5" x 11") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Custom Soil Resource Report

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other


 Special Line Features

Water Features

 Streams and Canals

Transportation

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Bucks County, Pennsylvania
Survey Area Data: Version 20, Sep 4, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 3, 2022—Jul 20, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
UfuB	Urban land, 0 to 8 percent slopes	1.3	100.0%
Totals for Area of Interest		1.3	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Bucks County, Pennsylvania

UfuB—Urban land, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 17sq
Elevation: 800 to 1,500 feet
Mean annual precipitation: 36 to 46 inches
Mean annual air temperature: 41 to 62 degrees F
Frost-free period: 130 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Parent material: Pavement, buildings and other artificially covered areas human transported material

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: No

Minor Components

Udorthents, unstable fill

Percent of map unit: 10 percent
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

References

- American Association of State Highway and Transportation Officials (AASHTO). 2004. Standard specifications for transportation materials and methods of sampling and testing. 24th edition.
- American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.
- Cowardin, L.M., V. Carter, F.C. Golet, and E.T. LaRoe. 1979. Classification of wetlands and deep-water habitats of the United States. U.S. Fish and Wildlife Service FWS/OBS-79/31.
- Federal Register. July 13, 1994. Changes in hydric soils of the United States.
- Federal Register. September 18, 2002. Hydric soils of the United States.
- Hurt, G.W., and L.M. Vasilas, editors. Version 6.0, 2006. Field indicators of hydric soils in the United States.
- National Research Council. 1995. Wetlands: Characteristics and boundaries.
- Soil Survey Division Staff. 1993. Soil survey manual. Soil Conservation Service. U.S. Department of Agriculture Handbook 18. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_054262
- Soil Survey Staff. 1999. Soil taxonomy: A basic system of soil classification for making and interpreting soil surveys. 2nd edition. Natural Resources Conservation Service, U.S. Department of Agriculture Handbook 436. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053577
- Soil Survey Staff. 2010. Keys to soil taxonomy. 11th edition. U.S. Department of Agriculture, Natural Resources Conservation Service. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053580
- Tiner, R.W., Jr. 1985. Wetlands of Delaware. U.S. Fish and Wildlife Service and Delaware Department of Natural Resources and Environmental Control, Wetlands Section.
- United States Army Corps of Engineers, Environmental Laboratory. 1987. Corps of Engineers wetlands delineation manual. Waterways Experiment Station Technical Report Y-87-1.
- United States Department of Agriculture, Natural Resources Conservation Service. National forestry manual. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/home/?cid=nrcs142p2_053374
- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelpdb1043084>

Custom Soil Resource Report

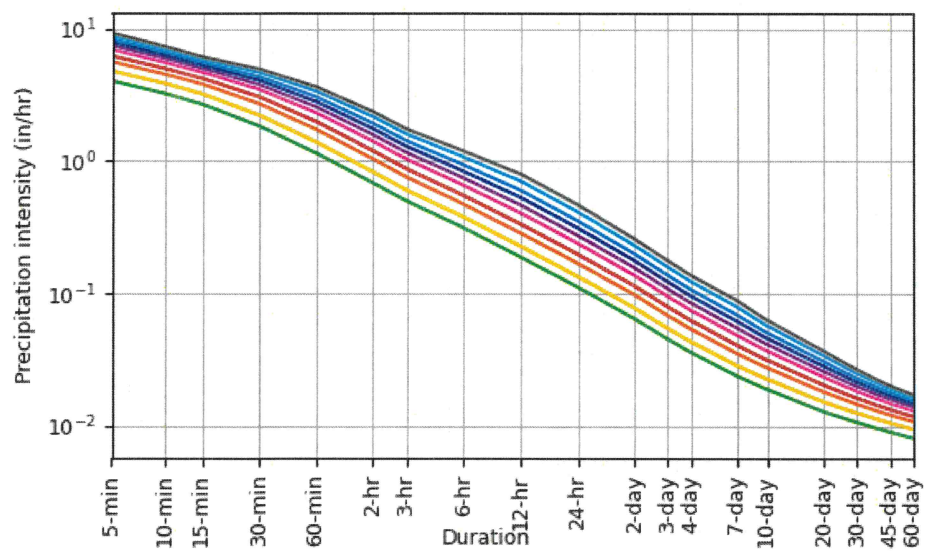
United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624

United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf

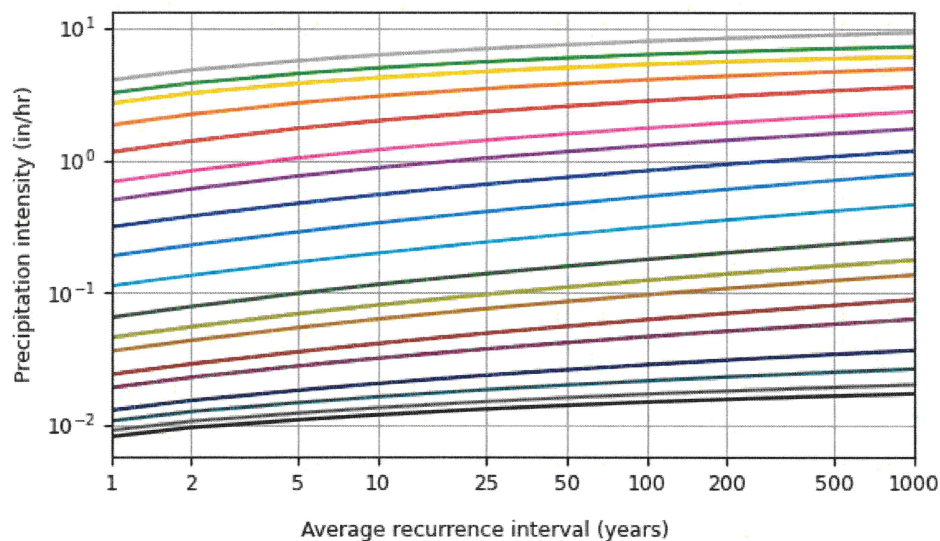
PDS-based intensity-duration-frequency (IDF) curves

Latitude: 40.2661°, Longitude: -75.2283°



Average recurrence interval (years)

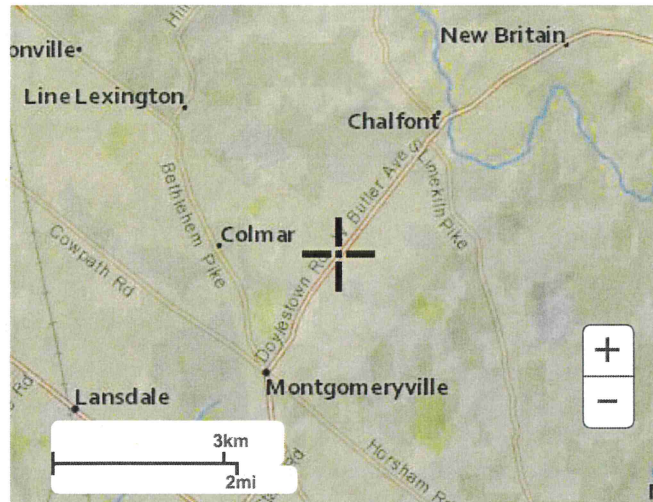
1
2
5
10
25
50
100
200
500
1000



Duration

5-min 2-day
10-min 3-day
15-min 4-day
30-min 7-day
60-min 10-day
2-hr 20-day
3-hr 30-day
6-hr 45-day
12-hr 60-day
24-hr

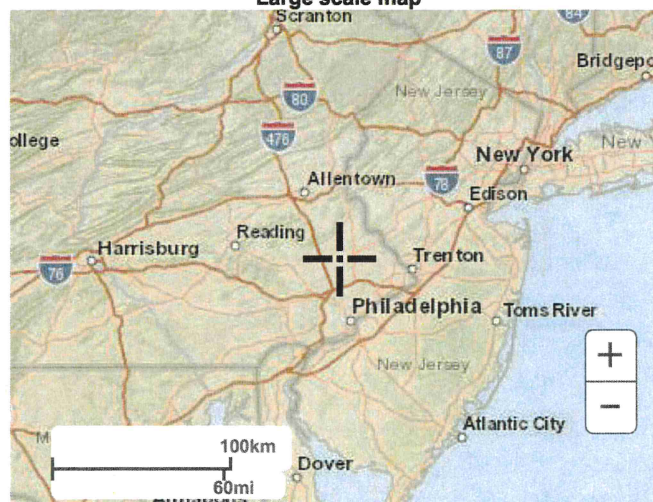
[Back to Top](#)**Maps & aerials****Small scale terrain**



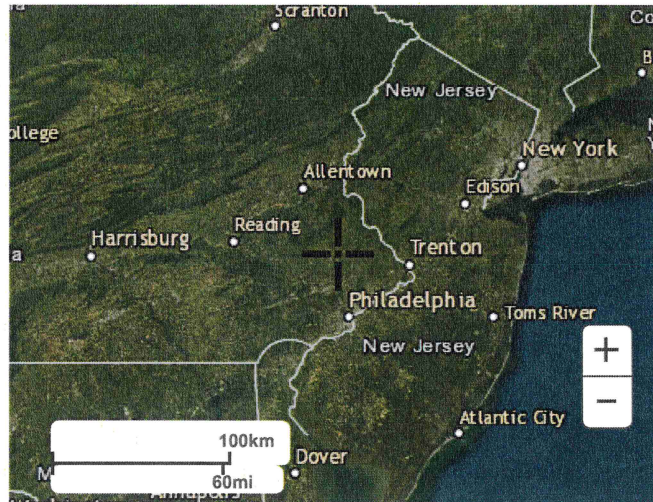
Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

April 3, 2025
Revised June 6, 2025

Dan Fox
Township Manager
New Britain Township
207 Park Avenue
Chalfont, PA 18914

RE: Flagship Car Wash (Spotless Brands)
545 West Butler Avenue, Chalfont, PA 18914
VCEA No. 24-02-NBR

Dear Mr. Fox:

In conjunction with the Land Development Application for the property (PARID No. 26-006-101-001) address is 545 West Butler Avenue, Chalfont, PA 18914; Please consider the below written waiver requests from requirements in the New Britain Township Subdivision/Land Development Ordinance (SALDO).

