



# New Britain Township

## Board of Supervisors

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### *Business Meeting*

Monday, June 16, 2025

7:00 PM – Business Meeting

### Agenda

#### Business Meeting

1. Call to Order
2. Pledge of Allegiance
3. Chair Comments
  - A. The board met in Executive Session on June 4<sup>th</sup> to discuss personnel and litigation matters.
  - B. The board met in Executive Session before this meeting to discuss personnel and litigation matters.
4. Presentation/ Public Hearings/ Land Development
  - A. Appointment and Administration of Oath of Office for Entry Level Police Officer
  - B. Presentation of Officer Citation of Commendations
5. Motion to Consider Consent Agenda
  - A. Approve Minutes of May 19<sup>th</sup>, 2025, Board of Supervisors Meeting.
  - B. Approve Regular Bill List as Follows:
    - Dated May 29, 2025, In the amount of \$31,555.93
    - Dated June 12, 2025, In the amount of \$18,124.76
  - C. Approve Prepaid Bill List as Follows:
    - Dated May 22, 2025, In the amount of \$166,301.07
    - Dated May 29, 2025, In the amount of \$12,794.69
    - Dated June 5, 2025, In the amount of \$10,170.90
    - Dated June 12, 2025, In the amount of \$8,260.70
6. Action Items
  - A. Consider a motion to advertise Ordinance 2025-01 NBT Zoning and SALDO Amendments
  - B. Consider a motion to advertise Ordinance 2025-02 Responsible Contractor Ordinance
7. Information Items
  - A. Departmental Reports
    - Finance
    - Park & Recreation
    - Public Works
    - Police
  - B. Engineer's Report
  - C. Board of Supervisor's Comment



## 8. Public Comment

## 9. Announcements

- A. Park & Recreation Commission Meeting – Tuesday, June 17<sup>th</sup> at 7pm.
- B. Veterans Committee Meeting – Wednesday, June 18<sup>th</sup> at 6pm.
- C. Township Building Closed at Noon – Friday, June 20<sup>th</sup>.
- D. Planning Commission Meeting – Tuesday June 24<sup>th</sup> at 7pm.
- E. Zoning Hearing Board Meeting – Thursday June 26<sup>th</sup> at 7pm.
- F. Cancelled - Environmental Advisory Council Meeting – Wednesday July 2<sup>nd</sup> at 7pm.
- G. Tri-Municipal Annual 4<sup>th</sup> of July Parade – Friday July 4<sup>th</sup> at 9am.
- H. Township Building Closed – Friday July 4<sup>th</sup>.

## 10. Adjournment

*The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, July 7<sup>th</sup>, 2025, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. Agenda and meeting materials are posted to the Township website prior to the meeting date at [www.newbritaintownship.org](http://www.newbritaintownship.org).*

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Chief Clowser  
**DATE:** June 16, 2025  
**SUBJECT:** Appointment and Administration of Oath of Office for Entry Level Police Officer

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In May of 2024 Officer Alex Komatick resigned from the New Britain Township Police Department, therefore creating a vacancy.

The process for identifying a suitable candidate included an oral interview and ranking of proposed candidates. Background investigations were completed on the top three candidates on the list and a follow-up interview was conducted by the Chief of Police to assess the candidates. It is recommended Marc Weilandics be appointed as Entry Level Police Officer.

Marc Weilandics meets all police certification requirements and is eligible to be administered the oath of office for Entry Level Police Officer.

## **STAFF RECOMMENDATION:**

Approve a motion to appoint Marc Weilandics as Entry Level Police Officer and have MDJ Regina Armitage administer the Oath of Office.

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Chief Clowser  
**DATE:** June 16, 2025  
**RE:** Presentation of Officer Citation of Commendations

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Officer Citation of Commendation for Detective Corporal Shawn Maguire for a burglary investigation.

Officer Citation of Commendation for Officer Daniel Gonzalez for his efforts of locating a suicidal subject.

**STAFF RECOMMENDATION:**

Presentation of Officer Citation of Commendation as indicated above.

**BOARD OF SUPERVISORS  
MEETING MINUTES  
May 19, 2025**

The Board of Supervisors Meeting of New Britain Township was held on Monday, May 19, 2025, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones - Chair, MaryBeth McCabe – Vice-Chair, Stephanie Shortall, and Bridget Kunakorn. Also present were Dan Fox- Township Manager, Craig Kennard - Township Engineer, Scott Holbert - Township Solicitor, Kristin Carpenter – Director of Finance, Chief Richard Clowser, and Alexandria Mullin – Assistant to the Township Manager.

1. **Call to Order:** Cynthia Jones called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance:** Cynthia Jones led the Board and public in the Pledge of Allegiance.
3. **Chair Comments** Cynthia Jones stated that the Board met in Executive session, prior to this meeting, to discuss personnel matters and litigation items.
4. **Presentation/ Public Hearings/ Land Development**
  - A. Julie Davis from dunlapSLK presented the 2024 Township audit. Julie went through the report that was provided to the Board of Supervisors. She explained the different sets of financial statements within the audit and how you can derive information for each report.
5. **Motion to Consider Consent Agenda**

MaryBeth McCabe moved, seconded by Stephanie Shortall, to approve the Consent Agenda:

- A. Approve Minutes of April 21<sup>st</sup>, 2025, Board of Supervisors Meeting.
- B. Approve Regular Bill List as Follows:
  - Dated May 1, 2025, In the amount of \$89,172.75.
  - Dated May 15, 2025, In the amount of \$384,531.69.
- C. Approve Prepaid Bill List as Follows:
  - Dated April 23, 2025, In the amount of \$110,408.89.
  - Dated April 24, 2025, In the amount of \$25.00.
  - Dated May 1, 2025, In the amount of \$16,518.81.
  - Dated May 8, 2025, In the amount of \$20,208.84.
  - Dated May 15, 2025, In the amount of \$11,626.87.

There were no public comments.

All voted aye, motion carried 4-0.



## **6. Action Items**

### **A. Consider a motion to award the Road Bid recommendation to Bray Brothers.**

Bridget Kunakorn motioned award the Road Bid. Seconded by MaryBeth McCabe

No public comment.

All voted aye, motion carried 4-0.

### **B. Consider a motion for the appointment of a U&O inspector**

Bridget Kunakorn motioned to appoint Keystone as the U&O Inspector. Seconded by MaryBeth McCabe.

Kathleen Davis, chair of the EAC, inquired about the job duties of the Township's current U&O Inspector. Dan Fox explained the roles and duties of that position and how Keystone would fill that role.

All voted aye, motion carried 4-0.

### **C. Consider a motion to approve Resolution 2025-05 for 140 Upper Church Road – Preliminary/Final Minor Residential Subdivision**

Stephanie Shortall motioned to authorize Resolution 2025-05. Seconded by MaryBeth McCabe

No public comment.

All voted aye, Motion carried 4-0

### **D. Consider a motion to approve Resolution 2025-06 for 256 Ferry Road – Preliminary /Final Lot Line Change**

Bridget Kunakorn motioned to approve Resolution 2025-06. Seconded by MaryBeth McCabe.

No public comment.

All voted aye, motion carried 4-0.

## 7. Information Items

### A. Departmental Reports

- Dan discussed that the finance documents include the monthly report and the cash receipts list. He also explained the Township's financial status regarding revenue and expenditures compared to this time, last year. He added that Kristin submitted the required report for the close out of the ARPA monies.
- Dan Fox went over the Park & Recreation report and discussed what that department has been doing. The roof of the pavilion at Highlands Park is completed.
- Dan Fox explained the Public Works report. The department has been busy with the amount of rain that there has been and checking inlets as a result.
- Chief Clowser mentioned that after Memorial Day, the Police Department will have access to the Co-Responder, Scott Marshall. The drug takeback event resulted in 276 lbs of drugs.

### B. Engineer's Report.

- Craig Kennard gave an update on the May report and stated that the Planning Commission meeting is next week and there is a busy agenda. June 2<sup>nd</sup> will be a Conditional Use hearing with the Board of Supervisors.

MaryBeth McCabe asked about the status of Keller Road Bridge.

Dan Fox explained how we have been approved for all permits, however the Township has been delayed due to recent weather conditions.

### C. Board of Supervisor's Comment

- MaryBeth McCabe had a very good experience at PSATS. She discussed Open Space and how she would like to make more efforts to preserve and conserve property. MaryBeth would like to adjust the current EAC statute to include the Open Space provisions.

The Board was in agreement for the Solicitor to draft an EAC/Open Space Ordinance for review.

- Bridget Kunakorn talked about Veterans Bingo and how successful it was. She discussed the upcoming Memorial Day holiday and expressed gratitude and appreciation for those who served. She mentioned that in 2026, it will be the 250<sup>th</sup> anniversary of the U.S. She feels it would be a good idea to celebrate that in some way, potentially renaming the Coleman Property as a tribute.
- Cynthia Jones wished the Township a happy Memorial Day and to attend the parade in Doylestown.

## 8. Public Comment

- Kathleen Davis, chair of the EAC, discussed the recent progress and feedback of the demonstration pollinator garden at North Branch Park. She also mentioned that they had a very successful rain barrel event.

## 9. Announcements

Cancelled - Park & Recreation Commission Meeting – Tuesday, May 20<sup>th</sup> at 7pm.

Cancelled - Veterans Committee Meeting – Wednesday, May 21<sup>st</sup> at 6pm.

Township Building Closing Early at 1pm –Friday, May 23<sup>rd</sup>.

Township Building Closed – Memorial Day – Monday, May 26<sup>th</sup>.

Planning Commission Meeting – Tuesday, May 27<sup>th</sup> at 7pm.

Community E-Recycle & Shredding Event – Township Parking Lot – Saturday, May 31<sup>st</sup> at 9am.

The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, June 2<sup>nd</sup>, 2025, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. The meeting on June 2<sup>nd</sup>, 2025, will be a Conditional Use Hearing and will address any other Township business.

## 10. Adjournment

Stephanie Shortall moved, seconded by Bridget Kunakorn, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:50 pm.

## NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

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Cynthia M. Jones, Chair

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MaryBeth McCabe, Vice-Chair

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William B. Jones, III, Member

Attest: \_\_\_\_\_  
Dan Fox, Township Manager

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Stephanie Shortall, Member

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Bridget Kunakorn, Member

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Regular

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Approve regular bills list dated May 29, 2025, in the amount of \$31,555.93.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_





Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099	
		Item Description	Amount	Charge Account	Acct Type	Description		Enc Date	Date	Date	Invoice	Exc1
BKSCT050 BKS CTY PLANNING COMMISSION												
	25000667	05/14/25 OPEN SPACE PLAN UPDATE										
	1	OPEN SPACE PLAN UPDATE	1,655.00	04-414-150		E CONSULTANT/LAND PRESERVATION	R	05/14/25	05/14/25		CC26-04-25	N
	Vendor Total:		1,655.00									
BRITT005 BRITTON INDUSTRIES												
	25000687	05/21/25 DEBRIS REMOVAL										
	1	DEBRIS REMOVAL	50.00	01-436-400		E DIRT & DEBRIS REMOVAL	R	05/21/25	05/21/25		1277472-IN	N
	2	DEBRIS REMOVAL	50.00	01-436-400		E DIRT & DEBRIS REMOVAL	R	05/21/25	05/21/25		1277036-IN	N
			100.00									
	Vendor Total:		100.00									
CRSUP005 C.R. SUPPLIES												
	25000666	05/15/25 VETERANS BINGO SUPPLIES										
	1	VETERANS BINGO SUPPLIES	105.00	07-454-318		E VETERAN'S MEMORIAL	R	05/15/25	05/15/25		24449	N
	Vendor Total:		105.00									
CHAPM005 CHAPMAN FORD OF HORSHAM												
	25000686	04/28/25 PARTS 48-06										
	1	PARTS 48-06	1,456.73	01-410-370		E VEHICLE MAINT/REPAIRS-OUTSIDE	R	04/28/25	04/28/25		955622	N
	Vendor Total:		1,456.73									
DUNLA010 dunlapSLK												
	25000672	05/19/25 2024 AUDIT										
	1	2024 AUDIT	500.00	01-402-310		E APPOINTED AUDITOR	R	05/19/25	05/19/25		120853	N
	Vendor Total:		500.00									
ECKER010 ECKERT SEAMANS CHERIN&MELLOTT												
	25000668	05/07/25 GENERAL LABOR										
	1	GENERAL LABOR	325.00	01-410-310		E LEGAL EXPENSE	R	05/07/25	05/07/25		1868211	N
	Vendor Total:		325.00									

May 29, 2025  
09:46 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 3

Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Exc1
Item Description	Amount	Charge Account	Acct Type Description					
FLAGE005 FLAGER & ASSOCIATES, P.C.								
25000673 05/22/25 LEGAL EXPENSES								
1 LEGAL EXPENSES	2,115.00	01-414-310	E LEGAL, PLNG & ZONING	R	05/22/25	05/22/25	6892	N
2 LEGAL EXPENSES	2,700.00	01-404-310	E SOLICITOR/GENERAL SERVICES	R	05/22/25	05/22/25	6892	N
3 LEGAL EXPENSES	212.50	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6894	N
Tracking Id: 2025-14-Z 22 King Rd R Scorzetti Rotelle Dev								
4 LEGAL EXPENSES	637.50	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6895	N
Tracking Id: 2025-6-Z 241 W BUTLER CELEK CHALFONT								
5 LEGAL EXPENSES	850.00	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6896	N
Tracking Id: 2024-33-Z 256 Ferry Road - Solana FKA 2024-13595								
6 LEGAL EXPENSES	2,932.50	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6897	N
Tracking Id: 20-0600-00 315 OLD LIMEKILN SHARON&VINICIO DALESSIO AUDAX								
7 LEGAL EXPENSES	170.00	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6898	N
Tracking Id: 2024-13573 753 NEW GALENA RD 2 PARCELS - PLUMSTEAD CHRISTIAN								
8 LEGAL EXPENSES	127.50	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6899	N
Tracking Id: 2024-13470 CNTY LNE-TOLL BROS-BIRCH RN FKA TOLL AT 22.1400.00								
9 LEGAL EXPENSES	637.50	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6906	N
Tracking Id: 20-1600-00 DOLLY LANE - PRIME DEVL/PRIME BLD/RS BENNER SUBDIV								
10 LEGAL EXPENSES	765.00	90-414-451	E LEGAL BILLED	R	05/22/25	05/22/25	6914	N
Tracking Id: 2024-31-Z 545 W BUTLER - FLAGSHIP OPCO - SPOTLESS BRANDS								
11 LEGAL EXPENSES	637.50	01-414-310	E LEGAL, PLNG & ZONING	R	05/22/25	05/22/25	6907	N
12 LEGAL EXPENSES	850.00	01-414-310	E LEGAL, PLNG & ZONING	R	05/22/25	05/22/25	6893	N
	12,635.00							

Vendor Total: 12,635.00

MCDON010 MCDONALD UNIFORM COMPANY

25000663 05/14/25 UNIFORM								
1 UNIFORM	221.58	01-410-241	E UNIFORMS/VESTS	R	05/14/25	05/14/25	244513	N
25000664 05/15/25 UNIFORM								
1 UNIFORM	156.63	01-410-241	E UNIFORMS/VESTS	R	05/15/25	05/15/25	245300	N
2 UNIFORM	53.39	01-410-241	E UNIFORMS/VESTS	R	05/15/25	05/15/25	245518	N
	210.02							

Vendor Total: 431.60



Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099	
Item Description			Amount	Charge Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Exc'l
<b>MONIC005 MONICA EVANS</b>												
25000653	05/16/25	RETURN OF ESCROW										
1 RETURN OF ESCROW			968.24	90-414-600		E REFUND OF ESCROW	R	05/16/25	05/16/25		051625	N
Tracking Id: 2023-13192 565 NEW GALENA - MONICA&MICHAEL EVANS												
Vendor Total:			968.24									
<b>ROSES005 ROSE SCHWALM</b>												
25000655	05/19/25	051525 ZONING HEARING										
1 051525 ZONING HEARING			260.00	01-414-141		E ZONING HEARING BOARD	R	05/19/25	05/19/25		033	N
Vendor Total:			260.00									
<b>STAND020 STANDARD DIGITAL IMAGING</b>												
25000650	05/13/25	WASTE TONER CARTRIDGE - POLICE										
1 WASTE TONER CARTRIDGE - POLICE			64.66	01-410-226		E COPIER EXPENSES	R	05/13/25	05/13/25		98748	N
25000671	05/19/25	TONER CARTRIDGE - POLICE										
1 TONER CARTRIDGE - POLICE			21.91	01-410-226		E COPIER EXPENSES	R	05/19/25	05/19/25		98841	N
Vendor Total:			86.57									
<b>STEPH045 STEPHENSON EQUIPMENT, INC.</b>												
25000651	05/08/25	ROAD BANK MOWER REPAIRS										
1 ROAD BANK MOWER REPAIRS			1,898.91	01-437-300		E VEHICLE REPAIRS	R	05/08/25	05/08/25		P0044908	N
25000656	05/15/25	ROAD BANK MOWER REPAIRS										
1 ROAD BANK MOWER REPAIRS			163.17	01-437-300		E VEHICLE REPAIRS	R	05/15/25	05/15/25		P0054008	N
Vendor Total:			2,062.08									
<b>THOMA100 THOMAS WEIDNER</b>												
25000665	05/20/25	2025 TRI-MUNICIPAL PARADE										
1 2025 TRI-MUNICIPAL PARADE			1,350.00	07-454-300		E ACTIVITIES/PROGRAMS	R	05/20/25	05/20/25		052025	N
Vendor Total:			1,350.00									



Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Acct Type	Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
UNITE010	UNITED INSPECTION AGENCY INC.													
25000674	05/14/25	OUTSIDE INSPECTIONS												
1	OUTSIDE INSPECTIONS	1,050.00	01-413-122		E	OUTSIDE INSPECTIONS		R	05/14/25	05/14/25		163932		N
25000685	05/21/25	OUTSIDE INSPECTIONS												
1	OUTSIDE INSPECTIONS	450.00	01-413-122		E	OUTSIDE INSPECTIONS		R	05/21/25	05/21/25		164109		N
Vendor Total:		1,500.00												
ZEPPS010	ZEP SALES AND SERVICE													
25000675	05/23/25	PW SHOW SUPPLIES												
1	PW SHOW SUPPLIES	120.40	01-438-460		E	GENERAL EXPENSE		R	05/23/25	05/23/25		9011241409		N
Vendor Total:		120.40												
Total Purchase Orders: 24    Total P.O. Line Items: 37    Total List Amount: 31,555.93    Total Void Amount: 0.00														

Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	13,853.02	0.00	13,853.02	0.00	0.00	13,853.02
LAND PRESERVATION FUND:	5-04	1,655.00	0.00	1,655.00	0.00	0.00	1,655.00
PARKS & RECREATION FUND:	5-07	1,455.00	0.00	1,455.00	0.00	0.00	1,455.00
ESCROW:	5-90	14,592.91	0.00	14,592.91	0.00	0.00	14,592.91
Total of All Funds:		<u>31,555.93</u>	<u>0.00</u>	<u>31,555.93</u>	<u>0.00</u>	<u>0.00</u>	<u>31,555.93</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	13,853.02	0.00	13,853.02	0.00	0.00	13,853.02
LAND PRESERVATION FUND:	04	1,655.00	0.00	1,655.00	0.00	0.00	1,655.00
PARKS & RECREATION FUND:	07	1,455.00	0.00	1,455.00	0.00	0.00	1,455.00
ESCROW:	90	14,592.91	0.00	14,592.91	0.00	0.00	14,592.91
Total of All Funds:		<u>31,555.93</u>	<u>0.00</u>	<u>31,555.93</u>	<u>0.00</u>	<u>0.00</u>	<u>31,555.93</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	13,853.02	0.00	0.00	0.00	13,853.02
LAND PRESERVATION FUND:	5-04	1,655.00	0.00	0.00	0.00	1,655.00
PARKS & RECREATION FUND:	5-07	1,455.00	0.00	0.00	0.00	1,455.00
ESCROW:	5-90	14,592.91	0.00	0.00	0.00	14,592.91
Total of All Funds:		<u>31,555.93</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>31,555.93</u>





# MEMO

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**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Regular

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Approve regular bills list dated June 12, 2025 in the amount of \$18,124.76.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

Open: N    Paid: N    Void: N  
Rcvd: Y    Held: Y    Aprv: N  
Bid: Y    State: Y    Other: Y    Exempt: Y  
Prior Year Only: N                      \* Means Prior Year Line

Vendor #	Name											
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099	
Item Description			Charge Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl	
<b>ADVAN035 ADVANCE AUTO PARTS</b>												
25000736	05/29/25	VEHICLE CODE TOOL SUBSCRIPTION										
1 VEHICLE CODE TOOL SUBSCRIPTION			218.00	01-437-300	E VEHICLE REPAIRS	R	05/29/25	05/29/25		6682514961742	N	
		Vendor Total:	218.00									
<b>BRSCH010 B.R. SCHOLL SALES &amp; SERVICE IN</b>												
25000731	05/29/25	VEHICLE REPAIR - SWEEPER										
1 VEHICLE REPAIR - SWEEPER			96.00	01-437-300	E VEHICLE REPAIRS	R	05/29/25	05/29/25		118364	N	
		Vendor Total:	96.00									
<b>BARRY010 BARRY ISETT &amp; ASSOCIATES INC</b>												
25000774	05/31/25	EMERGENCY MGMT SERVICES										
1 EMERGENCY MGMT SERVICES			500.00	01-415-100	E EMERGENCY MANAGEMENT ADMIN EXP	R	05/31/25	05/31/25		0201026	N	
		Vendor Total:	500.00									
<b>CHALF030 CHALFONT BOROUGH</b>												
25000704	06/03/25	E-RECYCLE REFUND 2025										
1 E-RECYCLE REFUND 2025			175.96	07-454-300	E ACTIVITIES/PROGRAMS	R	06/03/25	06/03/25		060325	N	
		Vendor Total:	175.96									
<b>CONSE005 CONSERVATION RESOURCES LLC</b>												
25000743	06/06/25	WOVEN GEO FABRIC - KELLER RD										
1 WOVEN GEO FABRIC - KELLER RD			385.50	18-436-367	E NPDES COMPLIANCE	R	06/06/25	06/06/25		44350	N	
		Vendor Total:	385.50									

June 12, 2025  
10:10 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 2

Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
Item Description	Amount Charge Account	Acct Type Description					
DANIE020 D.L. BEARDSLEY LTD							
25000701 05/30/25 EQUIP REPAIR							
1 EQUIP REPAIR	242.65 01-437-300	E VEHICLE REPAIRS	R	05/30/25	05/30/25	E#1506	N
Vendor Total:	242.65						
EFORC005 eFORCE COMPLIANCE							
25000705 05/31/25 E-WASTE EVENT 2025							
1 E-WASTE EVENT 2025	3,500.00 01-400-210	E MATERIALS/SUPPLIES	R	05/31/25	05/31/25	25072	N
Vendor Total:	3,500.00						
ESTAB005 ESTABLISHED TRAFFIC CONTROL							
25000699 05/30/25 STREET SIGNS							
1 STREET SIGNS	150.00 01-433-200	E STREET SIGNS	R	05/30/25	05/30/25	24377	N
Vendor Total:	150.00						
GALLS010 GALLS, LLC							
25000729 05/09/25 UNIFORM							
1 UNIFORM	374.59 01-410-241	E UNIFORMS/VESTS	R	06/05/25	06/05/25		N
25000744 05/27/25 UNIFORM							
1 UNIFORM	96.19 01-410-241	E UNIFORMS/VESTS	R	05/27/25	05/27/25	031442715	N
Vendor Total:	470.78						
GANNE005 GANNETT PA LOCALIQ							
25000763 05/31/25 ADVERTISING							
1 ADVERTISING	760.52 01-400-340	E ADVERTISING/PRINTING	R	05/31/25	05/31/25	0007110767	N
Vendor Total:	760.52						
HABER010 H.A. BERKHEIMER INC.							
25000745 05/30/25 COMMISSION FEE MAY 2025							
1 COMMISSION FEE MAY 2025	13.98 04-403-370	E EIT TAX COLLECTOR EXPENSE	R	05/30/25	05/30/25	OST 053025	N

June 12, 2025  
10:10 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 3

Vendor #	Name										
PO #	PO Date	Description	Contract	PO Type		First	Rcvd	Chk/Void		1099	
Item	Description	Amount	Charge Account	Acct Type	Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl
HABER010 H.A. BERKHEIMER INC. Continued											
25000746	05/30/25	COMMISSION FEE MAY 2025									
1	COMMISSION FEE MAY 2025	61.13	01-403-370	E	EIT/EMST COLLECTOR	R	05/30/25	05/30/25		EIT 053025	N
Vendor Total:		75.11									
HOMED010 HOME DEPOT CREDIT SERVICES											
25000732	05/28/25	SUPPLIES									
1	SUPPLIES	63.94	01-400-210	E	MATERIALS/SUPPLIES	R	05/28/25	05/28/25		69030216	N
2	SUPPLIES	7.94	01-400-210	E	MATERIALS/SUPPLIES	R	05/28/25	05/28/25		2011388	N
3	SUPPLIES	164.27	07-454-319	E	GENERAL EXPENSES/SUPPLIES	R	05/28/25	05/28/25		2901763	N
4	SUPPLIES	97.93	07-454-319	E	GENERAL EXPENSES/SUPPLIES	R	05/28/25	05/28/25		8012090	N
5	SUPPLIES	52.96	07-454-319	E	GENERAL EXPENSES/SUPPLIES	R	05/28/25	05/28/25		8013735	N
		387.04									
Vendor Total:		387.04									
KENCO010 KENCO HYDRAULICS INC.											
25000735	06/04/25	BACKHOE REPAIR									
1	BACKHOE REPAIR	156.24	01-437-300	E	VEHICLE REPAIRS	R	06/04/25	06/04/25		7345422	N
Vendor Total:		156.24									
KEVIN010 KEVIN P MONAHAN											
25000738	06/09/25	TAX REFUND/26-005-056-101									
1	TAX REFUND/26-005-056-101	45.83	01-301-200	R	REAL ESTATE-PRIOR YEAR	R	06/09/25	06/09/25		060925	N
Vendor Total:		45.83									
LUKOI005 LUKOIL NORTH AMERICA LLC											
25000740	06/09/25	TAX REFUND/26-005-049									
1	TAX REFUND/26-005-049	607.13	01-301-100	R	REAL ESTATE CURRENT YEAR	R	06/09/25	06/09/25		060925	N
Vendor Total:		607.13									
MCDON010 MCDONALD UNIFORM COMPANY											
25000730	05/29/25	UNIFORM									
1	UNIFORM	44.49	01-410-241	E	UNIFORMS/VESTS	R	05/29/25	05/29/25		245909	N



NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Vendor #	Name											
PO #	PO Date	Description	Contract Amount	Charge Account	PO Type Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl	
MCDON010	MCDONALD UNIFORM COMPANY	Continued										
25000764	06/06/25	UNIFORM										
1	UNIFORM	1,203.12	01-410-241	E UNIFORMS/VESTS	R	06/06/25	06/06/25			246079	N	
	Vendor Total:	1,247.61										
NAPAA005	NAPA AUTO PARTS - LANSDALE											
25000775	05/31/25	PARTS/REPAIRS										
1	PARTS/REPAIRS	42.85	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			577962	N	
2	PARTS/REPAIRS	18.00-	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			577979	N	
3	PARTS/REPAIRS	39.84	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			578125	N	
4	PARTS/REPAIRS	47.90	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			578132	N	
5	PARTS/REPAIRS	13.36	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			578203	N	
6	PARTS/REPAIRS	15.98	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			578560	N	
7	PARTS/REPAIRS	55.84	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			578738	N	
8	PARTS/REPAIRS	128.58	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			580409	N	
9	PARTS/REPAIRS	90.40	01-410-370	E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25			580554	N	
10	PARTS/REPAIRS	27.69	01-410-370	E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25			580757	N	
11	PARTS/REPAIRS	148.64	01-410-370	E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25			580766	N	
12	PARTS/REPAIRS	21.54	01-437-300	E VEHICLE REPAIRS	R	05/31/25	05/31/25			580767	N	
		<u>614.62</u>										
	Vendor Total:	614.62										
NIREL005	NIREL B SOLANKI											
25000739	06/09/25	TAX REFUND/26-005-056-116										
1	TAX REFUND/26-005-056-116	46.53	01-301-200	R REAL ESTATE-PRIOR YEAR	R	06/09/25	06/09/25			060925	N	
	Vendor Total:	46.53										
OMEGA005	OMEGA SECURITY SYSTEMS INC											
25000720	06/03/25	INTEGRA32 SOFTWARE INSTALL										
1	INTEGRA32 SOFTWARE INSTALL	382.00	01-400-741	E COMPUTER HARDWARE/SOFTWARE/LICENSES	R	06/03/25	06/03/25			78862	N	
	Vendor Total:	382.00										

Vendor #	Name										
PO #	PO Date	Description	Contract	PO Type			First	Rcvd	Chk/Void		1099
Item Description			Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl
<b>RICHT010 RICHTER DRAFTING &amp; OFFICE SUPP</b>											
25000742	06/05/25	OFFICE SUPPLIES									
1		OFFICE SUPPLIES	199.85	01-410-210	E COMPUTERS SUPPLIES	R	06/05/25	06/05/25		OE-4304-1	N
Vendor Total:			199.85								
<b>ROSES005 ROSE SCHWALM</b>											
25000702	06/03/25	APPEARANCE FEE 6/2 BOS MTG CX									
1		APPEARANCE FEE 6/2 BOS MTG CX	100.00	01-414-141	E ZONING HEARING BOARD	R	06/03/25	06/03/25		060325	N
Vendor Total:			100.00								
<b>RUSSE005 RUSSELL P. SACCO, LLC</b>											
25000723	06/03/25	ZONING LEGAL SERVICES									
1		ZONING LEGAL SERVICES	992.00	01-414-310	E LEGAL, PLNG & ZONING	R	06/03/25	06/03/25		6354	N
Vendor Total:			992.00								
<b>SERVIO10 SERVICE TIRE TRUCK CENTERS</b>											
25000698	05/27/25	TIRES PD NISSAN									
1		TIRES PD NISSAN	133.34	01-410-370	E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/27/25	05/27/25		25-08727705-011	N
Vendor Total:			133.34								
<b>STAND020 STANDARD DIGITAL IMAGING</b>											
25000727	06/02/25	WASTE TONER CARTRIDGE - POLICE									
1		WASTE TONER CARTRIDGE - POLICE	71.27	01-410-226	E COPIER EXPENSES	R	06/02/25	06/02/25		99049	N
25000728	06/02/25	COPIER CHARGE - POLICE									
1		COPIER CHARGE - POLICE	1,054.39	01-410-226	E COPIER EXPENSES	R	06/02/25	06/02/25		99080	N
Vendor Total:			1,125.66								
<b>THOMA090 THOMAS J. WALSH III, ESQ.</b>											
25000703	06/01/25	ZONING LEGAL SERVICES									
1		ZONING LEGAL SERVICES	1,808.00	01-414-310	E LEGAL, PLNG & ZONING	R	06/01/25	06/01/25		617	N
Vendor Total:			1,808.00								

Vendor #	Name	PO #	PO Date	Description	Amount	Contract	PO Type	Charge Account	Acct Type	Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
TIFCO005 TIFCO INDUSTRIES																
25000773	06/02/25	DISPOSABLE EAR PLUGS														
1	DISPOSABLE EAR PLUGS	441.78	01-438-460		E GENERAL EXPENSE	R	06/02/25	06/02/25						72096091		N
Vendor Total:		441.78														
UDAYK005 UDAYKUMARV PATEL																
25000737	06/09/25	TAX REFUND/26-005-056-012														
1	TAX REFUND/26-005-056-012	51.30	01-301-200		R REAL ESTATE-PRIOR YEAR	R	06/09/25	06/09/25						060925		N
Vendor Total:		51.30														
UNITE010 UNITED INSPECTION AGENCY INC.																
25000721	05/28/25	OUTSIDE INSPECTIONS														
1	OUTSIDE INSPECTIONS	615.00	01-413-122		E OUTSIDE INSPECTIONS	R	05/28/25	05/28/25						164288		N
25000722	08/14/24	OUTSIDE INSPECTIONS														
1	OUTSIDE INSPECTIONS	1,050.00	01-413-122		E OUTSIDE INSPECTIONS	R	08/14/24	06/04/25						156772		N
25000772	06/04/25	OUTSIDE INSPECTIONS														
1	OUTSIDE INSPECTIONS	965.00	01-413-122		E OUTSIDE INSPECTIONS	R	06/04/25	06/04/25						164488		N
Vendor Total:		2,630.00														
WEHRU010 WEHRUNG'S																
25000726	05/31/25	MATERIALS														
1	MATERIALS	156.96	01-438-460		E GENERAL EXPENSE	R	05/31/25	05/31/25						27563		N
2	MATERIALS	404.31	01-438-460		E GENERAL EXPENSE	R	05/31/25	05/31/25						239236		N
3	MATERIALS	20.04	01-438-460		E GENERAL EXPENSE	R	05/31/25	05/31/25						27652		N
		581.31														
Vendor Total:		581.31														
Total Purchase Orders: 35 Total P.O. Line Items: 52 Total List Amount: 18,124.76 Total Void Amount: 0.00																

Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	1,050.00	0.00	1,050.00	0.00	0.00	1,050.00
GENERAL FUND:	5-01	15,433.37	0.00	15,433.37	750.79	0.00	16,184.16
LAND PRESERVATION FUND:	5-04	13.98	0.00	13.98	0.00	0.00	13.98
PARKS & RECREATION FUND:	5-07	491.12	0.00	491.12	0.00	0.00	491.12
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	385.50	0.00	385.50	0.00	0.00	385.50
Year Total:		16,323.97	0.00	16,323.97	750.79	0.00	17,074.76
Total of All Funds:		17,373.97	0.00	17,373.97	750.79	0.00	18,124.76

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	16,483.37	0.00	16,483.37	750.79	0.00	17,234.16
LAND PRESERVATION FUND:	04	13.98	0.00	13.98	0.00	0.00	13.98
PARKS & RECREATION FUND:	07	491.12	0.00	491.12	0.00	0.00	491.12
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	385.50	0.00	385.50	0.00	0.00	385.50
Total of All Funds:		<u>17,373.97</u>	<u>0.00</u>	<u>17,373.97</u>	<u>750.79</u>	<u>0.00</u>	<u>18,124.76</u>



NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	1,050.00	0.00	0.00	0.00	1,050.00
GENERAL FUND:	5-01	15,433.37	0.00	0.00	0.00	15,433.37
LAND PRESERVATION FUND:	5-04	13.98	0.00	0.00	0.00	13.98
PARKS & RECREATION FUND:	5-07	491.12	0.00	0.00	0.00	491.12
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	385.50	0.00	0.00	0.00	385.50
Year Total:		16,323.97	0.00	0.00	0.00	16,323.97
Total of All Funds:		17,373.97	0.00	0.00	0.00	17,373.97

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

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Approve prepaid bills list dated May 22, 2025, in the amount of \$160,301.07.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

May 22, 2025  
08:53 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 1

P.O. Type: All

Open: N Paid: N Void: N

Range: First

to Last

Rcvd: Y Held: Y Aprv: N

Format: Detail without Line Item Notes

Bid: Y State: Y Other: Y Exempt: Y

Vendors: All

Include Non-Budgeted: Y

Prior Year Only: N

\* Means Prior Year Line

Rcvd Batch Id Range: KG0519PD to KG0519PD

Vendor # Name

PO #	PO Date	Description	Contract	PO Type	First	Rcvd	Chk/Void	1099
Item Description	Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date Invoice	Exc1

DELA020 DEL VALL PROP & LIABILITY TRST

25000644 04/01/25 PROPERTY & LIABILITY TRST

1 PROPERTY & LIABILITY TRST	13,246.84	01-400-352	E LIABILITY/PROPERTY INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
2 PROPERTY & LIABILITY TRST	14,412.22	01-410-352	E LAW ENFORCEMENT LIABILITY	R	04/01/25	04/01/25	PREM25-NBRITT2	N
3 PROPERTY & LIABILITY TRST	189.33	01-413-352	E LIABILITY INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
4 PROPERTY & LIABILITY TRST	113.05	01-414-352	E LIABILITY INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
5 PROPERTY & LIABILITY TRST	1,098.52	01-430-352	E LIABILITY INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
6 PROPERTY & LIABILITY TRST	242.45	07-454-352	E LIABILITY INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
7 PROPERTY & LIABILITY TRST	223.26	01-413-351	E AUTO INSURANCE/ADMIN-INSPEC VEH.	R	04/01/25	04/01/25	PREM25-NBRITT2	N
8 PROPERTY & LIABILITY TRST	3,715.85	01-410-351	E VEHICLE INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
9 PROPERTY & LIABILITY TRST	5,210.98	01-430-351	E VEHICLE INSURANCE	R	04/01/25	04/01/25	PREM25-NBRITT2	N
	38,452.50							

Vendor Total: 38,452.50

DELA040 DELAWARE VALLEY WORKERS' COMP

25000645 04/01/25 WORKERS COMP INSURANCE

1 WORKERS COMP INSURANCE	86.24	01-400-354	E WORKER'S COMPENSATION/ADMIN	R	04/01/25	04/01/25	WCPREM25-NBRIT2	N
2 WORKERS COMP INSURANCE	14,337.24	01-410-354	E WORKERS COMPENSATION	R	04/01/25	04/01/25	WCPREM25-NBRIT2	N
3 WORKERS COMP INSURANCE	107.80	01-411-100	E EMS WORKERS COMP	R	04/01/25	04/01/25	WCPREM25-NBRIT2	N
4 WORKERS COMP INSURANCE	172.47	01-413-354	E WORKERS COMPENSATION	R	04/01/25	04/01/25	WCPREM25-NBRIT2	N
5 WORKERS COMP INSURANCE	6,856.00	01-430-354	E WORKERS COMPENSATION	R	04/01/25	04/01/25	WCPREM25-NBRIT2	N
	21,559.75							

Vendor Total: 21,559.75

DVHT010 DVHT

25000641 05/01/25 HEALTH INSURANCE

1 HEALTH INSURANCE	4,617.29	01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	05/01/25	05/01/25	29097	N
2 HEALTH INSURANCE	6,528.43	01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	05/01/25	05/01/25	29097	N
3 HEALTH INSURANCE	3,709.95	01-402-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	05/01/25	05/01/25	29097	N
4 HEALTH INSURANCE	45,121.49	01-410-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/01/25	05/01/25	29097	N

May 22, 2025  
08:53 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 2

Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
Item Description	Amount Charge Account	Acct Type Description					
DVHIT010 DVHT Continued							
25000641 05/01/25 HEALTH INSURANCE		Continued					
5 HEALTH INSURANCE	8,795.06 01-413-151	E MEDICAL/DENTAL/RX/LIFE/INSURANCE	R	05/01/25	05/01/25	29097	N
6 HEALTH INSURANCE	1,175.33 01-414-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/01/25	05/01/25	29097	N
7 HEALTH INSURANCE	8,143.28 01-430-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/01/25	05/01/25	29097	N
8 HEALTH INSURANCE	7,293.84 07-454-151	E MEDICAL/DENTAL INSURANCE	R	05/01/25	05/01/25	29097	N
	85,384.67						
Vendor Total:	85,384.67						
MARIA015 MARIA CLANCY							
25000658 05/20/25 2025 MEDICAL REIMBURSEMENT							
1 2025 MEDICAL REIMBURSEMENT	50.00 01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	05/20/25	05/20/25	052025	N
Vendor Total:	50.00						
MARKS010 MARK S. DUNCAN JR.							
25000647 05/17/25 2025 MEDICAL REIMBURSEMENT							
1 2025 MEDICAL REIMBURSEMENT	132.00 01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	05/17/25	05/17/25	051725	N
Vendor Total:	132.00						
MARYB005 MaryBeth McCabe							
25000654 05/04/25 2025 PSATS MEAL REIMBURSEMENT							
1 2025 PSATS MEAL REIMBURSEMENT	72.56 01-400-300	E GENERAL ADMIN EXPENSE	R	05/04/25	05/04/25	050425	N
Vendor Total:	72.56						
MCCAL005 MCCALLION TEMPS, INC							
25000643 05/16/25 STAFFING SERVICES							
1 STAFFING SERVICES	605.88 01-402-131	E SALARY/ADMIN ASST T.P.	R	05/16/25	05/16/25	12418	N
Vendor Total:	605.88						



May 22, 2025  
08:53 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 3

Vendor # Name		PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
RANDA010 RANDAL TESCHNER														
25000669		05/21/25	2025 MEDICAL REIMBURSEMENT											
1	2025	MEDICAL REIMBURSEMENT		841.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS			R	05/21/25	05/21/25		052125	N
Vendor Total:				841.00										
REPUB005 REPUBLIC SERVICES #320														
25000670		05/15/25	TRASH SERVICES											
1	TRASH SERVICES		1,205.00	07-454-312	E NORTH BRANCH PARK EXP			R	05/15/25	05/15/25		0320-004544086	N	
2	TRASH SERVICES		4,032.45	01-437-360	E HEAT AND UTILITIES			R	05/15/25	05/15/25		0320-004544086	N	
3	TRASH SERVICES		1,847.05	01-436-400	E DIRT & DEBRIS REMOVAL			R	05/15/25	05/15/25		0320-004544086	N	
4	TRASH SERVICES		218.68	01-437-360	E HEAT AND UTILITIES			R	05/15/25	05/15/25		0320-004544086	N	
5	TRASH SERVICES		200.23	01-409-360	E UTILITIES			R	05/15/25	05/15/25		0320-004544086	N	
6	TRASH SERVICES		200.24	01-410-360	E UTILITIES			R	05/15/25	05/15/25		0320-004544086	N	
7	TRASH SERVICES		218.68	07-454-360	E UTILITIES			R	05/15/25	05/15/25		0320-004544086	N	
			7,922.33											
Vendor Total:				7,922.33										
RICHA095 RICHARD CLOWSER														
25000657		05/19/25	2025 MEDICAL REIMBURSEMENT											
1	2025	MEDICAL REIMBURSEMENT		2,500.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS			R	05/19/25	05/19/25		051925	N
Vendor Total:				2,500.00										
SANDRA SANDRA EZZO														
25000646		05/19/25	2025 MEDICAL REIMBURSEMENT											
1	2025	MEDICAL REIMBURSEMENT		380.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS			R	05/19/25	05/19/25		051925	N
Vendor Total:				380.00										
TRAIS005 TRAISR, LLC														
25000642		04/14/25	DATA REQUESTS/COLLECTION											
1	DATA REQUESTS/COLLECTION		1,100.00	01-414-319	E COMPUTER SOFTWARE AND SERVICES			R	04/14/25	04/14/25		3427	N	



Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
Item	Description	Amount	Charge	Account	Acct Type	Description						
TRAIS005	TRAISR, LLC	Continued										
25000660	04/30/25 DATA REQUESTS/COLLECTION											
1	DATA REQUESTS/COLLECTION	1,100.00	01-414-319		E	COMPUTER SOFTWARE AND SERVICES	R	04/30/25	04/30/25		3508	N
Vendor Total:		2,200.00										
VERIZ010	VERIZON											
25000659	05/14/25 FIOS SERVICES/EQUIP											
1	FIOS SERVICES/EQUIP	178.08	01-430-320		E	COMMUNICATIONS/MAINT	R	05/14/25	05/14/25		0001-97 051425	N
2	FIOS SERVICES/EQUIP	22.30	01-430-320		E	COMMUNICATIONS/MAINT	R	05/14/25	05/14/25		0001-65 051425	N
		200.38										
Vendor Total:		200.38										
Total Purchase Orders: 14    Total P.O. Line Items: 40    Total List Amount: 160,301.07    Total Void Amount: 0.00												

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	151,341.10	0.00	151,341.10	0.00	0.00	151,341.10
PARKS & RECREATION FUND:	5-07	8,959.97	0.00	8,959.97	0.00	0.00	8,959.97
Total of All Funds:		<u>160,301.07</u>	<u>0.00</u>	<u>160,301.07</u>	<u>0.00</u>	<u>0.00</u>	<u>160,301.07</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	151,341.10	0.00	151,341.10	0.00	0.00	151,341.10
PARKS & RECREATION FUND:	07	8,959.97	0.00	8,959.97	0.00	0.00	8,959.97
Total of All Funds:		<u>160,301.07</u>	<u>0.00</u>	<u>160,301.07</u>	<u>0.00</u>	<u>0.00</u>	<u>160,301.07</u>

NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	151,341.10	0.00	0.00	0.00	151,341.10
PARKS & RECREATION FUND:	5-07	8,959.97	0.00	0.00	0.00	8,959.97
Total of All Funds:		<u>160,301.07</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>160,301.07</u>

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

---

Approve prepaid bills list dated May 29, 2025, in the amount of \$12,794.69.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

Page No: 1

Rcvd Batch Id Range: KG0527PD to KG0527PD

Stat/Chk	First	Rcvd	Chk/Void	1099
Enc	Date	Date	Date	Invoice
				Excl

Vendor Total: 337.50

Vendor Total: 259.37

Vendor Total: 2,068.14

Vendor Total: 207.55



NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

[illegible]



May 29, 2025  
09:45 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 4

Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099
Item Description	Amount	Charge Account	Acct Type Description	Enc Date	Date	Date	Invoice	Excl		
STAND010 STANDARD INSURANCE COMPANY										
25000697 05/15/25 LIFE/DISABILITY INSURANCE										
1 LIFE/DISABILITY INSURANCE	260.40	01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	05/15/25	05/15/25	051525	N		
2 LIFE/DISABILITY INSURANCE	206.18	01-402-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	05/15/25	05/15/25	051525	N		
3 LIFE/DISABILITY INSURANCE	2,387.10	01-410-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/15/25	05/15/25	051525	N		
4 LIFE/DISABILITY INSURANCE	289.02	01-413-151	E MEDICAL/DENTAL/RX/LIFE/INSURANCE	R	05/15/25	05/15/25	051525	N		
5 LIFE/DISABILITY INSURANCE	99.17	01-414-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/15/25	05/15/25	051525	N		
6 LIFE/DISABILITY INSURANCE	678.45	01-430-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	05/15/25	05/15/25	051525	N		
7 LIFE/DISABILITY INSURANCE	290.06	07-454-151	E MEDICAL/DENTAL INSURANCE	R	05/15/25	05/15/25	051525	N		
	4,210.38									
Vendor Total:	4,210.38									

Total Purchase Orders:	19	Total P.O. Line Items:	27	Total List Amount:	12,794.69	Total Void Amount:	0.00
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Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	29.08	0.00	29.08	0.00	0.00	29.08
GENERAL FUND:	5-01	11,206.03	0.00	11,206.03	0.00	0.00	11,206.03
PARKS & RECREATION FUND:	5-07	410.06	0.00	410.06	0.00	0.00	410.06
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	1,149.52	0.00	1,149.52	0.00	0.00	1,149.52
Year Total:		12,765.61	0.00	12,765.61	0.00	0.00	12,765.61
Total Of All Funds:		12,794.69	0.00	12,794.69	0.00	0.00	12,794.69

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	11,235.11	0.00	11,235.11	0.00	0.00	11,235.11
PARKS & RECREATION FUND:	07	410.06	0.00	410.06	0.00	0.00	410.06
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	1,149.52	0.00	1,149.52	0.00	0.00	1,149.52
Total of All Funds:		<u>12,794.69</u>	<u>0.00</u>	<u>12,794.69</u>	<u>0.00</u>	<u>0.00</u>	<u>12,794.69</u>



NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	29.08	0.00	0.00	0.00	29.08
GENERAL FUND:	5-01	11,206.03	0.00	0.00	0.00	11,206.03
PARKS & RECREATION FUND:	5-07	410.06	0.00	0.00	0.00	410.06
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	<u>1,149.52</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,149.52</u>
Year Total:		12,765.61	0.00	0.00	0.00	12,765.61
Total of All Funds:		<u>12,794.69</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>12,794.69</u>

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

---

Approve prepaid bills list dated June 5, 2025, in the amount of \$10,170.90.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

June 5, 2025  
12:47 PM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 1

P.O. Type: All

Open: N

Paid: N

Void: N

Range: First

to Last

Rcvd: Y

Held: Y

Aprv: N

Format: Detail without Line Item Notes

Bid: Y

State: Y

Other: Y

Exempt: Y

Vendors: All

Include Non-Budgeted: Y

Prior Year Only: N

\* Means Prior Year Line

Rcvd Batch Id Range: KG0602PD to KG0602PD

Vendor # Name

PO #	PO Date	Description	Contract	PO Type	Amount	Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
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AQUAP010 AQUA PENNSYLVANIA

25000725	06/02/25	FIRE HYDRANT RENTAL											
1		FIRE HYDRANT RENTAL	186.60	01-411-380			E FIRE HYDRANT RENTALS	R	06/02/25	06/02/25		1065967 060225	N
2		FIRE HYDRANT RENTAL	1,150.70	01-411-380			E FIRE HYDRANT RENTALS	R	06/02/25	06/02/25		0408962 060225	N
3		FIRE HYDRANT RENTAL	62.20	01-411-380			E FIRE HYDRANT RENTALS	R	06/02/25	06/02/25		0416695 060225	N
			1,399.50										

Vendor Total: 1,399.50

ARMOU010 ARMOUR & SONS ELECTRIC I

25000717	05/28/25	TRAFFIC SIGNAL MAINTENANCE											
1		TRAFFIC SIGNAL MAINTENANCE	270.00	01-433-310			E TRAFFIC SIGNAL MAINTENANCE	R	05/28/25	05/28/25		910044296	N
2		TRAFFIC SIGNAL MAINTENANCE	202.50	01-433-310			E TRAFFIC SIGNAL MAINTENANCE	R	05/28/25	05/28/25		910044249	N
			472.50										

Vendor Total: 472.50

DANIE050 DANIEL A. GONZALEZ

25000706	06/03/25	2025 MEDICAL REIMBURSEMENT											
1		2025 MEDICAL REIMBURSEMENT	355.00	01-486-157			E HEALTH & VISION REIMBURSEMENTS	R	06/03/25	06/03/25		060325	N

Vendor Total: 355.00

FINCH010 FINCH TURF INC.

