



# New Britain Township

## Board of Supervisors

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### *Business Meeting*

**Monday, January 27, 2025**

**7:00 PM – Business Meeting**

### **Agenda**

#### **Business Meeting**

**1. Call to Order**

**2. Pledge of Allegiance**

**3. Chair Comments**

- A. The board met in Executive Session before this meeting to discuss personnel and litigation matters.

**4. Presentation/ Public Hearings/ Land Development**

- A. Chal-Brit Regional EMS – Holly Pulido

**5. Motion to Consider Consent Agenda**

- A. Approve Minutes of January 6th, 2025, Board of Supervisors Meeting.  
B. Approve Regular Bill List as Follows:  
• Dated January 22, 2025, In the amount of \$152,110.50.  
C. Approve Prepaid Bill List as Follows:  
• Dated January 9, 2025, In the amount of \$54,343.84.  
• Dated January 15, 2025, In the amount of \$5,568.80.  
• Dated January 22, 2025, In the amount of \$125,344.09.

**6. Action Items**

- A. Consider a motion to transmit Ordinance 2025-\_\_ NBT Zoning Amendment and SALDO to the NBT Planning Commission and the Bucks County Planning Commission  
B. Consider a motion to approve New Britain Woods - Deed of Dedication  
C. Consider a motion to approve the Resolution 2025-03 Tax Collector 2025-2028 Salary  
D. Discussion on the following Zoning Hearing Board Application  
• 1100 Manor Drive - Calvary Chapel of Central Bucks  
E. Consider a motion to approve the Memorandum of Understanding between New Britain Township and the New Britain Township Police Benevolent Association  
F. Consider a motion to approve the Lenape Valley Baseball request to Repaint the Dugouts at North Branch Park  
G. Consider a motion to approve the Lenape Valley Baseball request to add an additional Port-O-Pot at North Branch Park  
H. Consider a motion to accept and approve the resignation of Kristen Ives from the Planning Commission

## 7. Information Items

- A. Departmental Reports
  - Finance
  - Park & Recreation
  - Public Works
  - Police
- B. Engineer's Report
- C. Board of Supervisor's Comment

## 8. Public Comment

## 9. Announcements

- A. Canceled – Planning Commission Meeting – Tuesday January 28<sup>th</sup> at 7pm.
- B. Canceled – Board of Supervisors Meeting – Monday, February 3<sup>rd</sup> at 7pm.
- C. Environmental Advisory Council Meeting – Wednesday, February 5<sup>th</sup> at 7pm.
- D. Township Building Closed – Monday, February 17<sup>th</sup>.
- E. Park and Recreation Board Meeting – Tuesday February 18<sup>th</sup> at 7pm.
- F. Veterans Committee Meeting – Wednesday, February 19<sup>th</sup> at 6pm.
- G. Zoning Hearing Board Meeting – Thursday, February 20<sup>th</sup> at 7pm.

## 10. Adjournment

*The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, February 24, 2024, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. Agenda and meeting materials are posted to the Township website prior to the meeting date at [www.newbritaintownship.org](http://www.newbritaintownship.org).*

**BOARD OF SUPERVISORS  
MEETING MINUTES  
January 6, 2025**

The Board of Supervisors Meeting of New Britain Township was held on Monday, January 6, 2025, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones - Chair, MaryBeth McCabe – Vice-Chair, Stephanie Shortall, and Bridget Kunakorn. Also present were Dan Fox-Township Manager, Craig Kennard - Township Engineer, Adam Flager - Township Solicitor, and Chief Richard Clowser.

**1. Call to Order:** Cynthia Jones called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance:** Cynthia Jones led the Board and public in the Pledge of Allegiance.

**3. Reorganization**

A. Pledge of Allegiance

B. Nomination for Chair

Cynthia Jones was nominated for Chair.

C. Election of Chair

MaryBeth McCabe motioned to approve the nomination. Seconded by Bridget Kunakorn.