WAIVER REQUESTS:

1. SALDO §22-403 - Preliminary Plan Submission and Review Procedure

The applicant is proposing to combine the Preliminary and Final plan stages therefore shortening the review period required.

2. SALDO §22-706.1.D & SALDO §22-708.6.I – Requiring all proposed curbs shall have a minimum radius of five (5) feet.

In lieu of pavement gore stripping curbing was utilized to delineate the parking area uses, utilizing curb radii less than the required 5 feet.

3. SALDO §22-708.2.F. – Requiring a six (6) foot minimum width sidewalk or walkway when adjacent to parking stalls.

Due to the lot size and configuration of the site, a sidewalk of 4.33 feet was provided along the front of the proposed building in lieu of the required 6 feet width.

4. SALDO §22-711.4.C. – Requiring the top of bottom edge of slopes shall be a minimum of five (5) feet from property lines in order to permit normal rounding of the edge without encroaching onto the abutting property.

OFFICE LOCATIONS

www.vancleefengineering.com

Lebanon, NJ
908-735-9500

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

Due to the lot size and configuration of the site, the grading associated with the site features extends to the adjoiner property lines.

5. SALDO §22-712.5.E. – Requiring storm sewers to be reinforced concrete pipe with a minimum diameter of 15 inches or equivalent. Storm sewer located outside a public ultimate right-of-way or easement shall be high density corrugated polyethylene.

Due to the lot size and anticipated stormwater runoff, only a maximum pipe size of 12 inches is necessary to convey stormwater for the site.

6. SALDO §22-722.4.C.(1)(a)&(b), and (2) – Requiring setbacks from Butler Avenue to be 50 feet from principal and accessory buildings. 25 feet from surface parking areas and interior drives and setbacks from all other street lines shall be 50 feet except parking areas and interior drives may be located up to 10 feet from all other street lines.

Due to the lot size and configuration of the site, the interior drive along Bulter Avenue are setback 8 feet from the property line.

7. SALDO §22-722.4.C.(7)(b) – Requiring all street trees to be planted in the planting strip located between the curbline and the sidewalk.

The plantings have been proposed between the sidewalk and the drive-through per the Township's direction.

8. SALDO §22-722.4.D.(6) – Requiring bicycle parking.

Due to the nature of the business, we do not believe bicycle parking is necessary.



pennsylvania
DEPARTMENT OF TRANSPORTATION

Date: 11/26/2024
Subject: Highway Occupancy Permit Application No. 357565, Cycle No.1 - Returned For Revisions
To: Spotless Brands
950 Herndon Parkway
Suite 400
Herdon, VA 20170
From: PennDOT Engineering District 6-0
7000 Geerdes Boulevard
King of Prussia, PA 19406

Dear Applicant,

PennDOT has reviewed your application for completeness, consistency and compliance with applicable Department Regulations. This review has identified issues that must be addressed in order for our review to continue.

The Department's review comments are attached.

Once the comments have been addressed, please resubmit the application and associated material for further review.

Upon resubmission, the applicant's engineer should put together a letter that describes how each comment has been addressed and where each can be found. This will help expedite the review. For guidance on HOP applications refer to 67 PA Code, Chapter 441, Chapter 459 and PennDOT Publication 282, "Highway Occupancy Permit Guidelines". Additional comments may follow upon review of the resubmitted application.

As an alternative to contacting the individual indicated below, the District is offering applicants an opportunity to attend HOP Collaboration Workshop Meetings (held weekly) for clarification on any of the following comments. To sign up, please open the HOP Collaboration Workshop link located in the Links section on the EPS Applications Portal and follow the instructions.

If you have any questions regarding this matter, you may contact Erik Schmidt, PE, PTOE, at (215) 592-4200.



Response Comments

Date: 11/26/2024

Application Number: 357565, Cycle No.1

Form Letter Notes

- (1) * Upon resubmission, the applicant's engineer must provide a letter that describes how each comment has been addressed and where each can be found in the plan set. A copy of these comments and any previously submitted plans should also be provided. Further, if the applicants engineer has made any design changes independent of PennDOT reviewer comments, they must include a section in the response-to-comments letter that describes the additional design changes.

* Additional comments may follow upon review of the resubmitted application. If you have any questions about the technical aspects of this review, please contact the Department's representative, Erik Schmidt, PE, PTOE of McCormick Taylor, Inc. at ECSchmidt@mccormicktaylor.com. Please reference the HOP Application number in all correspondence.

* For guidance on Highway Occupancy Permit applications, refer to PA Code Title 67, Chapter 441, Chapter 459 and PennDOT Publication 282. This will help expedite the review.

General

- (1) PLEASE SUBMIT A CHECK FOR \$50.00 MADE PAYABLE TO PENNDOT-ATTN: MARY ELLEN CULHANE, PERMITS SUPERVISOR, 7000 GEERDES BLVD. KING OF PRUSSIA, PA. 19406. PLEASE INCLUDE THE APPLICATION NUMBER ON THE CHECK FOR OUR REFERENCE.
- (2) Comments for this review are only associated with the plans and documents attached for this cycle. Additional comments may follow upon review of the updated plans and documents of the resubmitted application.
- (3) The Department requires that a cost estimate be entered into EPS before HOP issuance. This cost estimate must include all work proposed within the Departments Right-of-Way, including signal equipment, all roadway work, pavement markings, and signage, plus a 15% contingency to be entered into the Fee information & Estimate Construction Cost section in the Application setup box. Further, this section requires the cost estimate to be broken down into site frontage costs and off-site improvements costs. Please enter this information in the manner required. This cost estimate will be the basis for the value of the Letter of Credit the Department will require as security prior to the start of actual construction.

- (4) The Department requires written evidence, prior to issuing a permit, that New Britain Township has had the opportunity to comment. Provide written evidence (e.g., municipal engineering review, council or planning commission meeting minutes, executed TE-160, etc.), which is less than one year old, to satisfy this requirement. Also, provide County Planning Commission Review Letters if available. PennDOT will consider any comments or recommendations from the municipal and county reviews before approving the access permit. In addition, please provide the email address(es) for the appropriate individual(s) at the municipality (i.e., Township Manager, Borough Manager, Mayor, etc.) and at the County Planning Commission on the Application Information screen so that a copy of the Department's review letter can be forwarded. (PA Code, Title 67, Chapter 441.3(j)).
- (5) Submit HOP Plans for review.

Application

- (1) Consistent with current Department Policy, applicants for Highway Occupancy Permits must apply for an EPS Business Partner ID (BPID). The EPS BPID is to be used in the establishment of a billing account for the invoicing of inspection costs. After an EPS BPID is obtained and activated by the applicant's system administrator, a user ID will then need to be created to ensure that the EPS BPID is integrated into EPS and searchable through the "looking glass" feature. Once this has been established, please provide the following information in the Applicant Contact Info area under "Applicant Team":

BPID;

Contact information (name/title/address/phone/email) for a general contact person who typically deals with the Highway Occupancy Permit application process;

Contact information (name/title/address/phone/email) for a billing contact person who typically deals with the Highway Occupancy Permit invoicing process.

For information on obtaining an EPS BPID, you may visit:

<https://www.epermittingsyst.penndot.gov/EPS/home/manageBPRegistration.jsp> (follow the instructions in the PINK area) or contact the ECMS Help Desk at 717.783.8330. Having an ECMS BPID does not guarantee the establishment of an EPS BPID as they are not reciprocal to one another.

- (2) PennDOT Form M-950AA, Applicant's Authorization for Agent to Apply for Highway Occupancy

Permit, must be completed and submitted with all Highway Occupancy Permit applications.

Transportation Impact Study/Transportation Impact Assessment

- (1) The Traffic Services Division has reviewed the submitted Transportation Impact Assessment (TIA) prepared by Albert Federico Consulting, LLC, dated October 29, 2024, and has no further comments. This is based on the presented land use, trip generation, design horizon year, and proposed mitigation. Any modifications to these parameters will require a revision of the TIS and additional review by the Department. This will be a condition of the permit.

Access Configuration/Profile- Driveways/Local Roads

- (1) Truck turning templates must be provided for the largest vehicle anticipated to access the site (all movements) to ensure that the driveways can safely accommodate the design vehicle. Additionally, the templates must show how these vehicles will circulate within the site. For each site access, if the largest permitted vehicle type to utilize that access is smaller than a WB-67, then a note must be included on the plans, turning templates for that vehicle size provided, appropriate signage provided, and that vehicle size will become a condition of the permit and be recorded.

Sight Distance- Driveways/Local Roads

- (1) As per Title 67, Chapter 441.8(h)(2)(iv), the Safe Stopping Sight Distance is the absolute minimum acceptable sight distance for driveways. Sight distance values obtained from the use of reduction factors which fall below the Safe Stopping Sight Distance will not be accepted by the Department. It is the designers responsibility to ensure that this minimum requirement is satisfied. Provide full documentation of sight distance measurements and calculations at the proposed site driveways. Ensure that the available sight distance measurement is documented and indicate the roadway grade used in calculations.

ADA Compliance

- (1) Ensure that an accessible pedestrian path is provided between the frontage sidewalk and the proposed building. ADA compliance within the limits of work must be evaluated in the final design.

Utilities

- (1) Department records indicate that PennDOT Fiber Optic facilities are present within the proposed limits of work and may be impacted by the anticipated improvements. If fiber optic facilities are affected, the applicant is responsible for the relocation of the fiber, testing of the fiber communications both before and after the relocation of the fiber indicated on the approved plans,

and the associated costs. Any relocation must be performed by a communications contractor that is acceptable to the District Traffic Unit. The Highway Occupancy Permit will not be issued until the fiber optic impact has been reviewed and the relocation scheme approved by the Department.

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors & Dan Fox, Township Manager
FROM: Ryan Cressman, Public Works Superintendent
DATE: June 17, 2025
RE: 2025-2026 Fuel Bids

On June 17, 2025, fuel bids were opened by the Bucks County Consortium hosted by Northampton Township. A total of 5 bids were received.

Pilot Thomas Logistics was low bidder for Unleaded Regular and Ultra-Low Sulfur Diesel Fuel. Bids are based on the OPIS exchange price at delivery plus a delivery cost.

The delivery cost per gallon is as follows:

Regular Unleaded Gasoline \$0.1300
Ultra-Low Sulfur Diesel Fuel \$0.2330

Staff Recommendation: Award the lowest qualified bidder, Pilot Thomas Logistics, the Unleaded Regular and Ultra-Low Sulfur Diesel Fuel.