25000718	06/02/25	LATE FEE											
1		LATE FEE	3.08	01-437-300			E VEHICLE REPAIRS	R	06/02/25	06/02/25		060225	N

Vendor Total: 3.08

GEORG040 GEORGE ALLEN PORTABLE TOILETS

25000707	05/27/25	PORTABLE TOILETS/PARKS											
1		PORTABLE TOILETS/PARKS	396.00	07-454-360			E UTILITIES	R	05/27/25	05/27/25		I237334	N

[illegible]

June 5, 2025  
12:47 PM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 3

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
Item Description	Amount	Charge Account	Acct Type	Description								
STAPL015 STAPLES												
25000713 05/31/25 OFFICE SUPPLIES												
1 OFFICE SUPPLIES	7.63	01-400-210		E MATERIALS/SUPPLIES	R		05/31/25	05/31/25			6033310742	N
2 OFFICE SUPPLIES	7.63	01-400-210		E MATERIALS/SUPPLIES	R		05/31/25	05/31/25			6033310742	N
3 OFFICE SUPPLIES	71.04	01-400-210		E MATERIALS/SUPPLIES	R		05/31/25	05/31/25			6033310741	N
4 OFFICE SUPPLIES	119.99	01-400-210		E MATERIALS/SUPPLIES	R		05/31/25	05/31/25			6033310739	N
5 OFFICE SUPPLIES	239.89	01-400-210		E MATERIALS/SUPPLIES	R		05/31/25	05/31/25			6033310740	N
	430.92											
Vendor Total:	430.92											
STEPH065 STEPHANIE SHORTALL												
25000709 05/30/25 2025 PSATS MILEAGE REIMB												
1 2025 PSATS MILEAGE REIMB	165.90	01-400-330		E VEHICLE EXPENSE/ADMIN	R		05/30/25	05/30/25			053025	N
Vendor Total:	165.90											
SUSET005 SUSETTE DUBIN												
25000714 06/03/25 FACILITY CLEANING - POLICE												
1 FACILITY CLEANING - POLICE	700.00	01-409-370		E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R		06/03/25	06/03/25			060325	N
25000715 06/03/25 FACILITY CLEANING - ADMIN												
1 FACILITY CLEANING - ADMIN	500.00	01-409-370		E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R		06/03/25	06/03/25			060325	N
Vendor Total:	1,200.00											
TUSTI005 TUSTIN MECHANICAL SERVICES												
25000710 05/28/25 UNIT MAINTENANCE												
1 UNIT MAINTENANCE	571.50	01-409-370		E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R		05/28/25	05/28/25			910056729	N
25000719 05/29/25 UNIT 4 MAINTENANCE												
1 UNIT 4 MAINTENANCE	411.50	01-409-370		E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R		05/29/25	05/29/25			910056845	N
Vendor Total:	983.00											
VERIZ050 VERIZON WIRELESS												
25000711 05/19/25 POLICE WIRELESS SERVICE												
1 POLICE WIRELESS SERVICE	840.71	01-410-320		E COMMUNICATIONS	R		05/19/25	05/19/25			00002 051925	N



June 5, 2025  
12:47 PM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 4

Vendor # Name																			
PO #	PO Date	Description	Contract	PO Type		First	Rcvd	Chk/Void		1099									
Item Description			Amount	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Date	Date	Invoice	Excl								
VERIZ050 VERIZON WIRELESS Continued																			
25000712 05/19/25 POLICE WIRELESS SERVICE																			
1 POLICE WIRELESS SERVICE			318.34	01-400-320	E TELEPHONE/COMMUNICATIONS	R	05/19/25	05/19/25		00001 051925	N								
2 POLICE WIRELESS SERVICE			661.79	01-410-320	E COMMUNICATIONS	R	05/19/25	05/19/25		00001 051925	N								
3 POLICE WIRELESS SERVICE			262.85	01-430-320	E COMMUNICATIONS/MAINT	R	05/19/25	05/19/25		00001 051925	N								
			1,242.98																
Vendor Total:			2,083.69																

Total Purchase Orders:	17	Total P.O. Line Items:	33	Total List Amount:	10,170.90	Total Void Amount:	0.00
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June 5, 2025  
12:47 PM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 5

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	1,530.21	0.00	1,530.21	0.00	0.00	1,530.21
GENERAL FUND:	5-01	7,775.56	0.00	7,775.56	0.00	0.00	7,775.56
STREET LIGHTING FUND:	5-02	95.68	0.00	95.68	0.00	0.00	95.68
PARKS & RECREATION FUND:	5-07	769.45	0.00	769.45	0.00	0.00	769.45
Year Total:		8,640.69	0.00	8,640.69	0.00	0.00	8,640.69
Total of All Funds:		10,170.90	0.00	10,170.90	0.00	0.00	10,170.90

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	9,305.77	0.00	9,305.77	0.00	0.00	9,305.77
STREET LIGHTING FUND:	02	95.68	0.00	95.68	0.00	0.00	95.68
PARKS & RECREATION FUND:	07	769.45	0.00	769.45	0.00	0.00	769.45
Total of All Funds:		<u>10,170.90</u>	<u>0.00</u>	<u>10,170.90</u>	<u>0.00</u>	<u>0.00</u>	<u>10,170.90</u>

NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	1,530.21	0.00	0.00	0.00	1,530.21
GENERAL FUND:	5-01	7,775.56	0.00	0.00	0.00	7,775.56
STREET LIGHTING FUND:	5-02	95.68	0.00	0.00	0.00	95.68
PARKS & RECREATION FUND:	5-07	769.45	0.00	0.00	0.00	769.45
Year Total:		8,640.69	0.00	0.00	0.00	8,640.69
Total of All Funds:		10,170.90	0.00	0.00	0.00	10,170.90

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 12, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

---

Approve prepaid bills list dated June 12, 2025, in the amount of \$8,260.71.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_



Vendor # Name		PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
BERGE010 BERGEY'S INC.														
25000758	05/31/25	PARTS/REPAIRS	48-25											
1		PARTS/REPAIRS	48-25		84.95	01-437-300		E VEHICLE REPAIRS	R	05/31/25	05/31/25		10924I	N
25000759 05/31/25 PARTS/REPAIRS 48-08														
1		PARTS/REPAIRS	48-08		56.86	01-410-370		E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25		376148B	N
25000760 05/31/25 PARTS/REPAIRS 48-08														
1		PARTS/REPAIRS	48-08		47.58	01-410-370		E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25		376448B	N
25000761 05/31/25 PARTS/REPAIRS 48-08														
1		PARTS/REPAIRS	48-08		24.90	01-410-370		E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25		376533B	N
25000762 05/31/25 PARTS/REPAIRS 48-09														
1		PARTS/REPAIRS	48-09		162.70	01-410-370		E VEHICLE MAINT/REPAIRS-OUTSIDE	R	05/31/25	05/31/25		377614B	N
Vendor Total:					376.99									
BUX-M010 BUX-MONT AWARDS														
25000748	06/10/25	ENGRAVING - MEMORIAL	TAPHOUSE											
1		ENGRAVING - MEMORIAL	TAPHOUSE		669.00	07-454-300		E ACTIVITIES/PROGRAMS	R	06/10/25	06/10/25		62042	N
Vendor Total:					669.00									
CRICH010 C. RICHARD MICHIE II														
25000754	05/24/25	2025 MEDICAL	REIMBURSEMENT											
1		2025 MEDICAL	REIMBURSEMENT		24.00	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	05/24/25	05/24/25		052425	N
Vendor Total:					24.00									

Vendor #	Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First	Rcvd	Chk/Void	1099
		Item	Description	Amount	Charge Account	Acct Type Description		Enc Date	Date	Date Invoice	Exc1
CODYS005	CODY Systems										
25000752	06/01/25	1	PATHFINDER CLOUD/STORAGE SVCS	412.50	01-410-210	E COMPUTERS SUPPLIES	R	06/01/25	06/01/25	13016	N
			Vendor Total:	412.50							
DANIE055	DANIEL SACKS										
25000766	06/11/25	1	2025 MEDICAL REIMBURSEMENT	60.60	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/11/25	06/11/25	061125	N
			Vendor Total:	60.60							
DAVID165	DAVID KEEBLER										
25000767	06/11/25	1	BOOT ALLOWANCE REIMBURSEMENT	143.49	01-430-241	E UNIFORM EXPENSE	R	06/11/25	06/11/25	061125	N
			Vendor Total:	143.49							
KIMG0005	KIM GOODWIN										
25000770	06/11/25	1	JANUARY - JUNE 2025 CELL REIMB	120.00	01-430-320	E COMMUNICATIONS/MAINT	R	06/11/25	06/11/25	061125	N
			Vendor Total:	120.00							
KRIST010	KRISTIN CARPENTER										
25000768	06/11/25	1	2025 MEDICAL REIMBURSEMENT	460.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/11/25	06/11/25	061125	N
			Vendor Total:	460.00							
MARIA015	MARIA CLANCY										
25000753	06/06/25	1	2025 MEDICAL REIMBURSEMENT	714.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/06/25	06/06/25	060625	N
			Vendor Total:	714.00							

[illegible]



Vendor #	Name	PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
SANDRA SANDRA EZZO														
25000776	06/11/25	JANUARY - JUNE 2025	CELL REIMB											
1	JANUARY - JUNE 2025	CELL REIMB	120.00	01-430-320		E COMMUNICATIONS/MAINT		R	06/11/25	06/11/25			061125	N
Vendor Total:				120.00										
SHAWN010 SHAWN MAGUIRE														
25000756	06/06/25	2025	MEDICAL REIMBURSEMENT											
1	2025	MEDICAL REIMBURSEMENT	328.38	01-486-157		E HEALTH & VISION REIMBURSEMENTS		R	06/06/25	06/06/25			060625	N
Vendor Total:				328.38										
VERIZ010 VERIZON														
25000755	05/27/25	INTERNET												
1	INTERNET		110.99	01-430-320		E COMMUNICATIONS/MAINT		R	05/27/25	05/27/25			0001-98 052725	N
Vendor Total:				110.99										
VERIZ050 VERIZON WIRELESS														
25000757	05/23/25	POLICE WIRELESS SERVICE												
1	POLICE WIRELESS SERVICE		25.10	01-410-320		E COMMUNICATIONS		R	05/23/25	05/23/25			00001 052325	N
Vendor Total:				25.10										
WILLI080 WILLIAM JONES														
25000733	06/06/25	2025	MEDICAL REIMBURSEMENT											
1	2025	MEDICAL REIMBURSEMENT	1,552.04	01-486-157		E HEALTH & VISION REIMBURSEMENTS		R	06/06/25	06/06/25			060625	N
25000734	06/06/25	2025	PSATS MILEAGE REIMB											
1	2025	PSATS MILEAGE REIMB	166.88	01-400-330		E VEHICLE EXPENSE/ADMIN		R	06/06/25	06/06/25			060625	N
Vendor Total:				1,718.92										
ZACHA005 ZACHARY JENKINS														
25000765	06/09/25	BOOT ALLOWANCE REIMBURSEMENT												
1	BOOT ALLOWANCE REIMBURSEMENT		64.77	01-430-241		E UNIFORM EXPENSE		R	06/09/25	06/09/25			060925	N
Vendor Total:				64.77										

June 12, 2025  
10:09 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Page No: 5

<b>Vendor # Name</b>						<b>Stat/Chk</b>	<b>First Enc Date</b>	<b>Rcvd Date</b>	<b>chk/Void Date</b>	<b>Invoice</b>	<b>1099 Excl</b>
<b>PO #</b>	<b>PO Date</b>	<b>Description</b>	<b>Contract Amount</b>	<b>PO Type Charge Account</b>	<b>Acct Type Description</b>						
<b>Item Description</b>			<b>Amount</b>	<b>Charge Account</b>	<b>Acct Type Description</b>	<b>Stat/Chk</b>	<b>Enc Date</b>	<b>Date</b>	<b>Date</b>	<b>Invoice</b>	<b>Excl</b>
Total Purchase Orders:	27	Total P.O. Line Items:	27	Total List Amount:	8,260.71	Total Void Amount:	0.00				



Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	5-01	7,591.71	0.00	7,591.71	0.00	0.00	7,591.71
PARKS & RECREATION FUND:	5-07	669.00	0.00	669.00	0.00	0.00	669.00
Total of All Funds:		<u>8,260.71</u>	<u>0.00</u>	<u>8,260.71</u>	<u>0.00</u>	<u>0.00</u>	<u>8,260.71</u>

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	7,591.71	0.00	7,591.71	0.00	0.00	7,591.71
PARKS & RECREATION FUND:	07	669.00	0.00	669.00	0.00	0.00	669.00
Total of All Funds:		<u>8,260.71</u>	<u>0.00</u>	<u>8,260.71</u>	<u>0.00</u>	<u>0.00</u>	<u>8,260.71</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	5-01	7,591.71	0.00	0.00	0.00	7,591.71
PARKS & RECREATION FUND:	5-07	669.00	0.00	0.00	0.00	669.00
Total of All Funds:		8,260.71	0.00	0.00	0.00	8,260.71



The Almshouse Neshaminy Manor Center 1260 Almshouse Road  
Doylestown, Pennsylvania 18901 215.345.3400 FAX 215.345.3886  
E-mail: [planningcommission@buckscounty.org](mailto:planningcommission@buckscounty.org)

PLANNING COMMISSION:  
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Richard Donovan, *Vice Chair*  
Thomas J. Jennings, *Secretary*

Harold Hayes  
James J. Keenan  
James E. Miller Jr.  
David R. Nyman  
Edward J. Tokmajian  
Tom Tosti

Evan J. Stone  
*Executive Director*

## **MEMORANDUM**

To: New Britain Township Board of Supervisors  
New Britain Township Planning Commission

From: Bucks County Planning Commission

Date: June 4, 2025

Subject: BCPC #26-25-1R  
Proposal to Amend the Zoning Ordinance—Omnibus  
Applicant: Board of Supervisors  
Date Received: May 6, 2025  
Hearing Date: June 16, 2025

In accordance with the provisions of Sections 304 and 609 of the Pennsylvania Municipalities Planning Code, this proposal was sent to the Bucks County Planning Commission for review. The following review has been prepared by the staff and endorsed by the Bucks County Planning Commission at a meeting held on March 5, 2025.

## **GENERAL INFORMATION**

Proposed Action: Amend various sections of the township zoning ordinance to add and revise definitions and regulations. This submission is a revised version of a previous amendment our office reviewed (BCPC #26-25-1, dated March 5, 2025). The amendment has been revised to make editorial changes and clarify language.

Amend Section 27-201, General Definitions, to add and revise definitions for Lot Area, Site Area, Land Development.

Amend Section 27-300.d., Applicability of Regulations, to clarify the applicability statement and add a new subsection to state that the township is exempt from the provisions of the zoning ordinance.

Amend Section 27-305, Use Definitions and Regulations, to add, revise, and delete content as follows:

- Amend Section 27-305.B.B8 and Section 27-305.B.B9., Mobile Home Park I and II, to replace the word "mobile" with "manufactured."
- Amend Section 27-305.F6.b.1. to delete "K3 Wholesale Business, Wholesale Storage, and Warehousing" as a use allowed in a business campus.
- Amend Section 27-305.H.H2., Residential Shed, to revise the entire subsection, including to change the use to "Residential Structure" and subsequently change "shed" to "structure" in the use regulations, add pavilions and gazebos as residential structure types, amend the



maximum building coverage of the residential structure to 400 from the existing 200 square feet, and add a reference to the area and dimensional requirements for accessory uses and structures for each zoning district.

- Amend Section 27-305.H.H3., Residential Fences, Walls, to add to Section 27-305.H.H3.a. clarifying that fences and free-standing walls to be replaced at the same location, likeness, and height are allowed without a zoning permit.
- Amend Section 27-305.H.H3.b.1.(a) to not allow opaque fences in the front yard.
- Delete Section 27-305.H.H3.b.1.(b), allowing non-opaque along public streets in the rear and side yards; delete Section 27-305.H.H3.b.1.(e), which does not require fences to comply with setbacks for accessory structures, and reorder the rest of the subsections.
- Add proposed Section 27-305.H.H3.b.1.(d) to require the fences for pools to be compliant with Pennsylvania Uniform Construction Code
- Amend Section 27-305.H.H3.b.2.(a) to require engineering retaining walls to be approved by the township engineer
- Add Section 27-305.H.H3.b.3., General Regulations for Walls and Fences, to clarify setbacks, location, and installation requirements for fences and walls.
- Amend Section 27-305.H.H11, Recreational and Other Vehicle Storage, to revise the definition of recreational vehicles, add coaches, and change “motor homes” to “motorized homes” and “autos” to “automobiles.” Add a sentence to state more than two recreational or other vehicle storage would be considered Use L2 Outside Storage and add a new Section 27-305.H.H11.b.2. to permit recreational vehicles and other vehicle storage as an accessory use on lots with nonresidential uses, single-family detached dwellings, and two-family attached dwellings.
- Amend Section 27-305.J.J1, Retail Store Definition, to add “A pharmacy is considered incidental to retail use if located within the same building.”
- Amend Section 27-305.K.K5.b.2., Contracting, to add “storage of two or more commercial, recreational or other vehicle storage” is considered use L2 Outside Storage.
- Amend Section 27-305.L.L2, Outside Storage or Display, to include the storage of items inside a temporary structure.
- Amend Section 27-305.L.L2.b.3. to require that outside storage and display areas be shielded from view by a dense evergreen buffer or a fence.
- Amend Section 27-305.L.L3, Temporary Structure, to revise the name of the use to Temporary Storage Container, Pod or similar and add regulations for nonresidential uses.
- Amend Section 27-305.L.L4, Temporary Community Event, to regulate mobile vending as a temporary community event, but exclude ice cream trucks, and clarify the zoning districts where events are permitted and hours of operation.
- Add a new Section 27-305.L.L15 to add new use Nonresidential Fences and Walls with a definition and regulations.

Amend Section 27-2111, Traffic Visibility Across Corners, to revise clear-sight triangle standards, by reducing the visibility straight line distance from 75 to 50 feet.

Amend Section 27-2114, Special Considerations for Municipal Uses, by renaming the provision Special Considerations for Emergency Service Uses and to delete “F1 Municipal Building Use” from the regulations.

Amend Section 27-2400 to add to the protection of natural resources applicability that the developer must determine the natural resources present on the lot and meet the standards for environmental protection. Any lot proposed for development to which the provisions of the



SALDO do not apply, the environmental standards of the zoning ordinance shall apply. If natural resources have been altered prior to submission of an application for a building or zoning permit, or a subdivision or land development plan the natural resources shall be restored prior to approval. The provisions apply to all zoning districts.

Amend Section 27-2400.a., Watercourses, to read: "The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads, sewer or water lines, utility transmission lines, and trails may cross watercourses provided a permit is obtained from the Pennsylvania Department of Environmental Protection, if required."

Amend Section 27-2400.f.2., Woodlands, to delete existing (b) and replace (b) with provisions of (c): "The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors." New text in (c) to read: "Any trees that are dead, dying, or diseased, and may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township."

Amend Section 27-2402.c., Site Capacity Calculations, Land with Resource Restrictions and Resource Protection Lands chart, is amended to add to Woodlands category "in the CR, WS, SR-1, SR-2, & RR zoning districts." Add a new category "Woodlands in all other zoning districts" and add a Protection Ratio of 0.50.

Amend Section 27-2702.b., Open Space Designation, to add a new Section 27-2702.b.6. to state a combination of the listed areas may be designated as open space.

Amend Section 2703, Ownership of Open Space, to ensure that all open space will be dedicated to either the Township or a management association (e.g. HOA), not an individual property owner.

Amend Section 27-2800.e., Buffer Yards, to add a sentence at the end of the paragraph to regulate buffer yards to meet the township's spacing and composition as specified in the SALDO

Amend Section 27-2802.c., Plant materials, to delete plant listings and instead reference Appendix Plant List as referenced in the SALDO.

Amend Section 27-2803, Buffer Yards, to clarify that all buffer yards shall be maintained and kept clear of all debris, weeds, tall grass, and rubbish, except for meadows and other landscaping intended for a naturalized planting scheme.

Amend Section 27-2803.c., Buffer Yards, General Requirements, to remove fences from the list of structures not permitted in a buffer yard and clarify that fences and stormwater management facilities are permitted in buffer yards.

Amend Section 27-2900, Purpose and General Requirements, as follows:

- Add a new Section 27-2900.g. to use the current ITE Parking Generation Manual or a study by a traffic engineer to support a reduction in proposed parking requirements.
- Add a new Section 27-2900.h. to require schools to designate an area for overflow parking with at least 100 spaces or one space per two students, whichever is less.

Amend Section 27-2901, Off-street Parking Requirements, to revise several off-street parking requirement standards.

Amend Section 27-2902, General Regulations for Off-street Parking, to revise content as follows:

- Amend Section 27-2902.g. to revise the language, and add a sentence at the end of the paragraph to not allow backups to the street from perpendicular parking.
- Amend Section 27-2902.h. to revise the paragraph for off-street parking for a nonresidential use to not allow vehicles to back out of a parking space directly onto the street.

Amend Section 27-2904, Design Standards for Off-Street Parking, to delete, add, and revise the following content:

- Delete the current Section 27-2904.a.1., Section 27-2904.a.3., Section 27-2904.a.4., and Section 27-2904.a.5.; and reorder the proposed Section 27-2904.a.1. through Section 27-2904.a.3.
- Add a phrase at the end of the proposed Section 27-2904.a.2. to require all off-street parking space locations be on-site except when shared parking agreements are recorded.
- Delete the current Section 27-2904.b., Size of Parking Spaces, and add proposed Section 27-2904.b. for parking setbacks and buffers.
- Delete the current Section 27-2904.c., Section 27-2904.d., Section 27-2904.g. to i.; and reorder the proposed Section 27-2904.c., Paving, Grading and Drainage, Section 27-2904.d., Nighttime Illumination, and Section 27-2904.e., Accessible Parking.
- Refine the requirement language of the proposed Section 27-2904.c.1.
- Delete “for security purposes at no cost to the Township” of the proposed Section 27-2904.d.1.
- Revise the requirement language of the proposed Section 27-2904.e., Accessible Parking, and add a Minimum Number of Accessible Parking Spaces Chart for proposed Section 27-2904.e.2.(a).
- Amend the current Section 27-2904.d.3. to change the maximum grade of the driveway or access way from “6%” to “an 8%,” and change the exception grade from “3%” to “4%.”

Amend Section 27-2905, Parking of Trucks and Junk Vehicles in Residential Districts, to add, revise and delete the following content:

- Add “Recreational and Other Vehicle and Storage, and” after “Parking of Trucks,” for Section 27-2905.
- Revise the language of the entire section.
- Delete the current Section 27-2905.d., and reorder the remaining sections.
- Add a new subsection to regulate the permitted parking locations of trucks and junk vehicles in residential zoning districts, including carport, a completely enclosed building, side or rear of a lot, and front yard when meeting certain requirements.

Amend Attachment 1 – Appendix A. Environmental Impact Statement Report of the Zoning Ordinance to add a new paragraph e. to require a Phase I Environmental Site Assessment and Phase II Environmental Site Assessment.

Amend Attachment 3 – Zoning Map, to replace with a new zoning map with higher resolutions.

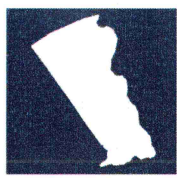
## COMMENTS

We recognize that the proposed zoning amendment is consistent with the requirements of Section 603 of the Pennsylvania Municipalities Planning Code (MPC) and the land use policies of the municipal comprehensive plan.

We would appreciate being notified of the board of supervisors' decision regarding this matter. If the amendment is adopted, please send a copy within 30 days as required by Section 609.(g) of the Pennsylvania Municipalities Planning Code.

JWS:emh  
25-0133

cc: Daniel Fox, Township Manager (via email)  
Flagler & Associates, PC, Township Solicitor (via email)  
Janene Marchand, PE, Gilmore & Associates, Township Engineer (via email)



# BCPC

## Bucks County Planning Commission

The Almshouse Neshaminy Manor Center 1260 Almshouse Road  
Doylestown, Pennsylvania 18901 215.345.3400 FAX 215.345.3886  
E-mail: [planningcommission@buckscounty.org](mailto:planningcommission@buckscounty.org)

### PLANNING COMMISSION:

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Richard Donovan, *Vice Chair*  
Thomas J. Jennings, *Secretary*

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James J. Keenan  
James E. Miller Jr.  
David R. Nyman  
Edward J. Tokmajian  
Tom Tosti

Evan J. Stone  
*Executive Director*

### MEMORANDUM

To: New Britain Township Board of Supervisors  
New Britain Township Planning Commission

From: Bucks County Planning Commission

Date: June 4, 2025

Subject: BCPC #26-25-2R  
Proposal to Amend the Subdivision and Land Development Ordinance—Omnibus  
Applicant: Board of Supervisors  
Date Received: May 6, 2025  
Hearing Date: June 16, 2025

In accordance with the provisions of Sections 304 and 505 of the Pennsylvania Municipalities Planning Code, this proposal was sent to the Bucks County Planning Commission for review. The following review has been prepared by the staff and endorsed by the Bucks County Planning Commission at a meeting held on June 4, 2025.

### GENERAL INFORMATION

Proposed Action: Amend the township subdivision and land development ordinance to revise definitions, revise the requirements and procedures for submission of subdivision and land development plans, revise the natural resource requirements, add requirements for environmental site assessments and traffic impact studies, make editorial changes, and clarify language. This submission is a revised version of a previous amendment our office reviewed (BCPC #26-25-2, dated March 5, 2025).

### Proposed Subdivision and Land Development Ordinance Provisions:

Amend Section 202, Definition of Terms, to revise, clarify, and add definitions.

Amend Section 401, General Procedures, to revise electronic submission and notification requirements.

Amend Section 402, Sketch Plan and ERSAP Submission Review and Procedure, to add the board of supervisors to sketch plan procedures and no longer require a site visit.

Amend Section 405, Minor Plan Submission and Review Procedure, to change "land development" to "subdivisions."

Amend Section 406, Recording of Plans, to revise the submission requirements of record plans.

### COUNTY COMMISSIONERS:

Robert J. Harvie Jr., *Chair*; Diane M. Ellis-Marseglia, *LCSW Vice Chair*; Gene DiGirolamo, *Secretary*





- Amend Section 502, Preliminary Plan Requirements, to revise plan information requirements.
- Amend Section 504, Minor Plan Requirements, to revise plan information requirements for minor plans, lot line adjustments, and subdivisions.
- Amend Section 505, Community Impact Assessment Report, to include certain information regarding environmental site assessments.
- Add Section 506, Traffic Impact Study, and include requirements accordingly.
- Add Part 6, Section 600, Natural Resources, and include requirements accordingly.
- Amend Section 703, Blocks and Lots, to revise general lot requirements.
- Amend Section 704, Easements, to revise requirements for easements.
- Amend Section 705, Streets, to revise requirements for streets.
- Amend Section 707, Pedestrian Walkways, Recreational Trails, and Bicycle Lanes, to revise design and construction requirements for crosswalks, curb ramps, and walkways and trails.
- Amend Section 708, Parking Areas, to revise general requirements for parking areas.
- Amend Section 709, Off-Street Loading Facilities, to revise loading space requirements.
- Amend Section 711, Grading, and Erosion and Sedimentation Control, to revise erosion and sedimentation control requirements.
- Amend Section 712, Stormwater Management, to revise general requirements for stormwater management.
- Amend Section 713, Landscape Planting, to revise landscaping requirements, including street trees and buffer areas.
- Amend Section 714, Lighting, to revise lighting requirements.
- Amend Section 715, Park and Recreation Land, to revise designated fee use.
- Amend Section 719, Private On-Lot Water Supply, to revise requirements for on-lot water supply.
- Amend Section 721, Private On-Lot Sewage Disposal System, to revise requirements for on-lot sewage disposal.
- Amend Section 722, Butler Avenue Corridor Overlay District, to revise the design requirements of the Butler Avenue Corridor Overlay District.
- Add amended Appendix A, Subdivision and Land Development Application, Appendix B, Street Classification Map, Appendix D, Required Plan Material List, and Appendix E, Construction Details and Specifications.

## COMMENTS

We recognize that the proposed amendment is consistent with the requirements of Section 603 of the Pennsylvania Municipalities Planning Code (MPC) and the land use policies of the municipal comprehensive plan. Although several of the comments from our previous review (BCPC #26-25-2, dated

March 5, 2025) have been addressed, we want to reiterate the following comments to be considered prior to adoption:

1. **Editorial**—Under the definition of Impervious Surface (Section 202), the word “imperious” should be changed to “impervious.”
2. **Cul-de-sac radius**—Section 705.8.C. requires a minimum paving radius of 50 feet for cul-de-sacs. We recommend this standard be reduced to 40 feet, with a 45-foot minimum in industrial and commercial zoning districts, to minimize excessive impervious surfaces.
3. **Parking lot setback**—Section 708.6. requires a 20-foot setback for off-street parking from any side of any nonresidential building. We are concerned that such a standard will reduce site flexibility for projects on smaller lots.

We would appreciate being notified of the board of supervisors’ decision regarding this matter. If the amendment is adopted, please send a copy within 30 days as required by Section 505.(b) of the Pennsylvania Municipalities Planning Code.

JWS:emh

25-0134

cc: Daniel Fox, Township Manager (via email)  
Flagler & Associates, PC, Township Solicitor (via email)





GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

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- ☐ 12 Terry Drive, Suite 205 | Newtown, PA 18940 | P: 215.369.3955 | F: 610.968.1829
- ☒ 65 E. Butler Avenue, Suite 100 | New Britain, PA 18901 | P: 215.345.4330 | F: 215.948.9943
- ☐ 184 W. Main Street, Suite 300 | Trappe, PA 19426 | P: 610.489.4949 | F: 610.489.8447
- ☐ One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425 | Philadelphia, PA 19103 | P: 215.687.4246 | F: 215.564.1780

## MEMORANDUM

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**Date:** September 17, 2024

**To:** Dan Fox, Township Manager

**From:** Craig D. Kennard, P.E., E.V.P.

**cc:** Dave Conroy, Director of Planning & Zoning; Scott Holbert, Esq.; Janene Marchand, P.E.

**Reference:** New Britain Township PEC and EAC Recommendations Engineer Responses

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Our office has reviewed the recommendations from the PEC and EAC including associated reference documentation. Attached to this memo is a PDF of Suggested Ordinance Amendments, the reviews from the PEC and EAC, and referenced MCPC Sustainable Green Parking Lots Guidebook. Lastly, resumes of a few of our associates at Gilmore & Associates who have been involved in land development plan reviews and Ordinance Amendments for New Britain Township are attached:

1. G&A Suggested Ordinance Changes dated September 17, 2024
2. PEC Green Stormwater Infrastructure Ordinance Evaluation dated August 2024 and Appendix
3. EAC Parking Ordinance Revisions dated July 25, 2024
4. EAC SALDO Revision Recommendation – Lighting (Review Pending)
5. EAC Miscellaneous SALDO Amendments September 4, 2024
6. G&A Resumes

### PEC Ordinance Evaluation dated August 2024 Questions and Responses Landscaping

#### PEC Question 1:

Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as a stormwater control area? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeter or islands?

G&A Response: Yes, stormwater facilities are permitted within parking lots and minimum landscaping island sizes are currently specified. An ordinance amendment is proposed per the attached Suggested Changes (§22-208.2 & 713) which specifically allow flush curbs and/or curb cuts to direct runoff.

#### PEC Question 2:

Is there a process or standard to waive numerical, spacing, and species requirements from stormwater control measure in required landscaping?

G&A Response: Yes, applicants may request waivers for reducing quantity, spacing, and species of landscaping used in a stormwater facility. See the attached Suggested Changes (§27-2802 & 2803) to provide an option for a more naturalized landscape in a buffer, removing an option for a double row of evergreen, and specifically allowing stormwater measures in buffer yards.

**PEC Question 3:**

Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

G&A Response: Turf grass is not specifically required by Code. Proposed seed mix is required on the plans to indicate the type of ground stabilization and may include deep-rooted plants. See attached suggested amendments encouraging and specifically allowing deep-rooted native plants in open space and buffer yards (Zoning §27-2702, 2803) as well as a requirement to provide 10% deep-rooted native plants in lieu of turf grass in lawn areas (SALDO §22-713).

We defer to NBT Staff regarding language in Ordinance Chapter 10 Health and Safety regarding grass height.

**PEC Question 4:**

Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

G&A Response: Currently, yes, landscaped islands can be used for stormwater if a waiver is granted of the design standards for cul-de-sacs. See the attached Suggested Changes (§22-705.8) which specifically allow an alternate design with a landscaped island for private streets.

**PEC Question 5:**

Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on the site plans?

G&A Response: Snow storage areas are not specifically prohibited or discouraged in bioretention areas in the current Ordinance. Snow storage areas are required to be shown on the site plans. However, the Draft SALDO Amendment currently proposes to remove the section of the Ordinance that requires the snow easement due to liability concerns.

**PEC Question 6:**

Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

G&A Response: Green infrastructure practices are permitted in New Britain Township and are required to “the maximum extent practicable” and justification is required if not practicable. We would not recommend that green infrastructure practices for high-density areas extend into public ROW or onto sidewalks due to potential obstructions to sight lines, maintenance issues, and liability concerns. We recommend the Township discuss these concepts with the Township Public Works. Street trees are required along streets at a rate of 1 shade tree per 30 linear feet either outside of the right-of-way or between the curb and sidewalk along the Butler Corridor Overlay District. Traffic calming measures, if proposed, are permitted to be co-designed as stormwater control measures.

**PEC Question 7 (Construction Management):**

Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

G&A Response: No, a more in-depth study would be required to determine if there are historic stream channels that should be identified. New Britain Township requires 100% protection of floodplain soils in addition to all watercourses and floodplains which are all required to be protected within permanent easements in perpetuity.

**PEC Question 8 (Education and Outreach):**

Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

G&A Response: We recommend the Township provide additional guidance for downspout disconnection and rain barrel installation on their website. See reference links in PEC review.

**PEC Question 9 (Education and Outreach):**

Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

G&A Response: No, however, we recommend the Township update their website with resources on native plantings and planting practices for residents working on small GSI projects not part of a building permit. The Township currently works in partnership with a local watershed group that could help with educating the community on rain garden construction and native plantings.

**PEC Question 10 (Education and Outreach):**

Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

G&A Response: As noted by the PEC, no incentive is needed as GSI is required to the maximum extent practicable, and justification is required if not practicable. We defer to the Township regarding incentive options for reduced impervious cover and increased open space per the PEC review.

We note that the zoning ordinance is proposed to be amended to allow for a reduction in parking based on a traffic report. This will allow greater flexibility in parking lot design and the potential to reduce impervious area on a site. Another proposed zoning change allows for porous pavement within parking areas. Rain gardens are common practice.

**EAC SALDO Revision Recommendation – Lighting  
EAC Parking Ordinance Revisions dated July 25, 2024  
EAC Miscellaneous SALDO Amendments September 4, 2024**

**EAC Recommendation 1- Lighting:**

The EAC advises the BOS to update SALDO §22-714 – Lighting, primarily because recommendations by lighting experts and professionals have changed since 2002.

G&A Response: The Illuminating Engineering Society (IES) and DarkSky developed BUG (Backlight, Up-light, Glare) Ratings to classify outdoor light fixtures with the objective of minimizing light pollution and promote a more sustainable approach to outdoor lighting. The Township has authorized our office to update the Lighting Ordinance accordingly. A draft amendment will be forwarded under separate cover.



## **EAC Recommendation 2- Parking Lots:**

The EAC recommends a more comprehensive approach to integrate Green Stormwater Infrastructures into parking lot designs.

G&A Response: We agree. Please see the attached Suggested Changes §22-708.1, 713 & 714 related to green parking lot design based on MCPC's Sustainable Green Parking Lot Guide. One amendment requires retrofitting existing parking lots if the building is expanded 50% or more.

## **EAC Recommendation 3-Misc. SALDO:**

Allow residents impacted by unusually constrained impervious area limits to construct patios and walkways with pervious materials.

G&A Response: We do not support this suggested change. The zoning ordinance defines impervious surfaces, however, credits can be obtained for the stormwater design for pervious surfaces.

**EAC Recommendation 4-SALDO neighbor notifications:** Revise the ZHB Application from a 500-foot to 1,000-foot radius for neighbor notifications for land developments to be consistent with the SALDO in lieu of revising the SALDO to be consistent with the ZHB Application. (§22-401.8)

G&A Response: We defer to the Township Zoning Officer and Solicitor on the radius for neighbor notifications for a SALDO application versus a ZHB hearing.

**EAC Recommendation 5-Field survey date:** Continue to require a field survey conducted within 2 years from the date of application, where the amendment proposes to increase the time to 5 years. (§22-502.1.D.)(12)

G&A Response: The amount of time is sometimes delayed due to the engineering and review process and a waiver is often required by the time the Preliminary plans are formally submitted. We recommend 5 years but would have no objection to reducing the time frame to 3 years from the date of initial plan submission.

**EAC Recommendation 6-Allowing pervious options for trails:** To amend §22-707.1.C to allow a range of suitable surface materials for pedestrian walkways and recreational trails for different settings and uses, including pervious surfaces, where currently concrete or asphalt is required unless more suitable materials are required in environmentally sensitive areas.

G&A Response: We have no objection to specifically allowing additional surfaces materials for pedestrian walkways and recreational trails such as pervious pavement, concrete and interlocking concrete pavement subject to ADA regulations where required. See attached Suggested Changes §22-707.1.C.

**EAC Recommendation 7-Lighting:** Revise the lighting section of the Ordinance to address current standards such as BUG ratings (Backlight, Up-light, Glare).

G&A Response: As noted above, our office is in the process of updating the lighting section of the Ordinance.

**EAC Recommendation 8-Appendices:** Recommends SALDO Appendices be updated in accordance with the proposed amendments.

Response: The appendices have been updated in conjunction with the draft SALDO Ordinance Amendments.

**G&A Suggested Ordinance Changes  
in Response to PEC and EAC Recommendations  
September 17, 2024**

**PEC Recommendations  
Landscaping**

**PEC Question 1:** Parking Lot Islands/Curb

**Suggested Ordinance Changes:**

§ 22-708.2. Parking Stalls.

- C. All proposed planting islands and strips shall be provided with curb except along strips adjacent to a stormwater facility upon approval of the Township Engineer.

§ 22-713. Landscape Planting

3. Parking Area Landscaping

- A. Planting islands. All 10-foot by 36-foot planting islands shall contain 2 shade trees and all 10-foot by 18-foot plantings islands shall contain one shade tree including any parking islands that are designed as a stormwater facility which shall have wet tolerant species.
- B. Plantings Strips. Planting strips shall be a minimum of 10 feet wide and shall run the length of the parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average including any parking strips that are designed as a stormwater facility which shall have wet tolerant species.
- C. All planting islands and strips shall be underlain by soil improved to a minimum depth of 30 inches, not stone or bituminous material, and shall be graded not to exceed a slope of 5 horizontal to 1 vertical. A soil improvement detail and notes on the Landscape Plan shall include the removal of all construction debris and existing compacted soils and the specifications for the soil improvement mix.

...

- E. § 22-713.3.E. ~~Shade trees~~ All required plantings shall be native plants and shall be selected from the List of Required Plant Material contained in the Appendix.

**PEC Question 2:** Numerical, spacing, and species waivers for stormwater controls in required landscaping buffers.

**Suggested Ordinance Changes:**

§ 27-2802 Content of Planting Strips.

- a. The following minimum spacing and composition are required for planting strips:

- Each strip shall contain ~~two staggered rows of~~ evergreens ~~and/or~~ a combination of native trees and shrubs listed below in naturalistic groupings rather than linear strips.



- ~~Where rows of evergreens are being planted, each row shall be no greater than 20 feet apart, and the plants in each row shall be planted at a density of one plant every nine linear feet.~~
- ~~Where a combination of trees and shrubs is being planted, this~~ The mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. Unless required elsewhere in this chapter, plantings are not required to run parallel or be aligned on property or right-of-way boundaries. At the discretion of the Township, plant material may be sited on any portion of the property for buffer purposes and may be staggered or grouped, if a satisfactory buffer can be achieved in this fashion.

Buffer Width	Planting Options
<del>Up to and including 25-foot buffer width feet</del>	(a) 1 canopy tree per <del>60-40</del> feet and 1 flowering tree per <del>40-60</del> feet and 1 <del>shrub-evergreen tree</del> per <del>60-20</del> feet
<del>More than 25 feet and less than 45 feet</del> <u>35 and 45-foot buffer widths</u>	(b) 1 canopy tree per <del>60-40</del> feet and 1 flowering tree per 60 feet and 1 evergreen <del>tree</del> per <del>60-30</del> feet and 1 shrub per 20 feet (c) <del>1 canopy tree per 60 feet and 1 hedge planted 1 to 5 feet inside the boundary line with plants 3 feet on center</del> <u>Vegetated Filter Strip in accordance with the PA Stormwater BMP Manual and 1 canopy tree per 60 feet and 1 flowering tree every 100 feet and 1 evergreen per 100 feet and planted with native grasses or flowering meadow mix with species variety, not standard turf grass.</u>
<del>45 feet</del> <u>buffer width</u> or greater	(d) 1 canopy tree per <del>50-40</del> feet and 1 evergreen per 30 feet and 1 shrub per 20 feet (e) 1 canopy tree per <del>50-40</del> feet and 1 flowering tree per 50 feet and 1 evergreen per 50 feet and 1 shrub per 15 feet



Buffer Width	Planting Options
	(f) 1 canopy tree per 100 feet and 1 evergreen per 30 feet and 1 <del>hedge planted 1 to 5 feet inside the boundary line with plants 3 feet on centershrub per 15 feet</del>
	(g) 1 evergreen per 25 feet and 1 shrub per 10 feet
	(h) A berm varying in height <del>from 3 to 5 feet</del> with maximum side slopes of all to be 4 horizontal to 1 vertical and 1 flowering or evergreen tree per 20 feet and 1 shrub per 10 feet. <u>Stormwater infiltration berms are permitted in accordance with the PA Stormwater BMP Manual, as amended.</u>

#### §27-2803. General Requirements

- c. No structure, including but not limited to ~~fences~~, sheds, pools, hot tubs, pergolas, gazebos, or play equipment, shall be permitted in the buffer yard. No manufacturing, processing, or storage of materials, goods, or items shall be permitted in the buffer yard. Green stormwater infrastructure is permitted within the buffer yards provided the plantings proposed meet the buffer requirements of this section.

#### **PEC Question 3:** Regarding turf grass and deep-rooted plants.

**Suggested Ordinance Changes:** We defer to NBT Staff regarding language in Ordinance Chapter 10 Health and Safety regarding grass height.

#### § 27-2702 Open Space Designation

- b. In designating use and maintenance, the following classes may be used:
- ~~1. Lawn. A grass area with or without trees which may be used by the residents for a variety of purposes and which shall be mowed regularly to insure a neat and orderly appearance.~~
  - ~~1. 2. Natural Area.~~ An area of natural vegetation undisturbed during construction, or replanted. Such areas may contain pathways. Meadows shall be maintained as such and not left to become weed-infested. Maintenance may be minimal, but shall prevent the proliferation of weeds and undesirable plants such as honeysuckle and poison ivy. Deep-rooted native plants are encouraged over turf grass where possible. Litter, dead trees and brush shall be removed and streams shall be kept in free flowing condition.

## §27-2803 General Requirements

- b. All buffer yards shall be maintained and kept clear of all debris, rubbish, weeds, and tall grass except for meadow or other landscaping that includes native herbaceous material for a naturalized planting scheme.

## § 22-713 Landscape Planting.

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:
  - A. Reduce soil erosion and protect surface water quality by minimizing stripping of existing woodlands or tree masses.
  - B. Reduce stormwater runoff velocity and volume by providing planting areas where stormwater can infiltrate.
  - C. Improve air quality by conserving existing or creating new plantings, which produce oxygen and remove carbon dioxide from the atmosphere.
  - D. Conserve natural, or historically, culturally or environmentally sensitive landscapes such as wooded hillsides, scenic views, and natural areas, while enhancing the aesthetic appearance of the Township and community.
  - E. Provide native planted buffers for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape and protect surrounding areas.
  - F. Improve the environment for pedestrians along streets, parking areas and other pedestrian areas.
  - G. Preserve, enhance and expand native flora by mimicking the localized native plant community.
  - H. Encourage deep-rooted native plants for any disturbed areas in lieu of turf grass except for areas for outdoor recreation and gathering and similar uses.
  - I. To manage existing vegetation through the removal or management of dead, diseased, dying trees and invasive species that could create a hazard to the health, safety and welfare of the community.
6. Plant Materials, Specifications, Maintenance, and Guarantee. The following standards shall apply to all plant materials or transplanted trees as required under this chapter:
  - E. A minimum of 10% of all areas to be replaced with lawn shall be planted with deep-rooted native plants. The landscape plan shall include the area calculation, area designated for deep-rooted native plants, and maintenance guidelines. This area shall not be restored as lawn.

**PEC Question 4:** Regarding using cul-de-sac islands and medians for stormwater

**Suggested Ordinance Changes:**

§22-705.8. Permanent Cul-De-Sac Streets

- C. Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet. Alternatively, for private cul-de-sac streets, a landscaped island is permitted to reduce impervious area and for stormwater collection and treatment. The cartway width shall be a minimum paved width of twenty (20) feet unless a greater width is needed to accommodate emergency vehicles and as approved by the Fire Marshall. "No Parking" signs shall be installed as directed by the Fire Marshall. The island shall have mountable curb unless otherwise approved for drainage. If no curb is proposed, there shall be a minimum 2% salt-tolerant vegetated slope for 5 feet for pavement support.

**EAC Recommendations**

**EAC Recommendation 2:**

Regarding incorporating Green Stormwater Infrastructures into parking lot designs, we recommend adding the following definitions:

Green (Stormwater) Infrastructure – Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

Bioretention – A stormwater retention area that utilizes woody and herbaceous plants and soils to remove pollutants before infiltration occurs.

Bioswale – a swale that uses bioretention and often includes native plants to absorb runoff and pollutants.

Porous Pavement/Pavers – stormwater controls that allow stormwater to infiltrate through the surface of the pavement/pavers to the ground below.

Structural Soils – engineered soil generally made up of soil and crushed stone to provide a solid structural foundation for urban infrastructure while giving trees access to nutrient soil in tricky urban environments.

Rain Gardens - a stormwater treatment where water filters and settles out suspended solids and sediment at the mulch layer prior to entering the plant/soil/microbe complex media for infiltration and pollutant removal.

**Suggested Ordinance Changes:**

SALDO § 22-708.1 Parking Areas

1. General Standards.



- A. Parking areas shall be provided for all subdivisions and/or land developments in accordance with the Zoning Ordinance [Chapter 27] and retrofitted for projects where the building is proposed to be expanded by 50% or more of the existing building square footage to improve the performance of the existing parking lots in an equitable manner.
- B. Parking areas shall be designed to create a hierarchy of access drives and parking aisles to direct vehicular traffic from a public street. Parking areas shall also be designed to separate pedestrian and vehicular traffic.
- C. On-street parking shall be parallel parking only. No angular or perpendicular parking shall be permitted along streets.
- D. Parking areas shall be designed to permit access to each vehicle without the need to move other vehicles.
- E. Nonresidential parking areas shall be designed to prohibit vehicles backing directly into any street.
- F. Entrances and exists for off-street parking areas shall be located so as to avoid interference with street traffic.
- G. Parking lots shall integrate stormwater management and landscape design by the use of plants and soils to naturally detain, treat, and infiltrate runoff from impervious surfaces.
- H. Green parking lot standards are required to be met for all parking lots or expansions of 10 spaces or more.
- I. Grid/grass structures are encouraged in perimeter parking areas that are seldom used or used seasonably. Permeable pavement systems, including interlocking concrete pavers and grid systems, are encouraged in low-traffic areas such as parking bays, residential parking pads, driveways, and reserve areas or overflow parking areas.
- J. §22 Redevelopment of Existing Parking Lot – For projects where the building is being expanded by 50% or more of the existing building footprint, a minimum of 50% of the existing parking lot area shall be brought into compliance with these requirements.

...

#### 6. Parking Area Design Standards

- J. Walkways shall be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian full view of oncoming vehicles with minimum interference from trees, shrubs, and parking cars.
- K. Where pedestrian circulation crosses vehicular routes, a crosswalk with a different material, pavement striping, speed tables, and/or signage shall be provided.

L. At least one pedestrian route shall be provided and aligned within the parking lot with the main entry of a building to facilitate pedestrian movement where the building is open to the public. Clear separation/division from vehicular areas with landscaping, grade change, or surface material change shall be provided.

#### SALDO § 22-713 Landscape Planting.

§ 22-713.4.B(1) Any lot with 30 parking spaces or more shall have landscaped areas within the paved area equal to a minimum of 5% of the total paved area. The total paved area shall exclude landscape strips around the perimeter.

§ 22-713.5.B (1) Off-Street Parking Areas. ~~One deciduous or evergreen shrub~~ Densely planted with a mixture of evergreen and deciduous shrubs and grasses every five feet to create a screen along the perimeter of the parking area.

§ 22-713.6.E. To ensure plant diversity and the sustainability of the installation in parking lots, the following plant diversity is required, where 60% of trees in parking lots must be large shade tree species:

Plant Diversity Requirements		
Minimum Number of Required Trees	Minimum Number of Tree Species	Maximum % of any 1 species
0-5	1	100
6-15	2	50
16-30	3	40
31-50	5	30
51+	6	20

§ 22-713.6.F. No one tree or shrub shall comprise more than 25% of the total number of plants of the same species.

§ 22-713.5.B(1) (a) In addition to the above, for every parking lot buffer that abuts a sidewalk or a street, one of the options below shall be installed:

(1) Option A: One (1) shade tree and 10 shrubs shall be planted for each 30 feet of buffer length and 1 square foot of perennial plantings for every linear foot of total buffer.

(2) Option B: A low-wall fence or berm not to exceed 3 feet in height or 3:1 slope as measured from the adjoining sidewalk, along with 1 tree per 30 feet of buffer length and three shrubs for every 20 feet of buffer length.

#### SALDO § 22-714 Lighting

##### 4. Parking Areas and Loading Facilities

D. All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk. For all commercial, industrial, public recreational, and



institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to permit extinguishing sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.

F. Glare Control

2. All lighting fixtures shall meet all applicable IESNA cutoff criteria.

G. Any standard parking lot pole lighting shall be setback a minimum of 12 feet from any shade tree.

7. Where required by this chapter, illumination levels shall have intensities and uniformity ratios in accordance with recommended practices of the IESNA Lighting Handbook, 9<sup>th</sup> edition or most recent edition, relevant IESNA Recommended Practices. Handbook RP-20-98 an ~~dIESNA Handbook RP-8-00, as amended,~~ and in accordance with the minimum standards listed below:

**EAC Recommendation 6:** Regarding suitable surfaces for trails

**Suggested Ordinance Changes:**

§22-707.1.C. – Pedestrian Walkways, Recreational Trails and Bicycle Lanes

Construction Standards. As approved by the Board, pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas. Asphalt pedestrian walkways or recreational trails shall be constructed with 2 1/2 inches of wearing course and six inches of 2A stone subbase. Concrete pedestrian walkways or recreational trails shall be constructed with four-inch class 'AA' (3,500 PSI) concrete and four inches 2B (Clean) stone subbase. Pervious asphalt, concrete, or pavers may be installed for facilities to be privately owned.



**New Britain Township – Green Stormwater Infrastructure Ordinance Evaluation**  
**Pennsylvania Environmental Council (PEC)**  
**August 2024**

**New Britain Township – Proposed Code and Policy Recommendations**

**Introduction**

This report summarizes PEC’s proposed recommendations from a Barriers to Green Infrastructure evaluation of New Britain Township’s codes and policies. PEC staff, coordinating with New Britain’s professional planning staff (David Conroy), an elected official (Supervisor MaryBeth McCabe), and an Environmental Advisory board member (Kathleen Davis), undertook an analysis of the zoning code, subdivision and land development ordinance, stormwater ordinance, and other related plans and codes. The analysis followed a streamlined version of the green stormwater infrastructure (GSI) evaluation tool developed by the University of Wisconsin’s Sea Grant program.

The full University of Wisconsin’s GSI evaluation tool includes over 100 questions in 12 categories. PEC staff evaluated the tool, talked to its authors, and then adapted it for use for PA municipalities. Full audits were first conducted in four suburban Philadelphia municipalities. PEC analyzed the feedback from each audited municipality regarding the recommendations that were made and identified the top 12 topics/questions of interest. PEC focused on these top 12 questions during the review of New Britain Township’s codes and ordinances. We consolidated our responses on the parking lot and street-scaping GSI areas questions and therefore have summarized our recommendations under 10 question responses.

PEC aligned the question responses under topic areas identified in the University of Wisconsin’s evaluation tools, including **Construction Management, Design Standards, Education and Outreach, Landscaping, and Stormwater Management Standards**. The topic area questions are presented, associated New Britain Township codes and current practices are summarized, and recommendations to further enable GSI are provided. These recommendations are intended to assist Township staff and elected officials in evaluating and adopting updates to current code language or policies.

**New Britain Township Green Stormwater Infrastructure Ordinance Language**

A primary goal of the GSI evaluation is to establish the option to install GSI by right when conducting a land development project. New Britain Township has enabled this option through their Chapter 26 stormwater management ordinance, which requires that low impact development and GSI practices be used “To the maximum extent practicable”, or “utilized ... wherever possible”, or “justification must be included if BMPs other than GSI methods and LID practices are proposed”. These match the recommendations to use GSI made in the Pennsylvania Department of Environmental Protection’s 2022 Municipal Separate Storm Sewer System permit model stormwater ordinance. The Township’s Chapter 26 requirements are as follows, with the relevant requirements extracted from the full text of the ordinance:

#### **26-121 General Requirements**

- Section 8-C – To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.

#### **26-123. Volume Control. [ Ord. No. 2022-09-03, 9/26/2022 ]**

- Section 2. The green infrastructure and low impact development practices provided in the BMP manual shall be utilized for all regulated activities wherever possible.

#### **26-132. SWM Site Plan Requirements**

- Section 2-C-11. A justification must be included in the SWM site plan if BMPs other than green infrastructure methods and LID practices are proposed to achieve the volume, rate and water quality controls under this Part.

#### **26-134. Stormwater Management (SWM) Site Plan Review**

- Section 3 - For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

By incorporating these GSI recommendations and requirements into their stormwater management code, the Township has achieved the primary goal of the GSI barrier review, requiring the use of GSI by right during the land development process.

The following questions and code summaries provide recommendations on how to further enable the implementation of GSI projects during the development process. Consideration of how the Township's Zoning code, Subdivision and Land Development Ordinance (SALDO) and other related development codes can further support the successful implementation of GSI practices are provided.

## **Topic 1 – Landscaping**

**Question 1:** Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as stormwater control areas? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeters or islands?

### **Code Reference:**

#### **Chapter 22: Subdivision and Land Development**

##### **§ 22-708. Parking Areas**

##### **2. Parking Stalls.**

- C. All proposed planting islands and strips shall be provided with curb.
- E. No parking area shall exceed 30 spaces in capacity, without being separated into smaller parking areas by ten-foot planting strips.
- G. To separate parking areas and access drives, planting islands, a minimum of 10 feet by 36 feet, shall be provided at the end of each row of parking stalls.

##### **§ 22-713. Landscape Planting**

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:

- A. Reduce soil erosion and protect surface water quality by minimizing stripping of existing woodlands or tree masses.
- B. Reduce stormwater runoff velocity and volume by providing planting areas where stormwater can infiltrate.

##### **3. Parking Area Landscaping.**

- A. Planting Islands. All ten 10 foot by thirty-six-foot planting islands shall contain two shade trees and all ten-foot by eighteen-foot planting islands shall contain one shade tree.
- B. Planting Strips. Planting strips shall be a minimum of 10 feet wide, and shall run the length of a parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average.
- C. All planting islands and strips shall be underlain by soil, not stone or bituminous material, and shall be graded not to exceed a slope of five horizontal to one vertical.
- E. Shade trees shall be selected from the List of Required Plant Material contained in the Appendix.
- F. All required parking area trees shall be in addition to any parking area trees required by the Zoning Ordinance [Chapter 27].

§ 22-722. Butler Avenue Corridor Overlay District.

D-Parking

- (8) Paved Area Landscaping.
  - (a) Any lot containing three or more parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.
  - (b) One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section of this Code. The trees shall be chosen from the list of street trees provided above. Where more than three trees are required, no more than 25% of any one species shall be used, and where three or fewer trees are required, each must be of a different species.
  - (c) At least 50% of the parking area trees required by Subsection 4D(8)(b) above shall be planted within the paved parking area within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing" and shall have a minimum interior dimension of five feet.
  - (d) For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this subsection, one fewer shade tree shall be required to be planted.

**Chapter 27: Zoning**

§ 27-2904. Design Standards for Off-Street Parking

- a. General requirements
  - 5. Defined Traffic Ways. All parking areas shall include clearly defined and marked traffic patterns. In any lot with more than 30 off-street parking spaces, raised curbs and landscaped areas shall be used to direct traffic within the lot.
- g. Paved Area Setbacks (including Off-Street Parking Setbacks).
  - 1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in storm water management along streets.
  - 2. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks of six feet wide or less. Storm water control facilities may be located within this setback area. No fence shall be located within the paved area setback.
  - 3. No off-street parking space nor outdoor display of vehicles or articles for sale shall be located within 10 feet of the ultimate right-of-way line of any street.
- h. Paved Area Landscaping.