All voted aye, motion carried 3-0.

D. Nomination for Vice-Chair

MaryBeth McCabe was nominated for Vice-Chair.

E. Election of Vice-Chair

Bridget Kunakorn motioned to approve the nomination. Seconded by Cynthia Jones.

All voted aye, motion carried 3-0.

**4. Chair Comments** Cynthia Jones stated that the Board met in Executive session, prior to this meeting, to discuss personnel matters and litigation items.

## **5. Presentation/ Public Hearings/ Land Development**

## **6. Motion to Consider Consent Agenda**

Stephanie Shortall moved, seconded by MaryBeth McCabe, to approve the Consent Agenda:

- A.** Approve Minutes of December 9<sup>th</sup>, 2024, Board of Supervisors Meeting.
- B.** Approve Regular Bill List as Follows:
  - Dated December 18, 2024, In the amount of \$81,413.61.
  - Dated December 27, 2024, In the amount of \$27,403.08.
- C.** Approve Prepaid Bill List as Follows:
  - Dated December 12, 2024, In the amount of \$35,247.30.
  - Dated December 18, 2024, In the amount of \$3,312.71.
  - Dated December 27, 2024, In the amount of \$14,666.62.
- D.** Approve Escrow Release #1 for 396 King Road (Casadonti Homes, Inc.) in the amount of \$136,352.00.
- E.** Approve Escrow Release #4 (Final) for 180 New Britain Blvd (180 New Britain Blvd Associates, LLC) in the amount of \$20,423.25.

There were no public comments.

All voted aye, motion carried 4-0.

## **7. Action Items**

- A.** Consider a motion to adopt and approve Resolution 2025-01 2025 Appointments, Reappointments, and Modifications of Appointments, effective January 6<sup>th</sup>, 2025.

Bridget Kunakorn motioned to approve the Resolution. Seconded by MaryBeth McCabe.

There were no public comments.

All voted aye, motion carried 4-0.

**B. Consider a motion to approve 2025 Meeting Dates and Township Calendar**

Stephanie Shortall motioned to approve the Schedule. Seconded by MaryBeth McCabe.

There were no public comments.

All voted aye, motion carried 4-0.

**C. Consider a motion to appoint members to the following Commissions, Committees, Chairs, Authorities, and Council**

- Planning Commission – 4 Year Term (Expiration 12/31/2028) – 2 seats
  - Re-Appoint Deb Rendon
    - MaryBeth McCabe motioned to approve the appointment. Seconded by Bridget Kunakorn.
    - All voted aye, motion carried 4-0.
  - Appoint Jeff Bergman
    - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
    - McCabe, Kunakorn, Jones approved the motion.
    - Shortall did not.
    - The motion carried 3-1.
- Zoning Hearing Board – 5 Year Term (Expiration 12/31/2029) – 1 seat
  - Appoint Steve Gudknecht
    - MaryBeth McCabe motioned to approve the appointment. Seconded by Bridget Kunakorn.
    - All voted aye, motion carried 4-0.
- Zoning Hearing Board Alternate – 3 Year Term (Expiration 12/31/2027) – 1 seat
  - Appoint Kristin Ives
    - Bridget Kunakorn motioned to approve the appointment. Seconded by MaryBeth McCabe.
    - McCabe, Kunakorn, and Jones approved the motion.
    - Shortall did not.
    - The motion carried 3-1.
  - Appoint Ryan Wantz
    - Stephanie Shortall motioned to approve the appointment.
    - The motion did not pass.