Ports Petroleum was low bidder for #2 Heating Oil. Bids are based on the OPIS exchange price at delivery plus a delivery cost.

The delivery cost per gallon is as follows:

#2 Heating Oil \$0.2890

Staff Recommendation: Award the lowest qualified bidder, Port Petroleum, the #2 Heating Oil.

Check #	Check Date	Vendor Name	Amount
17113	6/5/2025	AQUA PENNSYLVANIA	1,399.50
17114	6/5/2025	ARMOUR & SONS ELECTRIC I	472.50
17115	6/5/2025	DANIEL A. GONZALEZ	355.00
17116	6/5/2025	FINCH TURF INC.	3.08
17117	6/5/2025	GEORGE ALLEN PORTABLE TOILETS	734.00
17118	6/5/2025	MCCALLION TEMPS, INC	523.26
17119	6/5/2025	NORTH PENN WATER AUTHORIT	194.16
17120	6/5/2025	PECO ENERGY-PAYMENT PROCESSING	95.68
17121	6/5/2025	PENN POWER GROUP	1,530.21
17122	6/5/2025	STAPLES	430.92
17123	6/5/2025	STEPHANIE SHORTALL	165.90
17124	6/5/2025	SUSETTE DUBIN	1,200.00
17125	6/5/2025	TUSTIN MECHANICAL SERVICES	983.00
17126	6/5/2025	VERIZON WIRELESS	2,083.69
17127	6/12/2025	BERGEY'S INC.	376.99
17128	6/12/2025	BUX-MONT AWARDS	669.00
17129	6/12/2025	CODY Systems	412.50
17130	6/12/2025	C. RICHARD MICHIE II	24.00
17131	6/12/2025	DANIEL SACKS	60.60
17132	6/12/2025	DAVID KEEBLER	143.49
17133	6/12/2025	KIM GOODWIN	120.00
17134	6/12/2025	KRISTIN CARPENTER	460.00
17135	6/12/2025	MARIA CLANCY	714.00
17136	6/12/2025	MASTERS TELECOM LLC	87.82
17137	6/12/2025	MCCALLION TEMPS, INC	440.64
17138	6/12/2025	PA ONE CALL SYSTEM, INC.	96.21
17139	6/12/2025	PRIMO BRANDS	39.98
17140	6/12/2025	RIGGINS INC.	2,182.34
17141	6/12/2025	ROBERT E. LITTLE, INC.	64.98
17142	6/12/2025	SANDRA EZZO	120.00
17143	6/12/2025	SHAWN MAGUIRE	328.38
17144	6/12/2025	VERIZON	110.99
17145	6/12/2025	VERIZON WIRELESS	25.10
17146	6/12/2025	WILLIAM JONES	1,718.92
17147	6/12/2025	ZACHARY JENKINS	64.77
17148	6/17/2025	ADVANCE AUTO PARTS	218.00
17149	6/17/2025	BARRY ISETT & ASSOCIATES INC	500.00
17150	6/17/2025	B.R. SCHOLL SALES & SERVICE IN	96.00
17151	6/17/2025	CHALFONT BOROUGH	175.96
17152	6/17/2025	CONSERVATION RESOURCES LLC	385.50
17153	6/17/2025	D.L. BEARDSLEY LTD	242.65
17154	6/17/2025	eFORCE COMPLIANCE	3,500.00
17155	6/17/2025	ESTABLISHED TRAFFIC CONTROL	150.00

17200	6/26/2025 REPUBLIC SERVICES #320	2,071.38
17201	6/26/2025 RIGGINS INC.	2,070.11
17202	6/26/2025 RYAN LISCHKE	120.00
17203	6/26/2025 SHAWN P. KNIGHT	250.00
17204	6/26/2025 STANDARD INSURANCE COMPANY	4,073.62
17205	6/26/2025 STANDARD DIGITAL LEASING	516.76
17206	6/26/2025 TUSTIN MECHANICAL SERVICES	2,843.08
17207	6/26/2025 VERIZON	200.38

139,173.54

Cash Receipts	Month End 06/30/2025
01-GEN	71,589.60
BLDG RENT & WB CELL TOWER	600.00
BUILDING PERMITS	28,839.70
CELL TOWER LEASE/N. BRANCH	2,626.14
DISTRICT COURT FINES	1,850.56
ELECTRICAL PERMITS	7,525.00
FIRE SAFETY INSPECTIONS	3,525.00
FUEL & OIL EQUIP	553.97
MISC REVENUE	1,000.00
OCCUPANCY - RESALES	1,500.00
OCCUPANCY PERMITS - NEW CONST	900.00
OVER COUNTER SALES	90.00
OVERTIME REIMBURSEABLES	2,951.52
PA UCC STATE FEE/PERMITS	130.50
PLUMBING/MECHANICAL PERMITS	11,560.00
POLICE & ACCIDENT REPORTS	2,030.00
ROAD OPENING PERMITS	300.00
STATE POLICE FINES	2,356.01
TRAFFIC SIGNAL MAINTENANCE	257.47
VEHICLE CODE VIOLATIONS	243.73
ZONING HEARING BOARD	800.00
ZONING PERMITS	1,950.00
07-PARKS	2,669.72
BLDG RENT & WB CELL TOWER	1,604.72
EVENT REVENUE	1,030.00
USER FEES/FIELD USE	35.00
90-SAVE	32,139.92
DEPOSITS RECEIVED	32,139.92
Grand Total	106,399.24

July 7, 2025
09:40 AM

NEW BRITAIN TOWNSHIP
2025 General Ledger One Line Account Totals Trial Balance

Page No: 1

Account Range: First to Last
Exclude Accounts with Zero Balance and No Activity: Y

Date Range: 01/01/25 to 06/30/25
Class Id: 120

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
60-109-100	INVESTMENTS/CUSTODIAN	A	12,914,037.30 Db				12,914,037.30 Db
	Fund Totals		12,914,037.30 Db				12,914,037.30 Db
	Fund Balance Totals			12,914,037.30	0.00		
65-109-100	INVESTMENTS/CUSTODIAN	A	6,005,692.33 Db				6,005,692.33 Db
	Fund Totals		6,005,692.33 Db				6,005,692.33 Db
	Fund Balance Totals			6,005,692.33	0.00		
90-106-000	MONEY MARKET	A	719,962.87 Db	750,548.28	261,247.80	489,300.48 Db	1,209,263.35 Db
90-106-400	NBBP ROADS/TRAFFIC ESCROW	A	317.25 Db	6.36		6.36 Db	323.61 Db
90-106-401	KEMA-POWERTEST LLC	A	1,296.34 Db	25.97		25.97 Db	1,322.31 Db
90-106-700	PINE VALLEY CROSSING ASSOCIATES, LP	A	2,106.88 Db	0.53		0.53 Db	2,107.41 Db
90-106-920	ESTATES AT PEACE VALLEY	A	0.01 Db				0.01 Db
90-106-950	HIGHPOINT TRAFFIC SIGNAL ESCROW	A	71,118.84 Db	1,422.39		1,422.39 Db	72,541.23 Db
90-106-981	METROPOLITAN DEVELOPMENT GROUP	A	127.71 Db	2.55		2.55 Db	130.26 Db
90-106-991	CVS FINANCIAL SECURITY ESCROW	A	13,656.60 Db	273.15		273.15 Db	13,929.75 Db
90-106-992	NBBP LOT 16B ESCROW	A	2,433.70 Db	48.75		48.75 Db	2,482.45 Db
90-106-993	CLR/NBB IMPROVEMENTS	A	72,389.59 Db	1,447.82		1,447.82 Db	73,837.41 Db
90-106-994	RT 202 CAPITAL IMPROVEMENTS	A	110,219.11 Db	2,204.41		2,204.41 Db	112,423.52 Db
90-106-999	THE RESERVE AT NEW BRITAIN	A	22,376.69 Db	447.54		447.54 Db	22,824.23 Db
	Fund Totals		1,016,005.59 Db	756,427.75	261,247.80	495,179.95 Db	1,511,185.54 Db
	Fund Balance Totals			1,511,185.54	0.00		
Total Accounts ==>	14						
	Report Totals		19,935,735.22 Db	756,427.75	261,247.80	495,179.95 Db	20,430,915.17 Db
	Report Balance Totals			20,430,915.17	0.00		

Account Range: First to Last
Exclude Accounts with Zero Balance and No Activity: Y

Date Range: 06/01/25 to 06/30/25
Class Id: 100

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
01-100-000	GENERAL FUND CHECKING	A	68,142.53 Db	141,634.19	144,792.70	3,158.51 Cr	64,984.02 Db
01-102-000	TREASURY CHECKING	A	866.73 Db	2.59		2.59 Db	869.32 Db
01-105-000	PAYROLL CHECKING	A	7,270.34 Db	314,093.93	313,142.10	951.83 Db	8,222.17 Db
01-106-000	MONEY MARKET	A	8,561.42 Db	471,732.16	334,000.00	137,732.16 Db	146,293.58 Db
01-107-000	PLGIT PROCUREMENT CARD	A	21,836.60 Db	20,072.32	11,028.36	9,043.96 Db	30,880.56 Db
01-107-001	GENERAL FUND PLGIT	A	536.61 Db	1.82		1.82 Db	538.43 Db
01-110-000	CASH - PETTY CASH	A	1,111.12 Db				1,111.12 Db
	Fund Totals		108,325.35 Db	947,537.01	802,963.16	144,573.85 Db	252,899.20 Db
	Fund Balance Totals			252,899.20	0.00		
02-106-000	STREET LIGHT FUND MONEY MARKET	A	63,039.66 Db	1,452.87	1,266.20	186.67 Db	63,226.33 Db
02-109-000	Certificate of Deposit	A	104,420.13 Db	419.64		419.64 Db	104,839.77 Db
	Fund Totals		167,459.79 Db	1,872.51	1,266.20	606.31 Db	168,066.10 Db
	Fund Balance Totals			168,066.10	0.00		
03-106-000	FIRE TAX FUND MONEY MARKET	A	141,325.30 Db	7,167.25		7,167.25 Db	148,492.55 Db
03-106-100	AMBULANCE TAX FUND	A	17,887.43 Db	2,739.85		2,739.85 Db	20,627.28 Db
	Fund Totals		159,212.73 Db	9,907.10		9,907.10 Db	169,119.83 Db
	Fund Balance Totals			169,119.83	0.00		
04-102-110	MONEY MARKET UNIVEST	A	1,559,504.54 Db	5,575.76		5,575.76 Db	1,565,080.30 Db
04-106-000	LAND PRESERVATION MONEY MARKET	A	6.65 Db	0.02		0.02 Db	6.67 Db
04-106-001	NBT OPN EIT FUNDS	A	1,335,911.09 Db	85,945.54	1,704.63	84,240.91 Db	1,420,152.00 Db
04-107-000	LAND PRESERVATION PLGIT	A	1,288.40 Db	4.37		4.37 Db	1,292.77 Db
04-107-001	OPN/EIT PLGIT	A	2,661.37 Db	9.04		9.04 Db	2,670.41 Db
04-109-000	Certificate of Deposit	A	2,611,999.81 Db	10,496.96		10,496.96 Db	2,622,496.77 Db
	Fund Totals		5,511,371.86 Db	102,031.69	1,704.63	100,327.06 Db	5,611,698.92 Db
	Fund Balance Totals			5,611,698.92	0.00		
07-102-501	PARK/REC RECREATION LAND ACCT	A	1,593,349.53 Db	5,135.93	75,000.00	69,864.07 Cr	1,523,485.46 Db
07-106-000	PARK & RECREATION MONEY MARKET	A	21,903.02 Db	89,843.54	43,848.25	45,995.29 Db	67,898.31 Db