- 1. Any lot that would include more than 30 parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.
- 2. One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section or by the Subdivision and Land Development Ordinance [Chapter 22].
- 3. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."
- 4. Existing Trees. For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this section, one less shade tree shall be required to be planted.

## **Chapter 27: Zoning (Specific to Parking Minimums)**

### § 27-2901. Off-Street Parking Requirements

- *includes a table listing parking space requirements for various land uses.*

### § 27-2903. Conditional Reduction in Off-Street Parking Area

*(i.e., when minimal parking space requirements can be reduced to limit the amount of paved parking areas, preserve open space and limit storm water runoff).*

- b. Following a review and recommendation by the Planning Commission, the Board of Supervisors may permit a reduction of the number of parking spaces to be initially developed as required by this Part, pursuant to the provisions of the Subdivision and Land Development Regulations, provided each of the following conditions as satisfied:
  - 1. The applicant shall demonstrate to the Board, using existing and projected (five years) employment, customer, resident or other relevant data, that a reduction in the off-street parking spaces to be initially developed as required by § 27-2902 is warranted.
  - 2. Plans.
    - (a) The applicant shall submit plans of the parking lot(s) which designate a layout for the total number of parking spaces needed to comply with the parking requirement in § 27-2901.
    - (b) The plans shall clearly designate which of these parking spaces are proposed immediate use and which spaces are proposed to be conditionally reserved for potential future use.
    - (c) The portion of the required parking spaces reserved for future use shall not be within the required buffer yards unless otherwise approved by the Township.
  - Agreements.

- (a) The applicant shall enter into an agreement with the Township requiring the applicant to maintain each conditionally reserved area as attractively landscaped open space and convert some or all of the conditionally reserved area to additional off-street parking if at any time the Board finds that additional parking is needed.
- (b) This agreement shall be recorded to the deed as a covenant running with the land.
- (c) The Zoning Officer shall bring the parking reduction agreement to the Board of Supervisors for reconsideration if the Zoning Officer determines that the reduced parking is not meeting actual needs, based upon field investigations.
- (d) This agreement shall include provisions for financial security and for the timing of the improvements.

#### **Current Practice:**

The New Britain Township SALDO and Zoning codes identify the use of parking lot landscaping areas for stormwater management. These codes establish the required dimensions of landscaping areas, the types of landscaping features (trees/grasses), and planting mediums (all planting islands and strips shall be underlain by soil, not stone or bituminous material). Minimum parking lot landscaping island sizes are set within the SALDO (10 feet x 36 feet between parking areas and access drives, 10 feet x 18 feet between parking rows). SALDO parking lot landscaping requirements include minimizing the stripping of existing woodlands/trees masses and providing planting areas where stormwater can infiltrate. The zoning code requires raised curbs and landscaping areas for parking lot with more than 30 spaces, with a maximum of 15 consecutive/contiguous parking spaces allowed without being separated by a landscaping island. The zoning code also requires setbacks (10 feet right of way line) between parking lots and streets that must be maintained as grass or other natural cover and can be used for stormwater management.

New Britain Township also allows minimum parking space requirements to be conditionally reduced, provided that data documenting the need for less space is provided and the conserved space realized through the reduction in parking is maintained as landscaped open space.

#### **Recommendations:**

The Township should consider clarifying the requirements in the SALDO and Zoning Code on the sizing of parking lot landscaping edges/islands and on the vegetation used within these features, with the goal of increasing the use of GSI and its successful establishment. The Township codes currently call for parking lot islands of either 10 feet x 36 feet (360 Ft<sup>2</sup>) or 10 feet x 18 feet (180 ft<sup>2</sup>) and references the use of raised curbs in the zoning code. The minimum size of landscape islands in setbacks between parking lots and street right of ways does not appear to be specified (i.e., a 10-foot minimum set-back is noted).

We recommend that the Township confirm and consider raising the minimum size of landscaping islands to enable the use of GSI such as bioswales and rain gardens. The Montgomery County Planning



Commission's (MCPC's) **Sustainable Green Parking Lot Guide** recommends minimum landscaping area sizes of 340 ft<sup>2</sup> to promote shading, the healthy, vigorous growth of larger shade trees, and to create generous physical space to accommodate rain gardens or depressed absorbent areas for stormwater detention and infiltration in the interior of the parking lot. New Britain references the minimum of 10 feet by 36 feet planting island between parking areas and access drives, which meets the MCPC size recommendation. New Britain also references the 10 feet by 18 feet island size (presumably between parking rows). Increasing landscaping island sizes to better allow for sustainable parking lot GSI features is recommended.

**MCPC's Parking Lot Guide** also provides requirements for minimum soil volume and planted area dimensions needed to ensure adequate soil volume for tree health and adequate space for growth. All planting islands, strips, and bioretention areas should have soils improved to a depth of 30 inches. A soil improvement detail and notes, including the removal of all construction debris and existing compacted soil and the proposed soil improvement mix, should be provided with the landscape plan. The Guide recommends minimum soil volumes that can support the needs of canopy trees (for example, 1,000 to 1,200 cubic feet to support large canopy trees). The Guide also recommends that parking lot planting areas have curb cuts and inlets to allow rainwater to enter the planting areas. New Britain code should clarify that recessed curbing is allowed to allow such inlets to parking lot landscaping features. And finally, the MCPC Guide recommends plant lists for green parking lots. Additional landscaping plan native plant requirements included in the **Lower Makefield Township SALDO** are referenced in the Appendix.

Regarding minimum parking space requirements, the Township does provide a conditional use process through which parking lot spacing can be reduced. The application of this conditional use process is encouraged to reduce the need for impervious parking spaces that are determined to be not required. The Township should consider initiatives to further reduce and/or eliminate minimum parking space requirements. The American Planning Association has provided "A Business Case for Dropping Parking Minimums" (see reference in Appendix). The article references a Parking Reform Network and a map of cities and towns in the United States and elsewhere that have eliminated parking lot minimums.

***\*See Appendix for above-referenced guidance documents/other information.***

**Why:** Establish minimum area, volume, and retention of existing trees/vegetation standards so that parking lot landscaping areas can be adopted for stormwater/GSI features at sizes that allow native trees and other vegetation to withstand/thrive in the harsh conditions that can be associated with parking lot landscaping islands/perimeter swales.

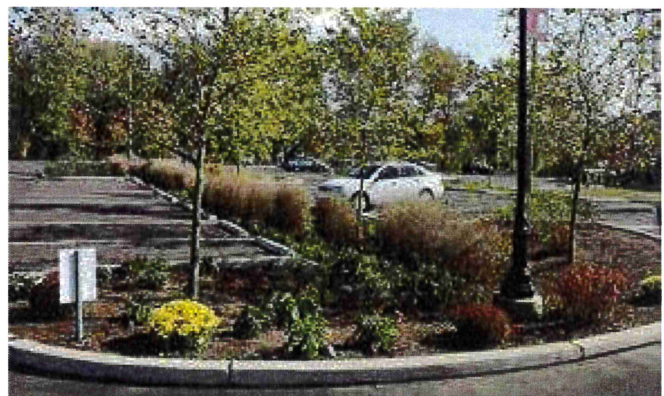


Figure 1. Shade trees planted in rain garden with shrubs and perennials to enhance growing conditions Montgomery County Community College West Campus, Pottstown Borough

**Question 2:** Is there a process or standard to waive numerical, spacing, and species requirements from stormwater-control measure in required landscape areas?

**Code References:**

**Chapter 22: Subdivision and Land Development**

§ 22-713. Landscape Planting

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:

- E. Provide planted buffers for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape.



Figure 2. A rain garden manages stormwater runoff in Philadelphia's Germantown section.

5. Landscaped Buffer and Screens.

- A. All subdivisions and/or land developments shall comply with the buffer yard requirements of the Township Zoning Ordinance [Chapter 27].
- B. Landscaped buffers and screens shall be required for proposed land developments to screen or delineate the following site elements:
  - (1) Off-Street Parking Areas. One deciduous or evergreen shrub planted every five feet along the perimeter of the parking area.
  - (3) Detention/Retention Basins. One deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement.
  - (6) Multifamily Residential Units. A berm varying in height from three to five feet, with one ornamental or evergreen tree for every 20 feet, plus one deciduous or evergreen shrub for every 10 feet, planted in an informal arrangement along the perimeter of the property being subdivided. The maximum side slopes of the berm shall be four horizontal to one vertical.
  - (7) Active Recreational Areas and Facilities. A berm varying in height from three to five feet, with one ornamental or evergreen tree for every 20 feet, plus one deciduous or evergreen shrub for every 10 feet, planted in an informal arrangement along the perimeter of the property being subdivided. The maximum side slopes of the continuous berm shall be four horizontal to one vertical. The Board may require

fencing depending on the type of proposed recreational facilities and/or adjacent land uses.

#### § 22-722. Butler Avenue Corridor Overlay District

##### C. Site Layout

- (7) Buffering and Landscaping.
  - (e) Along any property line which adjoins an existing residential zoning district or use, a buffer planting strip of not less than 45 feet in depth shall be planted and maintained in accordance with the buffer requirements set forth in Chapter 27, Zoning.

### **Chapter 27: Zoning**

#### 27-2801. Minimum Buffer Area Widths

- *sets buffer widths for zoning districts, ranging from 25 to 75 feet.*

#### 27-2802. Content of Planting Strips.

- a. The following minimum spacing and composition are required for planting strips:
  - 1. Each strip shall contain two staggered rows of evergreens or a combination of trees and shrubs listed below.
  - 2. Where rows of evergreens are being planted, each row shall be no greater than 20 feet apart, and the plants in each row shall be planted at a density of one plant every nine linear feet.
  - 3. Where a combination of trees and shrubs is being planted, this mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. (Table provides plant types/spacing requirements for buffer widths).
- b. Plant Diversity. To promote diversity and minimize the impact of disease on tree, shrub, and plant populations, the following tables shall be followed to determine the number of different genera (plural of the taxonomic rank genus) to be planted (chart requiring species diversity based on number of plants required).
- c. Plant materials shall be selected from the following list (lists of plants, EAC reviewed focusing on inclusion of native species and the removal of nonnative species).

#### **Current Practices:**

Overall, zoning buffer requirements set buffer sizes and general planting and berming requirements focused on spacing for evergreen/deciduous trees and shrubs. Buffer width requirements range from 25 to 75 feet depending on land use. Plant diversity and material specifications are prescribed (PEC noted



that the Township EAC has reviewed the buffer plant list focusing on inclusion of native species and removal of non-native species).

**Recommendation:**

Modify SALDO and zoning buffer codes to allow for stormwater treatment buffers as an option which may include a combination of fencing and plant material for both screening and stormwater treatment. Buffers can include stormwater management features that support wildlife where visual screening is still achieved. Require use of native plants in the prescribed mix of evergreen/deciduous tree and shrub buffers. Add provision allowing alternative spacing if used as stormwater control measure. The Chester County Planning Commission's **Conservation Subdivision Design Guide** provides general buffer/screening standards and recommends use of native plants.

During previous ordinance evaluations conducted by PEC, Township staff did note that consideration should be given to the loss of open space if the buffer is combined with a stormwater management feature (i.e., the combined features include less open space than if they are two separate features). If the loss of open space could occur with these buffer requirement changes (for example, if developer would not be agreeable to exceeding stormwater management requirements through the addition of stormwater features in buffer areas), then consider requiring nature-based landscaping in buffers to provide other environmental and conservation benefits such as wildlife/pollinator habitat.

***See Appendix for above-referenced guidance document.***

**Why:** Codes often require buffers between properties or uses to be composed of a "dense evergreen hedge", a berm, or similar. Codes can be modified to provide an option for integrating vegetated stormwater-control measures or other natural landscaping features using a combination of fencing and plants for screen and buffer areas.

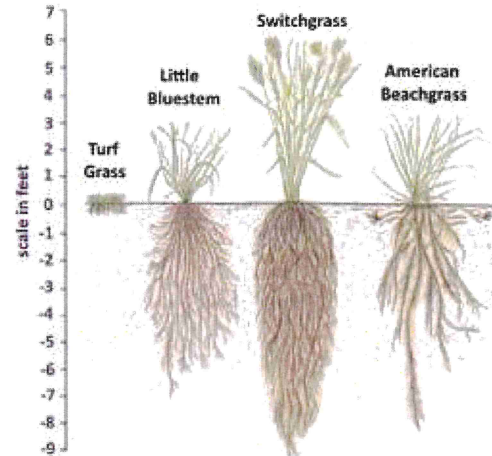
**Question 3:** Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

**Code Reference:**

**Chapter 10 Health and Safety – Part 2 Restricting Height of Vegetation**

**§ 10-201- Vegetative Growth a Nuisance under Certain Conditions**

- No person, firm or corporation owning or occupying any property within New Britain Township shall permit any grass or weeds or any vegetation whatsoever, not ordinarily edible or planted for some useful or ornamental purposes to grow or remain upon such premises so as to exceed a height of six inches within 200 feet of any residential dwelling. Any grass, weeds or other vegetation growing upon any premises in New Britain Township in violation of any of the provisions of this section is hereby declared to be a nuisance and detrimental to the health, safety, cleanliness and comfort of the inhabitants of New Britain Township. Properties defined as wildlife refuge, wetlands, detention basin areas, woodlands, environmentally sensitive areas or other areas which removal would not be appropriate shall not be in violation of any provisions of this section.



*Figure 3. Native Plants vs. Turf Grass Root Depths (Mass.Gov)*

**Current Practice:**

There is currently not any language located in the code explicitly encouraging the use of deep-rooted plants in-lieu of turfgrass. Turfgrass seems to be the standard for new subdivisions and construction and Chapter 10 Health and Safety actively discourages this with their regulations on the height of vegetation. Most deep-rooted species will far exceed the six-inch height limit, so this creates a real barrier to any effort to cut down on the amount of turfgrass used in subdivisions.

**Recommendation:**

Overall, consider updates to the SALDO that require the use of deep-rooted native plants and that limit the use of turf grass to appropriate areas such as for outdoor recreation and gathering. We recommend the use of native plant species, and the limitation of turf lawn areas, to be more broadly adopted in the SALDO ordinances. For example, consider adopting language such as that used **by Lower Makefield Township (Section 178.80 Landscape Plan Requirements)** that requires native plants be used for landscape plans in areas such as: minimization of site disturbance, street trees, buffers, parking area landscaping, preservation of trees in the right-of-way, tree protection during grading, and construction and planting in conjunction with stormwater management. To further enable lawn to meadow/native plant conversions, include lists of native plants in the ordinances that include tree, shrub, and forb species



and state that they be used as default/priority choices of plant palettes in the designated landscaping areas.

The Township Health and Safety Ordinance “Chapter 10-201 Vegetative Growth a Nuisance Under Certain Conditions” does not allow for *grass or weeds or any vegetation whatsoever, not ordinarily edible or planted for some useful or ornamental purposes to grow or remain upon such premises so as to exceed a height of six inches within 200 feet of any residential dwelling*. Understanding that residential area landscaping typically includes extensive turf grass cover, and that the transition of turf grass lawns to native plants such as meadow flowers and grasses may be challenged, the Township should consider adopting language in this ordinance or elsewhere that enables taller native plant species. Examples of other townships that have established such ordinances such as Lower Merion Township, Cheltenham Township, and Springfield Township are included in the Appendix. What is typically required are setbacks from streets, structures, and/or adjacent properties, in some cases requirements to register or otherwise have a landscaping plan for the lawn to meadow conversion, and the continued control of invasive species/invasive plants.

In the Township’s amendments to the Appendix D Required Plant Material List for SALDO, continue to be mindful of native species when providing recommendations for specific plants, and consider expanding the selection to native grasses as well. Providing a list of native, deep-rooted plants will help to enable the planting of these species with new development. Refer to the aforementioned **Lower Makefield Township list of native plants** and **the Philadelphia Water Department’s Stormwater Management Guidance Manual** for more examples of native and non-invasive deep-rooted plants.



Figure 4. Native planting buffer in residential yard  
(American Meadows Blog)

***\*See Appendix for above-referenced code/guidance documents.***

Why: Native plants are well adapted to local conditions and upon establishment can thrive, providing multiple benefits ranging from stormwater management to wildlife and pollinator habitat, to urban heat island affect mitigation. Conversely, turf grass/sod, while a necessary amenity for areas used for recreation and gathering areas, does not provide stormwater management and related benefit, so its use should be minimized. Reducing the footprint of turf grass lawns will slow down and infiltrate stormwater runoff and provide habitat for native birds, butterflies, and other pollinator species.

**Question 4:** Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

**Code Reference:**

**Chapter 22: Subdivision and Land Development**

**§ 22-705. Streets**

**8. Permanent Cul-de-Sac Streets**

- C. Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet.
- F. A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.

**Current Practice:**

The code does not specifically call out for the integration of stormwater management in cul-de-sacs or medians. The required size of the cul-de-sac would allow for the integration of a stormwater management island as documented in the recommendation section.

**Recommendation:**

Amend SALDO and Stormwater Management Codes to include stormwater treatment within cul-de-sac islands as an allowable use. Address Public Works requirements (e.g., for snow plowing and fire truck access). The Chester County Planning Commission, **Municipal Corner, Conservation Subdivision Design Guide** provides sample ordinance language for cul-de-sac turnarounds. The cul-de-sac turnaround shall have a right-of-way radius of fifty-five (55) feet and an outer paving radius of forty-five (45) feet. The moving lane around the center island shall have a paved width of twenty (20) feet. The City of Philadelphia (*PWD Plan Review: Chapter 6 – Utilizing Existing Site Features*) does not encourage cul-de-sacs and other “dead ends”. But the City recognizes that when cul-de-sacs are unavoidable, they can be designed with central islands that reduce impervious area and to allow for infiltration of stormwater runoff. **Philadelphia Code (§14-2104)** stipulates, “Cul-de-sacs, permanently designed as such shall have at the closed end a turn-around containing a right-of-way having an outside radius of not less than 50 feet, which shall be paved to a radius of 40 feet.” A cul-de-sac can be designed to meet these standards and still provide stormwater management. An island can be designed in the center of a cul-de-sac that provides a sufficient travel lane but reduces impervious area and manages stormwater from the street and adjacent properties. The entire street should be graded to the central island to the extent that surrounding topography allows. The island would be designed like a bioretention facility and runoff can enter the island through curb openings or a curb-less design.

Current New Britain code provides adequate dimensions for stormwater features within a cul-de-sac (minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet). Whereas PEC noted

that cul-de-sacs are allowed and present in the township, the inclusion of stormwater management islands should be integrated into the cul-de-sac design.

The current New Britain ordinance also requires an easement for snow storage (15 foot by 20 foot). No bio-infiltration stormwater control measure should be installed in the snow storage easement area.

***\*See Appendix for above-referenced code and other guidance documents***

**Why:** If standard specifications do not allow for different engineering designs, some variance procedure or alternative standard may be needed.

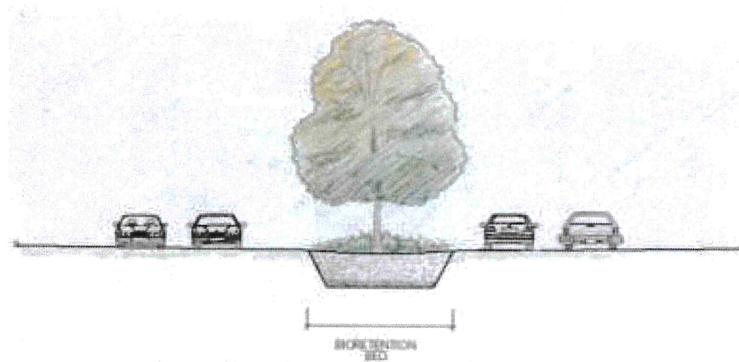


Figure 6-4: Cross-section view of a bioretention cul-de-sac. The island of the cul-de-sacs accepts stormwater from surrounding pavement

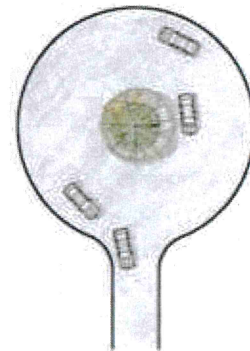


Figure 6-3: Cul-de-sac with bioretention

Figure 5. Section and Plan: cul-de-sac with bioretention (Philadelphia Water Department)

**Question 5:** Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on site plans?

**Code Reference:**

**Chapter 21: Streets and Sidewalks**

**§ 21-403. Winter Storms.**

**1. Ice and Snow Removal.**

- Sections A through D provide general requirements for property owner snow removal.

**2. Improper Ice and Snow Removal.**

- A. No snow or ice shall be plowed, pushed, thrown, or cleared from private property onto a public street, sidewalk, bike path, pedestrian path, gutter, or swale.
- B. No snow or ice shall be plowed, pushed, thrown, or cleared from private property onto a neighboring property without the express permission of the owner of the neighboring property.



- C. No person shall deposit or cause to be deposited any snow or ice on or immediately next to a fire hydrant.

## **Chapter 22: Subdivision and Land Development**

### § 22-705. Streets

#### 8. Permanent Cul-de-Sac Streets

- F. A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.

## **Chapter 27: Zoning**

### § 27-305. Use Definitions and Regulations.

#### B - Residential Uses

- B10. Village House Development.
  - b. dimensional standards
  - 14. Snow Removal: All common areas shall have a blanket easement for the deposit of snow. One area of 10 feet by 15 feet per 20 dwelling units or portion thereof will be eased in areas designated by the Public Works Superintendent for deposit of snow.

### **Current Practice:**

The Township has a general ice and snow removal ordinance for property owners. It also has ordinances specifying 10 feet by 15 feet easements for snow disposal associated with cul-de-sacs (in SALDO) and with the B10. Village House Development (in Zoning).

### **Recommendation:**

Consider any further need for specific snow storage areas, where those storage areas should be located, and how they should be managed. If larger volume snow storage is occurring, require that stormwater site plan requirements include locations of existing and proposed snow storage areas. The Appendix includes guidance document references on the siting and management of snow storage areas, focusing on protecting water supply areas/aquifers/waterbodies and other salt vulnerable areas such as wetlands. Specific areas of concerns in New Britain Township in addition to cul-de-sac and Village House Development areas could be commercial and parking lot areas where snow stockpiling is more likely to occur. The protection of dedicated stormwater management bioretention areas in such areas should also be considered. Upon the dedication of specific snow storage areas, add requirement to include existing/proposed areas dedicated for snow storage on SALDO plan(s).

***\*See Appendix for guidance document references.***

Why: Snow storage should be located in areas where melting and infiltration can occur without affecting the performance of stormwater treatment practices or leading to sedimentation and pollution in adjacent streams/wetlands/water supply areas.

## Topic 2 – Design Standards

**Question 6:** Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

### Code Reference:

#### **Chapter 22: Subdivision and Land Development (SALDO)**

##### § 22-705. Streets

##### 15. Crosswalks.

- A. Crosswalks shall be required at intersections and at other locations where necessary to facilitate pedestrian circulation and to provide access to community facilities.
- B. Crosswalks shall be a minimum of five feet in width and shall be constructed in accordance with PennDOT standards.
- C. The Board may require bollards, special paving material, striping, signage or lighting to improve the function of a crosswalk.
- D. Crosswalks shall consist of brick red thermoplastic street imprint with herringbone pattern and six-inch white stripes, unless otherwise approved by the Board of Supervisors



*Figure 6. High density green infrastructure integration (Sasaki)*

##### § 22-713. Landscape Planting

##### 4. Street Trees.

- A. Street trees shall be planted every 30 feet along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development.
- B. Street trees shall be planted between three and five feet outside the ultimate right-of-way line, and as an alternative, the same quantity of trees may be planted in an informal arrangement along the perimeter of the street, when approved by the Board.
- C. Street trees shall be selected from the List of Required Plant Material listed in the Appendix.



§ 22-722. Butler Avenue Corridor Overlay District

4. Standards for Development Within the Corridor Overlay District

- C. Site Layout
  - (7) Buffering and Landscaping.
    - a. Along every public and private public street, a mixture of street trees from the following list shall be planted 50 feet on center:
    - b. All street trees shall be planted in the planting strip located between the curblane and the sidewalk. See the "Typical Plan View" illustration in Subsection 4D(7).
    - c. The street trees shall be planted in a proper location for the chosen species (i.e., the level of sunlight, type of soils, size of planting area, distances to buildings and utilities, etc.). For example, where there may be conflict with overhead utility wires, the shorter tree species should be used.
    - d. Where more than three trees are required, no more than 25% of any one species shall be used. Where three or less trees are required, each must be of a different species.
    - e. Along any property line which adjoins an existing residential zoning district or use, a buffer planting strip of not less than 45 feet in depth shall be planted and maintained in accordance with the buffer requirements set forth in Chapter 27, Zoning. Sidewalks are permitted to cross this strip.

**Chapter 26: Stormwater; Water; Wells**

C Stormwater Management

§ 26-121. General Requirements

8. All regulated activities shall include measures as necessary to:

- To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.

D. Stormwater Management (SWM) Site Plan Requirements

§ 26-134. Stormwater Management (SWM) Site Plan Review

- 3. For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

### Current Practice:

While the use of GSI and LID is required in general terms for stormwater management unless adequate justification is given (outlined in Chapter 26: Stormwater; Water; Wells) there is no language within SALDO or Zoning which designates green infrastructure as being allowed or encouraged in streetscapes specifically. There is also no specification of whether these practices are permitted to extend into the ROW or onto the sidewalks. However, SALDO does currently have a section on street trees that could be expanded to encompass GSI along streetscapes including Stormwater Trees, Stormwater Tree Trenches as well as other types of GSI. There is no writing in the code on traffic calming or how these traffic calming measures can also be co-designed as stormwater control measures.

### Recommendation:

The Township should consider encouraging GSI in streetscape design through amendments within the SALDO ordinances. Language specific to streetscape GSI will help strengthen and clarify the current code within Chapter 26 and provide guidance on integrating GSI with streetscapes. In addition, the township should explore how GSI implementation would interact with street ROW and sidewalks. Low-impact development best practices should be specifically allowed to extend into the public right of way, unless deemed inappropriate by the Town Manager. Stormwater Control Measures such as planter boxes or cisterns should be allowed to extend into the public right of way, unless deemed inappropriate by the Township Manager.

The Montgomery County Planning Commission's (MCPC's) **Green Streets Guide** outlines several design alternatives to traditional streetscape stormwater runoff management. These include Stormwater Curb Extensions, Stormwater Planters, Vegetated Swales, and Rain Gardens. Additionally, the City of Philadelphia **Green Streets Design Manual** outlines Stormwater Trees and Stormwater Tree Trenches which would be helpful as design alternatives as well. We recommend listing and defining these GSI practices within the code in the SALDO 22-202 as well as amending and expanding SALDO 22-713: Street Trees to include streetscape GSI. SALDO 22-713 requires that street trees be planted along all streets where suitable street trees do not exist. As mentioned before, this does not include GSI, but provides the opportunity for overlap considering the integral role that trees can play in many stormwater management strategies. Alternatively, a new section specific to GSI could be developed and situated within SALDO 22-713, recommending the stormwater runoff management alternatives outlined in the Green Streets resources above. These streetscape alternatives should be



Figure 7. Rain Garden along tree lawn (BioCycle)

recommended, or even required on municipality roads, focusing on the larger scale residential and commercial developments/streetscapes that have more impervious surfaces. These practices should also be recommended for applicable roads maintained by PennDOT, if possible.

Several of the design guidelines and general recommendations related to parking lots can also be applied in streetscape design (refer to Montgomery County Planning Commission's (MCPC's) **Sustainable Green Parking Lot Guide** and the recommendations for parking lots within Topic 1 - Landscaping). We recommend that this information be added to the revised SALDO ~~105-48~~. Additionally, design guidelines for specific GSI strategies can be found in the City of Philadelphia **Green Streets Design Manual Appendix**. This document includes technical information and mock construction drawings that provide specifics on these GSI strategies could influence the writing within SALDO itself but will be most helpful in providing guidance and reference for specific types of GSI and how they fit into streetscape design.

GSI practices such as traffic bump-outs and curb extensions may be used as traffic calming measures to increase pedestrian safety in addition to managing stormwater along streets. This helps to reduce crossing distances for pedestrians, slow down vehicle speed, and increase awareness of crosswalk locations for drivers. The township should consider amending and expanding SALDO 22-705 Crosswalks to include information on traffic calming initiatives and encourage them to be constructed around crosswalks, when possible, to improve safety. Specifics on traffic calming strategies, design specifications, case studies, and implementation guidance is provided within **Pennsylvania's Traffic Calming Handbook**, produced by PennDOT. Consider adding these practices to the Butler Avenue Corridor Overlay District as well, if cooperation from PennDOT is possible when addressing roads owned and maintained by the state. Additionally, define any terms such as traffic bump outs and curb extensions in the definitions portion of the code. Clarify that, when possible, these traffic calming initiatives should utilize GSI practices that are outlined in the Stormwater; Water; and Wells code. It may be helpful to include reference and design standards for green stormwater management for traffic calming measures. The township should also consider incentives for projects that go beyond minimum infiltration standards.

In looking to encourage or require GSI within streetscape design, the township should decide how much design specification information they want to include within the SALDO code. While establishing some standards can be helpful, like has been done for parking lots, but getting too specific within the municipal code can be counterproductive, as the applications of each of these strategies will be different based on the site conditions, size and type of streets, utilities, and more. Reference the above resources located in the appendix for more information.

***\*See Appendix for referenced guidance documents and additional information.***



**Why:** Streetscape standards may not enable stormwater trees, sidewalk bioretention, or curb bump-outs in new or renovated streetscapes. Most zoning ordinances specify what elements (ex. Awnings, signs) may extend into ROW. Planter boxes and cisterns often need to be added to the list and permitted to extend at least 24 inches into the ROW.



*Figure 8. Traffic Bump Out - City of Philadelphia*



### **Topic 3 – Construction Management**

**Question 7:** Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

#### **Code Reference:**

##### **Chapter 22: Subdivision and Land Development**

##### **§ 22-505. Community Impact Assessment Report**

- D. Physical Resources Inventory. Physical resources such as topography and shall be described in a narrative and mapped at a scale not exceeding one inch equals 100 feet.
  - (2) The hydrological characteristics of the tract, including the following:
  - (3) Surface water resources and their drainage characteristics, including creeks, streams, ponds, lakes, springs, wetlands, watersheds, flood-plains and man-made structures and impoundments. The existing and proposed surface runoff from the tract shall be calculated, including the potential development of the remainder of the watershed. The flow, depth, capacity and quality of the receiving waters shall be investigated.

##### **§ 22-701. General Standards**

- 5. Applicants shall preserve scenic areas, historic sites, other community assets and landmarks and natural amenities such as trees and waterways.

##### **Chapter 26 Stormwater; Water; Wells**

##### **§ 26-132. SWM Site Plan Requirements.**

- B. Plans. SWM site plans shall provide the following information:
  - (b) Natural Site Conditions
    - 1) An existing resource and site analysis map (ERSAM) showing environmentally sensitive areas including, but not limited to:
      - Steep slopes.
      - Ponds.
      - Lakes.
      - Streams.
      - Wetlands.
      - Hydric soils.
      - Hydrologic soil groups A and B.
      - Vernal pools.
      - Stream buffers.
      - Open channels.
      - Existing recharge areas.
      - Floodplains.

The area of each of these sensitive areas shall be calculated and should be consistent with the runoff volume calculation § 26-123, Subsection 2C(1).

### **Current Practice:**

SALDO outlines the different resources that must be identified on preliminary plans or reviews. These include stream channels, floodplains, wet soils, swales, springs, and other lowland areas, but does not currently include historic stream channels and waterways. There is also no definition of historic stream channels and waterways in the code.

### **Recommendation:**

Township should consider adding language specific to historic stream channels and water bodies to ensure they are identified during site development with opportunities for GSI implementation within these areas. Amend SALDO 22-505 to include historic stream channels and water bodies in the list of surface water resources within the Physical Resources inventory. Amend SALDO 22-701 to include these in the general standards for preservation as well. Amend Stormwater; Water; Wells 26-132 to include historic stream channels and water bodies as natural site conditions to be required in the existing resource and site analysis map. Historic stream channel data is available via the **PA Spatial Data Access Portal**. Further information can be found on the **Bucks County Geospatial Data Hub**. For additional guidance on how local regulation fits into historic preservation see **WeConservePA**.

***\*See Appendix for referenced data portals/hubs.***

Wherever specification of these historic stream channels and water bodies is added into the ordinance, a definition should be added within the definitions section of this term. The suggested definition is as follows:

*A historic stream channel is the route that a currently existing stream, or an extinct stream, used to follow at a certain point in history. The stream channel may have been altered over time through natural means, or due to human intervention. These historic stream channels can indicate flood prone areas to be mindful of during construction or development.*

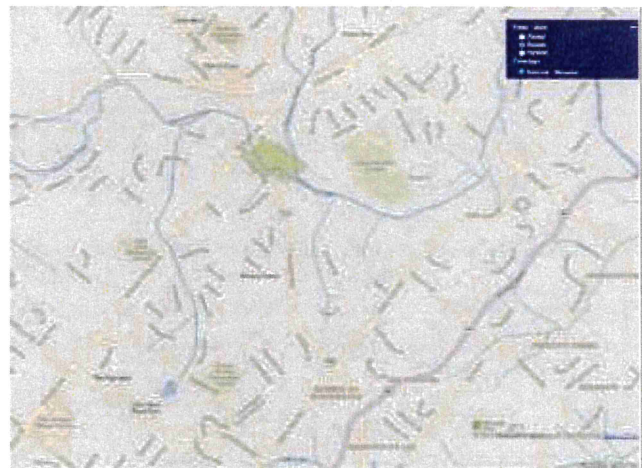


Figure 9. PASDA Historic Streams Map

**Why:** Areas where historic stream channels and ponds have been filled in or modified are often prone to flooding. They may be good areas to incorporate into stormwater management features, open space, or landscaping. Adding to sketch plan requirement carries through to preliminary and final subdivision plan submissions.

## Topic 4 – Education and Outreach

**Question 8:** Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

### Code Reference:

#### Chapter 26: Stormwater; Water; Wells

##### § 26-172. Roof Drains

- Roof drains and sump pumps shall discharge to infiltration or vegetative BMPs and to the maximum extent practicable satisfy the criteria for disconnected impervious areas (DIAs).

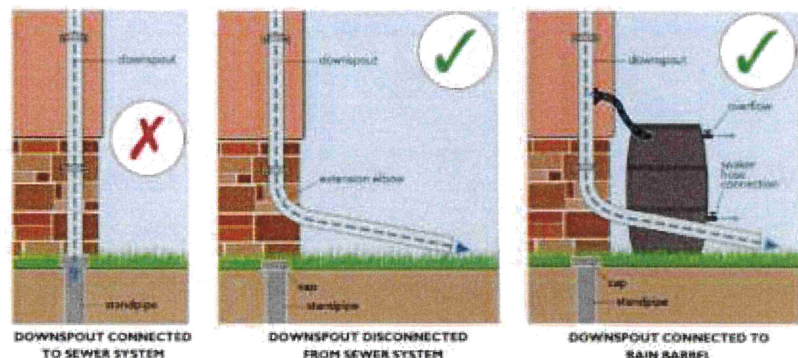


Figure 10. Downspout Disconnection Program (DC Water.Com)

### New Britain Township Website

"Educating yourself on where rainwater and snowmelt flow on your property when it doesn't get absorbed into the ground is a huge first step. Implementing best management practices (BMP) to reduce runoff and to make sure that it is clean when it leaves your property is the next step. Best Management Practices (BMP) include Rain Gardens, seepage pits, rain barrels, and more."

### Current Practice:

The Township already requires that roof drains and sump pumps discharge to infiltration or vegetative BMPs wherever possible. However, there is no mention of downspout disconnections or rain barrels in the Township's code. The Township's website includes rain barrels as a BMP for rainwater and stormwater and links to the DEP and EPA general BMP pages.

### Recommendation:

The Township should build off of the requirements they already have made in Chapter 26 and provide more resources on rain barrels and downspout connections to the existing stormwater page on the township's website. Consider adding additional resources catering to the installation and maintenance of rain barrels as well, refer to the **American Water Rain Barrel Installation Guide** as an example. It would also be helpful to provide a few municipality-endorsed rain barrel options for residents to choose from, like the list provided on the **Whitemarsh Township website**. If there is a dedicated contact for those



interested in rain barrels and other BMPs, add that information for those who may request additional assistance. All of this will help provide education on what rain barrels are, how they function, how they can be installed, and ultimately make it as easy as possible for residents to be able to install these on their own properties. This will eliminate education gaps, simplify the decision-making process, and dissolve any other barriers that may dissuade residents from installing rain barrels on their properties. Consider collaborating with local organizations such as the Neshaminy Watershed Association and Penn State Extension to see what information and resources they already have for distribution. These resources should be added to the website, made into pamphlets or brochures, or distributed by other means to ensure that it reaches the most community members.

Consider adding specific guidance for residents for personal downspout disconnection projects such as the **Pennsylvania American Water: Downspout Disconnection Instructions** that utilize types of GSI other than rain barrels such as rain gardens or bioswales to reduce the amount and slow the speed of water runoff. More information on how these GSI components can interact with downspouts within Stormwater; Water; Wells 26-172 Roof Drains would be helpful.

***\*See Appendix for above-reference guidance document and additional information.***

**Why:** Having a written procedure (even if not formally adopted) for common requests facilitates the use of these techniques and helps manage neighbor inquiries and public concerns.

**Question 9:** Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

**Code Reference:**

- There is no current language located in the municipal code related to rain garden construction or the planting of native plants in yards of lawns.

**New Britain Township Website**

- On the Township site, under the Stormwater section, rain gardens are mentioned as a BMP with links to the Department of Environmental Protection (DEP) as well as the Environmental Protection Agency (EPA)

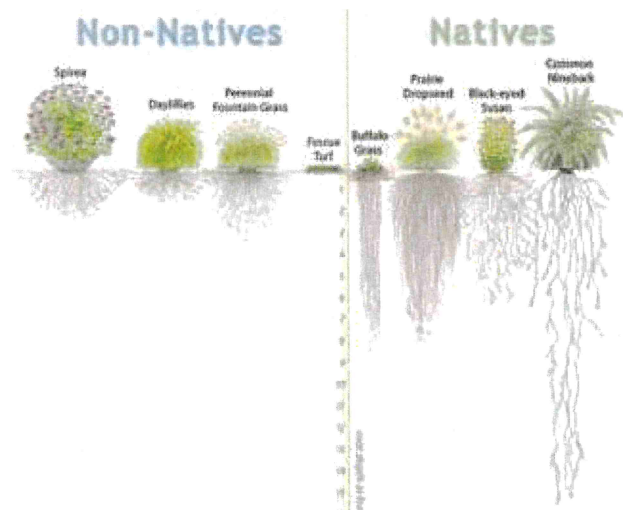


Figure 11. Native vs. Non-Native plant profiles (Reduce Your Storm)



**Current Practice:**

There is no current procedure for review. Other resources on stormwater BMPs including rain gardens are referenced on the municipality website.

**Recommendation:**

The Township should provide or make available simple, small project design guidance for homeowner rain gardens and other small scale or residential green stormwater infrastructure. Additionally, resources on native plantings and recommended planting practices should be provided by the Township for residents working on small GSI projects of their own. This typically come into play when considering smaller projects (0 to 1,000 square feet of proposed impervious surface requiring volume control under Section 26.106 of Stormwater code). The Wissahickon Act 167 Plan has a model stormwater ordinance, entitled the **Wissahickon Creek Watershed Stormwater Management Ordinance**. This includes a small project site plan ordinance within **Appendix B Small Project Stormwater Management (SWM) Site Plan for Residential Development**. The Township should develop their own version of this small project ordinance and include it as an appendix within Chapter 26: Stormwater; Water; Wells.

For resources for residents, The Penn State Extension provides simple, yet informative resources such as **Rain Gardens - the Basics** and **Rain Gardens - the Plants** that would be helpful for reference by the Township and individual residents. Refer to Topic 1 – Landscaping, Question 4 for additional recommendations regarding native and deep-rooted plantings, which are often planted in rain gardens.

We also recommend establishing workforce development training in partnership with local watershed groups/PEC, the Planning Commission & Engineering Consultant who can provide resource guidance on design, construction, and maintenance of residential GSI. The Neshaminy Watershed Association and the Master Watershed Stewards through Penn State Extension are active locally and have many resources that would help educate and guide individuals on rain garden construction and the planting of native species. Like the recommendation made above regarding rain barrels and downspout disconnections, these resources should be shared on the municipality website, made into pamphlets/brochures, or other formats so they are easily accessible to residents.

Note: individual homeowners are responsible for implementation and maintenance of GSI on private properties.

***\*See Appendix for referenced documents and additional resources.***

**Why:** Having a written procedure (even if not formally adopted) for common requests facilitates the use of these techniques and helps manage neighbor inquiries and public concerns.

## Topic 5 – Stormwater Management Standard

**Question 10:** Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

### Code Reference:

#### **Chapter 26: Stormwater; Water; Wells**

##### C Stormwater Management

##### § 26-121. General Requirements

8. All regulated activities shall include measures as necessary to:

- To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.



Figure 12. Stormwater tree trench (Philadelphia Water Department)

##### D. Stormwater Management (SWM) Site Plan Requirements

##### § 26-134. Stormwater Management (SWM) Site Plan Review

- 3. For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

*No incentive language was noted in the development codes for overall impervious surface reduction and conservation of natural areas.*

### Current Practice:

No incentive requirement needed for GSI, as it is required.

During PEC meetings with New Britain Township, Township representatives noted that incentives are provided in the form of accelerated project review timelines and waivers for building requirements. PEC did not observe waiver procedures in our code review.

**Recommendation:**

Consider the implementation of incentives for reduced impervious cover and increased open space in residential and commercial zoning districts that would benefit the most from these features. General examples of incentive programs are provided by the Montgomery County **Transit-Oriented Development Model Ordinance**, the Chester County Planning Commission, **Municipal Corner, Conservation Subdivision Design Guide**, and the U.S. EPA guidance on **Managing Wet Weather with Green Infrastructure, Municipal Handbook, Incentive Mechanisms**. The Commonwealth of **Virginia's Soil and Water Conservation Districts** offer impervious surface reduction bonuses; incentive payments are offered based on a rate of \$5.00 per square foot of treated area with a maximum payment of \$20,000.00.

***\*See Appendix for additional information.***

Why: Incentives can be more effective than intervention in encouraging implementation of public benefits.



New Britain Township – Green Stormwater Infrastructure Ordinance Evaluation  
Pennsylvania Environmental Council (PEC)  
August 2024

## **APPENDIX**

### **Topic 1 – Landscaping**

**Question 1:** Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as stormwater control areas? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeters or islands?

#### ***Example Guidance and Code Language:***

**Montgomery County Planning Commission Sustainable Green Parking Lot Guide** (see [https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2\\_10\\_2016-Web](https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web)) *Parking lot landscaped areas shall be designed to accept stormwater runoff and be designed as bioretention area if site conditions are appropriate. The bioretention area should have an inverted slope to allow infiltration and ponding of water. Curbs separating landscape areas from parking shall have cuts or other features to allow stormwater to flow to the bioretention area. Proposed bioretention area or other vegetated stormwater management features shall be depicted on the site development plans, along with enough details (area, depth of soil, plant species) to establish the viability of the proposed features. Plans should show how these stormwater management features within the parking lot are integrated with other stormwater management elements for the entire site.*

**Lower Makefield Township SALDO, Article X1, Landscape and Open Lane Requirements, Section 178.80** (see <https://ecode360.com/11225201>) addresses the conservation of the natural landscape to enhance the development and to protect surrounding areas. All required plants shall be native plants. The basic goal is to preserve the native flora by mimicking the localized native plant community.

**Lower Makefield Township list of native plants required to be included in SALDO landscape plans** (see <https://ecode360.com/attachment/LO1561/LO1561-178a%20Exhibit%201.pdf>):

#### ***City of Lancaster Ordinances:***

**Chapter 202 Parking Lot Ordinance:** <https://ecode360.com/8118669>

**Chapter 202-3-F: Landscaping and screening.** *All surface parking lots shall be designed and effectively landscaped and screened in accordance with standards for landscaping and screening in the Parking Lots Supplemental Specifications in addition to the following:*

**New Britain Township GSI Evaluation – August 2024 Draft Appendix**

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**(1) General landscaping standards and guidelines.**

- (a)** Landscaping shall be provided in low-lying or depressed perimeter landscape strips, interior planting islands and divider strips, as applicable, to minimize noise, glare and other nuisances as well as to enhance the environment and ecology of the site and surrounding area.
  - (b)** Landscape areas shall be designed and constructed to provide stormwater management. Landscape areas shall incorporate green infrastructure (stormwater management) in order to comply with § 202-4, herein. Acceptable designs shall be consistent with Chapter 260, Stormwater Management, of the Code of the City of Lancaster.
  - (c)** All landscape areas shall include a combination of trees, shrubs and ground covers.
  - (d)** To the maximum extent practicable, native species of trees and other plant materials shall be provided.
  - (e)** All trees shall be sited and planted in accordance with Chapter 273, Trees, of the Code of the City of Lancaster.
  - (f)** Shrubs, ground covers and perennials used below shade trees within parking lots shall be of species able to withstand the harsh conditions and runoff of a parking lot. Plant selection should take into consideration tree growth and canopy cover and should be partially shade tolerant species.
  - (g)** Provisions to prevent conflicts with the opening and closing of automobile doors and to reduce damage from automobile overhang.
  - (h)** Trees shall be placed in order to avoid conflict with light standards and the effectiveness of light fixtures.
  - (i)** Plantings required within the parking areas are exclusive of other planting requirements such as street trees.
  - (j)** All damaged and dead landscape plantings, including trees, shall be replaced upon notice by the City.
  - (k)** Continuous curbing including but not limited to formed concrete and rolled asphalt shall not be installed to impede the flow of stormwater into landscaped areas. The use of depressed concrete curbs is permitted.
  - (l)** Replacement of trees. Where one or more required shade trees are proposed to be removed, they shall be replaced by new shade trees meeting City requirements, and the new locations and species shall be approved by the City. The Zoning Officer may require that the City Shade Tree Commission and/or the City Arborist be provided with an opportunity for a review. This provision does not apply to required street trees.
  - (m)** Raised landscape and planting beds may be allowed upon permission of the City Engineer when used for accenting vehicle and pedestrian access points.
- (2)** Perimeter landscape strips shall be required for all surface parking lots with frontage on a public street and/or adjacent to residential dwellings.
- (3)** Planting islands shall be required for all surface parking lots containing 40 or more parking spaces.
- (4)** Vegetated divider strips may be utilized in surface parking lots with 100 or more spaces in lieu of planting islands. However, divider strips shall be used in all surface parking lots with double-loaded parking rows that exceed 40 spaces.
- (5)** In the event the tree planting or landscaping requirements in this subsection would result in the loss of the required number of off-street parking spaces as set forth in Article VIII of the City of Lancaster Zoning



Ordinance, the number of trees and the area of landscaping may be reduced in accordance with the following:

- (a) Enhanced SWM facilities shall be designed and constructed to reduce stormwater runoff by no less than an additional 20% above the amount required in § 202-4, herein; and
- (b) There is no reduction in the number of off-street parking spaces as required in Article VIII of Chapter 300, Zoning, of the Code of the City of Lancaster.

Chapter 202-4: Adequate drainage:

- A. All accessory and commercial surface parking lots shall be drained in a manner which is consistent with the City's Stormwater Management Ordinance, Chapter 260 of the Code of the City of Lancaster.
- B. Stormwater management facilities shall be installed and maintained in accordance with all applicable governmental and manufacturer's standards.
- C. All new or reconstructed surface parking lots shall be designed to incorporate stormwater management BMPs that permanently remove stormwater runoff in accordance with Chapter 260, Stormwater Management, of the Code of the City of Lancaster.
  - (1) Any combination of SWM facilities may be incorporated for the control and management of stormwater runoff, including green infrastructure/low-impact development best management practices in accordance with the PA BMP Manual and the City Specifications Manual.
  - (2) SWM facilities, including green infrastructure, may be installed in series.
  - (3) Stormwater shall not be permitted to enter the sewer system in any area of the City of Lancaster with a combined sewer system without approval from the City Engineer.
- D. All surface parking lots shall be properly graded and maintained to prevent conditions which may lead to water flowing over public sidewalks, standing water, ice or other conditions deemed to pose a threat to the public health, safety, and welfare.
  - (1) Paved surfaces, including but not limited to parking spaces and drive aisles, shall be graded and sloped in such a way for directing stormwater into landscaped areas or other stormwater management facilities.
  - (2) Stormwater flows onto adjacent property shall in conformance with the performance standards in the City of Lancaster Stormwater Management Ordinance.

**Raleigh, North Carolina ordinance (Identified through web search which noted Tetra Tech had helped the city create ordinances including GSI):**

The City's [Unified Development Ordinance, 13th Supplement, August 2021 \(cld.bz\)](https://user-2081353526.cld.bz/UnifiedDevelopmentOrdinance/227/) link to the Section 7.1.7 Vehicle Parking Lot Landscaping requirements (<https://user-2081353526.cld.bz/UnifiedDevelopmentOrdinance/227/>) provides details for perimeter, interior, and median islands including tree coverage.

**Additional Parking Space Minimum Guidance**

American Planning Association, **A Business Case for Dropping Parking Minimums**, June 1, 2022, <https://www.planning.org/planning/2022/spring/a-business-case-for-dropping-parking-minimums/>

Parking Reform Network, <https://parkingreform.org/about/>



Parking Reform Network Map, <https://parkingreform.org/resources/mandates-map/>

NAIOP - Commercial Real Estate Development Association, *As More Cities Eliminate Parking Minimums, What Happens Next?*, Summer 2023 Issue - <https://www.naiop.org/research-and-publications/magazine/2023/Summer-2023/development-ownership/as-more-cities-eliminate-parking-minimums-what-happens-next/>

Sustainable Development Code - Eliminate or Reduce Parking Minimums in Areas with Access to Transit-Oriented Development, Bryce Grame (author), Jonathan Rosenbloom, Sarah Church, Bradley Adams (editors), August 2024 access date - <https://sustainablecitycode.org/brief/eliminate-or-reduce-parking-minimums-in-areas-with-access-to-transit-oriented-development-4/>

**Question 2:** Is there a process or standard to waive numerical, spacing, and species requirements from stormwater-control measure in required landscape areas?

Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide - <https://www.chescoplanning.org/municipalcorner/conservationsubdivision/03-Screening.cfm>  
Design Elements – Screening – Provides general screening standards and recommends use of native plants.

**Question 3:** Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

Ordinance addressing use of native plants in open space areas (e.g., parking lot islands, buffers)

Lower Makefield Township SALDO, Article X1, Landscape and Open Lane Requirements, Section 178.80 (see <https://ecode360.com/11225201>) addresses the conservation of the natural landscape to enhance the development and to protect surrounding areas. All required plants shall be native plants. The basic goal is to preserve the native flora by mimicking the localized native plant community.

Example Native Plant Lists:

*Philadelphia Water Department's Stormwater Management Guidance Manual, Version 3.3, July 2023, Appendix I:* Lists of native and recommended non-invasive plants and prohibited invasive plants and noxious weeds. See Manual at [Stormwater Management Guidance Manual – Development Services \(phila.gov\)](#), and native plant list at [Microsoft Word - Appendix I - Table I-1\\_20150608 \(phila.gov\)](#).

Lower Makefield Township list of native plants required to be included in SALDO landscape plans (see <https://ecode360.com/attachment/LO1561/LO1561-178a%20Exhibit%201.pdf>): Includes trees, shrubs,





ferns, grasses, herbaceous perennials and herbaceous emergent. Identifies light and moisture requirements and if street tree.

**Montgomery County Planning Commission Sustainable Green Parking Lots Guidebook** (see [https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2\\_10\\_2016-Web](https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web)) Includes recommended plant lists for green parking lots starting on Page 52, including:

- Trees and shrubs for tree islands and planting strips with raised curbing
- Trees for bioretention areas and moist soil areas
- Shrubs – deciduous and evergreen suitable for bioretention areas and absorbent parking lot islands
- Grasses and sedges for meadows, bioswales, and bioretention areas
- Perennials for meadows, bioswales, and bioretention areas

#### **Code addressing plantings in stormwater management basins:**

**Lower Merion Township Stormwater Management Code, Chapter 121-4, Section G** language addresses landscaping of stormwater management facilities and related natural resources. The code emphasizes native plants (e.g., wet meadows on basin floors planted with wildflowers and nonaggressive grasses; wet edges planted with wildflowers, grasses, and shrubs; wooded areas plantings that provide for wildlife habitat; slopes with grasses/wildflowers; steeper slopes with shrubs; and buffers that provide food and shelter for wildlife). Non-native plants and trees should require justification for why they are selected rather than a native alternative. See Lower Merion Township Code for more details at <https://ecode360.com/6529398>

**Examples of municipal ordinances allowing lawn to meadow installations:** The installation of native plants/meadows on front lawns can be complicated by township weed ordinances that require cutting of vegetation over a certain height. Some townships have addressed this issue with ordinances that provide exceptions for managing lawns in a more naturalized state. Examples include:

#### **Cheltenham Township, Montgomery County, PA, Vegetation Ordinance 188-2**

(<https://ecode360.com/6443661>) – provides exceptions for wildflower meadows & stream buffers, but location of meadow is restricted (set-backs of 50' from street, 25' from structure/neighbor).

Ordinance - It is hereby declared a health hazard and nuisance and it shall be unlawful for any person to permit any of the following vegetation to grow or the cuttings, clippings and trimmings therefrom to remain uncollected on any lot or tract of ground in the Township:

(1) Any and all weeds, tall grasses or noxious plants exceeding 12 inches in height, with the following exceptions:

(a) Areas of any lot utilized for or managed as wildflower meadows, naturalized areas, or other no-mow zones, provided:

- [1] The property owner has a documented and demonstrated management program, including at a minimum one mowing per year; and
- [2] A minimum of 50 feet from all property lines abutting a public or private street is maintained free of weeds, grasses and noxious plants exceeding 12 inches; and
- [3] A minimum of 25 feet abutting the property lines abutting developed lots is maintained free of weeds, grasses and noxious plants exceeding 12 inches; and





[4] All premises and exterior property within 25 feet of any structure or building or between the structure or building and the property line, whichever is less, is maintained free of weeds, grasses and noxious plants exceeding 12 inches.

(b) Plant materials grown or placed for ornamental purposes.

(c) Riparian buffers as defined in Chapter 295, Article XXXIV, Riparian Corridor Conservation District, of the Cheltenham Township Code.

Overall, the regulations do not apply to open space conservation areas along stream banks; Township parkways, parks, or bird sanctuaries; or to heavily wooded or compost areas.

**Springfield Township, Montgomery County, PA, Ordinance Chapter 11-1 - Accumulation of objectionable vegetation prohibited ([Township of Springfield, PA Brush, Grass and Weeds \(ecode360.com\)](https://www.springfieldpa.org/DocumentCenter/View/3581/Ordinance-Chapter-11-1-Measures-to-Reduce-Weeds)).**

- “No person, firm, or corporation in the township shall permit that growth or accumulation of weeds, tall grasses, or other objectionable vegetation...”
- Section D exemption - The following areas shall be exempt from the requirements of this chapter except that noxious weeds shall be controlled within those areas: woodlands, wildflower gardens, meadows, steep slopes, wetlands, floodplains, riparian corridors, areas within 15 feet of a watercourse, pond or lake, an active farm field, pasture, and areas where stormwater management or conservation management plans have been established.

**Whitpain Township, Montgomery County, PA Ordinance No. 399**

(<https://www.whitpaintownship.org/DocumentCenter/View/3581/Ordinance-No-399—Meadows>)

- *Ordinance No 399 amends Chapter 155: Weeds and Vegetation*
- Defines *Natural Landscape* as “a meadow or other landscaping that includes herbaceous material”
  - Mix of native grasses, native plants, and wildflowers 3-12 inches
- *A Natural Landscape Permit* must be obtained by a property owner
- < 3-acre property
  - May only be in the rear or side yard
  - If a corner lot, may only be facing the street in the front yard with 10 ft mow strip
- > 3-acre property
  - May be in the front yard, provided a mow strip of 20 ft

**East Coventry Township Brush, Chester County, PA, Weeds, Grass, and Dumping ordinance**

(<https://ecode360.com/33321684>)

The following types of land or uses shall be exempt from the requirements that weeds, vines, grasses or other vegetation (but not including shrubs, bushes, native perennial plants and trees) shall not exceed 12 inches in height:

C. Seasonal and ornamental grasses, provided they are at least four feet from neighboring property boundaries;

I. Best management practice facilities designed to meet the requirements of the East Coventry Township Stormwater Management Ordinance



K. Areas within required riparian buffers planted to comply with the specifications outlined in the East Coventry Township Zoning Ordinance (Chapter [27](#)), the East Coventry Township Subdivision and Land Development Ordinance (Chapter [22](#)), or the East Coventry Township Stormwater Management Ordinance (Chapter [9](#), Part [1](#)); and

L. Any managed meadow as defined in Chapters [22](#) and [27](#). (MEADOW -A plant community or area of vegetation dominated by grasses and/or forbs, often managed through annual or seasonal mowing).

#### **Ferguson Township, Centre County, PA – Manage Natural Landscapes**

(<https://ecode360.com/31006295#31006296>)

- *Ordinance 10-103-105 - Managed Natural Landscapes*
- **Recognizes benefits**
  - Calls out potential impacts
  - Property values
  - Human health or safety
- Threat to agricultural activity
- Provides definitions (e.g., managed natural area)
- **Requires landowner to**
  - Register natural landscape,
  - Manage noxious weeds
  - Provide plan (size, species, O/M)

#### **Pennsylvania State University Extension guidance - *Neighborly Natural Landscaping in Residential Areas***

Homeowners across America are changing the face of the typical American lawn. Learn strategies for the natural landscape homeowner who is looking for neighborly ways to garden for nature. See [Neighborly Natural Landscaping in Residential Areas \(psu.edu\)](#)

**Question 4:** Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

**Example Code/Guidance:**

#### **Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide -**

<https://www.chescoplanning.org/municipalcorner/conservationsubdivision/23-Culdesacs.cfm>

Sample Ordinance Language for Cul-de-sac Turnarounds - Boulevards may be provided as the primary entrance into a proposed development and shall meet the following design standards:

- Cul-de-sac turnarounds shall be designed with a landscaped center island.
  - The island shall be landscaped with a permanent groundcover to be shown on the landscaping plan submitted with the preliminary plan.
  - The center island shall have mountable curbs unless otherwise approved to accommodate alternative stormwater best management practices.



- Maintenance responsibility of such islands shall be determined prior to final plan approval and recorded on the deed.
- The cul-de-sac turnaround shall have a right-of-way radius of fifty-five (55) feet and an outer paving radius of forty-five (45) feet. The moving lane around the center island shall have a paved width of twenty (20) feet.
- The cul-de-sac turnaround shall have a maximum grade of four (4) percent. The minimum grade around the curbing shall not be less than one (1) percent.
- \*Note: These radii are only appropriate for a cul-de-sac with a center island. If the center island requirement were to be waived, the right-of-way and paved radius should be reduced to 50 feet and 40 feet respectively.

**From PWD Plan Review:** Chapter 6 – Utilizing Existing Site Features

Though cul-de-sacs and ‘dead ends’ are not encouraged in urban street design, they do exist within urban areas. In Philadelphia, dead end streets are prohibited, except as short stubs to permit future street extension into adjoining tracts, or when designed as a cul-de-sac. (§14-2104. Subdivision Design Standards.) Where cul-de-sacs are unavoidable, they can be designed with central islands that reduce impervious area and to allow for infiltration of stormwater runoff.

**Design Overview**

Careful cul-de-sac design can greatly reduce total impervious area and can create a stormwater management facility. Philadelphia Code stipulates, “Cul-de-sacs, permanently designed as such be of reasonable length, not exceeding 500 feet, and shall have at the closed end a turn-around containing a right-of-way having an outside radius of not less than 50 feet, which shall be paved to a radius of 40 feet.” (§14-2104)

[https://codelibrary.amlegal.com/codes/philadelphia/0e6b48f3-e095-484d-8733-9e5ef9fc1f65/philadelphia\\_pa\\_zoningOLD/0-0-0-18703](https://codelibrary.amlegal.com/codes/philadelphia/0e6b48f3-e095-484d-8733-9e5ef9fc1f65/philadelphia_pa_zoningOLD/0-0-0-18703)

A cul-de-sac can be designed to meet these standards and still provide stormwater management. An island can be designed in the center of a cul-de-sac that provides a sufficient travel lane but reduces impervious area and manages stormwater from the street and adjacent properties. The entire street should be graded to the central island to the extent that surrounding topography allows. The island would be designed like a bioretention facility and runoff can enter the island through curb openings or a curb less design.

**Design elements:**

- Bioretention islands capture stormwater runoff.
- Flow controls direct stormwater from street and adjacent properties into the island.

**From Viktor NY:** [https://www.victorny.org/DocumentCenter/View/809/Appendix-X\\_Jan-23-2012\\_Green-Infrastructure-Practices?bidId=](https://www.victorny.org/DocumentCenter/View/809/Appendix-X_Jan-23-2012_Green-Infrastructure-Practices?bidId=)

Another option for designing cul-de-sacs involves the placement of a pervious island in the center. Vehicles only travel along the outside of the cul-de-sac when turning, leaving an unused “island” of pavement in the center. These islands can be attractively landscaped and designed as bioretention areas to treat stormwater.





U.S. EPA, Stormwater Best Management Practice - Alternative Turnarounds

<https://www.epa.gov/system/files/documents/2021-11/bmp-alternative-turnarounds.pdf>

Provides overview and specification for cul-de-sacs and lists impervious area requirements for various types of turnarounds (notes hammerhead option requires lesser amount of impervious surface).

**Question 5:** Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on site plans?

Examples of guidance document references on the siting and management of snow storage areas, focusing on protecting water supply areas/aquifers/waterbodies and other salt vulnerable areas such as wetlands.

Massachusetts Department of Environmental Protection, Bureau of Water Resources, Snow Disposal Guidance, December 11, 2020. [download \(mass.gov\)](#)

Syntheses of Best Practices, Road Salt Management, Transportation Association of Canada, April 2013. [salt-1-plan.pmd \(tac-atc.ca\)](#)





## **Topic 2 – Design Standards**

**Question 6:** Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

### **Montgomery County, PA Green Streets Guide**

<https://www.montgomerycountypa.gov/DocumentCenter/View/3016/Green-St-Double-pg-spreadweb?bidId=>

Green Streets are an innovative design concept that can transform our streets into appealing landscaped areas while managing stormwater runoff. Designed to be attractive as well as functional, green streets use vegetation and soil to capture, slow, filter, and infiltrate stormwater runoff. They manage stormwater, provide environmental benefits, beautify our streetscapes, add greenery to urban areas, enhance pedestrian and bicycle safety, and provide habitat. The greatest benefit of green streets is their ability to meet multiple community goals.

This Green Streets Guide produced by Montgomery County outlines four design alternatives to conventional stormwater systems, including Stormwater Curb Extensions, Stormwater Planters, Vegetated Swales, and Rain Gardens. A curb extension or bump out is typically a paved area that extends into the street and is used to help calm traffic and increase pedestrian safety. A stormwater planter is similar to a curb extension except it is located between the curb and the sidewalk. Vegetated swales are another design technique that is most appropriate when used along streets in lower-density residential areas and utilize a narrow, shallow landscaped depression with a slight slope to direct water. A rain garden is a large, shallow landscaped depression designed to detain and infiltrate stormwater runoff. More information on each of these can be found within the link above.

### **City of Philadelphia, Green Streets Design Manual**

[https://www.mapc.org/wp-content/uploads/2017/10/GSDM\\_FINAL\\_20140211.pdf](https://www.mapc.org/wp-content/uploads/2017/10/GSDM_FINAL_20140211.pdf)

### **Montgomery County Sustainable Parking Lot Guide**

[https://www.montgomerycountypa.gov/DocumentCenter/View/3017/Green\\_Parking\\_08\\_29\\_2011](https://www.montgomerycountypa.gov/DocumentCenter/View/3017/Green_Parking_08_29_2011)



**City of Philadelphia, Green Streets Design Manual: Design Details Appendix**

[http://archive.phillywatersheds.org/doc/GSI/GSDM\\_Appendix\\_FINAL\\_2014.pdf](http://archive.phillywatersheds.org/doc/GSI/GSDM_Appendix_FINAL_2014.pdf)

This is the appendix of the above-listed Green Streets Design Manual. This document included guidelines and technical recommendations for designers as well as mock constructions documents for each of the listed types of GSI. This document provides much more technical information than the writing within the general Green Streets Design Manual.

**Pennsylvania's Traffic Calming Handbook**

<https://www.dot.state.pa.us/public/PubsForms/Publications/PUB%20383.pdf>

This handbook outlines the traffic calming strategies that the Pennsylvania Department of Transportation has put together. This document provides extensive information on these strategies, their effectiveness, case studies, mock construction documents, and more, which will prove helpful when looking to introduce more of these to New Britain Township. There is also information lawing out the study and approval process, which could guide any traffic calming installation project that the municipality chooses to pursue.



### **Topic 3 – Construction Management**

**Question 7:** Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

**Resources for identifying and locating historic stream channels:**

PA Spatial Access Portal: <https://www.pasda.psu.edu/uci/DataSummary.aspx?dataset=1233>

Bucks County Geospatial Data Hub: <https://dataportal-bucksgis.opendata.arcgis.com/>

WeConservePA: <https://library.weconservepa.org/guides/87-local-regulation-for-historic-preservation>



#### **Topic 4 – Education and Outreach**

**Question 8:** Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

**Sample guidance for downspout disconnection and rain barrel installation:**

3 Rivers Wet Weather: <https://www.3riverswetweather.org/green/green-solution-disconnected-downspout>

Pennsylvania American Water: Downspout Disconnection Instructions:  
<https://www.amwater.com/paaw/Water-Wastewater-Information/green-infrastructure/downspout-disconnection-instructions>

Pennsylvania American Water: Rain Barrel Installation: Step-by-Step Instructions:  
<https://www.amwater.com/paaw/Water-Wastewater-Information/green-infrastructure/rain-barrel-step-by-step>

DC Water Downspout Disconnection Program: <https://www.dcwwater.com/projects/downspout-disconnection-program>

Whitemarsh Township website: <https://www.whitemarshwp.org/DocumentCenter/View/301/Types-of-Rain-Barrels-PDF?bidId=>

**Question 9:** Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

Wissahickon Creek Act 167 Stormwater Management Ordinance, Appendix B Small Project Stormwater Management (SWM) Site Plan for Residential Development:  
[http://archive.phillywatersheds.org/doc/Wissahickon\\_Ordinance\\_Nov2014.pdf](http://archive.phillywatersheds.org/doc/Wissahickon_Ordinance_Nov2014.pdf)

This Small Project SWM Site Plan is included as an option for municipalities to adopt to give small, regulated activities the opportunity to submit a non-engineered stormwater management plan. It addresses rain garden designs and other residential scale GSI.

**Sample Guidance for Personal Rain Garden Installation**

Penn State Extension: Rain Garden Guide: <https://extension.psu.edu/rain-gardens-the-basics>

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Penn State Extension: Rain Garden Plants: <https://extension.psu.edu/rain-gardens-the-plants>

## **Topic 5 – Stormwater Management Standard**

**Question 10:** Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide – provides guidance on establishing incentives  
(<https://www.chescoplanning.org/municipalcorner/conservationsubdivision/14-DensityBonuses.cfm>)

U.S. EPA guidance on Managing Wet Weather with Green Infrastructure, Municipal Handbook, Incentive Mechanisms

**Example incentive types:**

**Stormwater Fee Discount:** Require a stormwater fee that is based on impervious surface area. If property owners reduce need for service by reducing impervious area and the volume of runoff discharged from the property, the municipality reduces the fee.

**Development Incentives:** Offered to developers during the process of applying for development permits. Examples include zoning upgrades, expedited permitting, reduced stormwater requirements, and increases in floor area ratios.

**Grants:** Provide direct funding to property owners and/or community groups for implementing a range of green infrastructure projects and practices.

**Rebates & Installation Financing:** Provide funding, tax credits or reimbursements to property owners who install specific practices. Often focused on practices needed in certain areas or neighborhoods.

**Awards & Recognition Programs:** Provide marketing opportunities and public outreach for exemplary projects. May include monetary awards.

Source: US EPA, Managing Wet Weather with Green Infrastructure: Municipal Handbook, Incentive Mechanisms. EPA-833-F-09-001. 2009  
[https://www.epa.gov/sites/default/files/2015-10/documents/qi\\_municipalhandbook\\_incentives.pdf](https://www.epa.gov/sites/default/files/2015-10/documents/qi_municipalhandbook_incentives.pdf)

Commonwealth of Virginia Soil and Water Conservation District Incentives -  
<https://vaswcd.org/impervious-surface-removal/>

## IMAGE CREDITS

Commented [PR1]: Confirm figures

Figure 1: Montgomery County Planning Commission, PA. "Green Sustainable Parking Lot Guide" Accessed July 1, 2024 [https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2\\_10\\_2016-Web?bidId=](https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web?bidId=)

Figure 2: Yale School of the Environment. "With a Green Makeover, Philadelphia is Tackling Its Stormwater Problem" Accessed July 1, 2024. <https://e360.yale.edu/features/with-a-green-makeover-philadelphia-tackles-its-stormwater-problem>

Figure 3: "StormSmart Properties Fact Sheet 3: Planting Vegetation to Reduce Erosion and Storm Damage Mass.Gov." Accessed September 12, 2021. <https://www.mass.gov/doc/stormsmart-properties-fact-sheet-3-planting-vegetation-to-reduce-erosion-and-storm-damage>

Figure 4: "Low Maintenance Landscaping with Wildflowers." Accessed March 3, 2022. <https://www.americanmeadows.com/blog/2016/09/26/low-maintenance-landscaping-with-wildflowers>

Figure 5: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>

Figure 6: Sasaki. "Stormwater as an Asset on Urban Campuses." Accessed October 1, 2021. <https://www.sasaki.com/voices/stormwater-as-an-asset-on-urban-campuses/>

Figure 7: BioCycle. "Recycled Organics Make Splash In Green Infrastructure," March 14, 2012. <https://www.biocycle.net/recycled-organics-make-splash-in-green-infrastructure/>

Figure 8: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>

Figure 9: PA Spatial Access Portal. Accessed August 13, 2024. <https://www.pasda.psu.edu/uci/DataSummary.aspx?dataset=1233>

Figure 10: "Downspout Disconnection Program | DCWater.Com." Accessed March 3, 2022. <https://www.dewater.com/projects/downspout-disconnection-program>

Figure 11: National Wildlife Federation "Native Plants" Accessed July 1, 2024. <https://www.nwf.org/Garden-for-Wildlife/about/native-plants>

Figure 12: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>

Image credits



# New Britain Township

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## *Environmental Advisory Council*

To: New Britain Township Board of Supervisors (BOS)  
From: Environmental Advisory Council (EAC)  
Re: Parking Ordinance Revisions  
Date: July 25, 2024

Please find below the Environmental Advisory Council's recommendation regarding New Britain Township's revision of its parking requirements and regulations. We have carefully examined the amendments forwarded to us on February 23, 2024, and applaud the improvements proposed. We recommend, in addition, a more comprehensive approach that integrates green stormwater infrastructure design.

The EAC recognizes that while parking lots are a necessity, their expanses of impermeable surface generate stormwater runoff, pollute our air and water, intensify flooding, and aggravate the heat island effect. They also detract from the beauty of our landscape. Recent innovations in "Green Parking Lot" design can offset these problems and result in more environmentally sustainable, cooler, safer, and more beautiful parking areas, whether large or small.

New Britain Township can already boast of such a parking lot: the Madison Apartments on County Line Rd. has been touted as a model Green Parking Lot for Pennsylvania (see the Penn State video "Green Parking Lots Part 1" <https://www.youtube.com/watch?v=sIMgo3MF0IA>). Our neighboring Montgomery County has produced the gold standard handbook, "Sustainable Green Parking Lots Guidebook" ([https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2\\_10\\_2016-Web?bidId=](https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web?bidId=)). For planting islands, we wish to emphasize the importance of curb cuts, large shade trees, dense plantings, and improved soil uninterrupted by hard scape such as paved walkways. Through targeted revision of its parking ordinances New Britain Township can reduce its intensifying stormwater problems and improve its residents' quality of life by requiring such green infrastructure design.

Therefore, the EAC advises that the BOS *require*, not simply recommend, significant implementation of green design in all new parking lots and all redevelopment of 51% or more. We recommend that these requirements follow the guidelines on pages 41-49 of the "Sustainable Green Parking Lots Guidebook" cited above (these pages are also attached here). We also recommend that, when possible, the Township provide incentives for retrofitting parking lots in cases of redevelopment below 51%. The EAC further advises that whenever practical the BOS reduce the minimum parking required by use. The space required saved shall be devoted to enhancing the green infrastructure design.

We recognize that implementing these guidelines may require revision of other ordinances, such as those addressing Stormwater Management. We further recognize that the Township is engaged in an ordinance review with the Pennsylvania Environmental Council (PEC). The EAC's recommendation should not be construed to limit the Township's adoption of PEC's recommendations in any way.





# New Britain Township

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## *Environmental Advisory Council*

To: New Britain Township Board of Supervisors  
From: Environmental Advisory Council  
Re: SALDO Revision Recommendation - Lighting

Please find below the Environmental Advisory Council's recommendation regarding SALDO § 22-714, Lighting [Ord. 2002-05-02, 5/20/2002, § 714].

The EAC advises the BOS to update SALDO § 22-714 - Lighting, primarily because recommendations by lighting experts and professionals have changed since 2002.

In addition, the EAC recognizes the following as environmental concerns:

- Energy waste and carbon emissions - From an energy perspective, too much lighting can be wasteful as lighting is often oversized when installed for many applications.
- Negative Effects on flora, fauna, and humans - Excessive artificial light can harm wildlife species, especially nesting birds and animals that move nocturnally. Excessive artificial light has also been shown to negatively affect natural sleep patterns and increase the risk of cancer, diabetes and cardiovascular heart disease in humans.

References:

<http://www.polcouncil.org/>

<https://darksky.org/resources/guides-and-how-tos/outdoor-lighting-for-policy-makers/>

<https://library.weconservepa.org/guides/10>

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# New Britain Township

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## *Environmental Advisory Council*

To: New Britain Township Board of Supervisors (BOS)  
From: Environmental Advisory Council (EAC)  
Re: Miscellaneous Subdivision and Land Development Ordinance Amendments (SALDO)  
Date: September 4, 2024

Please find below the Environmental Advisory Council's recommendation regarding New Britain Township's miscellaneous SALDO amendments. We have examined the amendments forwarded to us on August 19, 2024, and we are happy to see many changes that benefit the environment. We make only the following suggestions.

### **Section 22-202 Definitions**

The definition of IMPERVIOUS SURFACE states that "all buildings, parking areas, driveways, roads, sidewalks" shall be considered impervious.

We recommend removing the word "all" in order to accommodate residential properties built prior to the implementation of ordinance 27-2108, Bifurcation of Restrictions. We suggest permitting residents impacted by unusually constrained impervious area limits to construct patios and sidewalks with pervious materials, as approved by the engineer.

**Section 22-401.8.** The proposed amendment reduces the requirement to notify surrounding property owners of a proposed development from those within 1,000 feet to those within 500 feet. The purpose of this change is to make the ordinance consistent with the Zoning Hearing Board (ZHB) application. We recommend that the ZHB application be altered to match the ordinance, and that if possible the 1,000 foot requirement be increased, rather than decreased. The environmental effects of development upon a neighborhood — with flooding being a prime example — are not restricted to immediately adjacent properties.

**Section 22-502.1D.(12)** The proposed amendment increases the amount of time for a field survey from 2 yer to 5 years (from the date of the application). There is no rationale for this change. We recommend the existing timeframe remain unchanged.

**Section 22-707.1.C.** The current ordinance states that "pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas." Concrete and asphalt are fully impervious and require heavy construction. Rather than setting concrete and asphalt as the default, we recommend permitting a range of surfaces suitable for different settings and uses, including some pervious surfaces.



# New Britain Township

## *Environmental Advisory Council*

**Section 22-714.4.4.F.(20)** There is a comment to consider revising this section: "Consider revising to require a BUG (Backlight, Uplight, Glare) rating of 0 which meets full cutoff criteria. Update streetlight specifications accordingly." We agree. The EAC has previously recommended the NBT lighting ordinance (SALDO section 22-714, updated 5/20/2002) be revised, because recommendations by lighting experts and professionals have changed significantly since 2002.

The EAC also recommends the NBT SALDO Appendices Combined document be updated to match other township ordinance changes, as applicable (e.g. Lighting SALDO section 22-714 and Butler Avenue Corridor Overlay District SALDO section 22-722).

TOWNSHIP OF NEW BRITAIN  
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Zoning Ordinance, which is codified in Chapter 27 of the Code of Ordinances of New Britain Township; and

**WHEREAS**, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Zoning Ordinance in order to revise definitions of terms used in the Zoning Ordinance; to revise setback and buffer yard requirements and permitted activities within setbacks; to revise the general regulations applicable to all uses and districts; and to revise regulations pertaining to off-street parking, sightlines, lighting, fences and environmental standards; to relocate provisions that are more appropriate to the Subdivision and Land Development Ordinance; ~~to provide for standardized fees in lieu for open space and/or recreation areas;~~ and to make editorial and clarifying amendments throughout the Zoning Ordinance;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, Chapter 27-Zoning of the Township of New Britain is amended to read as follows:

**Section 1.** The following Sections of Chapter 27 Zoning is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 201 General Definitions.
  - i. Area; Lot Area
  - ii. Site Area; Site Area, Base
  - iii. Land Development
  - ~~iv. —New Definition for "Green (Stormwater) Infrastructure" is added~~
- b. Section 300 Applicability of Regulations
- c. Section 305 Use Definitions and Regulations
- d. Section 502 Area and Dimensional Requirements (WS District)



- e. Section 505 Environmentally Sensitive Land Standards for Watershed District
- f. Section 1403 Performance Standards (C-3 District)
- g. Section 1904 Requirements of the Floodplain Overlay District
- h. Section 2103 Minimum Lot Width
- i. Section 2108 Bifurcation of Restrictions
- j. Section 2109 Fences and Terraces in Yards
- k. Section 2111 Traffic Visibility Across Corners
- l. Section 2114 Special Considerations for ~~Municipal Uses and Emergency~~ Service Uses
- m. Section 2115 Septic System Setbacks
- n. Section 2400 Natural Resources
- o. Section 2401 Application of Natural Resource Protection Standards
- p. Section 2606 Sign Type Specific Regulations
- q. Section 2702 Open Space Designation
- r. Section 2800 Purpose and Applicability (Buffer Yard Requirements)
- s. Section 2803 General Requirements (Buffer Yard Requirements)
- t. Section 2900 Purpose and General Requirements (Off-Street Parking and Loading)
- u. Section 2901 Off-Street Parking Requirements
- v. Section 2902 General Regulations for Off-Street Parking
- w. Section 2904 Design Standards for Off-Street Parking
- x. Section 2905 Parking of Trucks and Junk Vehicles in Residential Districts
- y. Section 3003 Application Requirements for Zoning Permits
- z. Attachment 1 – Appendix A. Environmental Impact Statement Report

**Section 2.** The following subsections shall be deleted from Section 305 Use Regulations: A3.b.5; A8.b.3.; A10.b.7.; C6.b.5.; D1.b.5.; D2.b.4; E1.b.3.; E2.b.4; E3.b.6.; E5.b.2.; E7.b.3; E8.b.2.; F2.b.2.; F3.b.3.; F4.b.2.; F5.b.6; G2.b.1.; G3.b.7; H15e.4.; H15f.2.; H15.g.7.; I11.b.1.; I2.b.2.; I3.b.1.; I4.b.1.; J.J1.b.1.; J3.b.1.; J4.b.2.; J5.b.1.; J6.b.1.; J7.b.3.; J8.b.1.; J10.b.; J11.b.1.; J12.b.5.; J13.b.1; J15.b.1.; J16.b.3.; J17.b.1.; J18.b.1.; J19.b.13.(g); J20.b.2.; J21.b.3.; J22.b.1.; J23.b.1.; J25.a.4.; J25.b.4.; J26.b.2.; J28.b.; J29.b.2.; J30.b.; J34.b.1. K.K1.b.1.; K2.b.1.; K3.b.2.; K4.b.1.; K5.b.1.; K6.b.5.; K7.b.1.; K8.b.1.; K9.b.1.; K10.b.2.; K15.d.5.; K17.b.17.; K20.h.; and K21.b.1.

**Section 3.** Sections 701, 801, 1001 and 1101 shall be amended to include Use H6 Residential Solar Energy Systems as a use permitted by Right. The Table of Use Regulations shall be amended to reflect this change.

**Section 4.** Sections 1201, 1401, 1501, 1601, 1701 and 1801 are amended to reflect that Use I3 is now titled “General Office” instead of Professional Office.

**Section 5.** Part 25 Traffic Impact Analysis shall be deleted in its entirety.

**Section 6.** Section 2802 Content of Planting Strips shall be deleted in its entirety.



**Section 7. Severability.**

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

**Section 8. Effective Date.**

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

**ORDAINED AND ENACTED** by the Board of Supervisors of New Britain Township this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Attest:

**NEW BRITAIN TOWNSHIP  
BOAR OF SUPERVISORS**

\_\_\_\_\_  
Dan Fox, Township  
Manager

\_\_\_\_\_  
Cynthia Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice Chair

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
William B. Jones, III, Member

\_\_\_\_\_  
Bridget Kunakorn, Member

**EXHIBIT “A”**

## **EXHIBIT "A"**

**§27-201.AREA. b. LOT AREA** The area contained within the property lines of the individual parcels of land shown on a subdivision plan or required by this chapter, excluding any area within an existing or designated future street right-of-way; any area required as open space under this chapter; and the area of any existing easement. Adjoining "A" lots, in same ownership, shall be considered within the total lot area.

~~**§27-201.EXTENSION** An increase in the amount of existing floor area beyond the exterior wall.~~

**§27-201.LAND DEVELOPMENT – Any of the following activities:**

- a. The improvement of one lot or two or more contiguous lots, tracts or parcels of land for any purpose involving:
  1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or the tenants; or
  2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.
- d. The condominium of land or buildings.

**§27-201.SITE AREA.a. SITE AREA, BASE** The base site area is the area of the site remaining after subtracting land: within the ultimate road rights-of-way of existing roads; within existing utility rights-of-way or easements; preserved through easement or other means; which is not contiguous; ~~which is cut off from the main parcel by a road, railroad, existing land use, and/or major stream;~~ which was set aside, reserved, and/or restricted for open space, natural resource protection, and/or recreation purposes in a previously approved subdivision/land development; used and/or to be used for another type of use (i.e., land which is used, or to be used, for commercial or industrial uses in a residential development); and/or located in a different zoning district than the rest of the development.

**§27-300.a.** Except as provided by law or in this chapter, in each district no building, structure or land shall be used or occupied including work, construction and loading in the ultimate right-of-way except for the purposes permitted in § 27-305 and for the zoning districts so indicated in Parts 4 through 20. On any property, parcel or tract of land, only one principal use and principal structure shall be permitted unless otherwise stated in this chapter.

**§27-300.d.** The proceeding provisions shall apply; except, however, there shall be an exemption

from the requirements of this chapter for municipal uses which are defined as those services rendered by New Britain Township, including the appurtenances owned, or to be owned by the Township and used in connection with the supplying of public services. Any existing or proposed use, structure, or extension thereof, by the Township for the purpose of providing municipal uses or services shall be exempt from the area, dimensional, parking and use regulations as otherwise would be required by this chapter.

**§27-305.A.A7.** Garden Center. A. Definition. The retail sale of floral items, flowers, plants, shrubs and trees in the field and/or indoors.

**§27-305.B.B8.** ~~Mobile~~ Manufactured Home Park I

**§27-305.B.B9.** ~~Mobile~~ Manufactured Home Park II

**§27-305.F6.b.1.**

F6 b. Use Regulations.

1. Only one or more of the following principal sub-uses may be included in a business campus:

- I1 Medical Office
- I2 Veterinary Office
- I3 General Office
- I4 Medical and Pharmaceutical Sales Office
- J4 Financial Establishment
- J28 Office Supplies and Equipment Sales and Services
- J29 Package Delivery Services
- K2 Research
- ~~K3 Wholesale Business, Wholesale Storage, and Warehousing~~
- K4 Printing
- K7 Crafts

**§27-305.H.H2** Residential ~~Shed~~ Structure.

a. Definition. Buildings such as storage sheds, garden sheds, pavilions, gazebos, and private greenhouses, and similar structures. A residential ~~shed structure~~ shall be an uninhabitable, freestanding structure ~~not having more than~~ with a maximum building coverage of 200-250 400 square feet ~~of building coverage~~; not greater than 12 feet in height; without footings; and which is used for the storage of household items incidental to the day-to-day use, care and maintenance of a residential property. ~~These Household~~ items shall include, but not be limited to, lawn mowers, garden tools and supplies, and barbecue grills.

[Amended by Ord. No. 2018-10-04, 10/1/2018]

b. Regulations. The following regulations are exceptions to the regulations generally covering residential accessory buildings structures:

1. No residential sheds shall be located in front yards except on lots 10 acres or greater in size.



Such sheds shall be permitted for Use B1 in front yards but shall not be located within the required minimum front yard setback. If any property has more than one front yard, the shed may be permitted within the yard that is along the side of the existing principal structure.

2. No more than two residential sheds shall be situated on any property, one acre or less in size. On properties larger than one acre in size, one additional shed may be situated on the property for each additional acre in size above one acre.
3. No residential shed shall be located in any easement or right-of-way.
4. ~~A residential shed structure may occupy a required side or rear yard on properties of less than 25,000 square feet, provided that the shed is a minimum of five feet from any side or rear property line.~~
5. Any residential accessory structure greater than 400 square feet shall comply with the required building setbacks for the respective zoning district.
6. Additional regulations for Accessory Uses/Structures may be found under the regulations for each Zoning District.

#### **§27-305.H.H3.** Residential Fences, Walls.

- a. Definition. Structures such as fences, and free-standing walls. Zoning permits are not required for replacement of an existing fence in the same location, likeness, and height provided it was legally conforming at the time it was installed.
- b. Regulations.
  1. Fences:
    - (a) Any fence located in the front yard shall ~~not be 100% opaque have a minimum ratio of 4:1 of opaque to non-opaque areas~~ and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.
    - (b) Fences may be located on the side or rear lot line, except along a public street. and may be non-opaque. ~~Solid wooden or split rail fences are permitted.~~
    - (~~eb~~) A fence located anywhere except the front yard may have a height of up to six (6) feet.
    - (~~ec~~) A fence of up to eight (8) feet high may be allowed in a rear yard for the sole purpose of enclosing a court for tennis or similar sports. Such fence shall be set back a minimum of 10 feet from the side and rear lot lines.
    - (~~e~~) ~~A fence shall not be required to comply with accessory structure setbacks.~~
    - (d) Fence enclosures for swimming pools are required to meet the requirements of the Pennsylvania Uniform Construction Code, as amended.
  2. Walls.
    - (a) Engineering retaining walls necessary to hold back slopes are exempted from the regulations for this section and are permitted ~~by right as needed~~ as approved by the Township Engineer.

- (b) Walls may be one foot in height for every two feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.
3. General regulations for walls and fences.
- (a) Fences and walls shall not be required to comply with accessory structure setbacks.
- (b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement restricting the placement of structures.
- (c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.
- (d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.
- (e) Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

**§27-305.H.H11** Recreational and Other Vehicle Storage.

- a. Definition. A vehicle or piece of equipment, whether self-powered or designed to be pulled or carried, intended primarily for leisure time or recreational use. Recreational vehicles or units include, but are not limited to, the following: travel trailers, truck-mounted campers, coaches, motorized homes, folding tent campers, automobiles, busses, or trucks adapted for vacation use, snowmobiles, minibikes, all-terrain vehicles, go-carts, boats, boat trailers and utility trailers.
- b. Regulations.
1. Recreational vehicles or units shall not be stored in the front yard setback. Any more than two recreational or other vehicle storage items shall be considered Use L2 Outside Storage.
2. Recreational vehicles or other vehicle storage may be permitted as an accessory use of non-residential lots, single-family detached dwellings and two-family attached dwellings.

**§27-305.J.J1**. Retail Store Definition. A shop or store selling commodities and goods to the ultimate consumer. Not included under this use are vehicular sales, over-the-counter sale of alcoholic beverages in a tavern or bar, or a store with greater than 15 square feet of floor area devoted to the display of pornographic materials. A pharmacy is considered incidental to retail use if located within the same building.

**§ 27-305.K.K5**. Contracting.

- b. Regulations
2. All materials and vehicles shall be stored within a building or an enclosed area which is properly screened. Any outside storage, including storage of two or more commercial, recreational or other vehicle storage, shall be considered an L2 Outside



Storage or Display use and shall comply with all the requirements for this use, in addition to the above regulations.

**§ 27-305.K18** Flexible building space that can be used for either at least two of the following uses: office, light manufacturing, assembly and/or warehousing.

**§ 27-305.L.L2.** Outside Storage or Display.

- a. Definition. Outside storage or display, other than storage as a primary use of the land, necessary but incidental to the normal operation of a primary use. The keeping, ~~in an unenclosed area,~~ of any goods, junk, material, merchandise, or vehicles in the same place including within a temporary structure for more than 24 hours.
- b. Regulations.
  1. No part of the street right-of-way, no sidewalks or other areas intended or designed for pedestrian use, no required parking areas and no part of the required front yard shall be occupied by outside storage or display.
  2. Outside storage and display areas shall occupy an area of less than 0.550% of the existing building coverage.
  3. Outside storage areas shall be shielded from view with a dense evergreen buffer and/or fencing so that the areas cannot be seen from all public streets. Fencing shall meet the provisions of this Ordinance.
  4. Uses requiring more substantial amounts of land area for storage or display may be exempt from the provisions of Subsection b.1 and b.2 above when granted as a special exception by the Zoning Hearing Board and provided;
    - (a) No more than 25% of the lot area shall be used in outdoor storage or display.
    - (b) A Special Exception is required for the following uses; nurseries (Use A6), lumber yards (Use K8), automobile sales (Use J2O), truck terminals (Use K6) and agricultural retail (Use A3).
    - (c) Among the uses that shall not be appropriate for inclusion under this provision are retail stores (Use J1), repair shops (Use J17), service station or car-washing facility (Use J19), automobile repair (Use J21), sale of automobile accessories (Use J22), wholesale business and storage (Use K3), contractor office and shops (Use K5) and crafts (Use K7).

**§ 27-305.L.L3.** Temporary Structure, Temporary Storage Container, Pod, or similar:

...

c.5.(b) – Such containers shall only be located within the front yard of any property for a residential use and set back from the edge of the cartway and the sidewalk a minimum of five feet, provided that there is no encroachment into the clear sight triangle for any intersecting streets or driveways. For non-residential use, any such container shall be visible from a public street or public accessway and shall not be placed within required parking spaces for more than one month from the date installed.

**§ 27-305.L.L4.** Temporary Community Event. A. Definition. A temporary activity including, but not limited to, flea markets, public exhibitions, auctions, carnivals, circuses, picnics, air shows,

suppers for fundraising, mobile vending, and similar organizational events and meetings. Ice cream trucks are excluded from these regulations.

...

b. Regulations.

1. Such temporary uses shall be limited in time to no longer than seven days per occurrence. Such occurrences shall be limited to not more than four occurrences in a calendar year for each organization. There shall be at least a thirty-day period between such occurrences.
2. Signs advertising a temporary community event shall be posted no more than 14 days prior to the first day of the event and shall be removed on the final day of the event. No more than four off-premises signs shall be placed. The location of off-premises signs must be approved by the property owners of the properties upon which they are to be fixed.
3. The applicant shall provide plans to ensure security, crowd control, adequate parking for existing and proposed uses on the premises, emergency access, traffic control, street access, sanitary facilities, erosion control, trash collection, noise control, and cleanup after the event.
4. The owner shall submit a certified letter to the Township indicating that they are aware of the proposed use.
5. Mobile vending shall be permitted within non-residential zoning districts only. No mobile vending shall be permitted within 500 feet of an existing restaurant or retail store selling similar goods. No more than one mobile unit shall be permitted at one location at a time. No outdoor eating areas with tables and/or chairs are permitted.
6. Hours of operations shall be limited to between the hours of 9 am to 6 pm.

**Add §27-305.L L15. Non-Residential Fences and Walls**

a. Definition. Structures such as fences and free-standing walls. Zoning permits are not required for replacing an existing fence in the same location, likeness and height provided it was legally conforming at the time it was installed. A zoning permit is required to replace a free-standing wall.

b. Regulations.

1. Fences:

- (a) Any fence located in the front yard shall not be 100% opaque and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.
- (b) A fence located anywhere, except the front yard, may have a height of up to six (6) feet.

2. Walls.

- (a) Retaining walls measured four (4) feet or higher from the lowest grade to the top of the wall, tiered walls, and walls with surcharges from adjacent slopes, foundation loads, or other loads, shall require a Zoning Permit and review and approval of all required plans, details, calculations, and specifications by the Township Engineer.
- (b) Walls may be one (1) foot in height for every two (2) feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.

3. General regulations for walls and fences.

- (a) Fences and walls shall not be required to comply with accessory structure setbacks.



- (b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement without permission of the beneficiary of the easement.
- (c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.
- (d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.
- (e) Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

**4. Exemptions:**

- (a) Conventional fences required for farm use, agricultural use and related 27-305 facilities on properties in excess of five acres shall be exempt from the fence regulations of this chapter, except for height regulations.
- (b) Fences required in the Butler Corridor Overlay District shall be in accordance with § 22-722.D.(7), of the Subdivision and Land Development Ordinance.

**§27-502.b.3.** – When a lot or tract of land undergoes subdivision/land development or is being developed with a new ~~or expanded~~ principal building or structure, all the natural resource protection land on this lot or tract, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected with a conservation easement in accordance with §§ **27-505** and **27-2400** of this chapter. The natural resources required to be preserved on each lot shall only be disturbed in accordance with Part **24** of this chapter and **§ 27-505**.

**§27-505.1.** Resource restrictions for environmentally sensitive land shall be considered land to be protected and preserved within the Watershed District for all uses and activities in accordance with the protection ratios noted below. All natural resource protection land, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected and preserved on each site and/or lot in accordance with **§ 27-2400** of this chapter through the placement of a conservation easement on the site/lot. The natural resources required to be preserved and protected shall not be disturbed, other than ~~the cultivation of~~ agricultural soils.

**Amend § 27-701.a., 801.a., 901.a., 1001.a., 1101.a.,** to include H6 Residential Solar Energy Systems as Use permitted by Right.

**27 Attachment 2** Table of Uses Regulations for H6 Residential Solar Energy System within SR-1 to Y/SE for SR-2, RR, VR, and MHP.

**§27-1201.a., 1301.a. 1401.a., 1501.a., 1601.a., 1701.a., & 1801.a.** - I3 ~~Professional-General~~ Office

**§27-1403.c.8(d)** – Trees shall be planted ~~within-at least 5 feet outside~~ rights-of-way parallel to the street along all streets but not alleys.

**§27-1904.g.** Structural Anchoring. Any structure placed in the ~~identified Floodplain-floodplain Overlay District-area~~ shall be anchored firmly to prevent flotation, collapse, or lateral movement. The floodplain administrator shall require the applicant to submit the written opinion of a registered

professional engineer that the proposed structural design meets the requirements of this Part for all buildings and manufactured homes and may require such an opinion for all other structures. All air ducts, large pipes, storage tanks, and other similar objects or components located below the regulatory flood elevation shall be securely anchored or affixed to prevent flotation.

**§27-2103.a.** Residential Lane Lots.

1. A lane lot shall only be improved with one single-family detached dwelling and related residential accessory uses.
2. Each lot must have a separate lane, and each lane lot must contain at least twice the minimum lot area of the zoning district where the property is located.~~40 acres.~~

**§27-2108.d.** These increased restrictions only apply to lots that are one acre in lot area or less, and do not apply to the B6 Multifamily ~~and~~ B7 Apartment, B8 and B9 Mobile Home Park I and II uses, if such buildings are owned by a single person or entity and the individual units are rented out to tenants.

**§27-2109** Fences, Walls, and Terraces

...

~~b. Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.~~

**§27- 2111** – Traffic Visibility Across Corners

- a. In all districts, no structure, fence, planting or other obstruction shall be maintained between a vertical plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front or side yard which is within a horizontal clear-sight triangle boundary by the two street lines and a straight line drawn between points on each such line ~~75-50~~ feet from the intersection of said lines or extension thereof, unless otherwise approved by the Township Engineer.

~~When one or both streets which form the intersection are classified as collector or arterial highways, the clear sight triangle bounded by the two street lines and a straight line drawn between points on such line shall be 100 feet from the intersection of said lines or extension thereof.~~

- ~~b. At each point where a private accessway intersects a public street or road, a clear-sight triangle of 50 feet measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade.~~

**§ 27-2114** Special Considerations for ~~Municipal Uses and~~ Emergency Service Uses.  
[Added by Ord. 2007-10-01, 10/22/2007]

- a. Notwithstanding the front, side or rear yard requirements for the ~~F1 Municipal Building Use or the F2 Emergency Service Center Use~~, the required setbacks and/or buffer yards for each of these uses~~this use~~ may be either increased or decreased in an amount not to



exceed 75% upon approval of the Board of Supervisors, provided that any such request for an F2 Use shall be subject to conditional use approval.

- b. The modified setback requirements provided for in this section are permissible provided that the proposed use is either owned or operated by New Britain Township or is located upon land owned and/or leased by New Britain Township to a nonprofit organization.

**§ 27-2115** Septic System Setbacks.

[Ord. 8-14-1995; as added by Ord. 2009-01-01, 1/26/2009]

No portion of an on-lot septic system or any of its components, including the toe of slope of the berm, shall be installed closer than 10 feet to a property line ~~or~~, ultimate right-of-way, or paved area, or located within an existing easement, or located in a manner that would block any stormwater drainage or swales, or flow of stormwater from any lot. On-lot septic systems are both individual and community sewage systems, including, but not limited to, conventional in-ground systems, individual residential spray irrigation systems, drip irrigation systems, sand mounds, and any other alternate or experimental systems approved by the Pennsylvania Department of Environmental Protection.

**§ 27-2303** ~~Extension-Expansion~~ of Nonconforming Uses and Structures.

[Ord. 8-14-1995, § 2303]

- a. A structure that does not conform with the dimensional, area, parking, buffer, environmental and all other requirements of the district and this chapter may be ~~extended~~ expanded only if the ~~expansion~~ extension meets all the requirements of this chapter. However, such a structure may be ~~extended-expanded~~ by right along the building lines of the existing nonconformity in keeping with all applicable requirements of this chapter. Such ~~extension-expansion~~ shall be permitted only one time, and then by special exception.
- b. A use that does not conform to the use regulations of the district in which it is located may be ~~extended-expanded~~ by special exception provided that:
  - 1. The proposed ~~extension-expansion~~ shall take place only upon the lot or contiguous lots held in the same ownership as that existing at the time the use became nonconforming. Permission to ~~extend-expand~~ a nonconforming use as described in this Part shall not be construed to mean that new use or uses may be established. A nonconforming use shall be prohibited from encroaching on another parcel of land subsequently added to the original parcel.
  - 2. The proposed ~~expansion~~extension shall conform with the setback, yard, area, dimensional, building height, parking, sign, environmental and other requirements of the district in which said ~~extension-expansion~~ is located.
  - 3. Any increase in building or floor area shall not exceed an aggregate of more than ~~50~~25% of the building volume or floor area, whichever is less, existent at the date the use became nonconforming under this or previous ordinances, during the life of the nonconformity, and in any event shall be permitted only by special exception under the provisions of this chapter. Structures or land uses that have reached their

maximum expansion allowance under previous ordinances are not eligible for any increase in building or floor area under this chapter. A structure, which is nonconforming in terms of height, shall not be ~~expanded~~ ~~extended~~ to increase the height.

**§27-2400** All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap. ~~The developer shall determine what design plans shall identify all environmental or natural features are present on the lot and shall meet the following standards of environmental protection. For any lot proposed for development to which the provisions of Chapter 22, Subdivision and Land Development, do not apply, the environmental standards of this section shall apply. The provisions of this section apply to all zoning districts, including nonresidential districts. For any lot proposed for development subject to Chapter 22, Subdivision and Land Development, such lot shall not be subject to the provisions of this section but rather shall meet the environmental standards set forth in Chapter 22, Subdivision and Land Development.~~

**§27-2400.a.** Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads, ~~sewer or water lines, utility transmission lines,~~ and trails may cross watercourses ~~where design approval is obtained from the Township and, if required, the provided a permit is obtained from the~~ Pennsylvania Department of Environmental Protection, if required.



		Resource Protection Land		
	Protection Ratio	Acres of Land in Resources	(acres protection ratio)	x Acres of Land to be Disturbed
Natural Resources				
Watercourses	1.00			
Riparian Buffer	1.00			
Floodplain	1.00			
Floodplain (Alluvial) Soils	1.00			
Wetlands	1.00			
Lakes or Ponds	1.00			
Wetlands Margins	0.80			
Woodlands <u>in the CR, WS, SR-1, SR-2, &amp; RR zoning districts</u>	0.80			
<u>Woodlands in all other zoning districts</u>	<u>0.50</u>			
Steep Slopes 8-15%	0.60			
Steep Slopes 15-25%	0.70			
Steep Slopes 25% or more	0.85			
Total Land With Resource Restrictions		_____	acres	
Total Land With 1.00 Protection Ratio Resource Restrictions		_____	acres	
Total Resource Protection Land Required			_____	acres
Total Resource Protection Land Provided			_____	acres
Total Disturbed Resources				_____ acres

**§27-2400.f.** Woodlands. In areas of woodlands, the following standards shall apply:

...

~~(b) The planting of replacement trees shall be done in accordance with a woodlands management plan prepared by a licensed forester.~~

~~(e)(b) The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors, unless the owner/developer offers a fee in lieu of the required replacement, such fee being approved by the Board of Supervisors, in its sole discretion.~~

~~(e) Any trees that are dead, dying, or diseased, and or may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.~~

**§27-2401.c.** Deed Restrictions. For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed or an easement for each site or lot that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas in accordance with the provisions of this Part. Natural resource protection areas may be held as common open space in accordance with the requirements of this chapter and Subdivision and Land Development Ordinances [Chapter 22], or in the ownership of individual property owners. For this latter form of ownership, it shall be clearly stated in the individual deed that the maintenance responsibility lies with the individual property owner.

**§27-2606.e.1.&2.** Temporary Signs Commercial and Noncommercial

...

(f) The number of times a temporary sign may be erected upon a property in a calendar year ~~shall be equal to~~ four times per year~~the number of temporary signs allowed on the property under Subsection e1(b) above.~~

**§27-2702** Open Space Designation

b. In designating use and maintenance, the following classes may be used:

1. Lawn. A grass area with or without trees which may be used by the residents for a variety of purposes and which shall be mowed regularly to insure a neat and orderly appearance.
2. Natural Area. An area of natural vegetation undisturbed during construction, or replanted. Such areas may contain pathways. Meadows shall be maintained as such and not left to become weed-infested. Maintenance may be minimal, but shall prevent the proliferation of weeds and undesirable plants such as honeysuckle and poison ivy/hemlock. Deep-rooted native plants are encouraged over turf grass where possible. Litter, dead trees and brush shall be removed, and streams shall be kept in free-flowing condition.
3. Active Recreation Area. An area designated for a specific recreational use, including but not limited to tennis, swimming, shuffleboard, play field and tot lot. Such areas shall be maintained so as to avoid creating a hazard or nuisance and provisions shall be

made to perpetuate the proposed use.

4. Passive Recreation Area. Space for outdoor recreational activities not considered active such as walking, picnicking, bird watching and other similar activities.
5. Agricultural Area. An area to be leased for Crop Farming as defined in Part 3.
6. Stormwater Management. No more than 30% of the open space may be used for stormwater detention or retention basins.
7. A combination of areas noted above.

**§ 27-2703** Ownership of Open Space. [Ord. 8-14-1995, § 2703]

- a. Any of the following methods may be used to preserve, own or maintain open space:
  1. Dedication of easements in fee simple ownership to the Township, if accepted by the Township.
  2. Homeowners Association.
  3. Condominium Association.
  4. Transfer of fee simple title or development rights and easements to a private conservation organization or a conservation easement to the Township.
  5. ~~Private ownership.~~

- b. The following specific requirements are associated with each of the various methods:

...

6. ~~Private Ownership. Open space may be privately owned only when:~~
  - ~~(a) Approved by the Board of Supervisors.~~
  - ~~(b) A deed restriction shall be placed on the open space lot to prevent future subdivision for a non-open space use and to prevent the development of the open space for buildings and other structures which do not relate to the open space.~~

**§27-2800.e.** Buffer yards shall include a planting strip which creates a dense screen of closely planted trees or shrubs that obscures visibility, glare and noise in accordance with the spacing and composition as specified in the Township's Subdivision and Land Development Ordinance.

**§27-2802.c.** Plant materials shall be selected from the ~~following list found in Attachment 4 of Chapter 22, Subdivision and Land Development, of this Code, Appendix D Required Plant Material List:.~~

1. ~~Canopy Trees (two inches' caliper minimum):~~
  - ~~Acer rubrum — Red Maple~~
  - ~~Acer saccharum — Sugar Maple~~
  - ~~Betula alba — European White Birch~~
  - ~~Fagus grandifolia — American Beech~~
  - ~~Fagus sylvatica — European Beech~~
  - ~~Ginkgo biloba — Ginkgo (male only)~~
  - ~~Gleditsia triacanthos inermis — Thornless Honey Locust~~
  - ~~Liquidambar styraciflua — Sweet Gum~~
  - ~~Liriodendron tulipifera — Tulip Tree~~



*Phellodendron amurense* — Amur Cork Tree  
*Platanus acerifolia* — London Plane Tree  
*Quercus alba* — White Oak  
*Quercus rubrus* — Red Oak  
*Quercus palustris* — Pin Oak  
*Quercus phellos* — Willow Oak  
*Robinia psuedoacacia inermis* — Thornless Black Locust  
*Sophora japonica* — Japanese Pagodatree  
*Tilia* \*\*\* — Linden/Basswood (all species hardy to the area)  
*Zelkova serrata* — Japanese Zelkova

2. Flowering Trees (two inches' caliper minimum):

[Amended by Ord. No. 2020-11-04, 11/16/2020]

*Amelanchier canadensis* — Shadblow Serviceberry  
*Cornus florida* — Flowering Dogwood  
*Cornus kousa* — Kousa Dogwood  
*Cornus maps* — Cormelian Cherry  
*Crataegus phaenopyrum* — Washington Hawthorn  
*Laburnum vossi* — Goldenchain  
*Magnolia soulangeana* — Saucer Magnolia  
*Magnolia virginiana* — Sweetbay Magnolia  
*Malus baccata* — Siberian Crab  
*Malus floribunda* — Japanese Flowering Crab  
*Malus hopa* — Hopa Red Flowering Crab  
*Oxydendrum arboreum* — Sourwood  
*Prunus kwanzan* — Kwanzan Cherry  
*Prunus yeodensis* — Yoshino Cherry

3. Evergreens (four feet high minimum):

*Abies concolor* — White Fir  
*Ilex opaca* — American Holly  
*Juniperus virginiana* — Eastern Red Cedar  
*Picea abies* — Norway Spruce  
*Picea omorika* — Serbian Spruce  
*Picea pungens* — Colorado Spruce  
*Pinus nigra* — Austrian Pine  
*Pinus strobus* — Eastern White Pine  
*Pseudotsuga menziesii* — Douglas Fir  
*Tsuga canadensis* — Canada Hemlock

4. Hedge (four feet high minimum):

*Crataegus intricata* — Thicket Hawthorn  
*Forsythia intermedia* — Border Forsythia  
*Rhamnus fraxula columnaris* — Tallhedge Buckthorn  
*Syringa chinensis* — Chinese Lilac  
*Syringa vulgaris* — Common Lilac  
*Viburnum alatus* — Viburnum

5. Hedgerow (four feet high minimum):

—[Amended by Ord. No. 2020-11-04, 11/16/2020]

*Crataegus crus-galli* — Cockspur Hawthorn  
*Crataegus haenopyrum* — Washington Hawthorn



~~Viburnum sieboldii — Siebold Viburnum~~  
~~Viburnum tomentosum — Doublefile Viburnum~~

6. Shrubs (three feet high minimum):

~~—[Amended by Ord. No. 2020-11-04, 11/16/2020]~~

~~Ilex verticillata — Winter Berry~~  
~~Juniperus virginiana — Upright Juniper~~  
~~Pyracantha lalandi — Laland Firethorn~~  
~~Taxus capitata — Upright Yew~~  
~~Taxus hicksi — Hicks Yew~~  
~~Thuja occidentalis — American Arborvitae (four feet high minimum)~~  
~~Hamamelis vernalis — Vernal Witch Hazel~~  
~~Hamamelis virginiana — Common Witch Hazel~~  
~~Rhamnus frangula — Glossy Buckthorn~~  
~~Viburnum dentatum — Arrowwood Viburnum~~  
~~Viburnum lantana — Wayfaring Tree Viburnum~~

**§27-2803** All buffer yards shall be maintained and kept clear of all debris, rubbish, weeds, and tall grass except for meadow or other landscaping that includes native herbaceous material for a naturalized planting scheme.