NEW BRITAIN TOWNSHIP
2025 General Ledger One Line Account Totals Trial Balance

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
	Fund Totals		1,615,252.55 Db	94,979.47	118,848.25	23,868.78 Cr	1,591,383.77 Db
	Fund Balance Totals			1,591,383.77	0.00		
15-102-900	EMST RESERVE ACCOUNT	A	8.74 Db	0.03		0.03 Db	8.77 Db
15-106-300	GENERAL FD YEAR END RESERVE ACCT	A	1,971,055.73 Db	6,480.18		6,480.18 Db	1,977,535.91 Db
15-107-000	GENERAL RESERVE PLGIT	A	1,554.56 Db	5.28		5.28 Db	1,559.84 Db
15-109-000	Certificate of Deposit	A	1,038,310.87 Db	2,380.02		2,380.02 Db	1,040,690.89 Db
15-109-001	CERTIFICATE OF DEPOSIT UNIVEST	A	272,771.00 Db	975.25		975.25 Db	273,746.25 Db
	Fund Totals		3,283,700.90 Db	9,840.76		9,840.76 Db	3,293,541.66 Db
	Fund Balance Totals			3,293,541.66	0.00		
18-102-901	SEWAGE MAINTENANCE FEE ACCT	A	129.28 Db				129.28 Db
18-102-902	STORMWATER MAINTENANCE FEES	A	44,689.43 Db	146.92		146.92 Db	44,836.35 Db
18-106-000	MONEY MARKET ACCOUNT	A	481,383.12 Db	15,309.64	2,050.76	13,258.88 Db	494,642.00 Db
18-106-002	2020 CAPITAL SINKING FUND	A	1,404.38 Db	4.11		4.11 Db	1,408.49 Db
18-109-000	Certificate of Deposit	A	1,092,491.34 Db	4,103.61		4,103.61 Db	1,096,594.95 Db
18-109-001	CERTIFICATE OF DEPOSIT UNIVEST	A	220,573.81 Db	788.63		788.63 Db	221,362.44 Db
	Fund Totals		1,840,671.36 Db	20,352.91	2,050.76	18,302.15 Db	1,858,973.51 Db
	Fund Balance Totals			1,858,973.51	0.00		
20-106-000	MONEY MARKET ACCOUNT	A	775,606.31 Db	2,550.40		2,550.40 Db	778,156.71 Db
20-106-001	2005 DVRFA/P.WKS.ACCT	A	57,120.96 Db	6,982.84	228.60	6,754.24 Db	63,875.20 Db
	Fund Totals		832,727.27 Db	9,533.24	228.60	9,304.64 Db	842,031.91 Db
	Fund Balance Totals			842,031.91	0.00		
30-106-000	MONEY MARKET	A	297,583.58 Db	3,659.40		3,659.40 Db	301,242.98 Db
30-109-000	Certificate of Deposit	A	102,850.39 Db	54.79		54.79 Db	102,905.18 Db
	Fund Totals		400,433.97 Db	3,714.19		3,714.19 Db	404,148.16 Db
	Fund Balance Totals			404,148.16	0.00		
35-100-000	CHECKING ACCOUNT	A	628,961.74 Db	2,071.11		2,071.11 Db	631,032.85 Db
35-109-000	Certificate of Deposit	A	417,680.50 Db	1,678.55		1,678.55 Db	419,359.05 Db
	Fund Totals		1,046,642.24 Db	3,749.66		3,749.66 Db	1,050,391.90 Db
	Fund Balance Totals			1,050,391.90	0.00		

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
Total Accounts ==>	36						
	Report Totals		14,965,798.02 Db	1,203,518.54	927,061.60	276,456.94 Db	15,242,254.96 Db
	Report Balance Totals			15,242,254.96	0.00		

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
01-301-100	REAL ESTATE CURRENT YEAR	1,170,658.89	1,476,964.00	1,417,320.76	33,686.13	-59,643.24	95.96
01-301-200	REAL ESTATE-PRIOR YEAR	213.04	4,000.00	100.86	100.86	-3,899.14	2.52
01-301-400	REAL ESTATE - DELINQUENT	7,380.79	20,000.00	13,108.35	310.71	-6,891.65	65.54
01-301-600	REAL ESTATE - INTERIM	5,089.72	12,000.00	6,189.46	9,575.71	-5,810.54	51.58
01-310-100	REAL ESTATE TRANSFER TAX-NEW	6,700.00	60,000.00	92,102.94	13,828.57	32,102.94	153.50
01-310-101	R.E. TRANSFER TAX-RESALES	186,250.54	450,000.00	219,068.81	78,136.73	-230,931.19	48.68
01-310-210	EARNED INCOME TAX	1,851,567.30	3,483,000.00	1,840,176.12	335,460.23	-1,642,823.88	52.83
01-310-220	LST TAXES	60,811.54	130,000.00	64,616.04	2,705.30	-65,383.96	49.70
01-321-800	CABLE TV FRANCHISE FEE	112,682.39	230,000.00	110,317.45	0	-119,682.55	47.96
01-322-800	ROAD OPENING PERMITS	3,915.50	7,500.00	5,130.00	300.00	-2,370.00	68.40
01-331-100	DISTRICT COURT FINES	6,756.48	15,000.00	7,368.48	1,850.56	-7,631.52	49.12
01-331-110	VEHICLE CODE VIOLATIONS	3,655.52	8,000.00	2,209.20	243.73	-5,790.80	27.62
01-331-130	STATE POLICE FINES	2,906.33	5,000.00	2,356.01	2,356.01	-2,643.99	47.12
01-341-000	INTEREST EARNINGS	17,914.41	50,000.00	4,117.40	905.54	-45,882.60	8.23
01-341-401	OVER COUNTER SALES	570.23	0.00	0	0	0.00	0.00
01-342-100	FARMLAND LEASES	1,500.00	1,500.00	2,943.50	0	1,443.50	196.23
01-342-200	BLDG RENT & WB CELL TOWER	0	0.00	600.00	600.00	600.00	0.00
01-342-201	CELL TOWER LEASE/N. BRANCH	16,948.87	26,000.00	37,513.77	2,626.14	11,513.77	144.28
01-351-001	ALL OTHR FEDERAL CAPITAL&OPERATING GRANT	0	0.00	39,831.71	0	39,831.71	0.00
01-352-530	FEDERAL ENTITLEMENTS TO GOVERN UNITS	254.39	0.00	0	0	0.00	0.00
01-354-000	RECYCLING GRANT	0	23,000.00	35,468.96	3,787.96	12,468.96	154.21
01-355-010	PUBLIC UTILITY TAXES	0	4,500.00	0	0	-4,500.00	0.00
01-355-080	LIQUOR LICENSES	1,800.00	0.00	1,500.00	0	1,500.00	0.00
01-355-120	STATE AID PENSION PLANS	0	104,173.00	0	0	-104,173.00	0.00
01-355-130	FOREIGN FIRE INSURANCE	0	108,370.00	0	0	-108,370.00	0.00
01-355-141	OVERTIME REIMBURSEABLES	4,372.99	30,000.00	9,986.77	2,951.52	-20,013.23	33.29
01-361-001	OVER COUNTER SALES	0	0.00	1,290.75	90.00	1,290.75	0.00
01-361-300	ZONING SUBDIVISION FILING FEES	9,550.00	10,000.00	2,600.00	0	-7,400.00	26.00
01-361-330	ZONING PERMITS	7,675.00	12,000.00	11,300.00	2,100.00	-700.00	94.17
01-361-340	ZONING HEARING BOARD	6,000.00	10,000.00	4,400.00	800.00	-5,600.00	44.00
01-362-100	MISC. CHARGES AND FEES	55.00	0.00	30.00	0	30.00	0.00
01-362-140	POLICE & ACCIDENT REPORTS	7,281.00	13,000.00	6,803.75	2,076.75	-6,196.25	52.34
01-362-410	BUILDING PERMITS	74,853.19	125,000.00	122,284.65	28,839.70	-2,715.35	97.83
01-362-420	ELECTRICAL PERMITS	29,154.50	50,000.00	38,864.50	7,525.00	-11,135.50	77.73
01-362-430	PLUMBING/MECHANICAL PERMITS	35,095.65	60,000.00	64,094.00	11,710.00	4,094.00	106.82
01-362-450	OCCUPANCY PERMITS - NEW CONST	5,525.00	10,000.00	7,458.25	900.00	-2,541.75	74.58
01-362-451	OCCUPANCY - RESALES	8,870.00	20,000.00	7,765.00	1,575.00	-12,235.00	38.83
01-362-452	FIRE SAFETY INSPECTIONS	0	500.00	15,829.50	3,525.00	15,329.50	3,165.90
01-362-460	WELL PERMITS	175.00	500.00	1,900.00	0	1,400.00	380.00
01-362-462	PA UCC STATE FEE/PERMITS	778.50	2,000.00	895.50	139.50	-1,104.50	44.78
01-380-000	MISC REVENUE	6,208.96	0.00	8,238.90	1,022.25	8,238.90	0.00
01-380-050	ESCROW ADMINSTATION FEE	0	30,000.00	17,889.14	5,248.97	-12,110.86	59.63
01-387-000	DEVELOPERS CONTRIBUTIONS	200.00	0.00	0	0	0.00	0.00
01-387-001	CONTRIB,GRANTS,DONATION PRIVATE SECTOR	5,383.58	0.00	4,003.85	0	4,003.85	0.00
01-391-000	PROCEEDS FROM GF FIXED ASSETS	2,562.28	0.00	0	0	0.00	0.00