**§27-2803.c** No structures, including but not limited to ~~fences,~~ sheds, pools, hot tubs, pergolas, gazebos, or play equipment, shall be permitted in the buffer yard. No manufacturing, processing, or storage of materials, goods, or items shall be permitted in the buffer yard. Fences are permitted in accordance with the regulations of this Ordinance. Stormwater management facilities are permitted within the buffer yards provided the plantings proposed meet the buffer requirements of this section.

**§27-2803.d** Plant Materials.

1. Minimum size at planting shall be in accordance with Attachment 4 of Chapter 22, Subdivision and Land Development, of this Code Appendix D Required Plant Material List.:

~~Deciduous ————— 2 inches in diameter~~  
~~Ornamental ————— 1 1/2 inches in diameter~~  
~~Evergreen ————— 6 feet in height~~  
~~Shrub ————— 30 inches in height~~

...

**Add §27-2900.g. –**

- g. The 6th edition or most current edition of the Institute of Transportation Engineers Parking Generation Manual or a study from a Traffic Engineer may be used to support a reduction in the proposed parking requirement. In either case, the Township shall have sole authority with respect to establishing the parking requirement which shall consider potential future uses. The sum of the requirements for all uses may be reduced by no more than 25%. All schools shall designate an area for overflow parking for special events of at least 100 parking spaces or one space per 2 students, whichever is less. This may be provided offsite with a recorded easement.

**§ 27-2901 Off-Street Parking Requirements.**

## B. Residential Uses

B6 Multifamily	<u>2 spaces per dwelling unit</u>	
a. Efficiency	1 space per dwelling unit	
b. 1 to 3 BR	2 spaces per dwelling unit	
c. 4 BR or more	3 spaces per dwelling unit	

## C. Institutional Use

C1 Hospital	<del>1.75-6</del> spaces per bed
C2 Nursing Home	1.75 spaces per bed
C3 Personal Care Center	1.75 spaces per bed

## D. Educational Uses

D1 Nursery School/Day Care	<del>2 spaces per classroom</del> <u>4 spaces per 1,000 sf of total floor area</u>	1 space per <del>full-time</del> employee
D2 College, Primary or Secondary School		
a.	Elementary, Middle, Junior High	<del>2 spaces per classroom</del> <u>0.2 spaces per student</u>
b.	High School	<del>1 space for every 10</del>

		ents-of capacity0. <u>32 spaces</u> per student	1-space per full- time employ ee
c.	College	1-space-for every 10 students-of capacity-0.45 spaces per student	1-space per full time employ ee

## E. Recreational Uses

E1 Public Recreational Facility	<del>1-space-per 250</del> <del>square-foot-of</del> <del>total floor</del> <del>space</del> <u>16 spaces</u> <u>per acre</u>	
E2 Private Recreational Facility	<del>1-space-per 250</del> <del>square-foot-of</del> <del>total floor</del> <del>space</del> <u>16 spaces</u> <u>per acre</u>	
E6 Golf Course	<del>1-space-per 100</del> <del>square-foot-of</del> <del>total clubhouse</del> <del>floor-area</del> <u>10</u> <u>spaces per hole</u>	4-spaces-per hole
E8 Library or Museum	<del>1-4</del> spaces <u>s</u> per <u>500-1,000</u> square feet of total floor area	

F1 Municipal Building      ~~1 space per 50~~  
~~square feet of~~  
~~meeting area~~ 4  
spaces per  
1,000 square  
feet of total floor  
area

F4 Place of Worship      ~~1 space per 5~~  
~~seats usable for~~  
~~worship or 8~~  
~~linear feet of~~  
~~pews,~~  
~~whichever is~~  
~~greater~~ 17  
spaces per  
1,000 square  
feet of total floor  
area

#### **G. Utility and Transportation Uses**

G1 Utilities      ~~1 space per~~  
~~employee~~ 3  
spaces per  
1,000 square  
feet of total floor  
area

G2 Terminal      1 space per ~~100~~  
~~square feet~~  
every business  
vehicle normally  
stored on the  
premises      1 space per  
employee

G3 Airport      ~~1 space per 100~~  
~~square feet~~ 2  
spaces per daily  
enplanements      1 space per  
employee

#### **I. Office Uses**



I1 Medical Office ~~4-6~~ spaces per  
~~1,000~~<sup>175</sup>  
square feet of  
total floor area

I2 Veterinary Office ~~4-6~~ spaces per  
~~175-1,000~~  
square feet of  
total floor area

J6 Eating Place 1 space per 50 square feet of  
public ~~eating~~ 1 space per  
area or 3 seats, employee  
whichever is  
greater

J7 Drive-In and Other Eating Place 1 space per 50 square feet of  
public area or 1 space per  
~~23~~ seats, employee  
whichever is  
greater

J8 Tavern ~~1 space per 100~~  
~~square feet for~~  
~~patron use or 3~~  
~~seats,~~  
~~whichever is~~  
~~greater~~<sup>21</sup>  
spaces per  
1,000 square  
feet total floor  
area

J10 Theater	<u>0.5 spaces per seat</u>	
J19 Service Station or Car Wash	<u>1 space per 1,000 square feet of total floor area</u>	
J22 Automotive Accessories	1 space per 100 square feet of total floor <del>space</del> area	
J29 Package Delivery Services	<del>1 space per pick-up station</del> <u>3 spaces per 1,000 square feet of total floor area</u>	
J30 Photocopying Services	<del>1 space per 100 square feet of floor space for customer use</del> <u>3 spaces per 1,000 square feet of total floor area</u>	
J34 Dispensary	<del>1</del> <u>21</u> spaces per <del>1,000</del> <u>200</u> square feet of <del>gross</del> <u>total</u> floor area	1 space per employee

#### K. Industrial Use

K1 Manufacturing	1 <del>4</del> spaces per <del>500</del> <u>1,000</u> square feet of total floor <del>space</del> area	1 space for each business vehicle normally stored on the premises
------------------	--	---

K3 Wholesale Business, Wholesale Storage, Warehousing	1 space per <del>500</del> <u>1,000</u> square feet of total floor <u>area</u> <del>space</del>	1 space for each business vehicle normally stored on the premises
K12 Extractive Operations	1 space for each business vehicle normally stored on the premises	1 space per employee working on the premises
<del>K19 Small Lot Industrial</del>	<del>See K19 use regulations</del>	<del>See K19 use regulations</del>
L5 Oil and Gas Drilling Well	<u>1 space per employee</u>	
L6 Wind Energy Conservation Systems	<u>1 space per employee</u>	
L7 Air Landing Field	<u>5 vehicle spaces and 2 aircraft spaces</u>	<u>1 space per employee</u>

**§27-2902.c.** – Changes in Use. Whenever a building or use is changed or enlarged in floor area, number of employees, number of dwellings~~s~~units, seating capacity or otherwise to create a need, based upon the requirements of this Part for an increase of 10% or more in the number of existing parking spaces, the number of total spaces to be provided shall be based upon the total parking that would be required for the entire existing and proposed use.

**§27-2902.g.** – Common guest parking areas shall be required at the rate of 0.3 space per dwelling unit for B3, B4, B5, ~~and B6, and B7~~ Uses. On-street parking may not be counted towards meeting this requirement, and the remainder, if any, shall be provided in an off-street parking lot that meets all of the applicable regulations and requirements set forth in Chapter 22, Subdivision and Land Development, of this Code. Perpendicular parking requiring backing onto a street shall not be permitted to meet the common guest parking. [Added by Ord. No. 2020-11-04, 11/16/2020]

**§27-2902.h.** – ~~Except for an off-street parking area on a single-family lot or serving a single-family or two-family dwelling, None~~ off-street parking area for a non-residential use shall be designed or built to require vehicles exiting the area to back out onto a street.

**§ 27-2904** Design Standards for Off-Street Parking. [Ord. 8-14-1995, § 2904]

a. General Requirements.

~~No parking shall be designed to require or encourage parked vehicles to back into a public street in order to leave a parking space, except for a single-family or two-family dwelling backing onto a street other than an arterial or connector street.~~

1. Every parking area shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring the moving of any other vehicle, except for any spaces greater than two in number of a single-family detached dwelling.

~~No parking area shall be located in a required buffer yard or within an existing street right-of-way.~~

~~No parking or other paved area shall be located within 10 feet of a septic system absorption area.~~

~~Defined Traffic Ways. All parking areas shall include clearly defined and marked traffic patterns. In any lot with more than 30 off-street parking spaces, raised curbs and landscaped areas shall be used to direct traffic within the lot. Major vehicular routes shall be separated from major pedestrian routes within the lot.~~

2. Required off-street parking spaces shall be on the same lot or premises with the principal use served unless shared parking lot agreements are recorded to allow access and parking for all affected properties.

3. No parking area shall be used for any other use that interferes with its availability for the parking need it is required to serve. This includes storage or display of materials or vehicles.

b. Paved Area Setbacks (including Off-Street Parking Setbacks).

1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in stormwater management along streets.

2. No parking area, paved area, or outdoor storage or display of vehicles shall be located in a required buffer yard or within 10 feet of the ultimate right-of-way line of any street, or property line.



3.The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks or trails. Storm water control facilities may be located within this setback area if they do not obstruct sight distance. No fence shall be located within the paved area setback, except within the Butler Corridor Overlay District where it's demonstrated that the fence does not interfere with sight lines.

4.The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.

**b. ~~Size of Parking Spaces.~~ [Amended by Ord. 2016-05-01, 5/16/2016]**

~~1.Each parking space shall meet the following stall width and length:~~

<del>Type of Space</del>	<del>Width (feet)</del>	<del>Length (feet)</del>
<del>Perpendicular/90°</del>	<del>10</del>	<del>18</del>
<del>Angled (30°/45°/60°)</del>	<del>10</del>	<del>18</del>
<del>Parallel</del>	<del>8</del>	<del>22</del>

~~2.All spaces shall be marked with double lines so as to indicate their location, except those of a single-family or two-family dwelling.~~

**c. ~~Aisles.~~ [Amended by Ord. 2016-05-01, 5/16/2016]**

~~1.For one-way traffic only, each aisle providing access to the type of stall listed shall meet the corresponding minimum aisle width specified below:~~

<del>Type of Parking Stall</del>	<del>Minimum Aisle Width (feet)</del>
<del>Parallel</del>	<del>12</del>
<del>30°</del>	<del>12</del>

### Minimum Aisle Width

Type of Parking Stall	(feet)
45°	18
60°	18
90°	20

- ~~2. For two-way traffic, each aisle providing access to any type of stall shall be at least 24 feet in width.~~
- ~~3. Raised pedestrian crosswalks and refuge islands shall be provided along the length of each parking aisle and row at intervals of 200 feet or less.~~

#### ~~d. Access Drives and Driveways.~~

- ~~1. Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use.~~
- ~~2. Private driveways serving one dwelling unit or agricultural use shall have a maximum grade of no more than 10%. S~~
- ~~3. Any other driveway or access way shall have a 6% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 3% grade.~~
- ~~4. Adequate provisions shall be made to maintain uninterrupted parallel drainage along a public street at the point of driveway or access drive entry.~~
- ~~5. At least 75 feet shall be provided between any two access drives along one street along one lot.~~
- ~~6. No access drive or driveway shall open onto a public street less than 80 feet from the existing right-of-way line of any intersecting public street.~~
- ~~7. Where access is to a public street, a state or Township (if applicable) highway access permit shall be obtained.~~
- ~~8. Where access drives and driveways are proposed as part of a subdivision or land development, the provisions of the Township's Subdivision and Land Development Ordinance [Chapter 22] shall also be met. If there are any conflicts between the requirements of the Zoning and the Subdivision and Land Development Ordinances, the stricter provision shall apply.~~
- ~~9. Driveway Setbacks from Residence. A minimum five feet unpaved area setback shall be maintained between any driveway or access way and any abutting lot line of a single-~~

~~family detached house, unless a shared driveway is specifically shown on the approved plan.~~

e.c. Paving, Grading and Drainage.

1. Except for areas that are landscaped and so maintained, all portions of required parking, off-street loading facilities and driveways shall be graded, surfaced with asphalt, concrete, porous paving, or permeable pavers, ~~or concrete~~ and drained in ways necessary to prevent dust, erosion or water flow across streets or adjoining properties. Any parking, loading, or driveway shall at a minimum meet the ~~The~~ paving standards of the Township Subdivision and Land Development Ordinance ~~are hereby included by reference.~~ However, driveways serving an individual single-family detached house on a lot of five acres or greater or that only provide access to general or crop farming shall not be required to be paved except for the first 50 feet of the driveway or to the ultimate right-of-way, whichever is less.

f.d. ~~Night time~~Nighttime Illumination.

1. Any paved area of 1,000 square feet or more designed for use, or that would be open to the public during night hours shall be adequately illuminated ~~for security purposes at no cost to the Township.~~ in accordance with the lighting standards for parking areas of the Subdivision and Land development Ordinance.

g. ~~Paved Area Setbacks (including Off-Street Parking Setbacks).~~

- ~~1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in storm water management along streets.~~
- ~~2. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks of six feet wide or less. Storm water control facilities may be located within this setback area. No fence shall be located within the paved area setback~~
- ~~3. No off-street parking space nor outdoor display of vehicles or articles for sale shall be located within 10 feet of the ultimate right-of-way line of any street.~~
- ~~4. The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.~~
- ~~5. All paved areas, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial or industrial building. This setback shall not apply to driveways entering into a garage, delivery entrance, vehicle service bay or carport. This setback is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.~~

[Amended by Ord. 2017-01-01, 1/3/2017; and by Ord. 2017-06-07, 6/5/2017]



#### ~~h. Paved Area Landscaping.~~

- ~~1. Any lot that would include more than 30 parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.~~
- ~~2. One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section or by the Subdivision and Land Development Ordinance [Chapter 22].~~
- ~~3. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."~~
- ~~4. Existing Trees. For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this section, one less shade tree shall be required to be planted.~~

#### ~~i. Parking Lot Screening.~~

- ~~1. No off-street parking area for five or more vehicles shall be developed in such a way that vehicle headlights could shine into a dwelling located within 200 feet or less of the parking area.~~
- ~~2. Wooden fencing, brick walls or evergreen screening shall be required as needed to resolve the concern of this section. Such screening or fencing shall have a minimum height of four feet, except that screening or fencing of up to eight feet shall be required by the Zoning Officer as needed where there is unusual topography or the parked vehicles would be trucks or buses.~~

#### ~~j. e. Handicapped Accessible Parking.~~

- ~~1. All The number and location of accessible parking and passenger loading zones spaces shall comply with the requirements of the Federal Americans with Disabilities Act.~~
- ~~2. If not otherwise specified in the Federal Americans with Disabilities Act, accessible parking facilities ~~for the handicapped~~ shall meet the following minimum standards:~~
  - ~~(a) Any parking lot for public use including at least six-one off-street parking spaces, except for single-family dwellings, shall include of minimum of one handicapped space. A minimum of 3% of all off-street parking spaces required for use shall be handicapped spaces. The total minimum number of accessible parking spaces shall be in accordance with the following chart:~~



<b>Minimum Number of Accessible Parking Spaces</b> ADA Standards for Accessible Design 4.1.2 (5)			
Total Number of Parking spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (60" & 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
<b>Column A</b>			
1 to 25	1	1	0
26 to 50	2	1	1
51 to 75	3	1	2
76 to 100	4	1	3
101 to 150	5	1	4
151 to 200	6	1	5
201 to 300	7	1	6
301 to 400	8	1	7
401 to 500	9	2	7
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*	7/8 of Column A**
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*	7/8 of Column A**
* one out of every 8 accessible spaces      ** 7 out of every 8 accessible parking spaces			

- (b) Handicapped-Accessible parking spaces shall be located where they would result in the shortest possible distance to an accessible building entrance.
- (c) Handicapped-Accessible spaces shall measure a minimum of 13 feet in width by 18 feet in length for each space.
- (d) The slope of handicapped-accessible parking spaces shall not exceed 2% in any direction.

**§27-2904.d.3** – Any other driveway or access way shall have an 68% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 43% grade.

**§ 27-2905** Parking of Trucks, Recreational and Other Vehicle Storage, and Junk Vehicles in Residential Districts.

- a. The intent of this section is to prevent residential areas from being adversely affected by non-residential commercial vehicles; and to maintain a residential character in residential districts, and to minimize traffic safety concerns by regulating damaged and junk vehicles, commercial trucks, recreational vehicles and other vehicle storage, etc.

b. The following special definitions shall apply:

1. Commercial Truck or Van. A vehicle ~~considered underdesignated by~~ its issuing state of registration license to be registered as either a "truck, apportioned, or commercial" that is primarily used for commercial/business purposes including, but not limited to, making service calls, transporting equipment used in a business or in accomplishing physical work as part of a business (such as hauling material).
2. Truck Tractor. A motor vehicle designed and used primarily for drawing other vehicles and not so constructed as to carry a load other than a part of the weight of the vehicle and load so drawn, or, a truck with two or more ~~than two~~ axles that is primarily intended to be used to pull a trailer, as defined below.
3. Trailer. A vehicle with a length of 10 feet or more, designed to be towed by a motor vehicle, and that is not self-propelled; that is intended to haul equipment, materials, vehicles, goods, gases or liquids; and/or that is intended to be pulled by a truck tractor (as defined above).

[Amended by Ord. No. 2020-11-04, 11/16/2020]

c. No part of this section shall apply to the following exceptions:

1. Township-owned vehicles.
2. Police, Fire, EMS, Ambulance, fire and rescue vehicles.
3. Buses used primarily for transporting pupils ~~public or private school children~~ to and from school.
4. Vehicles operated by the U.S. Postal Service.
5. Vehicles engaged in the construction or repair of streets, curbs, sidewalks or utilities.
6. Vehicles engaged in making routine household deliveries or rendering routine household services to a property abutting or that is part of the location where the vehicle is parked.

~~d. No part of this section shall apply to recreational vehicles. [Amended by Ord. 2017-06-07, 6/5/2017]~~

d. No commercial truck or van with a gross vehicle weight rating (GVWR) exceeding 14,001 pounds or greater than two axles, ~~or any no truck~~ tractor, ~~or any no~~ trailer (as defined by this section), nor recreational or other vehicle storage shall be maintained (except emergency repairs), parked, stored, or otherwise kept ~~within or upon a lot, driveway, on a public or private street,~~ or other location that is within a residential zoning district, without (1) displaying a valid registration and current registration, or (2) displaying a valid, current vehicle safety inspection certificate between the hours of 8:30 p.m. and 9:00 a.m., any day of the week. Such vehicles or trailers shall not pose a traffic safety hazard as determined by the New Britain Township Police Department at any time. This prohibition does not apply to a single truck or van parked, stored, or otherwise kept within an enclosed building or garage upon a residential lot.

e. All such vehicles or trailers may be parked or stored on private property provided they are located as follows:

1. Within a carport;



2. Within a completely enclosed structure;
  3. Within the side or rear of a lot, but no closer than ten feet to a property line;
  4. Within the front yard provided it complies with the following:
    - (a) No such vehicles or trailers shall be within the front yard setback line or used for living, sleeping or housekeeping purposes when parked or stored on a residential lot or in any location not approved for that lot.
    - (b) The vehicles or trailers shall be located on a paved or modified/crushed stone and permitted driveway.
    - (c) The vehicles or trailers shall not cause ingress or egress, sight line, or safety issues as determined by the New Britain Township Police Department or the New Britain Township Zoning Officer.
- f. In addition to the requirements of this section, no vehicle that has been used for the bulk hauling of garbage shall be parked for more than 15 minutes in any 24-hour period on a portion of a lot or street that is within 200 feet of a dwelling.
- g. The provisions of this chapter that allow nonconforming uses to continue and expand do not apply to conditions under this section. Any nonconforming condition or use that exists under this section shall be made conforming within 90 days of this chapter.
- h. If a vehicle that is parked in a nonconforming fashion under this section is moved from the subject property or street for more than 24 consecutive hours, the nonconformity shall be considered to have been abandoned and the property or use shall then only occur in a manner that conforms to this chapter in that respect.
- i. No junk vehicle may be stored on a lot in a residential district unless that lot consists of one acre or more in area. No more than one junk vehicle may be stored on a lot in a residential area. No junk vehicle may be stored in a front or side yard.

**§27-3003.a.** All applications for zoning permits shall be made in writing by the owner, tenant, vendee under contract of sale, or authorized agent on a form supplied by the municipality and shall be filed with the Zoning Officer. The application shall include ~~four~~two copies of the following information:

#### **Attachment 1 - Appendix A. Environmental Impact Statement Report**

...

**Add e.** For projects that involve dedication of land to the Township, properties with current or former environmentally sensitive uses or where site conditions warrant it, upon request by the Board of Supervisors a Phase I Environmental Site Assessment shall be performed at the Applicant's expense. The Board of Supervisors may also request a Phase II Environmental Assessment and any similar additional environmental studies, work plans, remediation plans, environmental data, etc. as required by the Township Engineer pursuant to commonly accepted standards to characterize the site's environmental conditions considering the proposed use. The assessments shall conform with the scope and limitations of the ASTM Standard Practice for Environmental Site Assessment Process (ASTM E-1 525-05) as subsequently amended, and U.S. EPA Title 40 Code of Federal Regulations Part 312, Standard Practices for All Appropriate Inquiries (40 CFR Part 312) as subsequently amended.

**Attachment 3 – Zoning Map** – Replace with legible, digital copy.

TOWNSHIP OF NEW BRITAIN BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Subdivision and Land Development Ordinance, which is codified in Chapter 22 of the Code of Ordinances of New Britain Township; and

**WHEREAS**, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Subdivision and Land Development Ordinance in order to revise definitions of terms used in the Subdivision and Land Development Ordinance; to revise the requirements and procedures for submission of subdivision and land development plans and applications; to revise the requirements for natural resources and features that must be included on the plan; to add requirements for Environmental Site Assessments and Traffic Impact Studies; ~~to provide for standardized fees in lieu for open space and/or recreation areas;~~ and to make editorial and clarifying amendments throughout the Subdivision and Land Development Ordinance;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, Chapter 22-Subdivision and Land Development of the Township of New Britain is amended to read as follows:

**Section 1.** The following Sections of Chapter 22 Subdivision and Land Development is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 202 Definitions of Terms.
  - i. Bioretention
  - ii. Bioswale
  - iii. Bypass Lane/ Escape Lane
  - iv. Green (Stormwater) Infrastructure
  - v. Impervious Surface
  - vi. Infiltration
  - vii. Invasive Plants
  - viii. Land Development
  - ix. Lot Area
  - x. Mobile Home
  - xi. Porous Pavement/ Pavers
  - xii. Rain Garden
  - xiii. Right-of-Way, Ultimate



- xiv. Soils on Floodplain
  - xv. Specimen Tree
  - xvi. Street Line
  - xvii. Tree Protection Zone (TPZ)
  - xviii. Water Supply
  - xix. Wetlands
- 
- b. Section 401 General Procedures
  - c. Section 402 Sketch Plan and ERSAP Submission Review and Procedure
  - d. Section 405 Minor Plan Submission and Review Procedure
  - e. Section 406 Recording of Plans
  - f. Section 502 Preliminary Plan Requirements
  - g. Section 504 Minor Plan Requirements
  - h. Section 505 Community Impact Assessment Report
  - i. Section 703 Blocks and Lots
  - j. Section 704 Easements
  - k. Section 705 Streets
  - l. Section 707 Pedestrian Walkways, Recreational Trails, and Bicycle Lanes
  - m. Section 708 Parking Areas
  - n. Section 709 Off-Street Loading Facilities
  - o. Section 711 Grading, and Erosion and Sedimentation Control
  - p. Section 712 Stormwater Management
  - q. Section 713 Landscape Planting
  - r. Section 714 Lighting
  - s. Section 715 Park and Recreation Land
  - t. Section 719 Private On-Lot Water Supply
  - u. Section 721 Private On-Lot Sewage Disposal System
  - v. Section 722 Butler Avenue Corridor Overlay District

**Section 2.** New Section 506 Traffic Impact Study shall be added to the Ordinance as provided in Exhibit "A".

**Section 3.** New Part 6 Natural Resources shall be added to the Ordinance as provided in Exhibit "A".

**Section 4.** Appendix A to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "B".

**Section 5.** Appendix B to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "C".

**Section 6.** Appendix D to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "D".

**Section 7.** Appendix E to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "E".

**Section 8. Severability.**

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

**Section 9. Effective Date.**

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

**ORDAINED AND ENACTED** by the Board of Supervisors of New Britain Township  
this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Attest:

\_\_\_\_\_  
Dan Fox,  
Township Manager

\_\_\_\_\_  
Cynthia Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice Chair

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
William B. Jones, III, Member

\_\_\_\_\_  
Bridget Kunakorn, Member

**EXHIBIT “A”**

## **Subdivision and Land Development Ordinance Amendment**

October 28, 2024

Add or amend the following Definitions of **§22-202** as follows:

**BIORETENTION** – A stormwater retention area that utilizes woody and herbaceous plants and soils to remove pollutants before infiltration occurs.

**BIOSWALE** – a swale that uses bioretention and often includes native plants to absorb runoff and pollutants.

**BYPASS LANE/ESCAPE LANE** Vehicular lane allowing traffic to pass the drive-through lane and/or allowing vehicles, because of emergencies or mistakenly entering the drive-through lane, to exit the drive-through lane.

**GREEN STORMWATER INFRASTRUCTURE** – Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

### **IMPERVIOUS SURFACE**

Exterior surfaces which do not absorb water including all buildings, parking areas, driveways, roads, sidewalks, ~~swimming pools~~ and any area in concrete, asphalt, compacted stone and similar materials. Also includes other areas determined to be impervious by the Township Engineer.

### **INFILTRATION**

Movement of surface water into the soil, where it is absorbed by plant roots, ~~evaporated into the atmosphere~~, or percolated downward to recharge groundwater.

**INVASIVE PLANTS** – Those species that are not native to the state, grow aggressively, and spread and displace native vegetation as noted on the DCNR Invasive Plant List that may be updated from time to time.

**LAND DEVELOPMENT** – Any of the following activities:

- a. The improvement of one lot or two or more contiguous lots, tracts, or parcels of land for any purpose involving:
  1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or tenure; or
  2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code as may be amended.
- d. The condominium of land or buildings.
- e. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.



## **LAND DEVELOPMENT, MINOR**

~~The expansion of an existing building or parking area.~~

## **LOT AREA**

The area contained within the property lines of the individual parcels of land shown on a subdivision plan as required by this chapter, excluding any area within an existing or designated future street right-of-way and any area required as open space under the Township Zoning Ordinance [Chapter 27] and the area of any existing ~~or proposed~~ easement.

## **MOBILE HOME**

A transportable single-family dwelling intended for permanent occupancy contained in one unit or in two or more units designed to be joined into one integral unit, capable of again being separated for repeated towing, which arrives at a site complete and ready for occupancy except for minor and incidental unpacking and assembly operations, constructed so that it may be used without a permanent foundation and built under U.S. HUD standards and not [BOCA Uniform Commercial Code](#) standards. A mobile home need not meet local building codes but shall meet the standards of the U.S. Department of Housing and Urban Development, as indicated in the Structural Engineering Bulletin(s) which shall be provided to the township by the applicant.

**POROUS PAVEMENT/PAVERS** – Stormwater controls that allow stormwater to infiltrate through the surface of the pavement/pavers to the ground below.

## **RAIN GARDEN**

A stormwater facility planted with specially selected native vegetation to treat and capture runoff and by pooling water on the surface and settling out suspended solids and allowing for infiltration and pollutant removal in the plant/soil/microbe media.

~~SOILS, FLOODPLAIN (ALLUVIAL) Areas subject to periodic flooding and listed in the Soil Survey of Bucks and Philadelphia Counties.~~ **SOILS ON FLOODPLAIN** Areas subject to periodic flooding or listed in the Official Soil Survey provided by the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey (<http://websoilsurvey.nrcs.usda.gov/>), as soils having a flood frequency other than none. Such soils shall include, but may not be limited to, the following soil types: Bowmansville-Knauers silt loam (Bo), Buckingham silt loam (BwB), and Rowland silt loam (Ro). A landowner may submit detailed soil profiles and a report to the Township for the purpose of determining an alluvial soil classification, which the Township may or may not accept as the correct boundary of soils on floodplain.

**SPECIMEN TREE** ~~Any tree with a caliper that is 75% or more of the record tree of the same species of the commonwealth. A unique, rare, or otherwise specifically selected tree considered worthy of conservation by New Britain Township because of its species, size, age, shape, form, historical importance, or any other significant characteristic, including listing as a species of special concern by the Commonwealth of Pennsylvania.~~

## **STREET LINE**

The dividing line between a lot and a street. Also called Ultimate Right-of-Way Line, Legal or Required Right-of-Way line. Where no right-of-way line exists or is proposed, the street line shall be the edge of sidewalk farthest from the street.

## **RIGHT-OF-WAY, ULTIMATE**

The street right-of-way projected as necessary for adequate handling of anticipated maximum traffic volumes, according to the Township Street Classification Map. The ultimate right-of-way is the legal right-of-way where it has been offered for dedication and accepted by the Township or other authority. It shall be measured from the centerline of the street or as determined by the Township Engineer.

## **TREE PROTECTION ZONE (TPZ)**

An area that is radial to the trunk of a tree in which no construction activity shall occur. The tree protection zone shall be 15 feet from the trunk of the tree to be retained, or the distance from the trunk to the dripline, whichever is greater. Where there is a group of trees or woodlands, the tree protection zone shall be the aggregate of the protection zones for the individual trees.

## **WATER SUPPLY**

### **A. PRIVATE WATER SUPPLY SYSTEM**

A system for supplying and distributing water to a single ~~lot or~~ dwelling ~~unit or~~ building from a source located on the same lot.

### **B. PUBLIC WATER SUPPLY SYSTEM**

Any water supply and distribution system that is owned and managed by the Township, the Bucks County Water and Sewer Authority, North Wales Water Authority, North Penn Water Authority, Aqua of Philadelphia or Philadelphia Suburban Water Company or other approved water purveyor, which services more than a single community or subdivision and may be interconnected with other water supply systems.

### **C. COMMUNITY WATER SYSTEM**

A privately-owned system for supplying and distributing water from a common source(s) to two or more dwellings and/or other buildings in a single neighborhood and/or land development.

## **WETLANDS**

Areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions, including swamps, marshes, bogs and similar areas. The term includes but is not limited to wetland areas listed in the Pennsylvania State Water Plan, the United States Forest U.S. Fish & Wildlife Service Wetlands Inventory of Pennsylvania, the Pennsylvania Coastal Zone Management Plan and/or a wetland area designated by a river basin commission. Wetlands shall be determined by current standards established by the United States Army Corps of Engineers and the Pennsylvania Department of Environmental Protection Agency.



**§22-401.6.** ~~Subdivision applications creating a single new building lot are not considered minor subdivisions and such applications are required to submit a completed plan submission as required by §§ 22-403 and 22-404 of this chapter. Subdivision proposals creating a single new building lot must establish a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots.~~

**§22-401.7.** All plan submissions shall include ~~two compact discs (CDs)~~ a flashdrive or electronic submission that includes PDF copies of all the plan sheets, supporting documentation and any other application material included in this submission.

**§22-401.8.** Notification Requirements. The applicant for a subdivision or land development shall, with the submission of a sketch plan if submitted, and preliminary plan, notify all surrounding property owners (minor subdivision-adjacent property owners and major subdivisions and land developments within ~~500~~ 1,000 feet of the proposed development perimeter). The notice shall state that a subdivision or land development plan has been filed for the property (indicate tax map parcel number) and shall state that the Township office will schedule the meetings at which the plans will be reviewed. ~~The developer shall include in the notice the date the plan is scheduled for the initial Township Planning Commission meeting.~~ The notice shall include a copy of the proposed development plan showing the proposed lots and streets and perimeter roads. ~~The plan shall be either 8 1/2 inches by 11 inches or 11 inches by 17 inches.~~ The notification shall be sent within five days of the time the plans are submitted to the Township. The applicant shall submit an affidavit to the Township setting forth the list of the names and addresses to which notices have been sent and include the content of the notice. The affidavit shall be supplied by the applicant to the Township at least five days prior to the first meeting of the Planning Commission at which the plans are to be discussed. The applicant shall post the property at the time of preliminary plan submission. The sign must be readable, maximum size of two feet by three feet and state that the property is the subject of a subdivision or land development with New Britain Township, (215) 822-1391, for any questions.

**§22-402.4.** Sketch Plan Processing Procedures:

- A. The applicant shall make a request to the Township Zoning Office to be scheduled on a Planning Commission or Board of Supervisors' meeting agenda for an informal discussion of the sketch plan.
- B. The applicant shall appear at the scheduled meeting to explain the plan and to discuss issues identified by the Planning Commission or Board of Supervisors. The applicant should be prepared to discuss significant issues including, but not limited to, land use proposed (residential, commercial, industrial, etc.), density or intensity of proposal; access to the subject site, including intersection locations and road realignments; site plan design, including subdividing, roads, buildings, common areas, curbs, sidewalks and pedestrian walkways and open space.
- C. The Township Planning Commission or Board of Supervisors may make suggestions and recommendations to the applicant during the meeting at which the plan is discussed. Suggestions and/or recommendations shall be summarized in the minutes of the Township Planning Commission or Board of Supervisors for reference by the applicant.

...

**§22-402.5.B.(4)** Once the aerial photograph and sketch plan have been received, the zoning office ~~shall~~may coordinate a site visit with the applicant, Township staff and elected officials. The purpose of the visit is to familiarize officials with the property's existing conditions and special features, to identify potential site design issues, and to provide an informal opportunity to discuss site design concepts, including the general layout of a designated required open space (if applicable), potential locations for proposed buildings and street alignments, stormwater management concepts, and protection of resources (natural and historic). Comments made by the Township representatives, or their staff and consultants shall ~~be as only~~ be advisory and are not binding on either the Township or the applicant. It shall be understood by all parties that no formal recommendations can be offered, and no official decisions can be made, at the site visit or during the sketch plan process.

**§22-405.1**. Minor plans may be submitted and processed for only lot line adjustments and minor ~~land development subdivisions~~, as defined in this chapter.

**§22-406.1.H.** If the final plan is approved with ~~public~~-streetlights to be formally accepted for dedication by the Township, the applicant shall submit a streetlight petition to the Township in accordance with the requirements of the MPC.

**§22-406.2.** Submission Record Plans.

A. ~~Six~~Three paper copies of the final plan to be recorded shall be submitted directly to the Township Engineer for review and execution, prior to approval by the Board with the following information:

- (1) Five signature lines shall be provided for the Board of Supervisors.
- (2) The ~~final plan shall bear the~~ signature of the landowner(s) of record, ~~;~~
- (3) Notary public with sufficient white space to avoid any text conflicts with the required notary stamp.
- (4) The signature and seal of the registered professional engineer and/or surveyor responsible for the plans, and
- (5) ~~signature of an official of the~~ Bucks County Planning Commission file number, and-
- (6) The signature of the certified wetlands scientist certifying any delineated wetlands.

**§22-406.2.B.** At the time of record plan submission, the applicant shall also submit to the Township Engineer:

- (1) ~~Five~~Three (3) complete paper sets (rolled) of the final plans for construction; and
- (2) One electronic copy of all drawings on CD ROM media in PC language in either DWG or DEF Vector format. The information on the electronic plan shall be the same in exact detail as the final plans to be recorded. ~~In the event that electronic submission is not possible, the applicant may request preparation of an electronic plan by the Township Engineer. All expenses associated with preparation of the electronic plan by the Township Engineer shall be considered review expenses incurred by the Township on behalf of the applicant. Any~~



proposed Conservation Easement linework within the electronic copy of the Final Plan(s) in DWG or DEF Vector format shall be provided to the Township with georeferencing in order for the Township to plot the easement on a Township mapping system.

**§22-502.1.B(7)** The overall tract boundary from a field survey with bearings and distances and, total tract acreage, the survey benchmark, north arrow orientation, datum, and any relevant survey control elements.

**§22-502.1.B.(21)** The following recording notes and certifications shall be provided for recording of the final plans: Professional land surveyor's certification, professional engineer's certification, professional wetlands/soils scientist's certification, Bucks County Recorder of Deeds Certification, ownership acknowledgment; notary public statement; Bucks County Planning Commission Certification; Township Engineer's Certification; Planning Commission Chairman Approval with one signature line and Board Approval with five signature lines.

Add **§22-502.1.B.(23)** The total amount of impervious area accounted for in the stormwater design within each sub drainage and bypass area shall be noted on the Record Plan.

**§22-502.1.D.(8)** Other natural features including:

- (a) Location, size and species, of individual trees six inches in diameter or greater, when standing alone or in small stands. The plan shall also identify any dead, dying, invasive, or diseased tree(s) within existing or proposed conservation easements or trees that may pose a threat to safety as determined by the Township or Township Engineer.
- (b) Outer limits of woodlands to remain. Approximate—Limits of site disturbance, including a clear delineation of existing vegetation, including trees, hedge rows, wooded areas, and scrub growth, meadow and actively farmed land. Indicate items to be removed and items to be preserved, including method of preservation. Healthy Trees need not be individually identified in areas proposed to be permanently preserved, set aside as open space or in areas proposed not to be disturbed.
- (c) Locations and limits of geologic features that may affect the locations of proposed streets or buildings, including rock outcroppings, quarries and sink holes.
- (d) Natural resources that are protected by the provisions of the Township Zoning Ordinance [Chapter 27], such as watercourses, floodplains, wetlands, natural steep slopes, riparian areas, forests/woodlands, agricultural soils and other features.

**§22-502.1.D.(10)(a)** Contour lines measured at vertical intervals of two feet, as determined by an on-site field survey, not interpretation of United States Geologic Service (USGS) Maps. The plans shall indicate the benchmark elevation and the location ~~and shall be based on the Chalfont-New Britain Township Joint Sewage Authority vertical datum.~~

**§22-502.1.D.(12)** All information shown on the plans shall be from an onsite field survey conducted within five two years of the date of the application.

Add **§22-502.1.D.(13)** Locations and type of existing underground and overhead utilities.

**§ 22-502.1.H. Lighting Plan.**

- ~~(1)Location of all proposed streetlights, lighting fixtures and standards, including wall mounted lights.~~
- ~~(2)Location of buildings, building setback lines, proposed streets, rights-of-way, parking areas, sidewalks and walkways.~~
- ~~(3)Location of all proposed landscape plantings.~~
- ~~(4)All individual trees, vegetated areas and woodlands designated to remain and other related landscape features such as berms, water features, etc.~~
- ~~(5)Isofootcandle data and plots for each proposed lighting fixture.~~
- ~~(6)Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.~~
- ~~(7)Lighting intensities in footcandles plotted for the entire site.~~

(1)Existing and proposed site features including:

- a.Existing and proposed streetlights, lighting fixtures and standards, including architectural wall mounted lights.
- b.Existing and proposed buildings, retaining walls, parking areas, driveways and walkways
- c.Required setback and right-of-way lines
- d.Existing and proposed above and below ground utilities
- e. Location of all existing and proposed vegetation
- f. Site Grading

(2)Lighting information and calculations including:

- a.A ten-foot by ten-foot (10' x 10') point by point illuminance grid extending 10 feet beyond the property lines.
- b.Luminaire Schedule including:
  - i. Luminaire catalog number
  - ii. Luminaire IES file
  - iii.Quantity of luminaires
  - iv.Mounting height of luminaires
  - v.Light loss factor used in lighting calculations
- c.Site Lighting Statistics for illuminated areas including:
  - i. Building entrances



- ii. Pedestrian ways
- iii. Parking Areas
- iv. Fueling and/or charging canopies
- v. Other areas as deemed necessary by the Township Engineer
- d. Site lighting statistics for each area shall include:
  - i. Maximum illumination level
  - ii. Minimum illumination level
  - iii. Average illumination level
  - iv. Maximum to minimum ratio
  - v. Additional information as required to determine compliance with IES guidelines
- e. Limits of each statistical area.
- f. Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.
- g. Seal and signature of the design professional responsible for the preparation of the plan
- h. Chart to demonstrate compliance with IES recommended practices

**§22-502.1.J.(3)** Street, widening, right-of-way, access drive and driveway paving cross-section details.

**§22-504.2.** Minor Plan, Lot Line Adjustment or Subdivision. The following plan information shall be shown:

...

E.Subdivision proposals creating one single new building lot must develop a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots unless otherwise approved by the Board of Supervisors.

F.For a lot line change where no new lots are created and where no physical improvements are proposed, public improvements such as road widening, curb, sidewalk, street trees, etc. are not required.

G.Any additional information as reasonably required by the Township Engineer.

**§22-504.3.** ~~Minor Plan, Land Development. The plan requirements shall be the same as those required for preliminary and final plans, except for the following:~~

- ~~A. An aerial photograph plan shall not be required.~~
- ~~B. Horizontal plan and profile shall not be required.~~
- ~~C. Existing features and natural resource plan shall be submitted for the property only.~~
- ~~D. The applicant may submit one minor plan that combines all other plan requirements.~~

**§22-505.4.D.(3)** Surface water resources and their drainage characteristics, including creeks, streams, ponds, lakes, springs, wetlands, watersheds, floodplains and man-made structures and impoundments. The existing and proposed surface runoff from the

tract shall be calculated, including the potential development of the remainder of the watershed. The flow, depth, capacity and quality of the receiving waters shall be investigated and need for any onsite streambank stabilization evaluated.

Add §22-505.4.D.(5) Any Phase I and Phase II Environmental Site Assessments completed for the site in question shall be submitted to the Township for review.

Add §22-506 Traffic Impact Study

1. Purpose and Applicability.

A. Purpose. A traffic impact study shall be required as a prerequisite to a zoning permit for the following uses:

- (1) Residential land development or subdivision of 50 or more dwelling units.
- (2) Shopping Center.
- (3) Commercial: A commercial building or buildings consisting of 25,000 square feet or more of total floor area.
- (4) Office: A development consisting of 25,000 square feet or more of total floor area.
- (5) Industrial: A development consisting of 50,000 square feet or more of total floor area or any truck terminal as a principal use.
- (6) Institutional Hospital, Nursing Home or Institutional: A development of 50,000 square feet or more total floor area.
- (7) Any other use expected to generate greater than 100 new trips inbound to the site or out bound from the site in site peak hour traffic, or 1,000 trips per day.
- (8) The Township may request a Traffic Impact or Trip Generation Analysis for any proposed use at the Township's discretion.

B. The traffic study shall be submitted with the preliminary plans. This study will enable the Township to assess the impact of a proposed development on highways and public transportation. Its purpose is to identify any traffic problems and to delineate solutions.

2. Conduct of the Traffic Impact Study. The traffic impact study (TIS) or traffic impact analysis (TIA) shall be prepared by a qualified traffic engineer and/or transportation planner with previous traffic study experience. The procedures and standards for the traffic impact study are set forth in Subsection A of this section and the Highway Occupancy Permit Operations Manual Appendix A PennDOT Transportation Impact Study Guidelines dated September 2022 or as amended. If there is any discrepancy between the Township's and PennDOT Traffic Study Guidelines, the stricter standard shall apply.

A. General Requirements and Standards. A transportation impact study shall contain the following information:

- (1) General Site Description. The site description shall include the size, location, proposed land uses, construction staging and completion date of the proposed development. A brief description of other major existing and proposed land developments for which preliminary plans have been



submitted within the proposed study area shall be included. The Township reserves the right to determine the study area at a preapplication conference.

- (2) Transportation Facilities Description. The description shall contain documentation of the proposed internal and existing external transportation system. This description shall include proposed internal vehicular, bicycle and pedestrian circulation, all proposed ingress and egress locations, all internal roadway widths, and any traffic signals or other intersection control devices at all intersections within the site.
- (3) Existing Traffic Conditions. Existing traffic conditions shall be documented for all major roadways and intersections in the study area and any other intersections or roadways the Township deems will be affected by the proposed development. Existing traffic volumes for average daily traffic, peak highway hour(s) traffic and peak development-generated hour(s) traffic shall be recorded. Traffic counts at major intersections in the study area and others which the Township deems will be affected by the proposed development shall be conducted, encompassing the peak highway hour(s), and documentation shall be included in the report. A volume/capacity analysis based upon existing volumes shall be performed during the peak highway hour(s) and the peak development-generated hour(s) for all roadways and major intersections in the study area where those intersections which the Township deems will be impacted by the proposed development. Based upon the Highway Capacity Manual, or as amended, this analysis will determine the adequacy of the existing roadway system to serve the current traffic demand. Roadways and/or intersections experiencing levels of service D, E or F shall be noted as congested locations. A development generated peak hour analysis may be required per the Township Engineer's request.
- (4) Traffic Impact of Development. Estimation of vehicular trips to result from the proposed development shall be completed for the average daily peak highway hour(s) and peak development-generated hour(s). These development-generated traffic volumes shall be provided for the inbound and outbound traffic movements as estimated, and the I.T.E. Trip Generation Manual, 11th edition or as revised. All turning movements shall be calculated. These generated volumes shall be distributed and assigned to the existing roadways and intersections throughout the study area for which existing conditions were identified in Subsection A.(3) above. Documentation of all assumptions used in the distribution and assignment phase shall be provided. Traffic volumes shall be assigned to individual access points. Pedestrian volumes shall also be calculated, if applicable. If school crossings are to be used, pedestrian volumes shall be assigned to each crossing. Any characteristics of the site that will cause particular trip generation problems shall be noted.
- (5) Analysis of Traffic Impact. The total future traffic demand shall be calculated. This demand shall consist of the combination of the existing traffic expanded to the completion year (using an annual traffic growth rate available from the Delaware Valley Regional Planning Commission), the development-generated traffic, and the traffic generated by other proposed developments in the study area. Traffic generation data shall be developed by the applicant from trip generation rates or from other traffic impact studies if they are available. A volume/capacity analysis shall be conducted using future



demand. A 'without development' and 'with development' future roadway capacity shall be conducted. If staging of the proposed development is anticipated, calculations for each stage of completion shall be made. This analysis shall be performed during the peak highway hour(s) for all roadways and major intersections in the study area which are deemed to be impacted by the proposed development. Volume/capacity calculations shall be completed for all major intersections. All access points and pedestrian crossings shall be examined as to the feasibility of installing traffic signals. This evaluation shall compare the projected traffic and pedestrian volumes to the minimum standards as per PennDOT standards for installation of a traffic signal. Turn lane analysis and queuing analysis shall be provided as requested by the Township Engineer.

- (6) Conclusions and Recommended Improvements. The level of services shall be listed for all intersections including all individual movements and the overall intersection. All roadways, individual intersection movements, and/or intersections showing a level of service below C shall be considered deficient. Specific recommendations for the elimination of these problems shall be listed for critical movements and overall level of service drops and delays which increase by more than 10 seconds. This listing of recommended improvements shall include, but not be limited to, the following elements: internal circulation design, site access location and design, external roadway and intersection design and improvements and widenings, traffic signal installation and operation including signal timing, transit design improvements, and reduced intensities of use. The Township may request all physical roadway improvements to be shown in sketches. The recommended improvements for both roadways and transit shall include, for each improvement, the party responsible for the improvement, the cost and funding of the improvement and the completion date for the improvement.
- (7) Implementation. The Township Board of Supervisors shall review the traffic impact study to analyze the impact of the proposed development. If major problems are identified by the traffic impact study, or if any intersection, critical movement, or segment of road would fall below level C as the result of the proposed development, then the Board of Supervisors may:

  - (a) Reject the application for zoning permits.
  - (b) Require specific onsite or offsite improvements as a condition of plan approval.
  - (c) Reduce the intensity of use permitted.
  - (d) A combination of (b) and (c) above.

## Add Part 6 Natural Resources

### § 22-600 Natural Resources.

All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. Where alterations occur, restoration of the lot to its original condition shall be required. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap.

1. Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads and trails may cross watercourses where design approval is obtained from the Township and, if required, the Pennsylvania Department of Environmental Protection.
2. Floodplains. See Part 19 of the Zoning Ordinance, Chapter 27.
3. Floodplain (Alluvial) Soils. See Part 19 of the Zoning Ordinance, Chapter 27.
4. Wetlands. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon. Where the property owner demonstrates to the Township's satisfaction that there is no reasonable alternative, minor road crossings, utility line crossings, streambank rehabilitation, and endwalls may be permitted, so long as state and federal permits have been obtained for such work. Wetland boundaries shall be delineated through an on-site assessment conducted by a professional soil scientist. Such person shall certify that the methods used correctly reflect currently accepted technical concepts, including the presence of wetlands vegetation, floodplain soils and/or hydrologic indicators. The study shall be submitted with sufficient detail to allow a thorough review by the Township prior to approval by the Board of Supervisors. The Township shall have the right to inspect the site as a part of its review of the study, and the Township reserves the right to verify the presence and/or extent of wetlands through the retention of its own professional soil scientist.
5. Lakes and Ponds. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon.
6. Woodlands. In areas of woodlands, the following standards shall apply:
  - A. No more than 20% of woodlands located upon a lot or site shall be altered, regraded, cleared, or built upon in the CR, WS, SR-1, SR-2, and RR Districts.
  - B. In all other zoning districts, no more than 50% of woodlands located upon a lot or site may be altered, regraded, cleared, or built upon, provided the following requirements are met:
    - (1) Where more than 20% of the woodlands are being disturbed, all disturbed woodlands exceeding this 20% limit shall be replaced on an acre-for-acre



basis through the planting of replacement trees. The actual number of replacement trees shall be calculated by multiplying the acreage of disturbance exceeding 20% by 200 trees per acre. All replacement trees shall have a minimum tree caliper of 3 1/2 inches' DBH.

(2)The planting of replacement trees or woodlands restoration shall be done in accordance with a woodlands management plan prepared by a licensed forester as may be required by the Board of Supervisors based on the nature of the trees removed and nature of proposed trees.

(3)The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors.

(4)Any trees that are dead, dying, or diseased, and may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.

7.Steep Slopes. In areas of steep slopes, the following standards shall apply:

A.Eight percent to 15% grade. No more than 40% of such areas shall be altered, regraded, cleared or built upon.

B.Fifteen percent to 25% grade. No more than 30% of such areas shall be altered, regraded, cleared or built upon.

C.Twenty-five percent or steeper. No more than 15% of such areas shall be altered, regraded, cleared or built upon.

8.Wetlands Margin. No impervious surface area shall be located within 25 feet of a wetland boundary, and no more than 20% of such areas shall be disturbed. Any Department of Environmental Protection regulations concerning activities in wetlands margins shall also be met.

9.Riparian Buffer. The riparian buffer shall include only the portion of land sloping towards the surface water bodies being protected and shall extend no more than 75 feet from each side of the watercourse, lake or pond, at bankfull flow edge, or shall extend the extent of the 100-year floodplain, whichever is greater. No land disturbance shall be permitted within any riparian buffer except as permitted below. The buffer area will consist of two distinct protection zones.

A.Zone 1. This buffer area will begin at the edge of the lake, pond or watercourse and occupy a margin of land with a minimum width of 25 feet measured horizontally on a line perpendicular to the edge of water at bankfull flow or level. Open space uses that are primarily passive in nature may be permitted in Zone 1, including:

(1)Open space uses such as wildlife sanctuaries, nature preserves, forest preserves, fishing areas, passive areas for public or private parklands and reforestation.



- (2) Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks County Conservation District and a nutrient management plan in accordance with state requirements, if applicable.
- (3) Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines, and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
- (4) Vegetation management in accordance with an approved landscape or open space management plan.
- (5) Runoff to be buffered or filtered by Zone 1 will be limited to sheet flow or subsurface flow only. Concentrated flows must be converted to sheet flow or subsurface flows prior to entering Zone 1 for proposed stormwater management facilities.
- (6) The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.