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
01-405-161	FICA/MEDICARE	3,944.25	0.00	0	0	0.00	0.00
01-406-000	OTHER GENERAL GOVT ADMINISTRATION:	0	0	0	0	0	0.00
01-407-000	IT-NETWORKING & DATA SERVICES:	0	0	0	0	0	0.00
01-408-000	ENGINEERING SERVICES:	0	0	0	0	0	0.00
01-408-100	GENERAL ENGINEERING	67,186.03	60,000.00	53,254.98	10,028.55	6,745.02	88.76
01-409-000	BUILDINGS & PLANT:	0	0	0	0	0	0.00
01-409-319	SUPPLIES AND EQUIPMENT	440.57	0.00	0	0	0.00	0.00
01-409-360	UTILITIES	8,618.45	20,000.00	11,258.10	1,327.79	8,741.90	56.29
01-409-370	BLDG MAINT&REPAIRS SERVICES&SUPPLIES	12,213.55	35,000.00	16,825.24	4,043.08	18,174.76	48.07
01-410-000	POLICE:	0	0	0	0	0	0.00
01-410-120	SALARY - POLICE MANAGEMENT	68,244.80	149,743.00	70,636.80	10,867.20	79,106.20	47.17
01-410-130	WAGES - BARGAINING UNIT	715,314.39	1,724,967.00	832,770.62	123,689.28	892,196.38	48.28
01-410-131	POLICE OVERTIME	66,619.10	165,000.00	84,807.51	22,791.16	80,192.49	51.40
01-410-132	ACCRUED TIME EXPENSE	63,793.92	215,000.00	29,138.85	2,922.50	185,861.15	13.55
01-410-133	EDUCATION INCENTIVE PAY	48,157.78	50,000.00	51,208.42	0	-1,208.42	102.42
01-410-140	WAGES-CLERICAL STAFF FT	30,230.00	58,620.00	33,124.00	5,096.00	25,496.00	56.51
01-410-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	275,905.95	559,325.00	290,285.28	47,753.65	269,039.72	51.90
01-410-160	CROSSING GUARD WAGES	4,750.30	13,693.00	4,871.13	676.97	8,821.87	35.57
01-410-161	FICA/MEDICARE/POLICE	77,379.23	152,772.00	85,491.72	12,702.31	67,280.28	55.96
01-410-181	EDUCATION/TRAINING IN SERVICE	2,692.29	12,000.00	12,063.95	996.00	-63.95	100.53
01-410-200	OFFICE SUPPLIES	1,869.66	2,000.00	491.90	0	1,508.10	24.60
01-410-210	COMPUTERS SUPPLIES	7,503.79	15,000.00	19,496.50	1,628.28	-4,496.50	129.98
01-410-223	TRAFFIC COUNTER	3,137.59	12,000.00	10,134.40	56.40	1,865.60	84.45
01-410-224	FUELS/OIL	15,832.73	30,000.00	13,961.35	2,281.60	16,038.65	46.54
01-410-226	COPIER EXPENSES	1,847.23	2,500.00	2,687.99	1,371.62	-187.99	107.52
01-410-240	FIREARMS & SUPPLIES	9,771.63	12,000.00	0	0	12,000.00	0.00
01-410-241	UNIFORMS/VESTS	11,357.73	25,000.00	11,619.09	2,670.90	13,380.91	46.48
01-410-250	GENERAL EXPENSE	2,005.16	4,000.00	2,046.04	348.21	1,953.96	51.15
01-410-260	COMMUNITY POLICING SERVICES & SUPPLIES	0	7,500.00	1,945.15	1,511.17	5,554.85	25.94
01-410-310	LEGAL EXPENSE	13,280.28	22,000.00	12,980.00	155.00	9,020.00	59.00
01-410-319	EQUIP SUPPLIES	4,262.80	6,000.00	1,800.00	0	4,200.00	30.00
01-410-320	COMMUNICATIONS	9,955.29	20,000.00	10,708.98	1,554.01	9,291.02	53.54
01-410-340	PRINTING	682.37	2,000.00	442.14	0	1,557.86	22.11
01-410-351	VEHICLE INSURANCE	9,685.98	13,604.00	7,431.70	0	6,172.30	54.63
01-410-352	LAW ENFORCEMENT LIABILITY	37,567.92	52,763.00	28,824.44	0	23,938.56	54.63
01-410-354	WORKERS COMPENSATION	45,248.46	58,121.00	28,674.48	0	29,446.52	49.34
01-410-360	UTILITIES	9,734.01	20,000.00	21,687.60	1,143.68	-1,687.60	108.44
01-410-370	VEHICLE MAINT/REPAIRS-OUTSIDE	3,088.42	10,000.00	6,867.47	81.57	3,132.53	68.67
01-410-371	CONTRACTED CLEANING	6,100.00	0.00	0.00	0	0.00	0.00
01-410-390	C.E.R.T. TEAM	3,700.00	5,000.00	3,300.00	0	1,700.00	66.00
01-410-420	PUBLICATIONS/SUBSCRIPTIONS	160.00	2,500.00	2,509.16	0	-9.16	100.37
01-410-440	UNIFORM CLEANING	12,800.00	12,800.00	12,800.00	0	0.00	100.00
01-410-750	EQUIPMENT PURCHASES	48,992.21	47,000.00	40,168.23	0	6,831.77	85.46
01-410-751	VEHICLE REPLACEMENTS	149,649.40	0.00	0.00	0.00	0.00	0.00
01-410-760	BUILDING MAINTANCE POLICE DEPT	6,385.16	10,000.00	0	0	10,000.00	0.00

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
01-430-319	TRAINING EXPENSE	0	0.00	375.00	0	-375.00	0.00
01-430-320	COMMUNICATIONS/MAINT	5,901.02	15,000.00	5,190.38	2,048.13	9,809.62	34.60
01-430-321	RADIO REPAIRS	0	1,000.00	0	0	1,000.00	0.00
01-430-351	VEHICLE INSURANCE	13,583.28	19,077.00	10,421.95	0	8,655.05	54.63
01-430-352	LIABILITY INSURANCE	2,863.50	4,022.00	2,197.04	0	1,824.96	54.63
01-430-354	WORKERS COMPENSATION	24,171.63	33,596.00	13,712.00	0	19,884.00	40.81
01-430-370	BUILDING MAINTENANCE	24,847.04	20,000.00	8,199.00	2,702.93	11,801.00	41.00
01-432-000	WINTER MAINTENACE-SNOW REMOVAL:	0	0	0	0	0	0.00
01-432-220	SNOW REMOVAL/CONTRACTORS	9,250.00	40,000.00	3,500.00	0	36,500.00	8.75
01-432-221	SNOW REMOVAL/SALT	67,600.50	0.00	0	0	0.00	0.00
01-433-000	TRAFFIC CONTROL DEVICES:	0	0	0	0	0	0.00
01-433-200	STREET SIGNS	5,854.70	10,000.00	6,558.27	1,686.25	3,441.73	65.58
01-433-210	LINE PAINTING	1,206.00	30,000.00	0	0	30,000.00	0.00
01-433-310	TRAFFIC SIGNAL MAINTENANCE	7,678.50	20,000.00	15,691.81	4,285.52	4,308.19	78.46
01-433-361	TRAFFIC SIGNAL ELECTRIC	2,444.21	4,000.00	2,860.69	420.76	1,139.31	71.52
01-434-000	STREET LIGHTING:	0	0	0	0	0	0.00
01-434-300	STREET LIGHTING/GEN/NOT DISTRICT	4,360.83	9,000.00	2,207.07	211.67	6,792.93	24.52
01-436-000	STORM SEWERS & DRAINS:	0	0	0	0	0	0.00
01-436-300	STORM SEWERS & DRAINS	17,438.27	30,000.00	468.94	0	29,531.06	1.56
01-436-367	NPDES COMPLIANCE	10,528.00	25,000.00	0	0	25,000.00	0.00
01-436-400	DIRT & DEBRIS REMOVAL	3,352.00	10,000.00	3,670.60	1,233.55	6,329.40	36.71
01-437-000	REPAIRS OF TOOLS & MACHINERY:	0	0	0	0	0	0.00
01-437-300	VEHICLE REPAIRS	48,444.01	50,000.00	34,052.01	3,651.13	15,947.99	68.10
01-437-330	FUEL & OIL EQUIP	19,083.14	40,000.00	16,218.51	2,058.90	23,781.49	40.55
01-437-360	HEAT AND UTILITIES	20,209.29	30,000.00	32,408.10	1,252.24	-2,408.10	108.03
01-438-000	MAINTENANCE & REPAIR OF ROADS & BRIDGES:	0	0	0	0	0	0.00
01-438-260	MINOR EQUIPMENT	3,294.39	5,000.00	0	0	5,000.00	0.00
01-438-460	GENERAL EXPENSE	4,140.02	20,000.00	5,168.17	727.20	14,831.83	25.84
01-438-710	MAJOR EQUIPMENT PURCHASE	193,115.00	0.00	0	0	0.00	0.00
01-438-800	EQUIPMENT RENTALS	0	5,000.00	0	0	5,000.00	0.00
01-438-820	PATCHING/CORE SAMPLES	1,931.98	10,000.00	1,155.24	198.16	8,844.76	11.55
01-438-830	ROADWAY CURB SIDEWALK	0	20,000.00	0	0	20,000.00	0.00
01-439-000	HIGHWAY CONTRUCTION & REBUILDING PROJECT	0	0	0	0	0	0.00
01-439-320	PAVING/MILLING/RECYCLING	0	50,000.00	0	0	50,000.00	0.00
01-439-330	DART TRANSPORTATION CONTRIBUTION	0	5,000.00	0	0	5,000.00	0.00
01-452-000	PARTICIPANT RECREATION:	0	0	0	0	0	0.00
01-454-312	NORTH BRANCH PARK EXP	19,690.35	0.00	0	0	0.00	0.00
01-455-000	TREE MAINTENANCE:	0	0	0	0	0	0.00
01-455-370	TREE MAINTENANCE	10,175.00	0.00	0	0	0.00	0.00
01-471-000	DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00
01-471-600	TAX ANTICIPATION NOTE/PRINCIPAL	3,620.99	0.00	0	0	0.00	0.00
01-472-000	DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00
01-472-600	TAX ANTICIPATION NOTE/INTEREST	-77.63	0.00	0	0	0.00	0.00
01-481-000	EMPLOYER PAID BENEFITS & WITHHOLDING ITE	0	0	0	0	0	0.00
01-481-319	MISC. TAXES	1,337.35	0.00	1,385.16	0	-1,385.16	0.00