B. Zone 2. This buffer zone will begin at the outer edge of Zone 1 and occupy a minimum width of 50 feet in addition to Zone 1. However, where the width of the 100-year floodplain extends greater than 75 feet from the edge of water at bankfull flow or level, Zone 1 shall remain a minimum of 25 feet and Zone 2 shall extend from the outer edge of Zone 1 to the outer edge of the 100-year floodplain. Uses permitted in this buffer area include open space uses that are primarily passive in nature, including:

- (1) Open space uses such as wildlife sanctuaries, nature preserves, forest preserves and passive areas for public or private parklands, recreational trails for non-motorized use only and reforestation.
- (2) Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks Conservation District.
- (3) Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
- (4) Recreational activities or uses not involving impervious surfaces such as playing fields or golf courses.

(5)The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.

C.Prohibited Uses. Any use or activity not authorized in Subsection i.1 or i.2 above shall be prohibited within the riparian buffer. The following activities and facilities are specifically prohibited:

(1)Clear cutting of trees and other vegetation.

(2)Selective cutting of trees and/or the clearing of other vegetation, except where such clearing is necessary to prepare land for a use permitted under Subsection i.1 or i.2 above, or where removal is necessary as a means to eliminate dead, diseased or hazardous trees. Removal is subject to revegetation by native plants that are most suited to the riparian corridor.

(3)Storage of any hazardous or noxious materials.

(4)Roads, access drives or driveways, except as permitted by the Pennsylvania Department of Environmental Protection and Township.

(5)Parking lots.

(6)Subsurface and elevated sewage disposal areas and other wastewater disposal systems.

D.Revegetation of Riparian Area. In cases where a major subdivision or land development is proposed, replanting of the riparian corridor shall be required where there is little or no existing streamside vegetation. Native vegetation approved by the Township must be used in replanting. Three layers of vegetation are required when replanting the riparian corridor. These layers include herbaceous plants that serve as ground cover, understory shrubs and trees that form an overhead canopy. The revegetation plan shall be prepared by a qualified professional, who has specific experience in the delineation of riparian buffer areas, and shall comply with the following minimum requirements, unless modified by the Board of Supervisors upon recommendation of the Planning Commission.

(1)Ground Cover. Ground cover consisting of a native seed mix extending a minimum of 25 feet in width from the edge of the stream bank must be provided along the portion(s) of the stream corridor where little or no riparian vegetation exists. Appropriate ground cover includes native material, exclusive of noxious weeds, as defined by the Pennsylvania State Department of Agriculture. This 25-foot wide planted area shall be designated on the plan as a "no mow zone" and shall be left as natural cover, except in accordance with the maintenance instructions stated on the plan.

(2)Trees and Shrubs. These planting layers include trees that form an overhead canopy and understory shrubs. ~~Overstory trees are deciduous or evergreen trees that include oak, hickory, maple gum, sycamore, hemlock, pine and fir.~~



~~(3)(2)~~ Evergreen and deciduous shrubs should consist of elderberry, viburnum, azalea, rhododendron, holly, laurel and alders. Species shall be taken from Appendix D of this Chapter Required Plant Material List. These plants shall be planted in an informal manner clustered within Zone 1 of the riparian buffer as indicated in Subsection 9.D.(1) above. These plants shall be provided at a rate of at least one overstory tree and three shrubs for every 20 linear feet of waterway.

~~(4)(3)~~ Exceptions. These planting requirements shall not apply to existing farm fields located within the riparian buffer or the farmland tract areas if farming operations are to be continued and the required state nutrient management plan is met.

§22.601. Land With Resource Restrictions and Resource Protection Land. Calculate the land with resource restrictions and the resource protection land through the use of the following chart. In the event that two or more resources overlap, only the resource with the highest protection ratio shall be used in the calculations.

<u>Natural Resources</u>	<u>Protection Ratio</u>	<u>Acres of Land in Resources</u>	<u>Resource Protection Land (acres in protection ratio)</u>	<u>x</u>	<u>Acres of Land to be Disturbed</u>
<u>Watercourses</u>	<u>1.00</u>				
<u>Riparian Buffer</u>	<u>1.00</u>				
<u>Floodplain</u>	<u>1.00</u>				
<u>Floodplain (Alluvial) Soils</u>	<u>1.00</u>				
<u>Wetlands</u>	<u>1.00</u>				
<u>Lakes or Ponds</u>	<u>1.00</u>				
<u>Wetlands Margins</u>	<u>0.80</u>				
<u>Woodlands</u>	<u>0.80</u>				
<u>Steep Slopes 8-15%</u>	<u>0.60</u>				
<u>Steep Slopes 15-25%</u>	<u>0.70</u>				
<u>Steep Slopes 25% or more</u>	<u>0.85</u>				
<u>Total Land With Resource Restrictions</u>		<u>        acres</u>			
<u>Total Land With 1.00 Protection Ratio Resource Restrictions</u>		<u>        acres</u>			
<u>Total Resource Protection Land Required</u>			<u>        acres</u>		
<u>Total Resource Protection Land Provided</u>			<u>        acres</u>		
<u>Total Disturbed Resources</u>					<u>        acres</u>

1.) Minimum Open Space. Calculate the minimum open space using the following:

<u>Base Site Area</u>	<u>        </u> acres
<u>Multiply by Minimum Open Space Ratio</u>	x <u>        </u> acres
<u>Standard Minimum Open Space =</u>	<u>        </u> acres

**§22-703.4.A(1)** Each lot shall meet or exceed the minimum lot area and width requirements of the Township Zoning Ordinance. The area within any existing ~~or proposed~~ easement shall not be counted towards the minimum lot area.

**§22-703.4.C. Lot Lines.** Lot lines shall be drawn parallel, concentric, at right angles or radial ~~to from~~ the street right-of-way line to the front yard setback unless not feasible or undesirable due to existing, permanent, natural or man-made features or to minimize multiple changes in horizontal direction. In general, lot lines shall follow Township boundary lines rather than cross them.

**§22-703.6.A.** A lane lot ~~may be used for only a single family detached dwelling and~~ shall not be ~~permitted created~~ in a subdivision with proposed streets or extensions of existing streets.

**§22-703.6.D.** Points of access for lane lots shall be separated from another lane lot by at least 300 feet along the street right-of-way line.

**§22-704.2.B.** Easements for pedestrian or vehicular access shall be a minimum of 20 feet, unless a wider easement is required by the Board, upon recommendation of the Township Engineer. ~~Easements for pedestrian or vehicular access shall not be combined with utility easements.~~

**§22-704.3.** Proposed utility easements shall be ~~centered on or~~ adjacent to front, side, or rear property lines.

**§22-704.4.** Nothing shall be placed, planted or set within the area of an easement and the area shall be kept as lawn or in a natural state, unless otherwise approved by the Township Engineer.

**§22-705.3.D.** The primary street through a residential subdivision of 50 or more dwelling units shall at a minimum be designed to the specifications of a ~~minor collector local~~ street. Additional width may be required at the discretion of the Board of Supervisors.

**§22-705.3.E.** Private streets within a subdivision shall be designed to the specifications of a local street. Private streets shall be recorded with a minimum 50-foot access easement to benefit New Britain Township. Additional width may be required at the discretion of the Board of Supervisors.

**§22-705.3.G.** Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1 1/2 inches or install a leveling course and a wearing course where requested by the Public Works Superintendent.



**§22-705.4.C.** Intersection spacing, ~~clear sight triangles~~ and curb radii listed below shall be considered minimum requirements.

Functional Classification	Intersection Spacing	<del>Clear Sight Triangle</del>	Curb Radius
Arterial	1000 feet	100 feet	35 feet
Major and Minor Collector	800 feet	75 feet	25 feet
Local Street	500 feet	50 feet	25 feet

Intersection spacing, clear sight triangles and curb radii listed below shall be considered minimum requirements.

**§22-705.5.A.** Clear sight triangles for street intersections ~~and driveway intersections with street right-of-way lines~~ shall be shown on the Record Plan and Landscape Plan and measured from the point of intersection of the street right-of-way lines in accordance with Section §2111 of the Township Zoning Ordinance.

**§22-705.6.** Sight Distances. ~~Minimum sight distances for stopping, passing and intersections shall comply with PennDOT standards shall be noted on the Land Development and Landscaping Plans, in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended.~~

**§22-705.7.C.(3)** At all approaches to intersections, grades for arterial and major collector streets shall not exceed 3% for a minimum distance of 100 feet from the intersection of curblines or edges of cartways. Street grades for all other streets shall not exceed ~~34%~~ for a minimum distance of 50 feet from the intersection of curblines or edges of cartways.

**§22-705.8.B.** Cul-de-sac streets shall have a minimum length of 400 feet, but shall not exceed ~~800-1,200~~ feet in length nor serve more than 25 dwellings or units. ~~Cul-de-sac streets may be extended to 1,200 feet upon approval by the Board.~~ Measurement of the length shall be from the edge of cartway of the abutting through street to the center of the cul-de-sac turnaround, measured along the cul-de-sac street center line.

**§22-705.8.C.** Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet. Alternatively, for private cul-de-sac streets, a landscaped island is permitted to reduce impervious areas and for stormwater collection and treatment. The cartway width shall be a minimum paved width of twenty (20) feet unless a greater width is needed to accommodate emergency vehicles and as approved by the Fire Marshall. "No Parking" signs shall be installed as directed by the Fire Marshall. The island shall have mountable curb unless otherwise approved for drainage. If no curb is proposed, there shall be a minimum 2% salt-tolerant vegetated slope for 5 feet for pavement support.

**§22-705.8.D.** Cul-de-sac streets shall ~~not~~ be permitted ~~only as side streets extending from a through street off of another cul-de-sac street.~~ Such ~~Cul-de-sac~~ streets may not create a four-way intersection unless two permanent cul-de-sac streets intersect directly opposite one another along a local access street.

**§22-705.8.F.** ~~A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.~~

**§22-705.12.A** All proposed street names shall be recommended ~~by staff~~presented to and reviewed by the Township Fire Marshal's office for duplication. ~~Street names shall be subject to approval by the Board. All street names shall be shown on the final plans to be recorded.~~

Remove **§22-705.12.H.(6)(a) through (d)** and replace with **§22-705.12.H.(6)** All street name sign posts, standards, and nameplates shall be in accordance with the Street Sign Detail provided in Appendix E Construction Detail and Specifications.

**§22-705.13.C**. All access drives and driveways shall be provided with a stopping area of 20 feet, at a maximum grade of ~~34~~4%, measured from the edge of cartway.

**§22-705.13.D**. All access drive and driveway construction shall be designed in accordance with the details listed in the Appendix and the following criteria. Alternatively, profiles and/or truck turning plans can be provided to demonstrate that emergency access vehicles can adequately maneuver the site to the satisfaction of the Fire Marshall:

Type of Access	Minimum Driveway Width	Minimum Radius	Maximum Grade	Maximum Change of Grade
Residential <u>or Agricultural</u>	12 feet	<u>10 feet</u>	<u>10%</u>	<u>8%</u>
Residential (Shared)	16 feet	10 feet	8%	<u>68%</u>
Non-Residential (One-Way)	<u>10-12</u> feet	25 feet	6%	<u>78%</u>
Non-Residential (Two-Way)	25 feet	25 feet	6%	<u>78%</u>

**§22-705.13.H**. Sight distances shall be noted on the Land Development and Landscaping Plans in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended. Clear sight triangle for access drives and driveways intersecting a street shall be 10 feet, measured from the point of intersection of the street right-of-way line and edge of the access drive or driveway. For access drives and driveways, the dimensions used shall be determined by the classification of street being intersected. The site plan shall contain a notation that states that the applicant is required to maintain the area of the clear sight triangle and the Township has the right to enter and perform required maintenance in the area if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions and Conditions approved by the Board. The applicant shall be required to obtain easements from adjoining property owners if deemed critical to public welfare.

**§22-705.13.J** - Driveways shall have a minimum turnaround area of 10 feet by 20 feet, or as recommended by the Township Fire Marshal's Office and approved by the Board.

**§22-705.14.C**. Pavement underdrains shall be placed along both sides of all proposed streets and in areas of cartway widening of existing streets as directed by the Township Engineer's representative in the field and in accordance with the details listed in the Appendix. A note shall be added to the plan to this effect.

**§22-705.15.B**. Crosswalks shall be a minimum of ~~five-six~~five feet in width and shall be constructed in accordance with PennDOT standards.



Add **§22-705.18.** Centralized mail delivery and cluster box units (CBU's). A freestanding, concrete pad pedestal-mounted mailbox containing more than one individually locked mailboxes and parcel compartments.

A. Where cluster box units (CBUs) are proposed, the following requirements shall apply:

- (1) CBU shall be designed such that they are centrally located to serve the residents of the development, while providing safe and efficient access for pedestrians and motor vehicles in the vicinity of the CBU.
- (2) Provisions for off-street and/or on-street parking, and compliance with accessibility, shall be provided to each CBU.
- (3) CBU and location shall be subject to the United States Postal Service's approved specifications which are incorporated herein by reference.
- (5) At least two parking spaces shall be provided near the CBU with one space signed as 15-minute parking only.

**§22-705.15.D.** Crosswalks shall consist of ~~brick red~~white thermoplastic ~~striping in a street imprint with herringbone continental~~ pattern and ~~six inch white stripes~~, unless otherwise approved by the ~~Board of Supervisors~~Public Works Superintendent.

**§22-707.1.B.(8)** Curb ramps shall be required at all intersecting streets. ~~Curb ramps shall have a maximum slope of six horizontal to one vertical, with maximum side of two horizontal to one vertical. in accordance with accessibility guidelines.~~

**§22-707.1.C.** Construction Standards. As approved by the Board, pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas. Asphalt pedestrian walkways or recreational trails shall be constructed with 2 1/2 inches of wearing course and six inches of 2A stone subbase. Concrete pedestrian walkways or recreational trails shall be constructed with four-inch ~~class 'AA'~~air-entrained (3,5004,000 PSI) ~~cement~~ concrete and four inches 2B (Clean) stone subbase. ~~Pervious asphalt, concrete, or pavers may be installed for facilities to be privately owned and maintained.~~

**§22-708.1.** General Standards

A. Parking areas shall be provided for all subdivisions and/or land developments in accordance with the Zoning Ordinance [Chapter 27] and retrofitted for projects where the building is proposed to be expanded by 50% or more of the existing building square footage to improve the performance of the existing parking lots in an equitable manner.

...

G. All parking areas should include clearly defined and marked traffic patterns. Major vehicular routes shall be separated from major pedestrian routes within the lot.

H. ~~Parking lots shall integrate stormwater management and landscape design green stormwater infrastructure by the use of plants and soils to naturally detain, treat, and infiltrate runoff from impervious surfaces. Bioretention, infiltration, amended soils, or other alternative design(s) as approved by the Township Engineer, shall be incorporated into all new parking areas, all parking lot expansions of 20 spaces or more, or redevelopment projects where existing parking areas have sufficient parking and can eliminate paved areas to add pervious areas.~~

I. I. Grid/grass structures are encouraged in perimeter parking areas that are seldom used or used seasonably. Permeable pavement systems, including interlocking concrete pavers and grid systems, are encouraged in low-traffic areas such as parking bays, residential parking pads, driveways, and reserve areas or overflow parking areas.

J. Redevelopment of Existing Parking Lot – For projects where an existing principal building is being expanded by 50% or more of the existing footprint, a minimum of 50% of the existing parking lot area shall be brought into compliance with these requirements.

~~§22-708.2.B. All parking stall striping shall be double-lined in accordance with the detail listed in the Appendix.~~

**§22-708.2.**

...  
C. All proposed planting islands and strips shall be provided with curb. Depressed curb or curb cuts are permitted where planting islands and strips are adjacent to a stormwater facility upon approval of the Township Engineer.

D. No more than 15 parking spaces shall be permitted in a continuous row without being separated by a minimum 10' by 18' planting island.

E. No parking areas shall exceed 30 spaces in capacity, without being separated into smaller parking areas by a minimum ten-foot plantings-strips.

...  
**§22-708.3.C.** The minimum parking aisle width shall be determined by the angle of parking and direction of traffic as follows.

Angle of Parking	Minimum Aisle Width
Parallel/one-way	12 feet
<u>30°/one-way</u>	<u>12 feet</u>
45°/one-way	18 feet
60°/one-way	18 feet
90°/one-way	20 feet
90°/two-way	24 feet

**§22-708.4.B.** ~~The minimum width shall be 25 feet and parking along access drives is prohibited.~~ Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use. Parking along access driveways is prohibited.



**§22-708.5.** Service Drives, Drive-Through Lanes, and Bypass/Escape Lanes Around Buildings.

- A. The primary function of service drives is to provide emergency service access to the building, and to provide access to employee parking areas, loading facilities, trash collection areas and service areas.
- B. The minimum width shall be 20 feet for service driveways and parking along service drives shall be prohibited.
- C. Drive-through lanes shall be a minimum of 12 feet wide, or 10 feet wide if multiple drive-through lanes are proposed. Drive-through lanes shall be separated from the bypass lanes by painted lines or other delineation.
- D. A minimum 10-foot-wide bypass lane/escape lane shall be provided for all drive-through facilities.
- E. A drive-through lane shall not be the sole ingress and egress to the site.
- F. The design of a drive-through lane and bypass lane/escape lane shall minimize the blocking, crossing, or passing through of off-street parking areas and minimize crossing of, or the need to be crossed by, pedestrian accessways for patrons.
- G. Drive-through lanes shall be marked by signs which indicate the entrance and exit for the drive-through lane. The direction of traffic flow for the drive-through lane and bypass lane/escape lane shall be clearly marked.
- H. Delayed service parking areas shall be provided.
- H.I. The minimum stacking length provided for vehicles waiting for service shall be 132 feet.

**§22-708.6.** Parking Lot Design Standards

- A. All off-street parking shall be set back a minimum of 10 feet from any street ultimate right-of-way line, property line, sewage disposal system or private well. All off-street parking spaces shall be set back a minimum of three-twenty (20) feet from any side of any non-residential building. This setback shall not apply to driveways entering garages, service bays or carports and is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.
- ...
- G. Parking areas serving nonresidential uses that allow shopping carts in the parking areas shall be designed with cart return areas of suitable sizes and in suitable locations. Such cart return areas shall not be counted as parking spaces. The number and location of such cart return areas shall be approved by the Board Township Engineer.
- ...
- J. Walkways shall be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian full view of oncoming vehicles with minimum interference from trees, shrubs, and parking cars.
- K. Where pedestrian circulation crosses vehicular routes, a crosswalk with different material, pavement striping, speed tables, and/or signage shall be provided.
- L. At least one pedestrian route shall be provided and aligned within the parking lot with the main entry of a building to facilitate pedestrian movement where the building is open to the public. Clear separation/division from vehicular areas with landscaping, grade change, or surface material change shall be provided.

## **§22-709.1.**

...

~~C. Each required loading space shall be no less than 14 feet by 60 feet for a tractor-trailer and 12 feet by 35 feet for smaller trucks.~~

~~DC.~~ Each loading space and the area needed for maneuvering shall be located entirely on the lot being served and shall not conflict with parking aisles, stalls, access drives or service drives.

~~ED.~~ Loading facilities shall be paved in accordance with the details listed in the Appendix, unless higher strength paving is required due to the type of anticipated vehicles.

~~F. The loading area shall be designed and used in such a manner so that at no time will it constitute a nuisance, a public safety hazard or an unreasonable impediment to traffic.~~

**§22-711.3.A.** All disturbed land within a development to be vegetated shall be graded at a minimum slope of 2% to provide proper drainage and dispose of stormwater runoff without ponding, except stormwater facilities designed to promote infiltration.

Add **§22-711.5.E.** Any areas of erosion along any onsite embankment, existing watercourse, etc. shall be identified and details provided for means and method of stabilization. A permit shall be obtained from the County Conservation District and/or PADEP as required.

**§22-711.7.A.** The Board in its consideration of all preliminary plans for subdivision and/or land development shall condition its approval upon the execution of erosion and sedimentation control measures as contained in this section. ~~The Township Engineer shall ensure compliance with the appropriate policies and standards of PADEP and the Bucks County Conservation District.~~

**§22-711.7.D.** An erosion and sedimentation control plan approved by the Bucks County Conservation District for projects disturbing 5,000 sf or more is required prior to the recording of final plans and any earthmoving activities. and shall be maintained onsite at all times. Implementation and maintenance of erosion and sediment controls is required for any earthmoving activity. Projects having less than 5,000 square feet of earth disturbance are required to implement and maintain erosion and sedimentation controls, however are exempt from developing a written plan (unless in a Special Protection watershed).

Add **§22-711.7.E.** The Sequence of Construction shall note that the Township shall be notified at least three (3) days prior to start of construction in order to coordinate construction observation.

## **§22-712 Stormwater Management**

...

### **2. General Requirements...**

...



- B. Stormwater Management Facilities. The applicant shall install stormwater management facilities, on- ~~and off~~-site, as necessary, to meet the following minimum requirements:

...

- 3) To convey stormwater runoff along or through the property to a natural outfall, such as a watercourse, drainage swale, storm sewer or other drainage facilities. If an applicant concentrates or redirects stormwater runoff to discharge at another location on the property, the applicant ~~is responsible for constructing~~shall pursue offsite easements to install an adequate channel or storm sewer system on downstream properties and rights-of-way until a natural outfall is reached. A natural outfall shall have sufficient capacity to receive stormwater without deterioration of the facility and without adversely affecting property in the watershed.

...

- F. Where stormwater runoff will be collected within the subdivision and/or land development and discharged over lands within or beyond the boundaries of the subdivision and/or land development, the applicant shall reserve or obtain easements over all lands affected. The stormwater easement width shall be of adequate width to collect the stormwater runoff and for access to the stormwater facility~~(ies)~~ for maintenance and repairs. If requested by the Board, the applicant shall convey, at no cost, the easement(s) to the Township. Otherwise, all such easements shall be owned and maintained by individual lot owner(s) or another approved entity. Ownership and maintenance responsibilities shall be noted on the site plan and stormwater agreement ~~for such shall be as in a form~~ approved by the Township Solicitor.

...

- K. Roof drains and sump pumps for proposed residential and nonresidential buildings shall discharge to infiltration or vegetative BMPs to satisfy the criteria for disconnected impervious areas. However, Sump pump and roof drains may be connected to an existing or proposed storm sewer system or discharged directly to a stormwater detention facility as approved by the Township Engineer. Sump pump and roof drains may also be discharged to a watercourse or drainage swale provided a minimum twenty-foot drainage easement is provided over all affected properties. Sump pumps and roof drains shall not be discharged over a driveway or sidewalk on an adjunct property, or through a curb onto a public street or directly connected to a roadway underdrain system.

...

- N. Stormwater management best management practices (BMPs) must be incorporated into the design of the stormwater management system ~~as determined by the Township Engineer~~. All proposed best management practices for stormwater and erosion control shall be designed in accordance with the latest DEP BMP Manual and the Township's Stormwater Management Ordinances, as amended [Chapter 26].



3. Stormwater Runoff Methodology.

~~A. Any stormwater detention facilities required by this chapter shall meet the applicable water quality requirement for the one-year return period, and peak rate requirements for the two-, five-, ten-, twenty-five-, fifty- and one-hundred-year return periods, consistent with the calculation methodology specified herein and in accordance with the regulations of the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~B. To calculate the increase in total stormwater runoff and peak flow resulting from a proposed subdivision and/or land development, the "cover complex" method will be used, as outlined in Urban Hydrology for Small Watersheds, U.S. Department of Agriculture, Soil Conservation Service, Technical Release 55 (NTIS PB87-101580) and following mathematical analyses described in Computer Program for Project Formulation — Hydrology (SCS Technical Release 20, 1983), as amended. The design of any stormwater management facility intended to meet the requirements of this chapter shall be verified by routing the design storm hydrographs through the proposed stormwater detention facility.~~

~~C. All stormwater detention facilities shall be designed to meet the Release Rate Districts requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~D. All stormwater detention facilities shall be designed to meet the water quality requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~E. Farm field or disturbed earth (existing conditions) within a watershed, or portion thereof, used for modeling purposes shall be considered as "meadow" when developing the necessary "cover complex" calculations.~~

A. Runoff calculation methodology, release rate districts requirements, water quality requirements, stormwater management plan requirements, operations and maintenance requirements, etc., shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].

B. The Soil Conservation Service Type II twenty-four-hour rainfall distribution shall be used in the soil cover complex calculations. The twenty-four-hour rainfall depths for the return periods used in the calculations shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].

C. In calculating the time of concentration for a watershed, the maximum length of sheet flow over paved or unpaved surfaces shall not exceed 150 feet. All time of concentration paths used for calculation purposes shall be shown on the Watershed Area Plan.

4. Detention Basin Facilities and Bioretention Facilities with a drainage area of one acre or larger, or with an aboveground ponding depth of greater than 2.5 feet as measured from the finished grade of the facility to the 100-year water surface elevation, shall be designed in accordance with the following minimum requirements:

...

- ~~B.~~ The use of regional detention basins to combine and eliminate numerous smaller basins is encouraged. Within subdivisions, detention basins shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries, unless a homeowners association will own and maintain the detention basin. If a homeowners association is not created for a subdivision, any detention basin located on an individual lot shall be owned and maintained by the lot owner.
- ~~C.~~ B. All detention basin berms, including emergency spillways, shall have a maximum interior and exterior side slope of three horizontal to one vertical. The toe of any slope shall be located a minimum of five feet from any property line or street right-of-way line.
- ~~D.~~ C. The maximum difference between the top of berm elevation and the lowest invert ~~elevation~~ of the outlet structure shall be seven feet.
- ~~E.~~ D. ~~Post-development runoff volume generated from the one-year, twenty-four-hour design storm shall be controlled so that it is released over a minimum of 24 hours. Except with the one-year design storm, basins shall be designed so that they return to normal conditions within 12 hours after the termination of the storm.~~
- D. Storage facilities shall completely drain both the volume control and rate control capacities over a period of time not less than 24 and not more than 72 hours from the end of the design storm, unless approved by the Township Engineer. All open-air facilities shall be designed to completely infiltrate runoff volume within 3 days from the start of the design storm.
- ~~F.~~ E. The grading and utility plan shall contain a note that all detention basin embankments shall be placed in lifts not to exceed one foot in thickness. Each lift shall be compacted to a minimum of 95% of Modified Proctor Density as established by A.S.T.M. D-1557
- ~~G.~~ F. Outlet pipes from detention facilities shall be designed to control the peak rate for the one-hundred-year design storm. All basin outlet pipes shall be watertight reinforced concrete pipe having watertight "O-Ring" joints, with a minimum size of 18-15 inches.
- ~~H.~~ G. An emergency spillway shall be provided for a detention basin in order to convey basin inflow in excess of design flows, or in the event the outlet structure becomes blocked and is unable to convey the design flow. The minimum capacity of the emergency spillway shall be equivalent to the one-hundred-year peak inflow rate for the post-development design storm. Emergency spillways shall be constructed with a suitable liner, as determined by the Township Engineer, designed in accordance with the manufacturers' specifications, backfilled with topsoil, and seeded to protect the berm against erosion. The emergency spillway lining shall extend to the toe of the embankment on the exterior of the berm and shall extend to an elevation of three feet below the spillway crest on the interior of the berm.
- ~~I.~~ H. The minimum freeboard through the emergency spillway for basins shall be one foot and the maximum spillway length shall not exceed 75 feet.



J.I. All portions of the detention basin shall be sloped towards the outlet structure at a minimum slope of 2%. A slope less than 2% is permitted for facilities relying on infiltration for drainage if an underdrain system is provided with cleanouts for maintenance. The underdrain shall have a valve at the outlet structure to allow the system to be drained should the infiltrative capabilities of the soils become compromised.

K.J. The minimum ~~basin~~ berm width at the design elevation for basins shall be 10 feet. A cutoff trench (keyway) of impervious material shall be provided under all embankments that require fill material. The cut-off trench shall be a minimum of eight feet wide, three feet deep and have side slopes of one horizontal to one vertical.

L.K. For all detention basins, the permanent outlet control structure shall be a Type "M" inlet grate and box. The inlet grate shall only be used as an emergency outflow and the grate elevation shall be equal to or higher than the one-hundred-year water surface elevation, but at least six inches below the emergency spillway elevation.

M.L. Two anti-seep collars shall be installed around the basin outlet pipe and shall be centered within the normal saturation zone of the berm. The anti-seep collars and their connections to the pipe barrel shall be watertight.

N.M. Detention basins shall be installed before the construction of any buildings or site improvements, unless otherwise approved by the Board and the Bucks County Conservation District. A preliminary basin as-built plan must be submitted and approved by the Township Engineer prior to beginning any building construction to confirm that the constructed volumes are in accordance with the design plans. A note confirming this shall be included on the record plan and in the sequence of construction.

O.N. If a detention basin will serve as a temporary sedimentation basin, the temporary control measures shall be shown for the basin as required by PennDOT Pennsylvania Code, Chapter 102 Regulations, as amended. Temporary sediment basins shall be in place prior to any earth moving activities within their tributary drainage areas.

P.O. Energy dissipating devices (cable concrete/~~rip rap~~, or equivalent) shall be provided at all discharge points. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required where a basin outlet pipe is discharged along or within a public road right-of-way.

P. Basins shall be screened and landscaped in accordance with the Landscape Planting requirements of this chapter and the following minimum requirements:

- 1.) Bioretention and infiltration facilities shall be planted with vegetation and/or seed mix other than turf grass to encourage evapotranspiration. Planting soil depth shall be at least 18" where only herbaceous plant species will be utilized. If trees and woody shrubs will be used, soil media depth shall be increased depending on plant species.
- 2.) Planting soil shall be amended with a composted organic material. A typical organic amended soil is combined with 20-30% organic material (compost), and 70-80% soil base (preferably topsoil).



Q. Retention basins or wet ponds are recommended for areas of natural high ground water with a recommended minimum drainage area to the facility of 5 acres. To protect the public health, safety and welfare, At a minimum, the any retention basin design shall include be designed in accordance with the following:

1) a-A ten-foot wide safety ledge, a clay liner, a maximum four- foot permanent pool depth, wet-tolerant plantings, cutoff trench, two fountain aerators with locked controls, the location of power source, and specifications for embankment construction and soil testing. The above criteria shall be specified in a retention basing-cross section detail.

2) a forebay for sediment collection and removal,

3) a dewatering mechanism,

Q.R. Underground detention basins may be utilized for stormwater management, when approved by the Board. When approved, the underground detention basins shall be designed in accordance with the following criteria:

1) Underground detention basins shall be located outside all public rights-of-way.

2) Underground detention basins shall be constructed of high-densityhigh-density corrugated polyethylene pipe, or approved equal. The required volume shall be provided utilizing only underground pipe capacity. Each pipe shall have a minimum slope of 0.5%, except pipe slopes may be flat for infiltration facilities or Managed Release Facilities.-

...

4) A minimum of one footsix inches of freeboard shall be provided between the one-hundred-year water surface elevation and the top of all inlet grates or manhole rims.

...

7) As-built plans shall be provided for any underground detention basin to verify it was constructed in accordance with the approved plan prior to backfilling of the basin. A note to this effect shall be included on the record plan and in the sequence of construction.

S. Managed Release Basins. If it has been determined that it is not feasible to manage the required volume through infiltration and evapotranspiration alone due to soil or other environmental constraints on the site, all Managed Release Concept stormwater facilities shall be in accordance with the most recent Managed Release Concept design guidance provided by PADEP.

5. Storm Sewer.

...

E. Storm sewer within the Township ultimate right-of-way shall be reinforced concrete pipe with a minimum diameter of 15 inches or equivalent. Storm sewer located outside a public ultimate right-of-way or easement shall be high density corrugated polyethylene.

...

6. Inlets.

...

- C. Inlet spacing in paved areas shall be arranged so that a minimum of 80% of the gutter flow tributary to the inlet will be captured. The designer shall be required to verify that bypass surface runoff from the one-hundred-year design storm will enter the storm sewer piping system at some point, prior to discharge into a ~~detention basin~~stormwater facility or other approved outlet point. Inlets shall be spaced so that the accumulation of surface bypass runoff and surface runoff tributary to an individual inlet will not exceed other design requirements specified in this chapter. Inlet capacity shall be based on inlet efficiency curves provided in PennDOT Design Manual, Part 2, as amended.
- ...

7. Manholes.

...

- C. Storm sewer manholes located within public rights-of-way, ~~the manhole covers~~ shall have the word "STORM" cast in two-inch high letters.
- ...

8. Headwalls and Endwalls.

...

- B. A Type "DW" endwall shall be provided at the termination of all storm sewer systems, unless conditions warranted an alternate type approved by PennDOT and/or ~~the Board~~the Township Engineer.
- ...

9. Overflow System. An overflow system shall be provided to carry all bypass flow and/or flow in excess of storm sewer design capacity, to ~~the detention basin~~stormwater facility (or other approved outlet point) when the capacity of the storm sewer system is exceeded. Stormwater runoff will not be permitted to discharge from any storm sewer structures.
- ...

11. Bridges and Road Culverts.

...

- ~~D. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required at the upstream and downstream ends of all bridges and culverts.~~

12. Access Drive and Driveway Culverts.

...

- B. The minimum culvert size shall be 15 inches, or equivalent and constructed of reinforced concrete pipe with flared end sections or HDPE with flared end sections. The Township may approve a smaller culvert if it is demonstrated that the pipe is adequate for the 100-year design storm.
- ...



- D. Where an existing roadside drainage swale is too shallow to permit installation of a driveway pipe, the Board Township Engineer may approve the use of a concrete trench box with grate.

13. Drainage Easements, Ownership and Maintenance. Drainage easements, ownership and maintenance responsibilities for all stormwater management facilities shall be as follows:

A. Detention Basin Stormwater Easements.

- (1) When any detention basin stormwater facility is proposed within a subdivision and/or land development, a blanket or defined easement shall be provided. The description of the facility defined easement, access to facility, and the terms of the ownership and required maintenance, shall be provided on the recorded Post Construction Stormwater Management Plan incorporated on the site plan.
- (2) An easement and stabilized access to a detention basin stormwater facility shall be provided for maintenance and operation. This access easement shall be cleared and shall be a minimum of 20 feet in width. Access to detention basins and similar facilities shall be constructed of interlocking grass paving system and backfilled with topsoil and seeded if required by the Township Engineer. The access shall be a minimum of 12 feet in width and be no steeper in slope than 12 horizontal to one vertical. In addition, depressed curb and concrete driveway apron shall be provided where the access enters a road or access drive. Access easement shall be owned and maintained by the individual lot owner or homeowners association.
- (3) A homeowners association, or other entity as approved by the Township Solicitor, shall be required for any facility managing stormwater flows from more than one lot. Within residential subdivisions, stormwater facilities shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries unless a homeowners association will own and maintain the facility(ies).

B. Storm Sewer and Drainage Swale Easements and Agreements.

- (1) Easements shall be a minimum of 20 feet in width and shall be provided to accommodate required storm sewer facilities and drainage swales. No other utilities shall be located within a storm sewer easement, unless approved by the Township Engineer and Utility provider.
- (2) On private property, the individual owner or homeowners association shall maintain the easement area, including ground cover, fencing and/or landscaping.
- (3) Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be calculated as set by Township resolution.

C. Stormwater Maintenance Agreement.

- (1) When an applicant retains ownership of any stormwater management facility, such entity shall be responsible for repair and maintenance of the facility. The site plan shall contain a notation permitting access to such facilities deemed



critical to public welfare, for inspection at any reasonable time by the Township or its designee.

- (2) ~~The site plan shall also contain a notation that states the approval of the final plans is conditioned upon the applicant agreeing to be responsible for all repairs and maintenance of the stormwater management facility and permitting access to such facilities deemed critical to public welfare, for inspection at any reasonable time by the Township or its designee. This Stormwater Maintenance Agreement shall be in writing, as prepared by the Township Solicitor, for recording. The failure of the applicant to properly maintain any stormwater management facility shall be construed to be a violation of this chapter and shall be declared to be a public nuisance, subjecting the violator to any and all penalties provided by law.~~

- D. ~~Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee in order to maintain the stormwater management facilities. The fee shall apply to all storm sewers located in public rights-of-way or any easement owned by the Township. The amount of the fee shall be set by Township resolution.~~

**§22-713.1.E** Provide planted buffers of native species for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape and protect the surrounding areas.

**Add §22-713.1.G. To manage existing vegetation through the removal or management of dead, diseased, dying trees and invasive species that could create a hazard to the health, safety, and welfare of the community.**

**§22-713.2.B.(5)** The site plan shall contain plan notations stating that, in the opinion of the Township Engineer's representative or certified arborist, any trees intended to remain and are disturbed, damaged or killed during or as a result of construction shall be replaced at a rate of one caliper inch for one caliper inch.

Add **§22-713.2.E. Any specimen tree having a diameter of thirty (30) inches or more, measured at twelve (12) inches above natural grade line, shall not be removed, whether located within a woodland area or standalone.**

**§22-713.3. Parking Area Greening and Landscaping**

Parking lots should be effectively landscaped with trees and shrubs to reduce the visual impact of glare from headlights, and parking lot lights; to delineate driving lanes; and define rows of parking. Furthermore, parking lots should be adequately landscaped to provide shade in order to reduce the amount of reflected heat, to allow surface infiltration of stormwater runoff, and to approve the aesthetics of parking lots.

- A. Planting islands. All 10-foot by 36-foot planting islands shall contain 2 shade trees and all 10-foot by 18-foot plantings islands shall contain one shade tree. Planting islands require a minimum of 85% ground coverage of low-growing shrubs, grasses, and/or ground cover plants, as determined by the design ground coverage of the plant species proposed, including any parking islands that are designed as a stormwater facility which shall have wet tolerant species.
- B. Plantings Strips. Planting strips shall be provided for all rows of parking spaces



not separated by a drive aisle a minimum of 10 feet wide and shall run the length of the parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average, including any parking strips that are designed as a stormwater facility which shall have wet tolerant species.

- C. § 22-713.4.B(1) Any lot with 30 parking spaces or more shall have landscaped areas within the paved area equal to a minimum of 5% of the total paved area. The total paved area shall exclude landscape strips around the perimeter.

D.C.—All planting islands and strips shall be underlain by soil improved to a minimum depth of 30 inches, not stone or bituminous material, and shall be graded not to exceed a slope of 5 horizontal to 1 vertical. A soil improvement detail and notes on the Landscape Plan shall include the removal of all construction debris and existing compacted soils and the specifications for the soil improvement mix.

ED. The placement of light standards shall be coordinated with the landscape plan to avoid a conflict with the effectiveness of light fixtures.

FE. ~~Shade trees~~All required plantings shall be native plants and shall be selected from the List of Required Plant Material contained in the Appendix.

G. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands well-distributed throughout the paved surface. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."

**§22-713.4.A.** – Street Trees. Street trees shall be planted every 30 feet along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development. If existing trees meet the intent of this section, they may be utilized to meet the street tree requirements subject to approval by the Township Engineer.

**§22-713.4.B.** – Street trees shall be planted between ~~three and five~~ and ten feet outside the ultimate right-of-way line unless otherwise specified in this Chapter, and as an alternative, the same quantity of trees may be planted in an informal arrangement along the perimeter of the street, when approved by the Board.

**§22-713.5.A.** All subdivisions and/or land developments shall comply with the buffer yard requirements of the Township Zoning Ordinance [Chapter 27]. The spacing and composition of the buffer yard plantings strips required by the Zoning Ordinance shall comply with the following provisions:

- (1) Each strip shall contain a combination of native evergreen and deciduous trees and shrubs listed below in naturalistic groupings rather than linear strips.
- (2) The mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. Unless required elsewhere in this chapter, plantings are not required to run parallel or be aligned on property or right-of-way boundaries. At the discretion of the Township, plant material may be sited on any portion of the property for buffer purposes and may be staggered or grouped, if a satisfactory buffer can be achieved in this fashion.

Buffer Width	Planting Options
<u>25-foot buffer width</u>	(a) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen per 60 feet</u>
<u>35 and 45-foot buffer widths</u>	(b) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen tree per 30 feet and 1 shrub per 20 feet</u> (c) <u>A Vegetated Filter Strip in accordance with the PA Stormwater BMP Manual including 1 canopy tree per 60 feet and 1 flowering tree every 60 feet and 1 evergreen per 60 feet and planted with native grasses or flowering meadow mix with a wide variety of species, not standard turf grass.</u> (d) <u>1 canopy tree per 40 feet and 1 evergreen per 30 feet and 1 shrub per 5 feet</u>
<u>45 feet buffer width or greater</u>	(e) <u>1 canopy tree per 40 feet and 1 flowering tree per 50 feet and 1 evergreen per 50 feet and 1 shrub per 15 feet</u> (f) <u>1 canopy tree per 100 feet and 1 evergreen per 30 feet and 1 shrub per 15 feet</u> (g) <u>1 evergreen per 25 feet and 1 shrub per 10 feet</u> (h) <u>A berm varying in height with maximum side slopes of all to be 4 horizontal to 1 vertical and 1 flowering or evergreen tree per 20 feet and 1 shrub per 10 feet Stormwater infiltration berms are permitted in accordance with the PA Stormwater BMP Manual, as amended, with species chosen to suit the proposed soil conditions.</u>

**§22-713.5.A(3).** Plant materials shall be native and selected from ~~the following list~~Appendix D of this Chapter Required Plant Material List.

**§22-713.5.B.(1)** Off-Street Parking Areas. ~~One deciduous or evergreen shrub~~ Densely planted ~~with a mixture of evergreen and deciduous shrubs and grasses every five feet to create a screen~~ along the perimeter of the parking area.

(a)In addition to the above, for every parking lot buffer that abuts a sidewalk or a street for a parking area of 5 spaces or more, one of the options below shall be installed to block headlights:

(1)Option A: One (1) shade tree and 10 evergreen shrubs shall be planted for each 30 feet of buffer length and 1 square foot of perennial plantings for every linear foot of total buffer.

(2)Option B: A low-wall fence or berm not to exceed 4 feet in height or 3:1 slope as measured from the adjoining sidewalk, along with 1 tree per 30 feet of buffer length and three shrubs for every 20 feet of buffer length. An increased height may be permitted up to 8 feet high where there is unusual topography, larger vehicles, or other similar circumstances.

**§22-713.5.B.(2)** Trash Collection Areas and Mechanical Units. A minimum six-foot ~~wooden shadow-box opaque~~ fence ~~or wall, or approved equal~~, on at least three sides, with a staggered row of evergreen trees planted every 10 feet along the fence perimeter.



**§22-713.5.B.(8) Easements.**—The boundary of a pedestrian ~~or vehicular~~ access easement, when located on, or adjacent to, ~~a lot private property~~, shall have a method of physical delineation ~~on both sides~~ consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors.

Add **§22-713.5.B.(9)** The boundary of a vehicular access easement, such as emergency access easements, when located on, or adjacent to a private property, shall have a method of physical delineation on both sides consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors and Fire Marshall.

Add **§22-713.5.B.(10)** Proposed and existing conservation easements shall be physically delineated in the field by a concrete monument at the intersection of the easement with the property line. A two or three-rail split-rail tapered fence or stone-shaped concrete monument corner may be substituted at the discretion of the Board of Supervisors.

**§22-713.6.A.** – General Requirements. The location, dimensions and spacing of required plantings should be adequate for their proper growth and maintenance, taking into account the sizes of such plantings at maturity and their present and future environmental requirements, such as wind, soil, moisture and sunlight. Plantings should be selected and located where they will not contribute to conditions hazardous to public safety and trees shall be a minimum of 10 feet from all existing and proposed underground and overhead utilities.

**§22-713.6.B.** – Plant Specifications. All plant material shall meet the minimum standards for health, form, and root condition as outlined in the American National Standards Institute (ANSI) Z60.1 — 19962014, as amended. All plant material shall be hardy and within the United States Department of Agricultural (USDA) Hardiness Zone 6, applicable to Bucks County, Pennsylvania.

**§22-713.6.C.** – Installation. All shade and evergreen trees shall be supported with stakes and guy wiring in accordance with The American Nursery and Landscape Association (ANLA) Standards. The backfill for excavated planting areas shall be composed of native topsoil and shall be mulched six inches beyond the dripline. Mulch shall not be applied against the trunk. The trunk flare shall remain visible.

Add **§22-713.6.E.** To ensure plant diversity and the sustainability of the installation in parking lots, the following plant diversity is required, where 60% of trees in parking lots must be large shade tree species and 25% of all trees evergreen:

<b><u>Plant Diversity Requirements</u></b>		
<b><u>Minimum Number of Required Trees</u></b>	<b><u>Minimum Number of Tree Species</u></b>	<b><u>Maximum % of any 1 species</u></b>
<u>1-5</u>	<u>1</u>	<u>100</u>
<u>6-15</u>	<u>2</u>	<u>50</u>
<u>16-30</u>	<u>3</u>	<u>40</u>
<u>31-50</u>	<u>4</u>	<u>30</u>
<u>51+</u>	<u>5</u>	<u>20</u>

## § 22-714. Lighting

1. Purpose. It is the purpose of these requirements to regulate the design, placement, orientation and distribution of lighting in order to:
  - A. Provide lighting of facilities to protect public health, safety and welfare.
  - B. ~~Control glare from parking areas and protect the privacy of adjacent properties.~~Minimize adverse offsite impacts of lighting such as light trespass and glare.
  - C. ~~Provide lighting for safe vehicular and pedestrian movements.~~
  - D. ~~Limit spacing, fixture type and height of lighting to lessen light pollution.~~Protect the natural environment from the adverse effects of night lighting from artificial light sources.
  - E. ~~Promote efficient design and construction with regard to energy conservation.~~energy conservation.

### 2. Definitions

- A. **Backlight** – For an exterior luminaire, lumens emitted in the quarter sphere below horizontal and in the opposite direction of the intended orientation of the luminaire. For luminaires with symmetric distribution, backlight will be the same as front light.
- B. **BUG** - A luminaire classification system that classifies Backlight (B), Uplight (U) and Glare (G).
- C. **Footcandle** -The unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one-foot square from a distance of one foot.
- D. **Glare** – Lighting entering the eye directly from luminaires or indirectly from reflective surfaces that causes visual discomfort or reduced visibility.
- E. **IES** - An acronym for the Illuminating Engineering Society, a professional guidance body for lighting engineers.
- F. **LED** - Light Emitting Diode
- G. **Light Trespass** - Light that falls beyond the property boundary it is intended to illuminate
- H. **Mounting Height** – The height of the photometric center of a luminaire above grade level
- I. **Uplight** – For an exterior luminaire, flux radiated in the hemisphere at or above the horizontal plane.

2.3. Applicability. Lighting shall be required for facilities as deemed necessary by the Board, including but not limited to ~~for all~~ public streets, parking areas, sidewalk pedestrian ways, entrances, loading facilities, access drives, nonresidential buildings, multifamily subdivisions, recreational facilities and, other public facilities. ~~and at any other locations deemed necessary by the Board.~~



### 3.4. ~~Public~~ Streetlights.

- A. Residential Streets. ~~Public~~~~s~~ Streetlights shall be required for all residential subdivisions at the following locations: ...

...

- C. Prior to the submission of Final Plans, the applicant shall submit a petition to create a streetlight district to the Township. All streetlights shall be the responsibility of the property owner.

- D. The site plan shall contain a plan notation stating, "All streetlights shall be installed and energized prior to the issuance of the first occupancy permit for any subdivision and/or land development or first phase or section thereof and the lighting and maintenance costs shall be assessed to affected property owners on a per lot basis or by an owners' association."

- E. The applicant shall be responsible for all costs involved in lighting the streets until such time that the Township accepts the streets for dedication or accepts the improvements at the end of the 18-month maintenance period. Thereafter the property owner(s) shall be responsible.

- F. Streetlight Specifications

...

- (2) Where streetlights are installed at intersections, the applicant ~~shall~~may install combination street name signs and streetlights.

...

- (1) (4) All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk. ~~For all commercial, industrial, public recreational, and institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to extinguish light sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.~~

...

### 4. ~~Parking Areas and Loading Facilities.~~

- A. ~~Lighting of parking areas, including access drives and loading facilities, shall meet the minimum illumination levels and uniformity ratio specified in this chapter.~~

- B. ~~Light standards shall be a maximum of 20 feet in height, and have a concrete base raised 30 inches above finished grade.~~



- C. ~~Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface.~~
- D. ~~All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk.~~
- E. ~~All electrical power lines to lighting fixtures shall be underground.~~
- F. ~~Glare Control:~~
- ~~(1) The maximum light intensity measured at any point along the property line shall be 0.2 footcandles.~~
  - ~~(2) All lighting fixtures shall meet all applicable IESNA cutoff criteria.~~
  - ~~(3) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.~~
  - ~~(4) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.~~
5. ~~All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Board in accordance with the recommended practices and standards of the IESNA.~~
6. ~~The applicant shall submit three copies of an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.~~
7. ~~Where required by this chapter, illumination levels shall have intensities and uniformity ratios in accordance with recommended practices of the IESNA handbook RP-20-98 and IESNA Handbook RP-8-00, as amended, and in accordance with the minimum standards listed below:~~

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
High Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Retail, Office)	0.9 Minimum	4:1
Medium Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Industrial, Institutional)	0.4 Minimum	4:1
Multifamily Residential Parking	0.2 Minimum	4:1
All Nonresidential Subdivision Streets	0.9 Average	6:1

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
Pedestrian Walkways, Bike Lanes, Trails	0.2 Average	5:1
Building Entrances	2.0 Average	—

## 5. Parking Areas and Loading Facilities.

### A. Illumination Levels

Lighting of parking areas, including access drive, loading facilities, pedestrian walkways and building entrances, shall have intensities and uniformity ratios in accordance with the recommended practices of the Illuminating Engineering Society (IES) as contained in the most current editions of the following publications:

- (1) IES RP-43-22 Lighting Exterior Applications
- (2) IES RP-8-22 Lighting Roadway and Parking Facilities
- (3) IES G-1-22 Guide for Security Lighting for People, Property and Critical Infrastructure

<u>Description of Use/Area</u>	<u>Light Level (footcandles)</u>	<u>Uniformity</u>
<u>General Uncovered Parking Area Drive Aisles &amp; Parking Spaces</u>	<u>0.2 Minimum</u>	<u>20:1 max:min</u>
<u>Parking Area General Pedestrian &amp; Vehicle Transaction Areas</u>	<u>0.9 Minimum</u>	<u>15:1 max:min</u>
<u>Mixed Use Trails (when required)</u>	<u>0.8 Minimum</u>	<u>5:1 ave:min</u>
<u>Building Entrances</u>	<u>1.0 Average</u>	<u>5:1 ave:min</u>

### B. Luminaire Design

- (1) Mounting height. Light standards shall be a maximum of 20 feet in height.
- (2) Location. Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface. Poles shall be a minimum of five feet (5') from the edge of pavement or protected by a raised concrete base thirty inches (30") in height.
- (3) Color Temperature. Luminaires shall have a maximum color temperature of 3,000K.
- (4) Uplight (U) value for all luminaires shall be zero (0).
- (4)(5) All electrical power lines to lighting fixtures shall be underground.



### C. Control of Light

- (1) For all commercial, industrial, public recreational, and institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to extinguish light sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.
- (2) The maximum light intensity measured at any point along the property line shall be 0.1 footcandles at any point along off-street areas and 0.30 footcandles along public roadways.
- (3) The maximum uplight (U) value as defined by IES TM 15-20 shall be 0 and the maximum glare (G) value shall be 2 adjacent to properties with a residential use.
- (4) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.
- (5) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.
- (6) All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Township Engineer in accordance with the recommended practices and standards of the IESNA.

### D. Compliance Monitoring

- (1) The applicant shall submit an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.
- (2) The Township reserves the right to conduct post-installation inspections to verify compliance with the requirements of this Ordinance and approved lighting plan commitments, and to require remedial action at no expense to the Township.

**§22-715.2.G.(3)** Recreation Fees Districts. ~~The fees~~ shall be recorded to one of the recreation fee districts Township Planning Areas in Appendix C to ensure that the lands and facilities are accessible to the residents of the development(s) that paid fees towards their cost. ~~The Recreation Fee District Map in this Appendix designates "Recreation Fee Districts."~~ Any fees collected under this chapter shall be expended only within the same Recreation Fee District Planning Area as the subdivision and/or land development that contributed the fees, except that fees from any district may be used for public Township-wide amenities such as trails, community parks and recreation areas.

**§22-715.3.A.(5)(b)** Stormwater ~~De~~Retention Facilities. Stormwater retention basins may be approved by the Board if the resulting body of water is integrated into the landscape



and the area can be used by the residents for active recreational activities.

**§22-717.3** All underground utilities ~~shall be installed prior to street paving at locations approved by the Township, and~~ shall be located as much as possible between the curb or edge of cartway and the edge of the sidewalk or right-of-way line.

**§22-719.6.** The site plan shall contain a plan notation stating that any existing or proposed well is subject to the provisions of the well construction standards, which includes requirements for well permitting, water quality testing and well production certification.

**§22-719.7.A.** ~~Four~~ Two copies of a Water Resource Impact Study shall be submitted to the Township with the preliminary plan application. An application for subdivision and/or land development shall be considered incomplete without the required water resource impact study.

**§22-719.8.A.** Purpose. These regulations are to ensure that existing wells and new wells constructed in New Britain Township can provide a reliable, safe and adequate supply of water to support the intended use within the capacity of available groundwater resources and to estimate any impacts of the additional water withdrawals on existing nearby wells, underlying aquifers and watercourses.

**§27-721.6.** If the property being subdivided or developed contains an existing on-site sewage disposal system, the applicant shall submit to the Township acknowledgment from ~~the Bucks County Department of Health~~ a reputable septic system inspection company indicating that the existing system has been inspected and is functioning properly.