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
02-341-000	INTEREST EARNINGS	4,244.07	5,000.00	3,360.33	627.51	-1,639.67	67.21
02-383-000	STREET LIGHT ASSESSMENTS	37,075.00	37,550.00	36,920.00	1,245.00	-630.00	98.32
02-393-990	ESTIMATED BEGINNING BALANCE	0	132,153.00	0	0	-132,153.00	0.00
STREET LIGHTING FUND: Revenue Totals		41,319.07	174,703.00	40,280.33	1,872.51	-134,422.67	
02-403-000	TAX COLLECTION:	0	0	0	0	0	0.00
02-403-110	SALARY-ELECTED	0	2,500.00	0	0	2,500.00	0.00
02-403-120	TAX COLLECTOR FEE	0	191.00	0	0	191.00	0.00
02-434-000	STREET LIGHTING:	0	0	0	0	0	0.00
02-434-360	UTILITY EXPENSE	5,198.48	10,000.00	7,392.38	808.13	2,607.62	73.92
02-471-100	PRINCIPAL PAYMENT/STREET LIGHT LOAN	689.72	0.00	0	0	0.00	0.00
02-472-100	INTEREST PAYMENT/STREET LIGHT LOAN	-14.79	0.00	0	0	0.00	0.00
STREET LIGHTING FUND: Expenditure Totals		5,873.41	12,691.00	7,392.38	808.13	5,298.62	
02 STREET LIGHTING FUND:		2024 YTD	CURRENT YTD	CURRENT MTD			
REVENUES:		41,319.07	40,280.33	1,872.51			
EXPENDITURES:		5,873.41	7,392.38	808.13			
NET INCOME:		35,445.66	32,887.95	1,064.38			
03-301-100	FIRE REAL ESTATE TAXES	216,959.64	222,540.00	214,941.85	5,195.96	-7,598.15	96.59
03-301-101	AMBULANCE REAL ESTATE TAXES	86,783.85	89,016.00	85,976.73	2,078.38	-3,039.27	96.59
03-301-200	FIRE REAL ESTATE TAXES-PRIOR YEAR	27.92	500.00	45.28	45.28	-454.72	9.06
03-301-201	AMBULANCE R.E. TAXES/PRIOR YEAR	9.96	250.00	18.11	18.11	-231.89	7.24
03-301-400	FIRE R.E. DELINQUENT TAXES	1,374.37	100.00	1,986.28	47.22	1,886.28	1,986.28
03-301-401	AMBULANCE/DELINQUENT TAXES	546.73	100.00	794.51	18.89	694.51	794.51
03-301-600	FIRE R.E. TAXES/INTERIM	942.53	100.00	1,519.71	1,450.86	1,419.71	1,519.71
03-301-601	AMBULANCE/INTERIM TAXES	377.03	100.00	607.90	580.35	507.90	607.90
03-310-220	LST TAXES/FIRE FUND	30,405.51	61,500.00	32,308.03	1,352.65	-29,191.97	52.53
03-310-221	LST TAXES/EMS	30,405.54	61,500.00	32,308.03	1,352.65	-29,191.97	52.53
03-341-000	INTEREST EARNINGS	3,190.19	1,000.00	3,307.87	475.15	2,307.87	330.79
03-341-001	INTEREST EARNINGS/EMS FUND	1,451.72	1,000.00	517.37	63.01	-482.63	51.74
03-393-990	FIRE ESTIMATED BEGINNING CASH BAL.	0	122,354.00	0	0	-122,354.00	0.00
03-393-991	AMBULANCE/EST. BEGINNING CASH BAL.	0	25,853.00	0	0	-25,853.00	0.00
FIRE TAX FUND: Revenue Totals		372,474.99	585,913.00	374,331.67	12,678.51	-211,581.33	
03-403-000	TAX COLLECTION:	0	0	0	0	0	0.00
03-403-370	REAL ESTATE/LST COLLECTOR-FIRE	0	950.00	658.96	225.44	291.04	69.36
03-403-371	REAL ESTATE/LST COLLECTOR-AMBULANCE	0	700.00	599.37	224.02	100.63	85.62
03-411-000	FIRE:	0	0	0	0	0	0.00
03-411-500	CONTRIBUTIONS TO FIRE COMPANIES	19,489.72	221,590.00	218,339.03	13,833.17	3,250.97	98.53
03-411-501	LST CONTRIBUTION FIRE	60,307.21	123,000.00	33,286.54	2,402.65	89,713.46	27.06
03-411-502	CONTRIBUTIONS TO EMS PROVIDERS	7,791.66	88,766.00	0.00	0	88,766.00	0.00
03-412-000	AMBULANCE & RESCUE SQUAD:	0	0	0	0	0	0.00
03-412-200	GENERAL EXPENSE/AMBULANCE	0	0.00	-319.98	0	319.98	0.00

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
04-310-210	EARNED INCOME TAX	443,384.54	817,000.00	439,829.37	83,057.27	-377,170.63	53.83
04-341-000	INTEREST EARNINGS	96,681.51	100,000.00	120,939.45	20,620.02	20,939.45	120.94
04-393-990	ESTIMATED BEGINNING CASH BALANCE	0	4,220,040.00	0	0	-4,220,040.00	0.00
OPEN SPACE FUND: Revenue Totals		540,066.05	5,137,040.00	560,768.82	103,677.29	-4,576,271.18	
04-403-000	TAX COLLECTION:	0	0	0	0	0	0.00
04-403-370	EIT TAX COLLECTOR EXPENSE	5,949.54	13,000.00	5,419.85	1,645.60	7,580.15	41.69
04-414-000	PLANNING & ZONING:	0	0	0	0	0	0.00
04-414-150	CONSULTANT/LAND PRESERVATION	0	20,000.00	7,195.00	1,885.00	12,805.00	35.98
04-414-310	ENGINEERING SERVICE	0	50,000.00	495.00	0	49,505.00	0.99
04-414-451	APPRAISALS	0	5,000.00	0	0	5,000.00	0.00
04-470-000	DEBT SERVICE:	0	0	0	0	0	0.00
04-470-200	OPEN SPACE MAINTENANCE	749.12	50,000.00	309.14	35.65	49,690.86	0.62
OPEN SPACE FUND: Expenditure Totals		6,698.66	138,000.00	13,418.99	3,566.25	124,581.01	

04 OPEN SPACE:	2024 YTD	CURRENT YTD	CURRENT MTD
REVENUES:	540,066.05	560,768.82	103,677.29
EXPENDITURES:	6,698.66	13,418.99	3,566.25
NET INCOME:	533,367.39	547,349.83	100,111.04

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
07-492-000	INTERFUND OPERATING TRANSFERS:	0	0	0	0	0	0.00
07-492-010	TRANSFER TO OTHER FUND	0	262,000.00	101,645.39	38,218.72	160,354.61	38.80
PARKS & RECREATION FUND Expenditure Totals		346,646.22	739,218.00	308,776.86	71,595.38	430,441.14	

07 PARKS & RECREATION FUND:	2024 YTD	CURRENT YTD	CURRENT MTD
REVENUES:	336,358.65	582,766.46	20,060.22
EXPENDITURES:	346,646.22	308,776.86	71,595.38
NET INCOME:	-10,287.57	273,989.60	-51,535.16

Account Id	Account Description	2024 YTD JUNE	2025 ANNUAL BUDGET	2025 YTD JUNE	2025 MTD JUNE	2025 \$ VARIANCE	2025 % VARIANCE
20-301-100	REAL ESTATES TAX/CURRENT/CAP INFRA	173,567.73	0.00	0	0	0.00	0.00
20-301-102	REAL ESTATE TAXES/CURRENT/PWKS LOAN	216,959.63	222,540.00	214,941.85	5,195.96	-7,598.15	96.59
20-301-200	REAL ESTATE PRIOR/CAP INFRA	49.80	0.00	0	0	0.00	0.00
20-301-202	REAL ESTATE TAXES/PRIOR/PWKS LOAN	8.61	500.00	45.28	45.28	-454.72	9.06
20-301-400	REAL ESTATE DEL/CAP INFRA	1,093.46	0.00	0	0	0.00	0.00
20-301-402	DELINQUENT TAXES/PUBLIC WORKS	1,366.82	100.00	1,886.97	44.86	1,786.97	1,886.97
20-301-600	R.E. TAXES/INTERIM/CAP INFRA	754.04	0.00	0	0	0.00	0.00
20-301-601	PUBLIC WORKS BLDG/INTERIM TAXES	942.53	100.00	1,519.71	1,450.86	1,419.71	1,519.71
20-341-000	INTEREST EARNINGS/CAP INFRA	7,448.80	0.00	12,172.15	2,550.40	12,172.15	0.00
20-341-102	INTEREST EARNINGS/P.WKS.	60.25	1,000.00	201.98	176.44	-798.02	20.20
20-393-990	EST BEGINNING CASH BALANCE/CAP INFR	0	459,651.00	0	0	-459,651.00	0.00
20-393-992	ESTIMATED BEG. CASH BALANCE/P.WKS.	0	506,000.00	0	0	-506,000.00	0.00
DEBT SERVICE: Revenue Totals		402,251.67	1,189,891.00	230,767.94	9,463.80	-959,123.06	
20-401-000	EXECUTIVE:	0	0	0	0	0	0.00
20-401-050	BRIDGE LOAN PRINCIPAL	327,000.00	332,000.00	332,000.00	0	0.00	100.00
20-401-100	BRIDGE LOAN INTEREST	19,269.60	32,426.00	17,242.00	0	15,184.00	53.17
20-471-000	DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00
20-471-100	PW BLDG PRINCIPAL	0	40,000.00	0	0	40,000.00	0.00
20-472-000	DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00
20-472-102	PW BLDG INTEREST	1,633.23	2,941.00	669.56	114.30	2,271.44	22.77
DEBT SERVICE Expenditure Totals		347,902.83	407,367.00	349,911.56	114.30	57,455.44	
20 DEBT SERVICE FUND:		2024 YTD	CURRENT YTD	CURRENT MTD			
REVENUES:		402,251.67	230,767.94	9,463.80			
EXPENDITURES:		347,902.83	349,911.56	114.30			
NET INCOME:		54,348.84	-119,143.62	9,349.50			
30-301-100	REAL ESTATE TAXES/CURRENT	86,783.85	89,016.00	85,976.73	2,078.38	-3,039.27	96.59
30-301-200	REAL ESTATE TAXES/PRIOR	12.98	50.00	18.11	18.11	-31.89	36.22
30-301-400	REAL ESTATE TAXES/DELINQUENT	546.74	0.00	754.79	17.95	754.79	0.00
30-301-600	REAL ESTATE TAXES/INTERIM	377.03	50.00	607.90	580.35	557.90	1,215.80
30-341-000	INTEREST EARNINGS	7,770.26	1,000.00	4,235.81	1,037.35	3,235.81	423.58
30-387-000	DEVELOPER CONTRIBUTION TRAFFIC	0	0.00	132,000.00	0	132,000.00	0.00
30-393-990	ESTIMATED BEGINNING CASH BALANCE	0	222,130.00	0	0	-222,130.00	0.00
HIGHWAY EQUIPMNET: Revenue Totals		95,490.86	312,246.00	223,593.34	3,732.14	-88,652.66	
30-000-000	HIGHWAY EQUIPMENT FUND:	0	0	0	0	0	0.00
30-437-740	CAPITAL EXPENSE/SURPLUS EQUIP	154,929.74	0.00	0	0	0.00	0.00
30-438-710	MAJOR EQUIPMENT PURCHASE	60,834.00	0.00	0	0	0.00	0.00
30-492-000	TRANSFER TO OTHER FUNDS	0	145,000.00	24,843.16	0	120,156.84	17.13
HIGHWAY EQUIPMENT FUND: Expenditure Totals		215,763.74	145,000.00	24,843.16	0.00	120,156.84	

30 HIGHWAY EQUIPMENT FUND: 2024 YTD CURRENT YTD CURRENT MTD



New Britain Township

Parks & Recreation

DEPARTMENTAL REPORT

YEAR: 2025

MONTH: June

Township Property Maintenance:

The Parks and Recreation Department performed daily inspections of North Branch, West Branch, Highlands, Veteran's, and Pheasant Run Parks for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind New Britain Walk, along with biweekly inspections of the Greenway Trail behind the Coleman property.

The Parks and Recreation Department is performing the full weekly schedule for mowing and weed whacking maintenance at all parks ,along with all the open space areas and the Islands on New Britain Blvd, Hunter Way, and Manor Drive.

The PnR Department cleaned up all debris, weeded and mulched the playground area located on Pheasant Run Rd. The pictures below illustrate the process.



Before / During



After

Mulch beds were weeded, and mulch was added around all park name signs at West Branch, Veteran's, and North Branch Park. Pictures below are of completed work. This includes the cleaning up around the Administration Building which is not pictured or mulched.

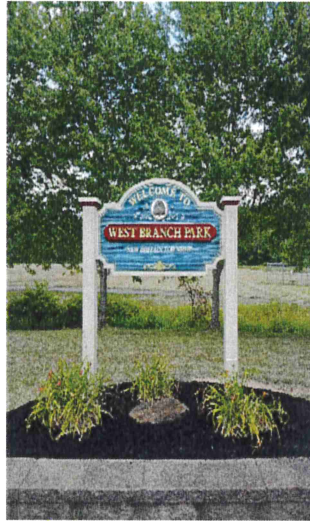


New Britain Township

Parks & Recreation



North Branch



West Branch



Veterans

Note: Highlands Park was completed and displayed in the 2025 April monthly report.

The parks and Recreation Department felled, cleaned up, and removed the stump of a dead pine tree located at the edge of the EMS parking lot. All the remaining pine trees along that area were trimmed accordingly for mower clearance.

Special Projects / Other:

The Parks and Recreation Foreman is categorizing all administrative duties as other, which includes all meetings, reports, minutes, and the gathering of information needed for certain projects.

The Parks and Recreation Department is continuing training of its newest employee.

Ballfield Maintenance:

All baseball and softball fields are groomed on a daily as needed basis. Water is being removed and dispersed as needed.

Parks and Recreation Daily Hours:

Township Property Maintenance:	421	Hrs.
Ballfield Maintenance:	24	Hrs.
Other/ Special Projects:	18	Hrs.



New Britain Township

Public Works

Departmental Report

Year: 2025

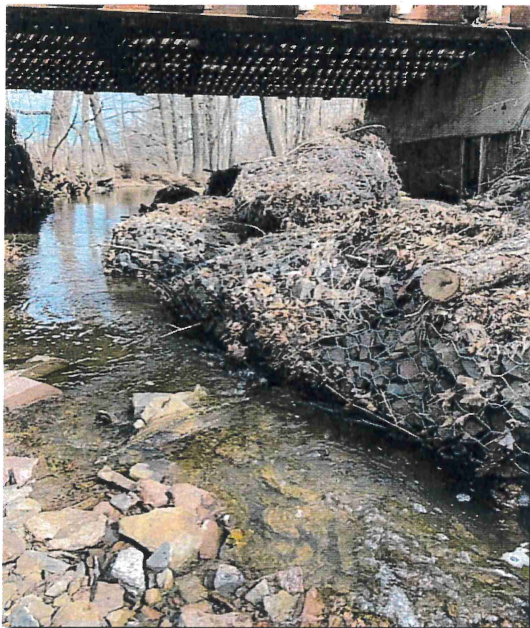
Month: June

Drainage: 441 Hrs.

- Checked all storm sewer systems as needed, especially after multiple heavy rainfall events.
- Repaired/ replaced storm sewer inlet tops: Cornwall Drive, Schoolhouse Rd. @ Upper State Rd.

Keller Rd. Bridge:

- Installed construction entrance, Installed E&S controls, removed gabion baskets, placed scour protection around bridge abutment, and installed streambank stabilization measures. One side of the bridge is completed, the other side to be completed in the near future.



Before: collapsing gabion baskets



After: Rip-Rap scour protection



New Britain Township

Public Works

Township Property Maintenance: 67 hrs.

- Trimmed overgrown vegetation around signs, guard rails, intersections for visibility.
- Roadside mowing all open roads throughout the Township.
- Mowed all catch basins and open spaces.

Equipment Maintenance: 162 Hrs.

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Oil changes and preps for inspections were performed.
- Replaced brakes on PD vehicles 48-05 and 48-09
- Replaced tires on PD vehicle 48-05
- Repaired tracks on Case Dozer
- Replaced brakes on PW 48-22

Road Maintenance: 16 Hrs.

- Hot patched various locations due to potholes.

Street Signs: 92 Hrs.

- Installed/ repaired/ upgraded signs that were knocked down by motorists.
- Trimmed overgrown vegetation around signs, guard rails, intersections for visibility.

Other: 36 Hrs.

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.



New Britain Township Police Department



Monthly Report

June 2025

Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2024

Objective 2: Leadership and Instructor succession planning

Objective 3: Improve upon investigations

Objective 4: Develop Officer Safety and Wellness program

Result of Goals and Objectives:

Objective 1: New Galena and Sellersville Road Intersection Enhancements

Objective 2: Additional FTO being added.

Objective 3: ALPR technology to be deployed in July 2025.

Objective 4: Multiple officers attended VALOR training

Significant Events:

Completed:

- 295 Calls For Service/452 Directed Patrols/42 Vehicle Stops
- Coffee with a Cop - June 20th 8-10 am @ Bagel Barn
-
-
-

Upcoming:

- Entry Level Police Officer
- Promotion of Officer Jones to Sergeant
- July 4th Parade
- Retirement of Sergeant Michie - August 1st
- Doylestown National Night Out - August 5th at Doylestown Central Park 4-8pm



New Britain Township Police Department



Monthly Report

June 2025

Performance Statistics:

Part 1 Crimes	28 Day		
	2025	2024	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	0	0	N/A
Theft	5	4	25.00%
Auto Theft	0	0	N/A
Arson	0	0	N/A
Totals	5	4	25.00%

Part 2 Crimes	28 Day		
	2025	2024	% of Change
Assault (Non-Aggravated) / Harassment	4	2	100.00%
Fraud	0	3	-100.00%
Vandalism / Criminal Mischief	0	1	-100.00%
Disorderly Conduct	0	1	-100.00%
Drug Violations	0	2	-100.00%
Driving Under the Influence	2	2	N/A
Public Drunkenness	0	0	N/A
Weapons Offenses	0	0	N/A
All Other Offenses (Except Traffic Related)	0	1	-100.00%
Totals	6	12	-50.00%

Motor Vehicle Accidents	28 Day		
	2025	2024	% of Change
Non-Reportable	10	12	-16.67%
Reportable	8	14	-42.86%
Fatal	0	0	N/A
Totals	18	26	-30.77%



New Britain Township Police Department



Monthly Report

June 2025

Performance Statistics:

Part 1 Crimes	Year to Date		
	2025	2024	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	1	0	#DIV/0!
Aggravated Assault	0	0	N/A
Burglary	3	1	200.00%
Theft	17	21	-19.05%
Auto Theft	0	0	N/A
Arson	0	0	N/A
Totals	21	22	-4.55%