**§27-721.9.** The property owner shall execute an operation and maintenance agreement with the Township and post the required financial security for any non-conventional, alternate or experimental sewage system, such as an Individual Residential Spray Irrigation System, Small Flow Treatment Facility or Community Sewage System. The design, plans and specifications for the proposed system shall be approved by the Township and Bucks County Health Department prior to final plan approval. The agreement shall provide for a non-refundable fee to the Township for administration and future compliance monitoring and shall furthermore provide for sufficient financial security to guarantee the proper operation and maintenance of the proposed facility in accordance with the Act, which may include cash, a letter of credit or other Township approved financial security.

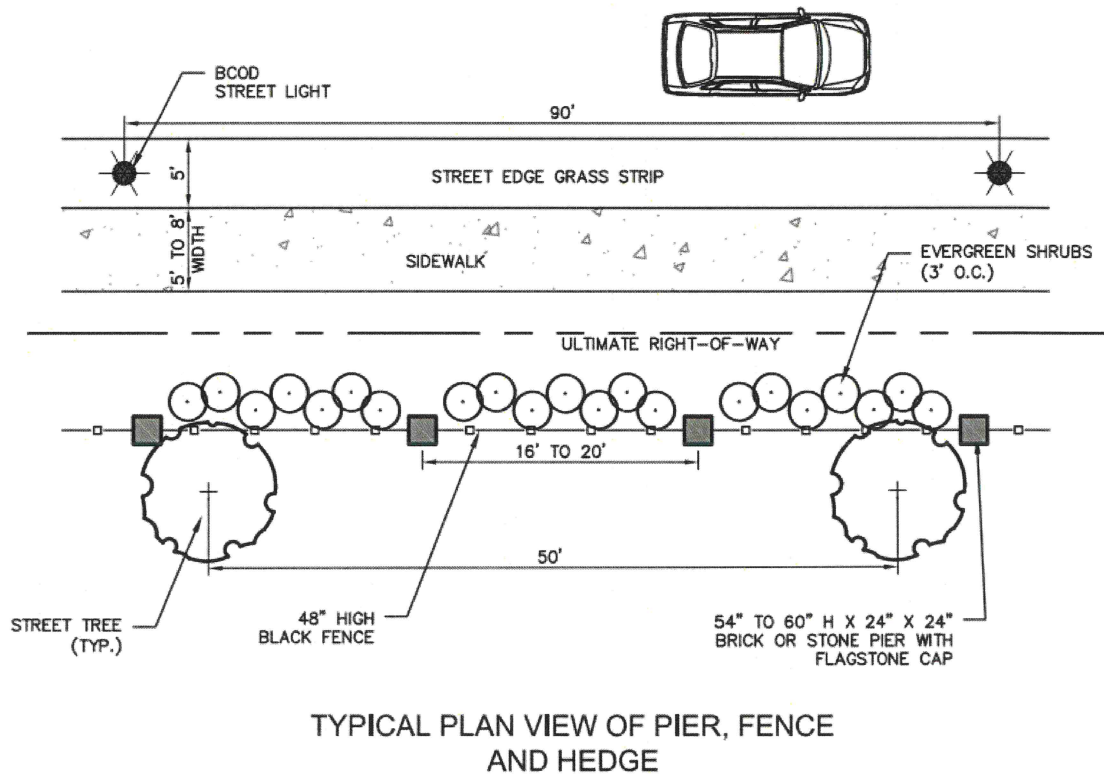
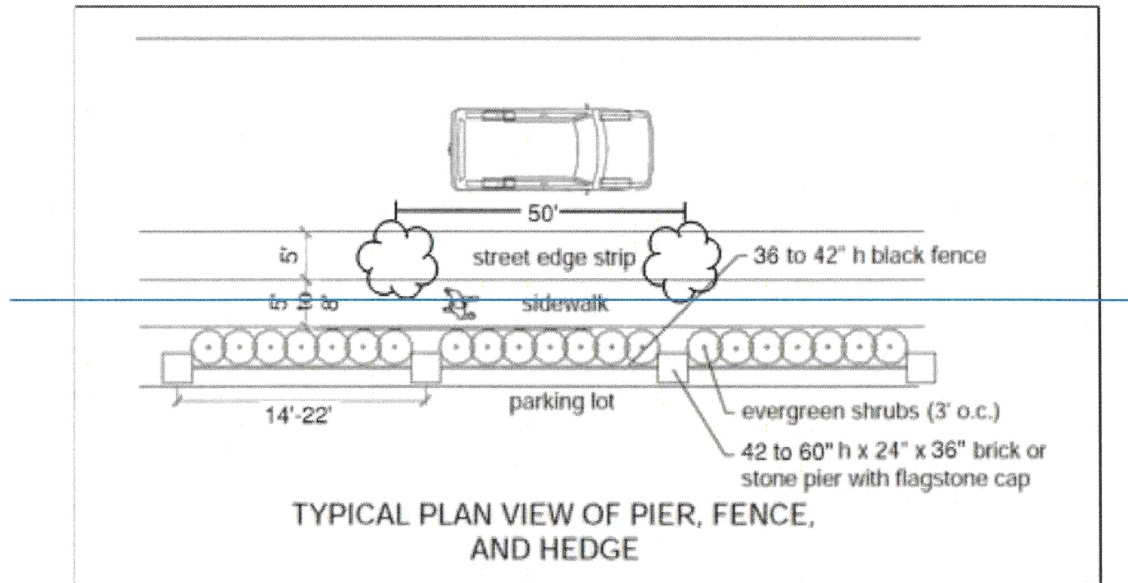
**§§22-722.4.C.(7)(b)** All street trees shall be planted ~~in the planting strip located between the curblane and the sidewalk~~ 5 to 10 feet behind the ultimate right-of-way. See the "Typical Plan View" illustration in Subsection 4D(7).

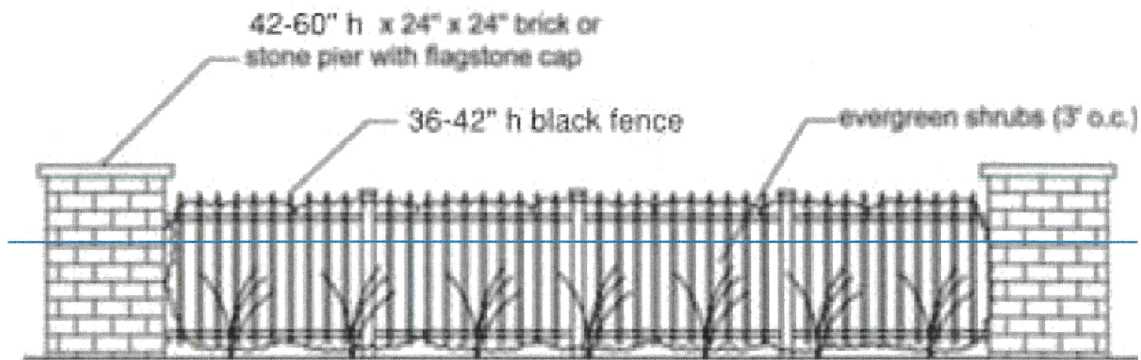
**22-722.4.D.(7)(a)** Where parking areas are located or are proposed to be located between a street and a principal building, a buffer fence shall be installed withinbetween five and ten feet outside of the ultimate right-of-way line of the street between this parking area and the street. This buffer fence shall be constructed and installed in accordance with the following standards, figures, and illustrations:

- 1) The fencing shall be black steel or aluminum, ~~36 inches to 42~~ 48 inches in height, and installed and maintained between the masonry piers. The masonry piers shall be constructed out of stone or brick, six to 18 inches taller than the fencing between

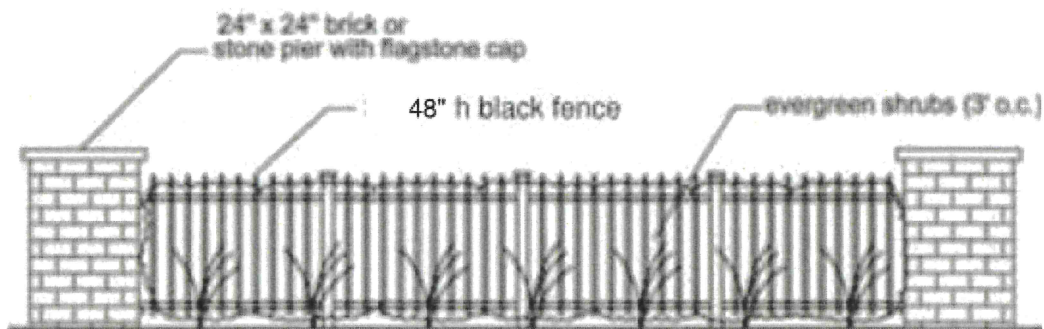
them, 24 to 36 inches or greater in width and depth, and with a concrete or stone cap. The piers shall be evenly installed 14 to 22 feet on center or at a spacing to be approved by the Township Engineer.

- 2) Evergreen hedge plants, initially at least 18 to 24 inches in height and maintained at a height of no less than 30 inches, shall be installed and maintained between the fencing and the street.





TYPICAL SECTION OF PIER, FENCE,  
AND HEDGE



TYPICAL SECTION OF PIER, FENCE,  
AND HEDGE

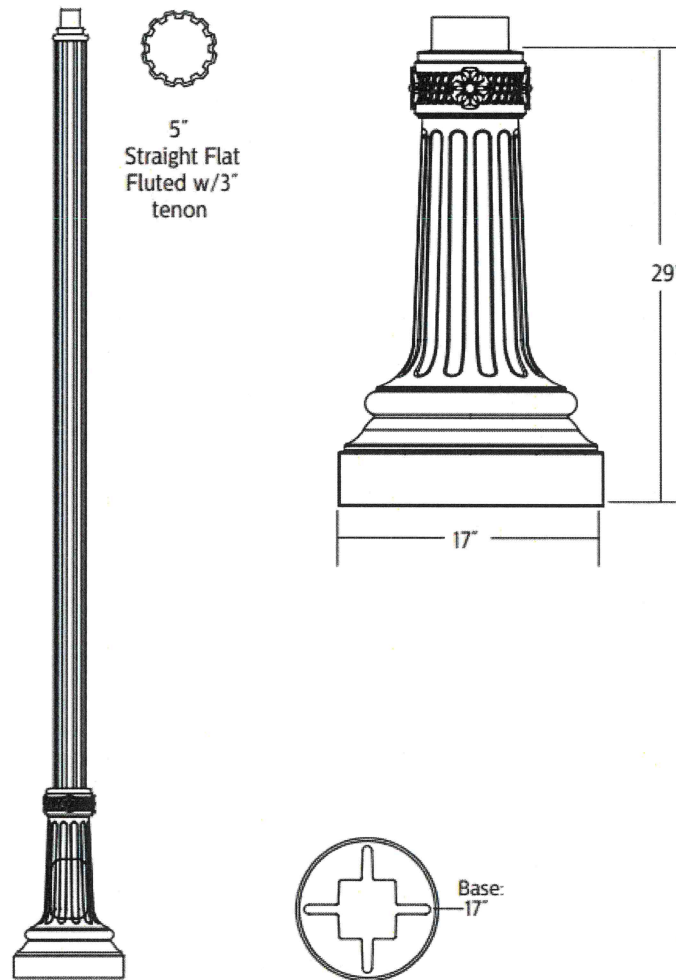
**§22-722.4.e.** All parking areas, walkways, and passages shall be adequately illuminated with a lighting system designed to complement the general areas and the site of the proposed development and to prevent any off-site glare and spillover light onto adjacent properties.

- (1) All light fixtures shall be shielded to reduce light spillage beyond the extent of the property line. At no point shall any light trespass onto adjacent residential properties exceed 0.1 footcandle at the residential property line, and at no point shall any light trespass onto adjacent nonresidential properties exceed ~~0.5~~ 0.3 footcandle at the nonresidential property line.
- (2) Pedestrian scaled lighting shall be positioned along on-site pedestrian walks and trails such that lighting levels ~~along them maintain a consistent 0.2 footcandle~~ are consistent with IES recommended guidelines.
- ...
- (4) Freestanding fixtures shall utilize appropriate ~~shape cutoff~~ luminaires ~~with shielding of the light source at angles above 72° from the vertical~~ having an Uplight (U) rating of (0).



- (a) in order to establish a consistent design scheme along the corridor overlay district, all freestanding fixture types shall be constructed of metal, with a black finish. The luminaire shall be in the style illustrated below from [philips \[citypost led post top \(tx1\)\]-Signify \[Hagerstown LED Post Top Comfort \(txo3c\)-Gen 2\], Type III Distribution, 3000K Color Temperature](#) and shall be placed upon a P3165 pole from [Signifyphilips](#), or the Board of Supervisors may approve an appropriate alternative. The detail shall be in accordance with the Township's Standard Butler Avenue Corridor Overlay District Street Light Detail unless otherwise approved.

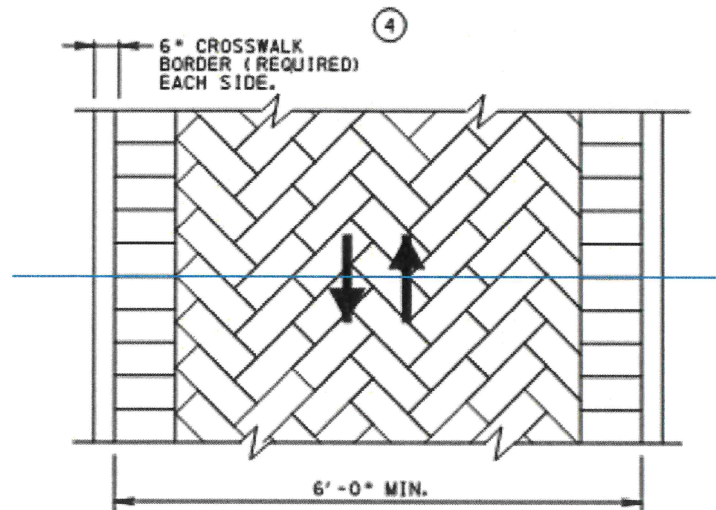




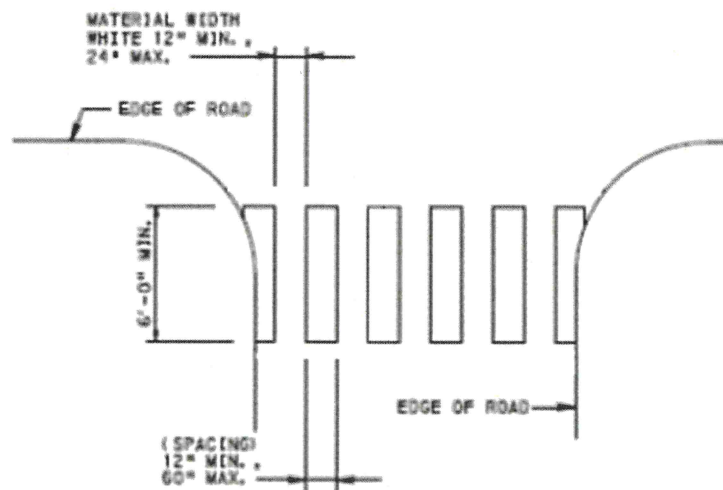
- ...
- (c) The maximum height of freestanding fixtures ~~shall~~may vary to provide scale and dimension to the project. All lighting fixtures shall not exceed 15 feet in height, except up to 25% of the fixtures may be up to 25 feet in height. Fixture heights shall be measured from the top of the fixture to ground level. Streetlights directly along West Butler Avenue shall be 14 feet in height.
- (5) Building-mounted lighting shall be shown on all plans. All building-mounted lighting shall ~~be designed so that all light from the source is shielded at angles above 72° from the vertical so as not to create any glare or visible source of light~~ have an Uplight (U) rating of zero (0). Building-mounted lighting shall not be installed higher than the building upon which it is mounted and shall not exceed 30 feet in height in all cases, as measured from the top of the fixture to ground level. Lights are not permitted to outline buildings or rooflines.

**§22-722.4.F.(3)** Pedestrian crosswalks in public streets, internal streets, drives, and parking areas shall be distinguished from asphalt driving surfaces through the use of ~~maroon-colored StreetPrint asphalt imprinted textured~~ crosswalks. Crosswalks shall consist of white thermoplastic in a continental pattern, or an appropriate alternative approved by the Board of Supervisors. The use of this distinguishing material is to enhance pedestrian safety and comfort, as well as the attractiveness of the crosswalks. These crosswalks shall be at least as wide as the sidewalks/walkways to which they connect and shall match the following illustration.

### DECORATIVE CROSSWALK



TYPE E - HERRINGBONE



TYPE C - PERPENDICULAR



ORDINANCE NO. 2025-\_\_\_\_\_

**AN ORDINANCE OF THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP PROVIDING FOR THE ADOPTION OF CERTAIN PROCEDURES RELATED TO THE SOLICITATION AND AWARD OF PUBLIC CONTRACTS; PROVIDING FOR CERTIFICATION REQUIREMENTS FOR PUBLIC CONTRACTORS AND SUBCONTRACTORS FOR PUBLIC CONTRACTS; PROVIDING FOR PUBLIC CONTRACT REVIEW PROCEDURES; PROVIDING FOR ASSURANCE ON THE USE OF PROPERLY TRAINED CONSTRUCTION PERSONNEL**

**WHEREAS**, New Britain Township ("Township") is empowered to enact certain requirements needed to protect its proprietary and financial interests relating to major capital investments it makes in public works projects, as well as those relating to the public health, safety, and welfare of its customers; and

**WHEREAS**, the Township has particular concerns regarding the challenges it faces in planning and executing public works projects, especially those relating to its ability to ensure the use of properly qualified contractors and subcontractors and adequate numbers of craft personnel who have industry recognized training in the respective skills and trades needed for future projects; and

**WHEREAS**, the Township recognizes the need to address the above-referenced challenges through appropriate procurement legislation as embodied in this Ordinance and wishes to incorporate attached Exhibit "A" regarding Responsible Contractors in its entirety as material terms of this Ordinance;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED** by the Township, the following requirements are adopted for public works contracts as specified herein;

**Section 1. Purpose.**

The Township recognizes there is a need to ensure that all work on public construction and maintenance contracts is performed by responsible, qualified firms that maintain the capacity, expertise, personnel and other qualifications and resources necessary to successfully perform public contracts in a timely, reliable and cost-effective manner.

To effectuate the purpose of selecting responsible contractors for public contracts and to protect the Township's proprietary investments in such contracts, prospective contractors and sub- contractors, should be required to meet pre-established, clearly defined minimum standards relating to contractor responsibility, particularly requirements concerning technical qualifications, competency, experience, adequacy of resources, including equipment, financial and personnel, and satisfactory records of past performance in terms of safety, law compliance and business integrity.

It is also critical to recognize that due to the substantial impact that skilled craft labor

has on public works projects, and due to the limited availability of skilled construction craft labor and imminent craft labor skill shortages, it is necessary to require contractors and subcontractors to participate in established, formal apprenticeship training programs as a condition of bidding and performing work, for the purpose of both promoting successful project delivery and ensuring future workforce development needed for future projects.

Therefore, the Township shall require compliance with the provisions of this Ordinance by business entities seeking to provide services to the Township as specified herein. The requirements of this Ordinance are intended to supplement, not replace, existing contractor qualification and performance standards or criteria currently required by law, public policy or contracting documents. However, in the event that any of the provisions of this Ordinance conflict with any law, public policy or contracting documents of the Township, this Ordinance shall prevail, unless legally prohibited from doing so.

## **Section 2. Responsible Contractor Requirements.**

- a. This Ordinance shall apply to all public works projects undertaken by the Township for construction, demolition, alteration, renovation, repair, service and maintenance work valued at or above ~~\$350,000.00~~\$500,000.00 annually and shall apply to all contractors and subcontractors at any tier on such projects. Beginning in January 2029 and then every third year thereafter, the Board of Supervisors shall review any changes in economic conditions and modify this threshold as the Board of Supervisors determines to be necessary.
  - i. ~~As an additional requirement for any road paving project, the project must also involve paving more than five (5) miles of roadway to be subject to this Ordinance.~~
- b. All firms engaged in contracts covered by this Ordinance shall be qualified, responsible contractors or subcontractors that have sufficient capabilities in all respects to successfully perform contracts on which they are engaged, including the necessary experience, equipment, technical skills and qualifications and organizational, financial and personnel resources. Firms bidding on public contracts shall also be required to have a satisfactory record of past performance, law compliance and business ethics.

## **Section 3. Contractor Responsibility Certifications**

- a. As a condition of performing work on a public works contract subject to this Ordinance, a general contractor, construction manager or other lead or prime contractor seeking award of a contract shall submit a Contractor Responsibility Certification, as specified herein. Subcontractors used on the contract are likewise required to provide similar Subcontractor Responsibility Certifications as provided by Section 5 of this Ordinance.
- b. The Contractor Responsibility Certification shall be completed on a form provided by the Township and shall reference the project for which a bid is being submitted by name and contract or project number.
- c. In the Contractor Responsibility Certification, the construction manager, general

contractor, other lead or prime contractor or subcontractor shall confirm the following facts regarding its past performance and work history and its current qualifications and performance capabilities:

- i. The firm and its employees have all valid, effective licenses, registrations, certificates, or other credentials required by federal, state, Township, or local law, including, but not limited to, licenses, registrations or certificates required to: (a) do business in the designated locale; and (b) perform the contract work it seeks to perform. These shall include, but not limited to, licenses, registrations, or certificates for any type of construction or maintenance trade work or specialty work which the firm proposes to self-perform.
- ii. The firm meets the bonding requirements for the contract, as required by applicable law or contract specifications, as well as applicable insurance requirements for the contract including general liability insurance, workers compensation insurance and unemployment insurance.
- iii. The firm has not been debarred or suspended by any federal, state, or local government agency or Township in the past three years.
- iv. The firm has not defaulted on any project in the past three years.
- v. The firm has not had any type of business, contracting or trade license, registration, or other certification revoked or suspended in the past three years.
- vi. The firm and its Principals/owners have not been convicted of any crime relating to its contracting business in the past ten years.
- vii. Within the past three years, the firm has not been found in violation of any law applicable to its contracting business, including, but not limited to, licensing laws, tax laws, prompt payment laws, wage and hour laws, prevailing wage laws, environmental laws or others, where the result of such violation was the payment of a fine, back pay damages or any other type of penalty in the amount of \$5,000 or more.
- viii. The firm will employ a sufficient number of craft labor personnel required to successfully perform any project work it self-performs or shall use qualified subcontractors to meet this requirement and shall assign workers to perform only work in their respective craft or trade for which they have sufficient skills and training or shall use qualified subcontractors to meet this requirement.
- ix. The firm will pay all craft employees on the project, at a minimum, the applicable wage and fringe benefit rates, as established for the classification in which the worker is employed, in accordance with 43 PA. CONS. STAT. § 165-1 *et seq.* These wages shall also be paid to employees performing any custom fabrication work for the project. For purposes of this subsection, custom fabrication shall mean the fabrication, assembly modification or other production of non-standard goods, or materials, including components, fixtures, or parts thereof, that are fabricated assembled or modified offsite, but produced specifically for a project covered by this Ordinance. This



requirement shall include, but not be limited to custom fabrication for electrical, plumbing, mechanical, refrigeration, heating, cooling, ventilation, sheet metal or other duct systems, mechanical insulation, ornamental iron work or boiler systems. Fabrication shall also include the fabrication, assembly or other production of components or structures prefabricated to specifications for a particular project covered by this Ordinance.

- x. The firm will ensure that all craft labor it employs on the project complete, prior to working on the project, the OSHA 10-hour training course for safety established by the U.S. Department of Labor. If the firm is a prime contractor, it shall also ensure that at least one person on the project has completed the OSHA 30-hour construction training course established by the U.S. Department of Labor.
- xi. The firm participates in a Class A Apprenticeship Training Program, as defined below, for each separate trade or classification in which it employs craft employees.
  - 1. For purposes of this Ordinance, a Class A Apprenticeship Program is an apprenticeship program registered with and approved by the U.S. Department of Labor or a state apprenticeship agency and has graduated apprentices to journey person status for at least three of the past five years. This may be an apprenticeship program subject to the Employee Retirement Income Security Act of 1974, 29 U.S.C. § 1001 *et seq.* ("ERISA"), or a non-ERISA program.
  - 2. To demonstrate compliance with this Ordinance, the firm shall provide, with this certification, a list of all trades or classifications of craft employees it will employ on the project and documentation verifying it participates in a Class A Apprenticeship Program for each trade or classification listed.
  - 3. The requirements of this Section of the Ordinance help ensure that the bulk of the craft labor workforce employed on the project will have sufficient skills and training to correctly perform work assigned to them.
- xii. The firm shall assign craft labor personnel to work only in the craft or trade in which they are employed.
- xiii. The firm has all other technical qualifications and resources, including equipment, personnel, and financial resources, to successfully perform the referenced contract and shall maintain such capabilities throughout the duration of the project, or will obtain same through the use of qualified, responsible subcontractors or vendors.
- xiv. The firm shall notify the Township within seven days of any material changes in its operation that related to any matter attested to in this certification.
- xv. The firm understands that the Contractor Responsibility Certification required by this Ordinance shall be executed by a person who has sufficient knowledge to address all matters in the certification and shall include an attestation stating, under the penalty of perjury, that the information submitted is true, complete, and accurate.

- d. Execution of the Contractor Responsibility Certification required by this Ordinance shall not establish a presumption of contractor responsibility, and the Township may require any additional information it deems necessary to evaluate a firm's status as a responsible contractor, including information regarding the firm's technical qualifications, financial capacity or other resources and performance capabilities. The Township may require that such information be included in a separate Statement of Qualifications and Experience or as an attachment to the Contractor Responsibility Certification.
- e. The submitting firm shall stipulate in the Contractor Responsibility Certification that, if it receives a Notice of Intent to Award Contract, it will provide a Subcontractor List and required subcontractor information as specified in Section 5 of this Ordinance.
- f. If the submitting firm has ever operated under another name or is controlled by another company or business entity or in the past five years controlled or was controlled by another company or business entity, whether as a parent company, subsidiary or in any other business relation, it shall attach an appendix to its Contractor Responsibility Certification that explains in detail the nature of any such relationship. Additional information may be required from such an entity if the relationship in question could potentially impact contract performance.
- g. If a firm fails to provide a Contractor Responsibility Certification required by this Ordinance, it shall be disqualified from bidding. No action of any nature shall lie against the Township because of its refusal to accept a bid for this reason.

#### **Section 4. Notice of Intent To Award Contract.**

- a. After it has received bids for a project, the Township shall issue a Notice of Intent to Award Contract to the firm offering the lowest responsible bid.
- b. Such Notice shall be issued immediately or as soon as practicable after bids are opened and Notice of Intent to Award Contract. The Notice shall stipulate that the contract award is conditioned upon compliance with this Ordinance, the issuance of a written contractor responsibility determination and any other conditions deemed appropriate by the Township.

#### **Section 5. Subcontractor Responsibility Requirements.**

- a. Within seven (7) days of receiving a Notice of Intent to Award Contract, the prospective awardee shall submit to the Township a Subcontractor List, which provides the name and address of the subcontractors it will use on the project, the scope of the work assigned to each subcontractor, and Subcontractor Responsibility Certifications as required by this Ordinance.
- b. The prospective awardee shall not be permitted to use a subcontractor on any work performed for the Township unless it has identified the subcontractor on its Subcontractor List and provided a Subcontractor Responsibility Certification in accordance with the requirements of Section 3 above.

- c. At the time a prospective awardee submits the Subcontractor List it shall also submit Subcontractor Responsibility Certifications and applicable supporting information for all listed subcontractors to the Township. Subcontractor Responsibility Certifications shall be executed by the respective subcontractors on forms prepared by the Township and shall contain the same information, representations, and supporting information required in Contractor Responsibility Certifications, including verification of apprenticeship qualifications as required by Section 3(c)(xi), for each trade or classification of craft workers it will employ on the project.
- d. A prospective awardee shall determine whether any firm on its Subcontractor List is organized as a sole proprietorship owned and operated by a single person. This shall apply to subcontractors at any tier. For any such entity, the prospective awardee shall ensure that the sole proprietorship subcontractor is a legitimate business entity and not a misclassified employee by requiring the subcontractor to supplement its Subcontractor Certification with its Employer Identification Number and copies of any license, certificate, or registration it is required to maintain in order to do business in the state in which it is located.
- e. A subcontractor listed on a firm's Subcontractor List shall not be substituted unless written authorization is obtained from the Township and a Subcontractor Responsibility Certification is provided for the substitute subcontractor.
- f. In the event that the Township determines that a subcontractor fails to meet the requirements of this Ordinance or is otherwise determined to be non-responsible, it may, after informing the prospective awardee, exercise one of the following options:
  - i. Permit the awardee to substitute a qualified, responsible subcontractor in accordance with the requirements of this Ordinance, upon submission of a completed Subcontractor Certification for the substitute and approval of the substitute by the Township.
  - ii. Require the awardee to self-perform the work in question if the firm has the required experience, licenses, and other qualifications to perform the work in question; or
  - iii. Disqualify the prospective awardee.
- g. In the event a subcontractor is disqualified under this Ordinance, the general contractor, construction manager or other lead or prime contractor shall not be permitted to make any type of claim against the Township based on a subcontractor disqualification.

#### **Section 6. Contractor Responsibility Review and Determination.**

- a. After a Notice of Intent to Award Contract has been issued, the Township shall undertake a review process to determine whether the prospective awardee is a qualified, responsible contractor in accordance with the requirements of this Ordinance and other applicable laws and regulations and has the resources and capabilities to successfully perform the contract. The time of the review process shall be as determined necessary by the Township, but in no



event shall be less than five (5) calendar days.

b. As part of this review process, the Township shall ensure that the Contractor Responsibility Certification, the Subcontractor List and the Subcontractor Responsibility Certifications, as required by this Ordinance, have been submitted, properly executed and the contractors and subcontractors have provided the necessary documentation to support their Contractor Responsibility Certifications.

c. The Township may conduct any additional inquiries to verify that the prospective awardee and its subcontractors have the technical qualifications and performance capabilities necessary to successfully perform the contract and that the firms have a sufficient record of law compliance and business integrity to justify the award of a public contract. In conducting such inquiries, the Township may seek relevant information from the firm, its prior clients or customers, its subcontractors or any other relevant source.

d. If at the conclusion of the review process the Township determines that all responsibility certifications have been properly completed and executed and if it concludes that the qualifications, background and responsibility of the prospective awardee and the firms on its Subcontractor List are satisfactory, it may issue a formal written Contractor Responsibility Determination verifying that the prospective awardee is a qualified, responsible contractor. In the event a firm is determined to be non-responsible, the Township shall proceed to conduct a responsibility review of the next lowest, responsive bidder or, if necessary, rebid the project.

e. A Contractor Responsibility Determination may be issued after the conclusion of the review process under this Section. A Responsibility Determination may be revoked or revised in any manner at any time if the Township obtains relevant information warranting any such revocation or revisions.

e.f. In the event none of the firms that bid on the Project meet the requirements of this Ordinance, the Project will be bid a second time. After the second bid, if none of the firms meet the requirements, the provisions of this Ordinance are waived and the Board of Supervisors may proceed with the award of the contract from the second round of bids.

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#### Section 7. False or Misleading Contractor Responsibility Certifications.

If the Township determines that a Contractor or Subcontractor Responsibility Certification contains false or misleading material information that was provided knowingly or with reckless disregard for the truth or omits material information knowingly or with reckless disregard of the truth, the firm for which the certification was submitted shall be prohibited from performing work for the Township for a period of three (3) years and shall be subject to any other penalties and sanctions, including contract termination, available to the Township under law. A contract terminated under these circumstances shall further entitle the Township to withhold payment of any monies due to the firm as damages.

#### Section 8. Execution of Final Contract.

A contract subject to this Ordinance shall not be executed until all requirements of this Ordinance have been fulfilled and until Contractor and Subcontractor Responsibility

Certifications have been issued by the Township under Section 6(d). Upon completion of all requirements under this Ordinance, the Township may execute a final contract based upon the Notice of Intent.

**Section 9. Repealer.**

Any and all other Ordinances or parts of Ordinances in violation of or in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

**Section 10. Severability.**

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, enforceable or unconstitutional, the Board of Directors hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, enforceable or unconstitutional portion, part or provision of this Ordinance.

**Section 11. Effective Date.**

This Ordinance shall become effective thirty (30) days after enactment.

ENACTED by the Board of Supervisors of New Britain Township this the \_\_\_\_ day of \_\_\_\_\_, 2025.

ATTEST:

NEW BRITAIN TOWNSHIP

\_\_\_\_\_  
Dan Fox, Township Manager

\_\_\_\_\_  
Cynthia Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice-Chair

\_\_\_\_\_  
William B. Jones, III

\_\_\_\_\_  
Stephanie Shortall

\_\_\_\_\_  
Bridget Kunakorn

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE	YEAR TO DATE	MONTH END MAY	BUDGET VARIANCE	BUDGET
		THRU MAY 2025	THRU MAY 2024	2025	DOLLARS	VARIANCE PERCENTAGE
REAL ESTATE CURRENT YEAR	1,476,964.00	1,383,634.63	1,126,542.30	856,442.35	-93,329.37	93.68
REAL ESTATE-PRIOR YEAR	4,000.00	0	213.04	0	-4,000.00	0.00
REAL ESTATE - DELINQUENT	20,000.00	12,797.64	5,639.11	8,270.03	-7,202.36	63.99
REAL ESTATE - INTERIM	12,000.00	-3,386.25	324.83	0	-15,386.25	-28.22
REAL ESTATE TRANSFER TAX-NEW	60,000.00	78,274.37	6,700.00	0	18,274.37	130.46
R.E. TRANSFER TAX-RESALES	450,000.00	140,932.08	144,994.04	30,749.95	-309,067.92	31.32
EARNED INCOME TAX	3,483,000.00	1,501,666.52	1,466,536.25	531,978.40	-1,981,333.48	43.11
LST TAXES	130,000.00	61,910.74	58,443.11	26,563.85	-68,089.26	47.62
CABLE TV FRANCHISE FEE	230,000.00	110,317.45	112,682.39	52,829.28	-119,682.55	47.96
ROAD OPENING PERMITS	7,500.00	4,830.00	2,368.50	150.00	-2,670.00	64.40
DISTRICT COURT FINES	15,000.00	5,517.92	5,374.32	1,248.25	-9,482.08	36.79
VEHICLE CODE VIOLATIONS	8,000.00	1,965.47	2,891.91	653.38	-6,034.53	24.57
STATE POLICE FINES	5,000.00	0	0	0	-5,000.00	0.00
INTEREST EARNINGS	50,000.00	3,211.86	16,662.93	689.04	-46,788.14	6.42
OVER COUNTER SALES	0.00	0	470.23	0	0.00	0.00
FARMLAND LEASES	1,500.00	1,575.00	400.00	1,575.00	75.00	105.00
CELL TOWER LEASE/N. BRANCH	26,000.00	34,887.63	14,399.22	2,626.14	8,887.63	134.18
ALL OTHR FEDERAL CAPITAL&OPERATING GRANT	0.00	39,831.71	0	39,831.71	39,831.71	0.00
FEDERAL ENTITLEMENTS TO GOVERN UNITS	0.00	0	254.39	0	0.00	0.00
RECYCLING GRANT	23,000.00	31,681.00	0	0	8,681.00	137.74
PUBLIC UTILITY TAXES	4,500.00	0	0	0	-4,500.00	0.00
LIQUOR LICENSES	0.00	1,500.00	1,800.00	0	1,500.00	0.00
STATE AID PENSION PLANS	104,173.00	0	0	0	-104,173.00	0.00
FOREIGN FIRE INSURANCE	108,370.00	0	0	0	-108,370.00	0.00
OVERTIME REIMBURSEABLES	30,000.00	7,035.25	146.88	2,698.00	-22,964.75	23.45
OVER COUNTER SALES	0.00	1,180.75	0	100.25	1,180.75	0.00
ZONING SUBDIVISION FILING FEES	10,000.00	1,700.00	9,550.00	900.00	-8,300.00	17.00
ZONING PERMITS	12,000.00	8,950.00	6,625.00	1,100.00	-3,050.00	74.58
ZONING HEARING BOARD	10,000.00	3,600.00	6,000.00	800.00	-6,400.00	36.00
MISC. CHARGES AND FEES	0.00	30.00	45.00	0	30.00	0.00
POLICE & ACCIDENT REPORTS	13,000.00	4,727.00	6,741.00	535.00	-8,273.00	36.36
BUILDING PERMITS	125,000.00	92,944.95	55,344.59	19,459.70	-32,055.05	74.36
ELECTRICAL PERMITS	50,000.00	30,939.50	22,319.50	3,950.00	-19,060.50	61.88
PLUMBING/MECHANICAL PERMITS	60,000.00	52,234.00	24,698.47	7,000.00	-7,766.00	87.06
OCCUPANCY PERMITS - NEW CONST	10,000.00	6,558.25	5,075.00	1,500.00	-3,441.75	65.58
OCCUPANCY - RESALES	20,000.00	6,115.00	7,620.00	1,425.00	-13,885.00	30.58
FIRE SAFETY INSPECTIONS	500.00	12,304.50	0	2,000.00	11,804.50	2,460.90
WELL PERMITS	500.00	1,900.00	175.00	825.00	1,400.00	380.00
PA UCC STATE FEE/PERMITS	2,000.00	738.00	580.50	112.50	-1,262.00	36.90



Account Description	ANNUAL BUDGET 2025	YEAR TO DATE		MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
		THRU MAY 2025	THRU MAY 2024			
MISC REVENUE	0.00	7,216.65	6,183.96	3,835.66	7,216.65	0.00
ESCROW ADMINSTATION FEE	30,000.00	12,640.17	0	2,722.16	-17,359.83	42.13
DEVELOPERS CONTRIBUTIONS	0.00	0	200.00	0	0.00	0.00
CONTRIB,GRANTS,DONATION PRIVATE SECTOR	0.00	4,003.85	5,383.58	4,003.85	4,003.85	0.00
PROCEEDS FROM GF FIXED ASSETS	0.00	0	2,562.28	0	0.00	0.00
MUNICIPAL SALES	0.00	0	76.00	0	0.00	0.00
ESTIMATED BEGINNING CASH BALANCE	293,556.00	0	0	0	-293,556.00	0.00
REFUND OF PRIOR YEAR EXPENSE	10,000.00	0	0	0	-10,000.00	0.00
<b>GENERAL FUND: Revenue Totals</b>	<b>6,895,563.00</b>	<b>3,665,965.64</b>	<b>3,126,023.33</b>	<b>1,606,574.50</b>	<b>-3,229,597.36</b>	
GENERAL FUND:	0	0	0	0	0	0.00
GOVERNING BODY:	0	0	0	0	0	0.00
SALARY - BOARD OF SUPERVISORS	16,250.00	6,770.75	6,770.75	1,354.15	9,479.25	41.67
MEDICAL/DENTAL/LIFE/RX INSURANCE	136,981.00	54,165.62	59,360.54	11,406.12	82,815.38	39.54
FICA/MEDICARE/GOVT	20,667.00	9,217.31	7,168.25	2,459.59	11,449.69	44.60
UNEMPLOYMENT PREMIUM ADMIN	3,026.00	3,141.02	0	3,141.02	-115.02	103.80
MATERIALS/SUPPLIES	10,000.00	5,390.37	9,825.12	4,002.80	4,609.63	53.90
GENERAL ADMIN EXPENSE	15,500.00	6,567.37	14,085.07	410.81	8,932.63	42.37
CODIFICATION EXPENSES	15,000.00	-25.00	4,771.25	0	15,025.00	-0.17
INFO TECH SERVICES	28,600.00	22,843.25	0	0	5,756.75	79.87
TRAINING/ADMIN	10,000.00	10,429.70	5,733.02	6,424.91	-429.70	104.30
TELEPHONE/COMMUNICATIONS	12,000.00	2,281.00	3,395.36	520.63	9,719.00	19.01
VEHICLE EXPENSE/ADMIN	1,800.00	852.74	1,246.93	852.74	947.26	47.37
ADVERTISING/PRINTING	15,000.00	5,472.71	7,915.17	0	9,527.29	36.48
BONDING	0.00	830.00	0	0	-830.00	0.00
LIABILITY/PROPERTY INSURANCE	48,496.00	26,493.69	23,020.10	0	22,002.31	54.63
WORKER'S COMPENSATION/ADMIN	713.00	172.48	239.82	0	540.52	24.19
MAJOR EQUIPMENT LEASE/PURCHASE	4,000.00	1,787.00	1,835.40	390.80	2,213.00	44.68
COMPUTER HARDWARE/SOFTWARE/LICENSES	65,000.00	14,408.29	49,711.30	866.69	50,591.71	22.17
EXECUTIVE:	0	0	0	0	0	0.00
SALARY - EXECUTIVE MANAGEMENT	253,901.00	112,988.00	86,931.09	30,797.27	140,913.00	44.50
FINANCIAL ADMINISTRATION:	0	0	0	0	0	0.00
SALARY - FINANCE	184,600.00	78,166.42	50,362.37	21,300.00	106,433.58	42.34
SALARY/ADMIN ASST T.P.	0.00	12,117.61	9,255.55	2,340.90	-12,117.61	0.00
MEDICAL/DENTAL/LIFE/RX INSURANCE	46,820.00	14,890.11	0	3,916.13	31,929.89	31.80
FICA/MEDICARE-FINANCE	14,122.00	8,705.26	3,852.75	1,629.45	5,416.74	61.64
PAYROLL SERVICES & ACCOUNTING	12,600.00	6,666.50	12,847.09	518.50	5,933.50	52.91
APPOINTED AUDITOR	25,000.00	25,500.00	19,000.00	500.00	-500.00	102.00
BONDING/SURETY	1,660.00	830.00	1,660.00	0	830.00	50.00

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE THRU MAY 2025	YEAR TO DATE THRU MAY 2024	MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
TAX COLLECTION:	0	0	0	0	0	0.00
SALARY-ELECTED TAX COLLECTOR	22,500.00	9,375.00	9,375.00	1,875.00	13,125.00	41.67
FICA/MEDICARE/TAX	1,721.00	717.20	717.20	143.44	1,003.80	41.67
REIMBUSEABLE EXPENSES	2,400.00	1,908.98	1,587.08	0	491.02	79.54
EIT/EMST COLLECTOR	43,000.00	21,316.10	15,434.44	3,327.18	21,683.90	49.57
SOLICITOR/LEGAL SERVICES:	0	0	0	0	0	0.00
SOLICITOR/LABOR	15,000.00	7,506.00	9,472.50	276.00	7,494.00	50.04
SOLICITOR/GENERAL SERVICES	40,000.00	14,242.50	13,794.45	2,700.00	25,757.50	35.61
SECRETARY/CLERK:	0	0	0	0	0	0.00
WAGES/CLERICAL STAFF	0.00	0	43,038.36	0	0.00	0.00
MEDICAL/DENTAL/LIFE/RX INSURANCE	0.00	0.00	23,633.42	0	0.00	0.00
FICA/MEDICARE	0.00	0	3,292.41	0	0.00	0.00
OTHER GENERAL GOVT ADMINISTRATION:	0	0	0	0	0	0.00
IT-NETWORKING & DATA SERVICES:	0	0	0	0	0	0.00
ENGINEERING SERVICES:	0	0	0	0	0	0.00
GENERAL ENGINEERING	60,000.00	43,226.43	57,921.50	15,639.63	16,773.57	72.04
BUILDINGS & PLANT:	0	0	0	0	0	0.00
SUPPLIES AND EQUIPMENT	0.00	0	440.57	0	0.00	0.00
UTILITIES	20,000.00	8,463.51	7,932.95	1,990.56	11,536.49	42.32
BLDG MAINT&REPAIRS SERVICES&SUPPLIES	35,000.00	12,782.16	11,209.06	3,747.00	22,217.84	36.52
POLICE:	0	0	0	0	0	0.00
SALARY - POLICE MANAGEMENT	149,743.00	59,769.60	57,745.60	16,300.80	89,973.40	39.91
WAGES - BARGAINING UNIT	1,724,967.00	709,081.34	607,901.59	194,863.94	1,015,885.66	41.11
POLICE OVERTIME	165,000.00	62,016.35	54,893.55	20,035.21	102,983.65	37.59
ACCRUED TIME EXPENSE	215,000.00	26,216.35	53,537.70	12,120.17	188,783.65	12.19
EDUCATION INCENTIVE PAY	50,000.00	51,208.42	48,157.78	-4,582.31	-1,208.42	102.42
WAGES-CLERICAL STAFF FT	58,620.00	28,028.00	23,848.00	7,644.00	30,592.00	47.81
MEDICAL/DENTAL/RX/LIFE INSURANCE	559,325.00	242,531.63	199,315.08	47,508.59	316,793.37	43.36
CROSSING GUARD WAGES	13,693.00	4,194.16	4,101.19	1,216.51	9,498.84	30.63
FICA/MEDICARE/POLICE	152,772.00	72,789.41	65,407.24	18,941.29	79,982.59	47.65
EDUCATION/TRAINING IN SERVICE	12,000.00	11,067.95	2,342.29	988.56	932.05	92.23
OFFICE SUPPLIES	2,000.00	491.90	1,223.09	36.03	1,508.10	24.60
COMPUTERS SUPPLIES	15,000.00	17,868.22	14,013.89	0	-2,868.22	119.12
CRIMINAL INVESTIGATION SUPPLIES	0.00	321.15	0	0	-321.15	0.00
TRAFFIC COUNTER	12,000.00	10,078.00	3,096.75	0	1,922.00	83.98
FUELS/OIL	30,000.00	11,679.75	13,421.86	1,851.53	18,320.25	38.93
COPIER EXPENSES	2,500.00	1,316.37	1,230.39	332.53	1,183.63	52.65
FIREARMS & SUPPLIES	12,000.00	0	601.26	0	12,000.00	0.00
UNIFORMS/VESTS	25,000.00	8,852.00	11,124.17	1,508.84	16,148.00	35.41

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE	YEAR TO DATE	MONTH END MAY	BUDGET VARIANCE	BUDGET
		THRU MAY 2025	THRU MAY 2024	2025	DOLLARS	VARIANCE PERCENTAGE
GENERAL EXPENSE	4,000.00	1,376.68	1,833.66	158.55	2,623.32	34.42
COMMUNITY POLICING SERVICES & SUPPLIES	7,500.00	433.98	0	0	7,066.02	5.79
LEGAL EXPENSE	22,000.00	12,825.00	12,012.78	325.00	9,175.00	58.30
EQUIP SUPPLIES	6,000.00	1,800.00	1,557.74	0	4,200.00	30.00
COMMUNICATIONS	20,000.00	9,129.87	8,112.49	1,672.09	10,870.13	45.65
PRINTING	2,000.00	442.14	682.37	0	1,557.86	22.11
VEHICLE INSURANCE	13,604.00	7,431.70	6,457.32	0	6,172.30	54.63
LAW ENFORCEMENT LIABILITY	52,763.00	28,824.44	25,045.28	0	23,938.56	54.63
WORKERS COMPENSATION	58,121.00	28,674.48	30,165.64	0	29,446.52	49.34
UTILITIES	20,000.00	19,247.34	9,003.29	1,845.02	752.66	96.24
VEHICLE MAINT/REPAIRS-OUTSIDE	10,000.00	6,227.13	2,657.44	133.34	3,772.87	62.27
CONTRACTED CLEANING	0.00	0.00	4,800.00	0	0.00	0.00
C.E.R.T. TEAM	5,000.00	3,300.00	3,700.00	0	1,700.00	66.00
PUBLICATIONS/SUBSCRIPTIONS	2,500.00	2,509.16	160.00	0	-9.16	100.37
UNIFORM CLEANING	12,800.00	12,800.00	12,800.00	0	0.00	100.00
EQUIPMENT PURCHASES	47,000.00	40,168.23	40,168.29	0	6,831.77	85.46
VEHICLE REPLACEMENTS	0.00	0	148,699.40	0	0.00	0.00
BUILDING MAINTENANCE POLICE DEPT	10,000.00	0	6,385.16	0	10,000.00	0.00
DNA CONSORTIUM	3,500.00	0	3,000.00	0	3,500.00	0.00
FIRE:	0	0	0	0	0	0.00
EMS WORKERS COMP	0.00	215.60	290.10	0	-215.60	0.00
FIRE FUEL EXPENSE	7,500.00	2,955.17	2,740.02	618.55	4,544.83	39.40
EMS FUEL EXPENSE	15,000.00	3,634.72	5,254.80	636.96	11,365.28	24.23
RECRUITMENT/RETENTION INCENTIVE	15,000.00	0	0	0	15,000.00	0.00
EMS CAPITAL CONTRIBUTION	15,000.00	0	15,000.00	0	15,000.00	0.00
WORKERS COMP-FIRE CO SHARE	20,224.00	0	0	0	20,224.00	0.00
FIRE HYDRANT RENTALS	33,500.00	22,796.04	21,461.40	1,399.50	10,703.96	68.05
UCC & CODE ENFORCEMENT:	0	0	0	0	0	0.00
BLG INSPECTOR/CODE ENF OFFICIALS	179,568.00	104,613.92	64,278.66	28,334.45	74,954.08	58.26
OUTSIDE INSPECTIONS	25,000.00	14,551.00	12,030.00	3,075.00	10,449.00	58.20
MEDICAL/DENTAL/RX/LIFE/INSURANCE	66,392.00	39,170.45	15,117.90	9,084.08	27,221.55	59.00
FICA/MEDICARE-CODES	13,737.00	10,774.77	4,917.33	2,180.81	2,962.23	78.44
GENERAL EXPENSE AND TRAINING	0.00	60.00	0	0	-60.00	0.00
VEHICLE EXPENSE	500.00	0	0	0	500.00	0.00
AUTO INSURANCE/ADMIN-INSPEC VEH.	817.00	446.52	387.98	0	370.48	54.65
LIABILITY INSURANCE	693.00	378.66	329.02	0	314.34	54.64
WORKERS COMPENSATION	396.00	344.94	0	0	51.06	87.11
STATE PASS THRU FEE	2,000.00	783.00	0	0	1,217.00	39.15
PLANNING & ZONING:	0	0	0	0	0	0.00



Account Description	ANNUAL BUDGET 2025	YEAR TO DATE	YEAR TO DATE	MONTH END MAY	BUDGET VARIANCE	BUDGET
		THRU MAY 2025	THRU MAY 2024	2025	DOLLARS	VARIANCE PERCENTAGE
ZONING PERSONNEL	173,031.00	14,376.77	44,290.44	11,261.33	158,654.23	8.31
ZONING HEARING BOARD	3,000.00	1,350.00	1,070.00	260.00	1,650.00	45.00
PLANNING CONSULTANT	0.00	28,372.50	0	5,422.50	-28,372.50	0.00
MEDICAL/DENTAL/RX/LIFE INSURANCE	84,890.00	1,472.84	15,553.26	1,274.50	83,417.16	1.73
FICA/MEDICARE	13,237.00	1,099.81	3,348.86	861.48	12,137.19	8.31
LEGAL, PLNG & ZONING	40,000.00	22,086.07	22,031.00	3,666.07	17,913.93	55.22
ENGINEERING PLANNING/ZONING	25,000.00	17,565.00	8,126.25	0	7,435.00	70.26
CODIFICATION/UPDATES	0.00	16,488.75	0	9,135.00	-16,488.75	0.00
COMPUTER SOFTWARE AND SERVICES	20,000.00	10,277.75	0	0	9,722.25	51.39
LIABILITY INSURANCE	414.00	226.10	196.46	0	187.90	54.61
WORKERS COMPENSATION	396.00	0	168.02	0	396.00	0.00
EMERGENCY MANAGEMENT & COMMUNICATIONS:	0	0	0	0	0	0.00
EMERGENCY MANAGEMENT ADMIN EXP	12,000.00	2,500.00	2,700.00	0	9,500.00	20.83
SOLID WASTE COLLECTION & DISPOSAL:	0	0	0	0	0	0.00
SLID WASTE/HAZ WASTE COLLECTION	5,000.00	2,500.00	2,500.00	0	2,500.00	50.00
WASTEWATER COLLECTION & TREATMENT:	0	0	0	0	0	0.00
GENERAL SERVICES-ADMINISTRATION:	0	0	0	0	0	0.00
SALARY - MANAGEMENT	108,566.00	45,936.00	45,055.99	12,528.00	62,630.00	42.31
SALARY/BLDG MAINTENANCE	0.00	0	8,892.01	0	0.00	0.00
OT - PUBLIC WORKS	1,500.00	9,914.01	1,938.41	569.76	-8,414.01	660.93
WAGES PUBLIC WORKS CREW	420,669.00	154,445.12	190,737.52	47,606.08	266,223.88	36.71
MEDICAL/DENTAL/RX/LIFE INSURANCE	177,127.00	44,949.24	78,681.06	8,245.74	132,177.76	25.38
FICA/MEDICARE-PUBLIC WORKS	32,181.00	17,143.25	18,763.05	5,400.99	15,037.75	53.27
UNIFORM EXPENSE	10,000.00	1,708.81	5,782.47	0	8,291.19	17.09
GENERAL EXPENSE & TRAINING	0.00	0.00	229.82	0	0.00	0.00
TRAINING EXPENSE	0.00	375.00	0	0	-375.00	0.00
COMMUNICATIONS/MAINT	15,000.00	3,031.26	3,815.91	608.13	11,968.74	20.21
RADIO REPAIRS	1,000.00	0	0	0	1,000.00	0.00
VEHICLE INSURANCE	19,077.00	10,421.95	9,055.52	0	8,655.05	54.63
LIABILITY INSURANCE	4,022.00	2,197.04	1,909.00	0	1,824.96	54.63
WORKERS COMPENSATION	33,596.00	13,712.00	16,114.42	0	19,884.00	40.81
BUILDING MAINTENANCE	20,000.00	5,496.07	24,451.50	352.50	14,503.93	27.48
WINTER MAINTENACE-SNOW REMOVAL:	0	0	0	0	0	0.00
SNOW REMOVAL/CONTRACTORS	40,000.00	3,500.00	9,250.00	0	36,500.00	8.75
SNOW REMOVAL/SALT	0.00	0	67,600.50	0	0.00	0.00
TRAFFIC CONTROL DEVICES:	0	0	0	0	0	0.00
STREET SIGNS	10,000.00	4,872.02	5,854.70	150.00	5,127.98	48.72
LINE PAINTING	30,000.00	0	0	0	30,000.00	0.00
TRAFFIC SIGNAL MAINTENANCE	20,000.00	11,406.29	6,133.38	810.00	8,593.71	57.03

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE	YEAR TO DATE	MONTH END MAY	BUDGET VARIANCE	BUDGET
		THRU MAY 2025	THRU MAY 2024	2025	DOLLARS	VARIANCE PERCENTAGE
TRAFFIC SIGNAL ELECTRIC	4,000.00	2,013.40	2,214.48	420.76	1,986.60	50.34
STREET LIGHTING:	0	0	0	0	0	0.00
STREET LIGHTING/GEN/NOT DISTRICT	9,000.00	1,784.21	5,262.50	211.67	7,215.79	19.82
STORM SEWERS & DRAINS:	0	0	0	0	0	0.00
STORM SEWERS & DRAINS	30,000.00	468.94	17,075.18	468.94	29,531.06	1.56
NPDES COMPLIANCE	25,000.00	0	8,028.00	0	25,000.00	0.00
DIRT & DEBRIS REMOVAL	10,000.00	2,437.05	3,152.00	1,947.05	7,562.95	24.37
REPAIRS OF TOOLS & MACHINERY:	0	0	0	0	0	0.00
VEHICLE REPAIRS	50,000.00	29,750.04	45,574.20	5,668.28	20,249.96	59.50
FUEL & OIL EQUIP	40,000.00	14,159.61	14,426.21	2,917.02	25,840.39	35.40
HEAT AND UTILITIES	30,000.00	30,035.53	16,749.49	5,446.21	-35.53	100.12
MAINTENANCE & REPAIR OF ROADS & BRIDGES:	0	0	0	0	0	0.00
MINOR EQUIPMENT	5,000.00	0	3,294.39	0	5,000.00	0.00
GENERAL EXPENSE	20,000.00	4,344.76	3,316.64	1,936.39	15,655.24	21.72
MAJOR EQUIPMENT PURCHASE	0.00	0	193,115.00	0	0.00	0.00
EQUIPMENT RENTALS	5,000.00	0	0	0	5,000.00	0.00
PATCHING/CORE SAMPLES	10,000.00	957.08	1,931.98	0	9,042.92	9.57
ROADWAY CURB SIDEWALK	20,000.00	0	0	0	20,000.00	0.00
HIGHWAY CONTRUCTION & REBUILDING PROJECT	0	0	0	0	0	0.00
PAVING/MILLING/RECYCLING	50,000.00	0	0	0	50,000.00	0.00
DART TRANSPORTATION CONTRIBUTION	5,000.00	0	0	0	5,000.00	0.00
TREE MAINTENANCE:	0	0	0	0	0	0.00
TREE MAINTENANCE	0.00	0	10,175.00	0	0.00	0.00
DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00
TAX ANTICIPATION NOTE/PRINCIPAL	0.00	0	3,620.99	0	0.00	0.00
DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00
TAX ANTICIPATION NOTE/INTEREST	0.00	0	-77.63	0	0.00	0.00
EMPLOYER PAID BENEFITS & WITHHOLDING ITE	0	0	0	0	0	0.00
MISC. TAXES	0.00	1,385.16	1,337.35	0	-1,385.16	0.00
MMO PENSION PAYMENT	104,173.00	0	0	0	104,173.00	0.00
INSURANCE,CASUALTY, & SURETY:	0	0	0	0	0	0.00
HEALTH & VISION REIMBURSEMENTS	55,000.00	30,245.01	23,502.15	5,732.46	24,754.99	54.99
FITNESS REIMBURSEMENT	2,000.00	1,218.90	250.00	198.95	781.10	60.95
HEALTH INSURANCE BENEFIT:	0	0	0	0	0	0.00
FICA/MEDICARE	3,750.00	0	0	0	3,750.00	0.00
NON-UNIFORM TIME PAY OUT	50,000.00	19,908.57	116.48	12,140.63	30,091.43	39.82
ORTHODONTIA REIMBURSEMENT	6,000.00	0	0	0	6,000.00	0.00
457 MATCHING	38,000.00	7,900.00	8,000.00	0	30,100.00	20.79
FIDUCIARY FUNDS BENEFIT & REFUND PAID:	0	0	0	0	0	0.00

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE THRU MAY 2025	YEAR TO DATE THRU MAY 2024	MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
FIREMEN'S RELIEF DISTRIBUTION	108,370.00	0	0	0	108,370.00	0.00
<b>GENERAL FUND: Expenditure Totals</b>	<b>7,073,091.00</b>	<b>2,837,657.53</b>	<b>3,153,159.33</b>	<b>636,000.80</b>	<b>4,235,433.47</b>	
INTEREST EARNINGS	5,000.00	2,732.82	3,787.53	644.02	-2,267.18	54.66
STREET LIGHT ASSESSMENTS	37,550.00	35,675.00	35,660.00	22,525.00	-1,875.00	95.01
ESTIMATED BEGINNING BALANCE	132,153.00	0	0	0	-132,153.00	0.00
<b>STREET LIGHTING FUND: Revenue Totals</b>	<b>174,703.00</b>	<b>38,407.82</b>	<b>39,447.53</b>	<b>23,169.02</b>	<b>-136,295.18</b>	
TAX COLLECTION:	0	0	0	0	0	0.00
SALARY-ELECTED	2,500.00	0	0	0	2,500.00	0.00
TAX COLLECTOR FEE	191.00	0	0	0	191.00	0.00
STREET LIGHTING:	0	0	0	0	0	0.00
UTILITY EXPENSE	10,000.00	5,416.98	4,054.27	1,031.57	4,583.02	54.17
PRINCIPAL PAYMENT/STREET LIGHT LOAN	0.00	0	689.72	0	0.00	0.00
INTEREST PAYMENT/STREET LIGHT LOAN	0.00	0	-14.79	0	0.00	0.00
<b>STREET LIGHTING FUND: Expenditure Total</b>	<b>12,691.00</b>	<b>5,416.98</b>	<b>4,729.20</b>	<b>1,031.57</b>	<b>7,274.02</b>	
FIRE REAL ESTATE TAXES	222,540.00	209,745.89	208,618.96	129,763.99	-12,794.11	94.25
AMBULANCE REAL ESTATE TAXES	89,016.00	83,898.35	83,447.58	51,905.60	-5,117.65	94.25
FIRE REAL ESTATE TAXES-PRIOR YEAR	500.00	0	27.92	0	-500.00	0.00
AMBULANCE R.E. TAXES/PRIOR YEAR	250.00	0	9.96	0	-250.00	0.00
FIRE R.E. DELINQUENT TAXES	100.00	1,939.06	1,051.83	1,253.04	1,839.06	1,939.06
AMBULANCE/DELINQUENT TAXES	100.00	775.62	417.71	501.21	675.62	775.62
FIRE R.E. TAXES/INTERIM	100.00	68.85	60.15	0	-31.15	68.85
AMBULANCE/INTERIM TAXES	100.00	27.55	24.07	0	-72.45	27.55
LST TAXES/FIRE FUND	61,500.00	30,955.38	29,221.29	13,281.93	-30,544.62	50.33
LST TAXES/EMS	61,500.00	30,955.38	29,221.31	13,281.93	-30,544.62	50.33
INTEREST EARNINGS	1,000.00	2,832.72	2,208.03	864.33	1,832.72	283.27
INTEREST EARNINGS/EMS FUND	1,000.00	454.36	1,188.27	219.97	-545.64	45.44
FIRE ESTIMATED BEGINNING CASH BAL.	122,354.00	0	0	0	-122,354.00	0.00
AMBULANCE/EST. BEGINNING CASH BAL.	25,853.00	0	0	0	-25,853.00	0.00
<b>FIRE TAX FUND: Revenue Totals</b>	<b>585,913.00</b>	<b>361,653.16</b>	<b>355,497.08</b>	<b>211,072.00</b>	<b>-224,259.84</b>	
TAX COLLECTION:	0	0	0	0	0	0.00
REAL ESTATE/LST COLLECTOR-FIRE	950.00	433.52	0	127.56	516.48	45.63
REAL ESTATE/LST COLLECTOR-AMBULANCE	700.00	375.35	0	89.97	324.65	53.62
FIRE:	0	0	0	0	0	0.00
CONTRIBUTIONS TO FIRE COMPANIES	221,590.00	204,505.86	19,489.72	191,574.31	17,084.14	92.29
LST CONTRIBUTION FIRE	123,000.00	30,883.89	58,042.60	15,336.23	92,116.11	25.11



Account Description	ANNUAL BUDGET 2025	YEAR TO DATE THRU MAY 2025	YEAR TO DATE THRU MAY 2024	MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
CONTRIBUTIONS TO EMS PROVIDERS	88,766.00	0.00	7,791.66	0	88,766.00	0.00
AMBULANCE & RESCUE SQUAD:	0	0	0	0	0	0.00
GENERAL EXPENSE/AMBULANCE	0.00	-319.98	0	0	319.98	0.00
CONTRIBUTIONS TO AMBULANCE	0.00	81,749.06	0	76,427.81	-81,749.06	0.00
LST CONTRIBUTIONS AMBULANCE	0.00	30,883.91	0	15,336.25	-30,883.91	0.00
<b>FIRE/AMBULANCE TAX FUND Expenditure Tot</b>	<b>435,006.00</b>	<b>348,511.61</b>	<b>85,323.98</b>	<b>298,892.13</b>	<b>86,494.39</b>	
EARNED INCOME TAX	817,000.00	355,743.49	350,941.79	123,599.41	-461,256.51	43.54
INTEREST EARNINGS	100,000.00	100,319.43	81,664.73	21,376.98	319.43	100.32
ESTIMATED BEGINNING CASH BALANCE	4,220,040.00	0	0	0	-4,220,040.00	0.00
<b>LAND PRESERVATION FUND: Revenue Totals</b>	<b>5,137,040.00</b>	<b>456,062.92</b>	<b>432,606.52</b>	<b>144,976.39</b>	<b>-4,680,977.08</b>	
TAX COLLECTION:	0	0	0	0	0	0.00
EIT TAX COLLECTOR EXPENSE	13,000.00	3,760.27	3,409.83	533.60	9,239.73	28.93
PLANNING & ZONING:	0	0	0	0	0	0.00
CONSULTANT/LAND PRESERVATION	20,000.00	5,310.00	0	1,655.00	14,690.00	26.55
ENGINEERING SERVICE	50,000.00	495.00	0	405.00	49,505.00	0.99
APPRAISALS	5,000.00	0	0	0	5,000.00	0.00
DEBT SERVICE:	0	0	0	0	0	0.00
OPEN SPACE MAINTENANCE	50,000.00	219.93	206.59	36.06	49,780.07	0.44
<b>LAND PRESERVATION FUND: Expenditure Tot</b>	<b>138,000.00</b>	<b>9,785.20</b>	<b>3,616.42</b>	<b>2,629.66</b>	<b>128,214.80</b>	
REAL ESTATE TAXES/CURRENT	400,571.00	377,542.55	375,514.10	233,575.18	-23,028.45	94.25
REAL ESTATE TAXES/PRIOR YEAR	500.00	0	62.47	0	-500.00	0.00
REAL ESTATE TAXES/DELINQUENT	0.00	3,315.73	1,879.70	2,142.69	3,315.73	0.00
REAL ESTATE TAXES/INTERIM	100.00	123.95	108.28	0	23.95	123.95
INTEREST EARNINGS	1,000.00	6,684.41	1,733.66	1.18	5,684.41	668.44
INTEREST EARNING/P&R MISC ACCTS	1,000.00	16,641.01	19,962.66	5,330.06	15,641.01	1,664.10
EVENT REVENUE	0.00	0	1,790.00	0	0.00	0.00
BLDG RENT & WB CELL TOWER	0.00	8,023.60	7,371.86	1,604.72	8,023.60	0.00
COUNTY OPEN SPACE GRANT	0.00	0	-140,000.00	0	0.00	0.00
EVENT REVENUE	0.00	12,103.79	0	5,423.79	12,103.79	0.00
USER FEES/FIELD USE	0.00	5,000.00	0	1,965.00	5,000.00	0.00
PARK & REC CONTRIBUTIONS	0.00	300.00	0	0	300.00	0.00
PARK & REC CONTRIBUTIONS	0.00	132,000.00	22,500.00	0	132,000.00	0.00
VETERAN'S MEMORIAL	1,500.00	0	0	0	-1,500.00	0.00
USER FEES/FIELD USE	0.00	0	3,145.00	0	0.00	0.00
ESTIMATED BEGINNING CASH BALANCE	332,465.00	0	0	0	-332,465.00	0.00
EST. BEGINNING CASH BAL/P&R CAP FD	684,969.00	0	0	0	-684,969.00	0.00

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE		MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
		THRU MAY 2025	THRU MAY 2024			
<b>PARKS &amp; RECREATION FUND: Revenue Totals</b>	<b>1,422,105.00</b>	<b>561,735.04</b>	<b>294,067.73</b>	<b>250,042.62</b>	<b>-860,369.96</b>	
PARKS & RECREATION FUND:	0	0	0	0	0	0.00
AUDITING SERVICES/FINANCE ADMINISTRATION	0	0	0	0	0	0.00
PUBLIC WORKS-GENERAL SERVICES:	0	0	0	0	0	0.00
PUBLIC WORKS-REPAIRS OF TOOLS & MACHINER	0	0	0	0	0	0.00
PARKS:	0	0	0	0	0	0.00
SALARIES/CLERICAL	0.00	0	4,618.36	0	0.00	0.00
SALARIES P.W. SUPPORT	258,785.00	107,237.22	86,134.86	30,738.90	151,547.78	41.44
MEDICAL/DENTAL INSURANCE	81,219.00	30,905.37	23,219.67	7,583.90	50,313.63	38.05
FICA/MEDICARE-PARKS	19,797.00	8,624.64	7,002.89	2,509.90	11,172.36	43.57
FACILITIES MAINTENANCE	0.00	232.02	7,113.29	0	-232.02	0.00
ACTIVITIES/PROGRAMS	37,000.00	5,598.95	2,301.71	1,962.07	31,401.05	15.13
ENGINEERING SERVICES	0.00	2,426.50	0	232.75	-2,426.50	0.00
W.B. PARK EXPENSE	7,100.00	1,500.00	0	1,500.00	5,600.00	21.13
NORTH BRANCH PARK EXP	7,100.00	5,461.06	16,543.53	3,810.06	1,638.94	76.92
VETERAN'S PARK	7,100.00	500.00	0	500.00	6,600.00	7.04
VETERAN'S MEMORIAL	0.00	105.00	55.07	105.00	-105.00	0.00
GENERAL EXPENSES/SUPPLIES	4,000.00	1,586.84	1,631.76	315.16	2,413.16	39.67
NESHAMINY GREENWAY TRAILS	7,100.00	675.00	43,849.57	0	6,425.00	9.51
LIABILITY INSURANCE	917.00	484.90	421.32	0	432.10	52.88
UTILITIES	20,000.00	6,172.77	5,571.11	1,037.04	13,827.23	30.86
HIGHLAND PARK	7,100.00	2,190.00	0	1,776.00	4,910.00	30.85
PARK IMPROVEMENTS/PURCHASES	0.00	0	3,045.00	0	0.00	0.00
CAPITAL PURCHASES	0.00	0	5,699.00	0	0.00	0.00
TREE MAINTENANCE	0	0	0	0	0	0.00
TREE MAINTENANCE	20,000.00	0	0	0	20,000.00	0.00
DEBT SERVICE:	0	0	0	0	0	0.00
INTERFUND OPERATING TRANSFERS:	0	0	0	0	0	0.00
TRANSFER TO OTHER FUND	262,000.00	63,426.67	0	0	198,573.33	24.21
<b>PARKS &amp; RECREATION FUND Expenditure Tot</b>	<b>739,218.00</b>	<b>237,126.94</b>	<b>207,207.14</b>	<b>52,070.78</b>	<b>502,091.06</b>	
ESTIMATED BEGINNING CASH BALANCE	2,765,975.00	0	0	0	-2,765,975.00	0.00
INTEREST EARNINGS	1,000.00	36,225.58	32,580.35	10,100.24	35,225.58	3,622.56
<b>FUND 15: Revenue Totals</b>	<b>2,766,975.00</b>	<b>36,225.58</b>	<b>32,580.35</b>	<b>10,100.24</b>	<b>-2,730,749.42</b>	
REAL ESTATE TAXES/CURRENT	356,064.00	335,593.42	166,895.19	207,622.38	-20,470.58	94.25
REAL ESTATE TAXES/PRIOR YEAR	500.00	0	6.89	0	-500.00	0.00
REAL ESTATE TAXES/DELINQUENT	100.00	2,947.35	835.43	1,904.62	2,847.35	2,947.35

Account Description	ANNUAL BUDGET 2025	YEAR TO DATE	YEAR TO DATE	MONTH END MAY	BUDGET VARIANCE	BUDGET
		THRU MAY 2025	THRU MAY 2024	2025	DOLLARS	VARIANCE PERCENTAGE
REAL ESTATE TAXES/INTERIM	100.00	110.20	48.13	0	10.20	110.20
INTEREST EARNINGS	2,000.00	31,157.10	24,105.38	6,847.31	29,157.10	1,557.86
STORMWATER MAINTENANCE FEES	0.00	22,265.77	22,214.88	942.00	22,265.77	0.00
DEVELOPERS CONTRIBUTIONS	0.00	4,009.50	156,369.50	0	4,009.50	0.00
SALES OF ASSETS/VEH,EQUIP,ETC	0.00	13,825.00	12,582.62	13,300.00	13,825.00	0.00
TRANSFER FROM OTHER FUNDS	407,000.00	88,269.83	0	0	-318,730.17	21.69
ESTIMATED BEGINNING CASH BALANCE	1,463,085.00	0	0	0	-1,463,085.00	0.00
<b>STORMWATER &amp; SEWER FUND: Revenue Totals</b>	<b>2,228,849.00</b>	<b>498,178.17</b>	<b>383,058.02</b>	<b>230,616.31</b>	<b>-1,730,670.83</b>	
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	0	0	0	0	0	0.00
GOVERNING BODY:	0	0	0	0	0	0.00
IT INFRASTRUCTURE UPGRADES	65,000.00	7,248.45	0	0	57,751.55	11.15
MUNCIPAL EQUIPMENT PURCHASES	15,000.00	19,424.31	0	31.74	-4,424.31	129.50
POLICE:	0	0	0	0	0	0.00
EQUIPMENT PURCHASES	62,000.00	47,030.99	0	0	14,969.01	75.86
POLICE VEHICLE REPLACEMENT	160,000.00	0	0.00	0	160,000.00	0.00
STORM SEWERS & DRAINS:	0	0	0	0	0	0.00
NPDES COMPLIANCE	110,000.00	11,360.90	0	1,145.00	98,639.10	10.33
MAINTENANCE & REPAIR OF ROADS & BRIDGES:	0	0	0	0	0	0.00
MAJOR EQUIPMENT PURCHASES	145,000.00	24,843.16	0	0	120,156.84	17.13
HIGHWAY CONTRUCTION & REBUILDING PROJECT	0	0	0	0	0	0.00
CAPITAL EQUIPMENT PURCHASES	50,000.00	49,276.52	10,030.00	1,149.52	723.48	98.55
PARK INFRASTRUCTURE IMPROVEMENTS	212,000.00	48,078.87	0	8,163.75	163,921.13	22.68
INTERFUND OPERATING TRANSFERS:	0	0	0	0	0	0.00
CAPITAL IMPROVEMENTS/PURCHASES	0.00	0	3,130.40	0	0.00	0.00
<b>CAPITAL IMPROVEMENT/EQU Expenditure Tot</b>	<b>819,000.00</b>	<b>207,263.20</b>	<b>13,160.40</b>	<b>10,490.01</b>	<b>611,736.80</b>	
REAL ESTATES TAX/CURRENT/CAP INFRA	0.00	0	166,895.19	0	0.00	0.00
REAL ESTATE TAXES/CURRENT/PWKS LOAN	222,540.00	209,745.89	208,618.96	129,763.99	-12,794.11	94.25
REAL ESTATE PRIOR/CAP INFRA	0.00	0	49.80	0	0.00	0.00
REAL ESTATE TAXES/PRIOR/PWKS LOAN	500.00	0	8.61	0	-500.00	0.00
REAL ESTATE DEL/CAP INFRA	0.00	0	835.43	0	0.00	0.00
DELINQUENT TAXES/PUBLIC WORKS	100.00	1,842.11	1,044.28	1,190.39	1,742.11	1,842.11
R.E. TAXES/INTERIM/CAP INFRA	0.00	0	48.13	0	0.00	0.00
PUBLIC WORKS BLDG/INTERIM TAXES	100.00	68.85	60.15	0	-31.15	68.85
INTEREST EARNINGS/CAP INFRA	0.00	9,621.75	5,976.52	2,578.57	9,621.75	0.00
INTEREST EARNINGS/P.WKS.	1,000.00	25.54	38.27	0.03	-974.46	2.55
EST BEGINNING CASH BALANCE/CAP INFR	459,651.00	0	0	0	-459,651.00	0.00
ESTIMATED BEG. CASH BALANCE/P.WKS.	506,000.00	0	0	0	-506,000.00	0.00



Account Description	ANNUAL BUDGET 2025	YEAR TO DATE THRU MAY 2025	YEAR TO DATE THRU MAY 2024	MONTH END MAY 2025	BUDGET VARIANCE DOLLARS	BUDGET VARIANCE PERCENTAGE
<b>FUND 20: Revenue Totals</b>	<b>1,189,891.00</b>	<b>221,304.14</b>	<b>383,575.34</b>	<b>133,532.98</b>	<b>-968,586.86</b>	
EXECUTIVE:	0	0	0	0	0	0.00
BRIDGE LOAN PRINCIPAL	332,000.00	332,000.00	327,000.00	0	0.00	100.00
BRIDGE LOAN INTEREST	32,426.00	17,242.00	19,269.60	0	15,184.00	53.17
DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00
PW BLDG PRINCIPAL	40,000.00	0	0	0	40,000.00	0.00
DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00
PW BLDG INTEREST	2,941.00	555.26	1,322.48	131.33	2,385.74	18.88
<b>MUNICIPAL/P WRKS BUILDI Expenditure Tot</b>	<b>407,367.00</b>	<b>349,797.26</b>	<b>347,592.08</b>	<b>131.33</b>	<b>57,569.74</b>	
REAL ESTATE TAXES/CURRENT	89,016.00	83,898.35	83,447.58	51,905.60	-5,117.65	94.25
REAL ESTATE TAXES/PRIOR	50.00	0	12.98	0	-50.00	0.00
REAL ESTATE TAXES/DELINQUENT	0.00	736.84	417.72	476.15	736.84	0.00
REAL ESTATE TAXES/INTERIM	50.00	27.55	24.07	0	-22.45	55.10
INTEREST EARNINGS	1,000.00	3,198.46	6,614.28	1,055.79	2,198.46	319.85
DEVELOPER CONTRIBUTION TRAFFIC	0.00	132,000.00	0	0	132,000.00	0.00
ESTIMATED BEGINNING CASH BALANCE	222,130.00	0	0	0	-222,130.00	0.00
<b>FUND 30: Revenue Totals</b>	<b>312,246.00</b>	<b>219,861.20</b>	<b>90,516.63</b>	<b>53,437.54</b>	<b>-92,384.80</b>	
HIGHWAY EQUIPMENT FUND:	0	0	0	0	0	0.00
CAPITAL EXPENSE/SURPLUS EQUIP	0.00	0	80,850.74	0	0.00	0.00
TRANSFER TO OTHER FUNDS	145,000.00	24,843.16	0	0	120,156.84	17.13
<b>HIGHWAY EQUIPMENT FUND: Expenditure Tot</b>	<b>145,000.00</b>	<b>24,843.16</b>	<b>80,850.74</b>	<b>0.00</b>	<b>120,156.84</b>	
INTEREST EARNINGS	1,000.00	14,586.49	13,837.17	3,860.44	13,586.49	1,458.65
STATE FUEL TAX REVENUE SHARING	403,304.68	410,998.48	410,882.56	0	7,693.80	101.91
ESTIMATED BEGINNING CASH BALANCE	458,574.00	0	0	0	-458,574.00	0.00
<b>FUND 35: Revenue Totals</b>	<b>862,878.68</b>	<b>425,584.97</b>	<b>424,719.73</b>	<b>3,860.44</b>	<b>-437,293.71</b>	
LIQUID FUELS FUND:	0	0	0	0	0	0.00
SNOW REMOVAL:	0	0	0	0	0	0.00
SNOW REMOVAL	40,000.00	0	0	0	40,000.00	0.00
SALT/CINDERS-SNOW REMOVAL	40,000.00	92,473.38	0	0	-52,473.38	231.18
HIGHWAY CONTRUCTION & REBUILDING PROJECT	0	0	0	0	0	0.00
HWY PROJECTS/STATE	550,000.00	0	6,293.75	0	550,000.00	0.00
<b>LIQUID FUELS FUND: Expenditure Totals</b>	<b>630,000.00</b>	<b>92,473.38</b>	<b>6,293.75</b>	<b>0.00</b>	<b>537,526.62</b>	

Check #	Check Date	Vendor Name	Amount
16976	5/1/2025	EVERON FKA ADT COMMERCIAL	535.52
16977	5/1/2025	ALEXANDER KOMATICK	744.48
16978	5/1/2025	ALEXANDRIA MULLIN	80.75
16979	5/1/2025	ARMOUR & SONS ELECTRIC I	2,108.38
16980	5/1/2025	AT&T MOBILITY	259.37
16981	5/1/2025	BERGEY'S INC.	58.92
16982	5/1/2025	DOYLESTOWN WEB DESIGN LLC	225.00
16983	5/1/2025	KATHLEEN DAVIS	262.52
16984	5/1/2025	MCCALLION TEMPS, INC	440.64
16985	5/1/2025	RIGGINS INC.	2,260.02
16986	5/1/2025	SUSAN GELB	211.15
16987	5/1/2025	THE LERRO CORPORATION	7,248.45
16988	5/1/2025	VERIZON WIRELESS	2,083.61
16989	5/1/2025	ASSOCIATED TRUCK PARTS	133.42
16990	5/1/2025	BILL MITCHELL'S AUTO SERVICE I	100.27
16991	5/1/2025	CYNCON EQUIPMENT INC.	1,308.00
16992	5/1/2025	D.L. BEARDSLEY LTD	4,003.85
16993	5/1/2025	FLAGER & ASSOCIATES, P.C.	8,812.50
16994	5/1/2025	GILMORE & ASSOCIATES INC.	0.00
16995	5/1/2025	GILMORE & ASSOCIATES INC.	68,729.84
16996	5/1/2025	GRACIE GLOBAL, LLC	1,500.00
16997	5/1/2025	H & K MATERIALS	378.00
16998	5/1/2025	MCDONALD UNIFORM COMPANY	379.96
16999	5/1/2025	RICHTER DRAFTING & OFFICE SUPP	146.91
17000	5/1/2025	ROSE SCHWALM	180.00
17001	5/1/2025	Ryan Brunk	2,110.00
17002	5/1/2025	UNITED INSPECTION AGENCY INC.	1,390.00
17003	5/8/2025	ALL CLEAN! LLC	1,043.00
17004	5/8/2025	AQUA PENNSYLVANIA	1,399.50
17005	5/8/2025	ARMOUR & SONS ELECTRIC I	7,139.94
17006	5/8/2025	BERGEY'S INC.	432.85
17007	5/8/2025	BRIDGET KUNAKORN	184.06
17008	5/8/2025	BRYCE O'CONNOR	70.17
17009	5/8/2025	DAVID KEEBLER	50.00
17010	5/8/2025	DELL MARKETING LP	2,152.01
17011	5/8/2025	GEORGE ALLEN PORTABLE TOILETS	734.00
17012	5/8/2025	KELSEY C. GANTHER	375.01
17013	5/8/2025	KIM GOODWIN	141.85
17014	5/8/2025	KRISTIN CARPENTER	858.12
17015	5/8/2025	MARK S. DUNCAN JR.	56.60
17016	5/8/2025	MASTERS TELECOM LLC	87.82
17017	5/8/2025	MCCALLION TEMPS, INC	605.88
17018	5/8/2025	NORTH PENN WATER AUTHORIT	239.85

Check #	Check Date	Vendor Name	Amount
17019	5/8/2025	ROBERT E. LITTLE, INC.	313.01
17020	5/8/2025	RYAN LISCHKE	476.49
17021	5/8/2025	SUSETTE DUBIN	1,140.00
17022	5/8/2025	TUSTIN MECHANICAL SERVICES	2,346.50
17023	5/8/2025	VERIZON	110.99
17024	5/8/2025	VERIZON WIRELESS	52.24
17025	5/8/2025	ZANE SNYDER	198.95
17026	5/15/2025	BERGEY'S INC.	295.60
17027	5/15/2025	MOTOROLA SOLUTIONS INC.	7,019.99
17028	5/15/2025	PA ONE CALL SYSTEM, INC.	70.70
17029	5/15/2025	PRIMO BRANDS	105.13
17030	5/15/2025	RIGGINS INC.	3,537.14
17031	5/15/2025	SANDRA EZZO	428.72
17032	5/15/2025	VERIZON	169.59
17033	5/20/2025	A&A SALES ASSOCIATES, LLC	921.71
17034	5/20/2025	ADVANCED COLOR AND GRIND LLC	1,242.00
17035	5/20/2025	ASSOCIATED TRUCK PARTS	485.82
17036	5/20/2025	AutoZone, Inc.	117.47
17037	5/20/2025	B.R. SCHOLL SALES & SERVICE IN	1,993.79
17038	5/20/2025	CENTRAL BUCKS AMBULANCE	5,505.85
17039	5/20/2025	CHAL-BRIT REGIONAL EMS	86,258.21
17040	5/20/2025	CHALFONT FIRE COMPANY	182,081.27
17041	5/20/2025	CONSERVATION RESOURCES LLC	804.00
17042	5/20/2025	CURTIN & HEEFNER, LLP	276.00
17043	5/20/2025	D.L. BEARDSLEY LTD	82.00
17044	5/20/2025	DOYLESTOWN FIRE COMPANY	4,138.22
17045	5/20/2025	DUBLIN FIRE COMPANY	8,276.42
17046	5/20/2025	EASTERN AUTOPARTS WAREHOU	61.68
17047	5/20/2025	ESTABLISHED TRAFFIC CONTROL	3,108.00
17048	5/20/2025	GALLS, LLC	91.63
17049	5/20/2025	GANNETT PA LOCALIQ	1,076.33
17050	5/20/2025	GILMORE & ASSOCIATES INC.	60,067.58
17051	5/20/2025	H.A. BERKHEIMER INC.	71.36
17052	5/20/2025	HILLTOWN FIRE COMPANY	12,414.63
17053	5/20/2025	H & K MATERIALS	579.08
17054	5/20/2025	HOME DEPOT CREDIT SERVICES	981.04
17055	5/20/2025	INTEGRATED TURF MANAGEMENT INC	5,017.00
17056	5/20/2025	KENNETH CHANG	4,901.00
17057	5/20/2025	KEY BUSINESS SOLUTIONS	15.00
17058	5/20/2025	LANDIS BLOCK & CONCRETE	673.91
17059	5/20/2025	LMG FAMILY PRACTICE	155.00
17060	5/20/2025	MCDONALD UNIFORM COMPANY	659.02
17061	5/20/2025	NAPA AUTO PARTS - LANSDALE	342.09



Check #	Check Date	Vendor Name	Amount
17062	5/20/2025	STAPLES	384.55
17063	5/20/2025	UNITED INSPECTION AGENCY INC.	1,410.00
17064	5/20/2025	WEHRUNG'S	36.47
17065	5/20/2025	WITMER PUBLIC SAFETY GROUP, INC	303.56
17066	5/22/2025	DEL VALL PROP & LIABILITY TRST	38,452.50
17067	5/22/2025	DELAWARE VALLEY WORKERS' COMP	21,559.75
17068	5/22/2025	DVHT	85,384.67
17069	5/22/2025	MARIA CLANCY	50.00
17070	5/22/2025	MARK S. DUNCAN JR.	132.00
17071	5/22/2025	MaryBeth McCabe	72.56
17072	5/22/2025	MCCALLION TEMPS, INC	605.88
17073	5/22/2025	RANDAL TESCHNER	841.00
17074	5/22/2025	REPUBLIC SERVICES #320	7,922.33
17075	5/22/2025	RICHARD CLOUSER	2,500.00
17076	5/22/2025	SANDRA EZZO	380.00
17077	5/22/2025	TRAISR, LLC	2,200.00
17078	5/22/2025	VERIZON	200.38
17079	5/29/2025	EVERON FKA ADT COMMERCIAL	67.50
17080	5/29/2025	ARMOUR & SONS ELECTRIC I	337.50
17081	5/29/2025	AT&T MOBILITY	259.37
17082	5/29/2025	BERGEY'S INC.	2,068.14
17083	5/29/2025	BRIDGET KUNAKORN	207.55
17084	5/29/2025	CYNTHIA JONES	113.76
17085	5/29/2025	FINCH TURF INC.	29.08
17086	5/29/2025	KIM GOODWIN	129.51
17087	5/29/2025	LUCILLE JONES	120.00
17088	5/29/2025	MCCALLION TEMPS, INC	605.88
17089	5/29/2025	PAUL B. MOYER & SONS INC	1,149.52
17090	5/29/2025	RIGGINS INC.	2,966.25
17091	5/29/2025	ROBERT E. LITTLE, INC.	13.49
17092	5/29/2025	STANDARD INSURANCE COMPANY	4,210.38
17093	5/29/2025	STANDARD DIGITAL LEASING	516.76
17094	5/29/2025	ANN LAUGHLIN	7,292.17
17095	5/29/2025	BARRY ISETT & ASSOCIATES INC	500.00
17096	5/29/2025	BILL MITCHELL'S AUTO SERVICE I	167.14
17097	5/29/2025	BKS CTY PLANNING COMMISSION	1,655.00
17098	5/29/2025	BRITTON INDUSTRIES	100.00
17099	5/29/2025	B.R. SCHOLL SALES & SERVICE IN	41.00
17100	5/29/2025	CHAPMAN FORD OF HORSHAM	1,456.73
17101	5/29/2025	C.R. SUPPLIES	105.00
17102	5/29/2025	dunlapSLK	500.00
17103	5/29/2025	ECKERT SEAMANS CHERIN&MELLOTT	325.00
17104	5/29/2025	FLAGER & ASSOCIATES, P.C.	12,635.00

Check #	Check Date	Vendor Name	Amount
17105	5/29/2025	MCDONALD UNIFORM COMPANY	431.60
17106	5/29/2025	MONICA EVANS	968.24
17107	5/29/2025	ROSE SCHWALM	260.00
17108	5/29/2025	STANDARD DIGITAL IMAGING	86.57
17109	5/29/2025	STEPHENSON EQUIPMENT, INC.	2,062.08
17110	5/29/2025	THOMAS WEIDNER	1,350.00
17111	5/29/2025	UNITED INSPECTION AGENCY INC.	1,500.00
17112	5/29/2025	ZEP SALES AND SERVICE	120.40
			<b>726,710.65</b>

## MAY SUMMARY CASH RECEIPTS\*

BLDG RENT & WB CELL TOWER	1,604.72
BUILDING PERMITS	19,459.70
CABLE TV FRANCHISE FEE	52,829.28
CELL TOWER LEASE/N. BRANCH	2,626.14
CONTRIB,GRANTS,DONATION PRIVATE SECTOR	4,003.85
DISTRICT COURT FINES	1,248.25
ELECTRICAL PERMITS	3,950.00
EVENT REVENUE	475.93
FARMLAND LEASES	1,575.00
FIRE SAFETY INSPECTIONS	2,000.00
FUEL & OIL EQUIP	479.33
MISC REVENUE	6,743.10
OCCUPANCY - RESALES	1,350.00
OCCUPANCY PERMITS - NEW CONST	1,200.00
OVER COUNTER SALES	100.00
OVERTIME REIMBURSEABLES	2,698.00
PA UCC STATE FEE/PERMITS	103.50
PLUMBING/MECHANICAL PERMITS	6,800.00
POLICE & ACCIDENT REPORTS	515.00
ROAD OPENING PERMITS	150.00
STORMWATER MAINTENANCE FEES	942.00
USER FEES/FIELD USE	1,930.00
VEHICLE CODE VIOLATIONS	653.38
WELL PERMITS	825.00
ZONING HEARING BOARD	800.00
ZONING PERMITS	1,000.00
ZONING SUBDIVISION FILING FEES	900.00
Total	<u>\$ 116,962.18</u>

\*Excluding Taxes





# New Britain Township

## *Parks & Recreation*

### DEPARTMENTAL REPORT

YEAR: 2025

MONTH: May

### Township Property Maintenance:

The Parks and Recreation Department performed inspections of North Branch, West Branch, Highlands, Veteran's, and Pheasant Run Parks for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind New Britain Walk, along with biweekly inspections of the Greenway Trail behind the Coleman property.

The Parks and Recreation Department is performing the full weekly schedule for mowing and weed whacking maintenance at all parks ,along with all the open space areas and the Islands on New Britain Blvd, Hunter Way, and Manor Drive.

Parks and Recreation has been assisting Public Works with drainage when needed.

The PnR Department cleaned up all debris and mulched all playgrounds as needed the pictures below are an example from the North Branch Park rear playground.



*Before*



*After*



# New Britain Township

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## *Parks & Recreation*

### **Special Projects / Other:**

The Parks and Recreation Department is continuing to work periodically with the Township engineers on the replacement of the North Branch Tot Lot and #1 Pavilion.

The Parks and Recreation Foreman is categorizing all administrative duties as other, which includes all meetings, reports, minutes, and the gathering of information needed for certain projects.

The Parks and Recreation Department is continuing training of its newest employee.

### **Ballfield Maintenance:**

All baseball and softball fields are groomed on a daily as needed basis. Water is being removed and dispersed as needed.

### **Parks and Recreation Daily Hours:**

Township Property Maintenance:	398	Hrs.
Ballfield Maintenance:	25	Hrs.
Other/ Special Projects:	58	Hrs.



# New Britain Township

## *Public Works*

### Departmental Report

Year: 2025

Month: May

#### **Road Maintenance: 104 Hrs.**

- Public Works began road bank mowing and will continue as needed throughout the summer and fall seasons.

#### **Street Signs: 47 Hrs.**

- Installed/ repaired/ upgraded signs that were knocked down by motorists.

#### **Drainage: 287 Hrs.**

- Checked all storm sewer systems as needed, especially after heavy rainfall.
- Cleaned up storm debris at multiple culverts/ pipes after a couple of heavy rain events.
- Repaired/ replaced inlet tops: Holly Dr. and Willowwood Dr.

#### **Township Property Maintenance: 94 hrs.**

- Trimmed overgrown vegetation around signs, guard rails, intersections for visibility.
- Cleaned and organized shop and pole barns.

#### **Equipment Maintenance: 136 Hrs.**

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Oil changes and preps for inspections were performed.
- Replaced brakes on 48-29 Mack 6-wheel dump truck.
- Road Bank Mower was serviced before use. All cutting blades were replaced on the flail mowing head.

#### **Other: 45 Hrs.**

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.
- Public Works picked up materials and equipment for the Keller Rd. Bridge project.
  - Silt sock for erosion, non-woven filter fabric, mini excavator, etc.





# New Britain Township Police Department



Monthly Report

May 2025

## Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2024

Objective 2: Leadership and Instructor succession planning

Objective 3: Improve upon investigations

Objective 4: Develop Officer Safety and Wellness program

## Result of Goals and Objectives:

Objective 1: New Galena and Sellersville Road Intersection Enhancements

Objective 2: Additional FTO being added.

Objective 3: ALPR technology to be deployed in June 2025.

Objective 4: Multiple officers scheduled to attend VALOR training

## Significant Events:

### Completed:

- 630 Calls For Service/580 Directed Patrols/96 Vehicle Stops
- Co-Responder program - Scott Marshall
- Deployment of new records management system (Cody-Pathfinder)
- 
- 

### Upcoming:

- Entry Level Police Officer
- Coffee with a Cop - June 20th 8-10 am @ Bagel Barn
- July 4th Parade
- 
-



# New Britain Township Police Department



Monthly Report

May 2025

## Performance Statistics:

Part 1 Crimes	28 Day		
	2025	2024	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	1	0	#DIV/0!
Aggravated Assault	0	0	N/A
Burglary	0	1	-100.00%
Theft	3	2	50.00%
Auto Theft	0	0	N/A
Arson	0	0	N/A
<b>Totals</b>	<b>4</b>	<b>3</b>	<b>33.33%</b>

Part 2 Crimes	28 Day		
	2025	2024	% of Change
Assault (Non-Aggravated) / Harassment	2	0	#DIV/0!
Fraud	1	2	-50.00%
Vandalism / Criminal Mischief	0	1	-100.00%
Disorderly Conduct	0	0	N/A
Drug Violations	0	1	-100.00%
Driving Under the Influence	0	3	-100.00%
Public Drunkenness	1	2	-50.00%
Weapons Offenses	2	0	#DIV/0!
All Other Offenses (Except Traffic Related)	1	1	N/A
<b>Totals</b>	<b>7</b>	<b>10</b>	<b>-30.00%</b>

Motor Vehicle Accidents	28 Day		
	2025	2024	% of Change
Non-Reportable	13	8	62.50%
Reportable	4	7	-42.86%
Fatal	0	0	N/A
<b>Totals</b>	<b>17</b>	<b>15</b>	<b>13.33%</b>





# New Britain Township Police Department



Monthly Report

May 2025

## Performance Statistics:

Part 1 Crimes	Year to Date		
	2025	2024	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	1	0	#DIV/0!
Aggravated Assault	0	0	N/A
Burglary	3	1	200.00%
Theft	12	17	-29.41%
Auto Theft	0	0	N/A
Arson	0	0	N/A
<b>Totals</b>	<b>16</b>	<b>18</b>	<b>-11.11%</b>

Part 2 Crimes	Year to Date		
	2025	2024	% of Change
Assault (Non-Aggravated) / Harassment	13	9	44.44%
Fraud	3	11	-72.73%
Vandalism / Criminal Mischief	3	4	-25.00%
Disorderly Conduct	1	1	N/A
Drug Violations	2	5	-60.00%
Driving Under the Influence	6	10	-40.00%
Public Drunkenness	2	2	N/A
Weapons Offenses	2	0	#DIV/0!
All Other Offenses (Except Traffic Related)	4	13	-69.23%
<b>Totals</b>	<b>36</b>	<b>55</b>	<b>-34.55%</b>

Motor Vehicle Accidents	Year to Date		
	2025	2024	% of Change
Non-Reportable	41	55	-25.45%
Reportable	37	33	12.12%
Fatal	0	0	N/A
<b>Totals</b>	<b>78</b>	<b>88</b>	<b>-11.36%</b>



<b>General Services Projects</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
NBT Stormwater MS4	Township Urbanized Area	Final Permit Report and Annual Report due 9/2025; DEP Mtg held 2/19/25 RE: Annual Report; Inspection Report received from DEP 2/28/25. Annual Report review received 3/24/25. County-wide Act 167 Plan being drafted by County with Final Report and Model Ordinance anticipated for 4/2026.
Keller Road Bridge	Keller Road	DEP Insp Report rec'd 10/16/24; PennDOT priority ltr rec'd 11/13/24; Plan of Action issued to PennDOT (streambank and pavement deterioration and guiderail embedment to be addressed by end of May 2025); GP-11 permit rec'd 2/28/25; Informal Pre-Con Mtg held for streambank stabilization 3/10/25; No recent action by our office on future bridge/deck repair/replacement;
Neshaminy Greenway Trail - Coleman Property Connection	1606 Upper State Road	Maintenance period expired 5/1/25 for AHCornell project; PW to complete final grading; Grant documentation submitted to DCNR for reimbursement. Phase 2: No recent action by our office regarding future project scope, planning, and phasing.
Ordinance Amendments		Attended 2/25/25 PC and 3/5/25 EAC to answer questions; Incorporated comments by NBTPC and BCPC; BOS discussed at 4/21/25 Mtg. NBTPC recommended approval at 5/27/25 Mtg; Authorization to Advertise on Agenda for BOS 6/16/25
Road Program		2025 Road Program Teal Dr, Goldeneye, Janton Way, Green Valley, Nicholas, Michaels; Bid Awarded 5/19/25; Work anticipated for July
North Branch and Pine Run Park Upgrades	Forrest Park Drive to Cayuga Circle	Authorized to apply for grant at 2/24/25 BOS Mtg; Staff mtg held 4/1/25; Grant submitted 5/23/25; Anticipate response late fall
<b>Subdivision and Land Development Projects - Planning and Reviews</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
D'Alessio Subdivision	315 Old Limekiln Road	2 new single-family homes; Final Plan Approval 9/26/22; Waiting for Record Plans/Agreements; Legal descriptions approved 2/2025; Solicitor preparing agreements; Engineer preparing Record Plans
Byer's Choice	4355 County Line Road	Staff meeting 3/21/24 to discuss potential Subdivision/LD; G&A Sketch Plan rvw issued 8/14/24; No recent action
180 New Britain Boulevard Land Development	354 Schoolhouse Road	Consolidation of two parcels and expansion of parking and loading areas. Eng Sketch Rvw issued 1/16/23; Attended 1/24/23 PC and 2/6/23 BOS. Rec'd variance and special exception at 6/22/23 ZHB; No recent action
Petrucci Land Development /NBCC	Manor Drive	Age-Restricted Apartments, Medical Office, Senior Living Facility and/or 60,000-SF Warehouse/Office; Sketch Rvw (Warehouse) issued 6/9/22; attended 6/28/22 PC, 7/11/22 BOS, 11/2/22 Staff Mtg, 12/1/22 BOS, 2/14/23 Staff Mtg, 4/3/23 BOS; ZHB Decision dated 11/20/23; Staff mtg held 4/2025 to discuss townhome use by Fox Lane Homes;
141 Independence Lane Land Development	141 Independence Lane	92,825-SF warehouse; Received variances from ZHB; Prel/Final Plans approved 10/17/22; Plans approved 5/25/23; BCCD approval rec'd 2/25
Spotless Car Wash	545 W. Butler Avenue	Sketch Plan issued 9/10/24; Attended 9/24/24 PC; Staff mtg 11/7/24; Renderings reviewed at 12/9/24 BOS Mtg; Variances granted at ZHB 1/23/25; Preliminary Plans being revised; Tentatively scheduled for 6/24/25 PC Mtg

### Subdivision and Land Development Projects - Planning and Reviews (continued)

Project Name	Location	Status
Casadonti Minor Subdivision	140 Upper Church Road	One new lot, two new single-family dwellings; 3/25/25 PC Mtg recommended approval and waivers; Approved at 5/19/25 BOS Mtg
W.B. Homes	Barry Road	4-lot Subd. Attended 9/24/24 PC; Presented Sketch at 11/18/24 BOS Mtg- 3/25/25 PC Mtg recommended prel/final approval and waivers; Applicant will revise and resubmit plans for review prior to attending BOS Mtg; BCPC & EAC Rvw rec'd;
Ferry Road - Lot Line Change	256 Ferry Road & 393 Old Iron Hill Road	Lot Line Change Rvw (Solana) issued 9/17/2024; Review Ltr issued 2/24/25; 3/25/25 PC Mtg recommended prel/final approval and waivers; Approved at 5/19/25 BOS meeting
Sheetz (Hatfield Twp)	1100 Bethlehem Pike	Site of Zoto's Diner. PennDOT mtg held 10/16/24 to discuss scope of Traffic Impact Study; No comments on Traffic Study
Bucks County	226 Chapman Road	Rezone residential property from Watershed to Conservation Recreation Zoning District for a Public Recreation Use; Tent scheduled for 6/24/25 PC Mtg
Tractor Supply (Celeg Chalfont LLC)	241 W. Butler Avenue	Requested Zoning Determination 11/19/24; Conditional Use Plan being revised and resubmitted; Tent scheduled for 6/24/25 PC Mtg
65 Newville Road Minor Subd	65 Newville Road	1 new single-family lot proposed; Tent Scheduled for 6/24/25 PC

### Subdivision and Land Development Projects - Under Construction

Project Name	Location	Status
Estates at Julius Farm (PRDC)	Dorothy Lane & Anna Way	Escrow Rel 5 approved 9/4/19. Development paved 11/14/22. Punchlist being addressed. 5/8/24 Staff Mtg; Site Mtg held 5/23/24; Dorothy Lane and Anna Way to be dedicated and maintenance period to commence. Discussed basin inspection with Rick Mast in May 2025
Tecce Minor Subdivision	9 Sellersville Road	Plans recorded 8/3/22; Driveway waiver approved 2/6/23; Revised Plot Plan approvals 9/23/23. Pre-Con 10/4/23. TCO recommendations issued 2/7/25; Requested Asb Plans;
84 Schoolhouse Road	84 Schoolhouse Road	5-Lot SFD LD with hammerhead cul-de-sac rd. Pre-Con Mtg held 12/20/23; Release 1 apprvd 3/14/24; Bulk site work completed, Approved Lots 1-5 for Zoning permits. Recommended TCO's for all five lots.
Highpoint Land Development	1 Highpoint Drive	CU apprvd for 137 units (twins/towns). Prelim/Final apprvl 4/14/22; Pre-Con 7/6/23; Amended Final Plans approved 11/20/23 and recorded; Rel 2 apprvd 2/24/25; 88 units under construction of 137; 27 TCO's issued;
Clauser Tree Care	324 Schoolhouse Road	Amended Final apprvd 3/4/24; PreCon held 10/23/24; Escrow Rel1 approved 4/21/25
County Builders Mixed Use	409 West Butler Avenue	Site work for 70-Unit Apt Bldg; Site seeded and stabilized; parking lot paved; Mtg with Mr. Cain 6/18/24; Street light bases added. Release 2 apprvd and Asbuilt Plan rvw issued; Discussed field change with Developer on 5/30/25; No recent action by our office regarding future Phase 2
Prestige/Defelice Minor Subd	137/141 S. Limekiln Pike	One new SFD lot; 2/23/23 ZHB; Approved by BOS on 6/19/23; Pre-Con 3/13/24; Fnl asbuilt plan rvw issued; TCO issued 5/7/25
MarMar Major Subdivision (fka Lohin)	Township Line Road and Walter Road	7-Lot Subd and LD with new private cul-de-sac rd. Approved by BOS 9/27/21; Pre-Con for "7 Walters LLC" (MarMar Builders) held 6/27/24; Road stoned and basins installed; No Plot Plans submitted to date
Benner Subdivision	Dolly Lane	3 new SFD lots. Pre-Construction Mtg 8/6/24; Rev Plot Plan under rvw for Lot 1; Private drive stoned, Basin installed



**Subdivision and Land Development Projects - Under Construction (continued)**

<b>Project Name</b>	<b>Location</b>	<b>Status</b>
Casadonti Subdivision and Land Development	396 King Road	5 new SFD lots; Residents concerned with uplighting, road widening, and well impacts. BOS apprvd at 9/25/23 mtg (Res 2023-21); Plans apprvd 2/1/24; Pre-Construction Mtg held 9/26/24; Phase 1 under construction including clearing ultimate ROW, new road, and rain gardens. Esc Rel1 apprvd at 1/6/25 BOS mtg; Roadway and basin installed
Mortimer Minor Subdivision	Curley Mill Road	Litigation settled 5/16/22 for 1 new SFD lot; BOS approved Prel/Final Plan 11/21/22; Plans recorded 4/24; Site improvements installed and house constructed
98 Railroad (Senior Construction)	98 Railroad Avenue	3 new SFD's, 1 Existing SFD to remain; Amended final approval 5/21/21; Pre-Construction Mtg held 12/17/24; Plot Plan approval issued for Lot 3 1/21/25;
C.P. Rankin	4359 County Line Road	31,000-SF building addition for 9 warehouse spaces; PC apprvd 10/24/23; BOS approved 11/20/23; Pre-Con 1/2/25;
123 Creek Road Minor Subdivision (Labrozzi)	123 Creek Road	BOS approved 11/20/23; Rev. Resolution approved 3/4/24; Record Plans and Agreements recorded 12/19/24; Pre-Construction mtg held 4/29/25
Toll Brothers Land Development (Birch Run)	County Line Road	44 Townhomes; 5/1/23 Conditional Use Hearing; Adjudication approved 7/17/23; Prel Plan Approval 4/1/24 BOS; Final Plan BOS Approval 6/17/24; Agreements/Record Plans being signed/recorded; Pre-Con Meetings held 3/14 and 3/18/25;

**Subdivision and Land Development Projects - In Maintenance Period**

<b>Project Name</b>	<b>Location</b>	<b>Status</b>
New Britain Woods (Toll Brothers)	Haines Court and Rowland Lane	Recommended dedication 8/15/24; NBT to add to Liquid Fuels; Twp approved deed of dedication at 1/27/25 BOS Mtg
Mill Ridge Land Development	Mill Ridge Drive	8 new SFD's and new cul-de-sac rd. Dedication Resolution apprvd at 1/23/23 BOS Mtg. NBT to add to liquid fuels. G&A and NBTPW issued maintenance punchlist 5/31/24 which is partially completed
Naplin LD (Nappen & Associates)	4371 County Line Road	Plans recorded 8/22. Township previously discussed acquiring ROW along CLR to accommodate future widening at Richardson Road. G&A recommended TCO for Units C/D (Benchmark) 4/29/24; As-Blt Plan apprvd; Escrow Rel 5 apprvd 12/9/24; Maintenance period to end May/June 2026