Part 2 Crimes	Year to Date		
	2025	2024	% of Change
Assault (Non-Aggravated) / Harassment	17	11	54.55%
Fraud	3	14	-78.57%
Vandalism / Criminal Mischief	3	5	-40.00%
Disorderly Conduct	1	2	-50.00%
Drug Violations	2	7	-71.43%
Driving Under the Influence	8	12	-33.33%
Public Drunkenness	2	2	N/A
Weapons Offenses	2	0	#DIV/0!
All Other Offenses (Except Traffic Related)	4	14	-71.43%
Totals	42	67	-37.31%

Motor Vehicle Accidents	Year to Date		
	2025	2024	% of Change
Non-Reportable	52	67	-22.39%
Reportable	45	47	-4.26%
Fatal	0	0	N/A
Totals	97	114	-14.91%

General Services Projects

Project Name	Location	Status
NBT Stormwater MS4	Township Urbanized Area	Final Permit Report and Annual Report due 9/2025; DEP Mtg held 2/19/25 RE: Annual Report; Inspection Report received from DEP 2/28/25. Annual Report review received 3/24/25. County-wide Act 167 Plan being drafted by County with Final Report and Model Ordinance anticipated for 4/2026.
Keller Road Bridge	Keller Road	DEP Insp Report rec'd 10/16/24; PennDOT priority ltr rec'd 11/13/24; Plan of Action issued to PennDOT (streambank and pavement deterioration and guiderail embedment to be addressed by end of May 2025); GP-11 permit rec'd 2/28/25; Pre-Con Mtg held for streambank stabilization 3/10/25; 7/15/25 DEP/BCCD Mtg; No recent action by our office on future bridge/deck repair/replacement;
Neshaminy Greenway Trail - Coleman Property Connection	1606 Upper State Road	PW to complete final grading; Grant documentation submitted to DCNR for reimbursement. Phase 2: No recent action by our office regarding future project scope, planning, and phasing.
Ordinance Amendments		Attended 2/25/25 PC and 3/5/25 EAC to answer questions; Incorporated comments by NBTPC and BCPC; BOS discussed at 4/21/25 Mtg. NBTPC recommended apprvl 5/27/25; Auth for Advertisement at 6/16/25 BOS Mtg; RCO on 7/21/25 BOS Agenda
Road Program		2025 Road Program Teal Dr, Goldeneye, Janton Way, Green Valley, Nicholas, Michaels; Bid Awarded 5/19/25; PennDOT apprvl rec'd 7/7/25; Work anticipated for August;
North Branch and Pine Run Park Upgrades	Forrest Park Drive to Cayuga Circle	Authorized to apply for grant at 2/24/25 BOS Mtg; Staff mtg held 4/1/25; Grant submitted 5/23/25; Anticipate response late fall

Subdivision and Land Development Projects - Planning and Reviews

Project Name	Location	Status
D'Alessio Subdivision	315 Old Limekiln Road	2 new single-family homes; Final Plan Approval 9/26/22; Waiting for Record Plans/Agreements; Legal descriptions approved 2/2025; Solicitor preparing agreements;
Spotless Car Wash	545 W. Butler Avenue	Sketch Plan issued 9/10/24; Attended 9/24/24 PC; Staff mtg 11/7/24; Renderings reviewed at 12/9/24 BOS Mtg; Variances granted at ZHB 1/23/25; Preliminary Plans being revised; PC recommended prel/final 6/24/25; On 7/21/25 BOS Agenda
Casadonti Minor Subdivision	140 Upper Church Road	One new lot, two new single-family dwellings; 3/25/25 PC Mtg recommended approval and waivers; Approved at 5/19/25 BOS Mtg
Kastriot Isai	104 S. Limekiln Pike	3-lot Subd for 3 new single-fam semi-detached(twins); Rec'd variance on 9/25/23 to allow two B3 uses on two lots. SLD submission deemed incomplete 7/11/25.
W.B. Homes	Barry Road	4-lot Subd. Attended 9/24/24 PC; Presented Sketch at 11/18/24 BOS Mtg- 3/25/25 PC Mtg recommended prel/final approval and waivers; Applicant will revise and resubmit plans for review prior to attending BOS Mtg; PennDOT, BCPC & EAC Rvws rec'd;
Ferry Road - Lot Line Change	256 Ferry Road & 393 Old Iron Hill Road	Lot Line Change Rvw (Solana) issued 9/17/2024; Review Ltr issued 2/24/25; 3/25/25 PC Mtg recommended prel/final approval and waivers; Approved at 5/19/25 BOS mtg

Subdivision and Land Development Projects - Planning and Reviews (continued)

Project Name	Location	Status
Muzika Farm	66 Sellersville Road	Sketch Plan/Conservation Easement modification request
Bucks County	226 Chapman Road	Rezone residential property from Watershed to Conservation Recreation Zoning District for a Public Recreation Use; PC recommended approval 6/24/25. Rezone Hearing scheduled 7/21/25
Tractor Supply (Celeg Chalfont LLC)	241 W. Butler Avenue	PC recommended approval of Conditional Use (CU) and Waiver of LD on 6/24/25; CU Hearing held 7/7/25; Anticipate Waiver of LD application
65 Newville Road Minor Subd	65 Newville Road	1 new single-family lot proposed; PC recommended prel/final approval 6/24/25; Plans being revised prior to attending BOS mtg
1600(One) Manor Dr. LLC	1600 Manor Drive	Waiver of LD for a canopy over ADA walkway

Subdivision and Land Development Projects - Under Construction

Project Name	Location	Status
Estates at Julius Farm (PRDC)	Dorothy Lane & Anna Way	Escrow Rel 5 approved 9/4/19. Development paved 11/14/22. Punchlist being addressed. 5/8/24 Staff Mtg; Site Mtg held 5/23/24; Dorothy Lane and Anna Way to be dedicated and maintenance period to commence. Discussed basin inspection with Rick Mast in May 2025
Tecce Minor Subdivision	9 Sellersville Road	Plans recorded 8/3/22; Driveway waiver approved 2/6/23; Revised Plot Plan approvals 9/23/23. Pre-Con 10/4/23. TCO recommendations issued 2/7/25; AsBuilt Plans under review
84 Schoolhouse Road	84 Schoolhouse Road	5-Lot SFD LD with hammerhead cul-de-sac rd. Pre-Con Mtg held 12/20/23; Release 1 apprvd 3/14/24; Bulk site work completed, Approved Lots 1-5 for Zoning permits. Recommended TCO's for all five lots.
Highpoint Land Development	1 Highpoint Drive	CU apprvd for 137 units (twins/towns). Prelim/Final apprvl 4/14/22; Pre-Con 7/6/23; Amended Final Plans approved 11/20/23 and recorded; Rel 2 apprvd 2/24/25; 96 units under construction of 137; 41 TCO's issued;
Clauser Tree Care	324 Schoolhouse Road	Amended Final apprvd 3/4/24; PreCon held 10/23/24; Escrow Rel2 scheduled for 7/21/25 BOS
Prestige/Defelice Minor Subd	137/141 S. Limekiln Pike	One new SFD lot; 2/23/23 ZHB; Approved by BOS on 6/19/23; Pre-Con 3/13/24; Fnl asbuilt plan rvw issued; TCO issued 5/7/25
MarMar Major Subdivision (fka Lohin)	Township Line Road and Walter Road	7-Lot Subd and LD with new private cul-de-sac rd. Approved by BOS 9/27/21; Pre-Con for "7 Walters LLC" (MarMar Builders) held 6/27/24; Road stoned and basins installed; No Plot Plans submitted to date
Benner Subdivision	Dolly Lane	3 new SFD lots. Pre-Construction Mtg 8/6/24; Lots 1 and 2 under construction; Lot 3 Plot Plan is under review
Casadonti Subdivision and Land Development	396 King Road	5 new SFD lots; Residents concerned with uplighting, road widening, and well impacts. BOS apprvd at 9/25/23 mtg (Res 2023-21); Plans apprvd 2/1/24; Pre-Construction Mtg held 9/26/24; Phase 1 under construction including clearing ultimate ROW, new road, and rain gardens. Esc Rel1 apprvd at 1/6/25 BOS mtg; Roadway and basin installed
Mortimer Minor Subdivision	Curley Mill Road	Litigation settled 5/16/22 for 1 new SFD lot; BOS approved Prel/Final Plan 11/21/22; Plans recorded 4/24; Site improvements installed and house constructed
98 Railroad (Senior Construction)	98 Railroad Avenue	3 new SFD's, 1 Existing SFD to remain; Amended final approval 5/21/21; Pre-Construction Mtg held 12/17/24; Plot Plan approval issued for Lot 3 1/21/25;
C.P. Rankin	4359 County Line Road	31,000-SF building addition for 9 warehouse spaces; PC apprvd 10/24/23; BOS approved 11/20/23; Pre-Con 1/2/25;

Subdivision and Land Development Projects - Under Construction (continued)		
Project Name	Location	Status
123 Creek Road Minor Subdivision (Labrozzi)	123 Creek Road	BOS approved 11/20/23; Rev. Resolution approved 3/4/24; Record Plans and Agreements recorded 12/19/24; Pre-Construction mtg held 4/29/25
Toll Brothers Land Development (Birch Run)	County Line Road	44 Townhomes; 5/1/23 Conditional Use Hearing; Adjudication approved 7/17/23; Prel Plan Approval 4/1/24 BOS; Final Plan BOS Approval 6/17/24; Agreements/Record Plans being signed/recorded; Pre-Con Meetings held 3/14 and 3/18/25; Plot Plan approved for first building/model
Subdivision and Land Development Projects - In Maintenance Period		
Project Name	Location	Status
New Britain Woods (Toll Brothers)	Haines Court and Rowland Lane	Recommended dedication 8/15/24; NBT to add to Liquid Fuels; Twp approved deed of dedication at 1/27/25 BOS Mtg
Mill Ridge Land Development	Mill Ridge Drive	8 new SFD's and new cul-de-sac rd. Dedication Resolution apprvd at 1/23/23 BOS Mtg. NBT to add to liquid fuels. G&A and NBTPW issued maintenance punchlist 5/31/24 which is partially completed
Naplin LD (Nappen & Associates)	4371 County Line Road	Plans recorded 8/22. Township previously discussed acquiring ROW along CLR to accommodate future widening at Richardson Road. G&A recommended TCO for Units C/D (Benchmark) 4/29/24; As-Blt Plan approved; Escrow Rel 5 apprvd 12/9/24; Maintenance period to end May/June 2026