- Environmental Advisory Council – 3 Year Term (Expiration 12/31/2027) – 2 seats
  - Re-Appoint Carol Weston-Young
    - MaryBeth McCabe motioned to approve the appointment. Seconded by Bridget Kunakorn.
    - McCabe, Kunakorn, and Jones approved the motion.
    - Shortall did not.
    - The motion carried 3-1.
  - Appoint Jamie Walker
    - Stephanie Shortall motioned to approve the appointment.
    - The motion did not pass.
  - Appoint Lucy Jones
    - Bridget Kunakorn motioned to approve the appointment. Seconded by MaryBeth McCabe.
    - McCabe, Kunakorn, and Jones approved the motion.
    - Shortall did not.
    - The motion carried 3-1.
  
- Park & Recreation – 5 Year Term (Expiration 12/31/2029) – 2 seats
  - Re-Appoint Jessica Young
    - MaryBeth McCabe motioned to approve the appointment. Seconded by Bridget Kunakorn.
    - All voted aye, motion carried 4-0.
  - Appoint James Ivers
    - Bridget Kunakorn motioned to approve the appointment. Seconded by MaryBeth McCabe.
    - All voted aye, motion carried 4-0.
  
- Veterans Committee – 1 Year Term (Expiration 12/31/2025) – 5 seats
  - Re-Appoint Marco Tustanowsky
    - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
    - All voted aye, motion carried 4-0.
  - Re-Appoint Stephen Pirrello
    - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
    - All voted aye, motion carried 4-0.
  - Re-Appoint Angelo Barone
    - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
    - All voted aye, motion carried 4-0.

- Re-Appoint Stephen Ball
    - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
    - All voted aye, motion carried 4-0.
  - Appoint Debbie Bugno
    - Bridget Kunakorn motioned to approve the appointment. Seconded by MaryBeth McCabe.
    - All voted aye, motion carried 4-0.
  - Vacancy Board Chair – 1 Year Term (Expiration 12/31/2028) – 1 seat
    - Re-Appoint Sarah Baik
      - Bridget Kunakorn motioned to approve the appointment. Seconded by MaryBeth McCabe.
      - All voted aye, motion carried 4-0.
  - Chalfont/New Britain Joint Sewage Authority – 5 Year Term (Expiration 12/31/2029) – 1 seat
    - Re-Appoint Michael Sullivan
      - MaryBeth McCabe motioned to approve the appointment. Seconded by Stephanie Shortall.
      - All voted aye, motion carried 4-0.
  - Building Code of Appeals – 3 Year Term (Expiration 12/31/2027) – 1 seat
    - Re-Appoint Tom Gockowski
      - Bridget Kunakorn motioned to approve the appointment. Seconded by Stephanie Shortall.
      - All voted aye, motion carried 4-0.
- D. Consider a motion to act regarding the ZHB Application of Spotless Brands, LLC for 545 West Butler Pike**

MaryBeth McCabe motioned to not oppose application. Seconded by Bridget Kunakorn.

There were no public comments.

All voted aye, motion carried 4-0.

- E. Consider a motion to act regarding Plumstead Christian School - Waiver of Land Development Approval

Stephanie Shortall motioned to approve the Resolution 2025-02.  
Seconded by MaryBeth McCabe.

There were no public comments.

All voted aye, motion carried 4-0.

- F. Consider a motion to approve the New Galena and Sellersville Road Intersection Improvement

Tabled until further review.

There were no public comments.

## **8. Information Items**

- A. Engineer's Report.
- B. Board of Supervisor's Comment

## **9. Public Comment**

## **10. Announcements**

The next meeting of the Board of Supervisors of New Britain Township will take place on **Monday, January 27, 2025, at 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA.

## **11. Adjournment**

Stephanie Shortall moved, seconded by MaryBeth McCabe, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:54 pm.



**NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS**

\_\_\_\_\_  
Cynthia M. Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice-Chair

\_\_\_\_\_  
William B. Jones, III, Member

Attest: \_\_\_\_\_  
Dan Fox, Township Manager

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
Bridget Kunakorn, Member



# MEMO

**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** January 23, 2025  
**SUBJECT:** Schedule of Bills - Regular

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Approve regular bills list dated January 22, 2025, in the amount of \$152,110.50.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_



P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All Include Non-Budgeted: Y  
 Rcvd Batch Id Range: KG0106RG to KG0106RG

Open: N Paid: N Void: N  
 Rcvd: Y Held: Y Aprv: N  
 Bid: Y State: Y Other: Y Exempt: Y  
 Prior Year Only: N \* Means Prior Year Line

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account Acct Type Description	Stat/Chk	First Rcvd	Chk/Void	Invoice	1099
	Item Description				Enc Date Date	Date		Excl
<b>ALDER010 ALDERFER GLASS COMPANY</b>								
	25000052 01/13/25 WINDSHIELD 48-03							
	1 WINDSHIELD 48-03		480.00 01-410-370 E VEHICLE MAINT/REPAIRS-OUTSIDE	R	01/13/25	01/13/25	10204222	N
	Vendor Total:		480.00					
<b>ALLTR010 ALL TRAFFIC SOLUTIONS INC.</b>								
	25000048 01/07/25 2025 TRAFFIC COUNTER MEMB							
	1 2025 TRAFFIC COUNTER MEMB		6,950.00 01-410-223 E TRAFFIC COUNTER	R	01/07/25	01/07/25	SIN043365	N
	Vendor Total:		6,950.00					
<b>ASSOC010 ASSOCIATED TRUCK PARTS</b>								
	24001867 12/31/24 VEHICLE PARTS - PW							
	1 VEHICLE PARTS - PW		146.96 01-437-300 E VEHICLE REPAIRS	R	12/31/24	12/31/24	06P16570	N
	Vendor Total:		146.96					
<b>AUTOZ005 AutoZone, Inc.</b>								
	25000024 01/02/25 PARTS							
	1 PARTS		35.99 01-437-300 E VEHICLE REPAIRS	R	01/02/25	01/02/25	06203629462	N
	Vendor Total:		35.99					
<b>BARRY010 BARRY ISETT &amp; ASSOCIATES INC</b>								
	25000031 01/10/25 EMERGENCY MGMT SERVICES							
	1 EMERGENCY MGMT SERVICES		500.00 01-415-100 E EMERGENCY MANAGEMENT ADMIN EXP	R	01/10/25	01/10/25	0196460	N
	Vendor Total:		500.00					

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
<b>BEEBERG Bee Bergvall &amp; Co</b>									
24001870	01/02/25 ACCOUNTING SERVICES								
	1 ACCOUNTING SERVICES		805.00 01-402-300	E PAYROLL SERVICES & ACCOUNTING	R	01/02/25	01/02/25	42442	N
25000069	01/16/25 ACCOUNTING SERVICES								
	1 ACCOUNTING SERVICES		700.00 01-402-300	E PAYROLL SERVICES & ACCOUNTING	R	01/16/25	01/16/25	42509	N
	Vendor Total:		1,505.00						
<b>BKSCT050 BKS CTY PLANNING COMMISSION</b>									
24001827	12/18/24 OPEN SPACE PLAN UPDATE								
	1 OPEN SPACE PLAN UPDATE		525.00 04-470-200	E OPEN SPACE MAINTENANCE	R	12/18/24	12/18/24	CC26-11-24	N
24001909	01/13/25 OPEN SPACE PLAN UPDATE								
	1 OPEN SPACE PLAN UPDATE		710.00 04-414-150	E CONSULTANT/LAND PRESERVATION	R	01/13/25	01/13/25	CC26-12-24	N
	Vendor Total:		1,235.00						
<b>BLUEB015 BLUE BUS HOLDINGS LLC</b>									
25000045	01/13/25 REFUND OF ESCROW								
	1 REFUND OF ESCROW		23,049.79 90-414-600	E REFUND OF ESCROW	R	01/13/25	01/13/25	011325	N
	Tracking Id: 16-0200-00 MODE TRANSPORTATION								
	Vendor Total:		23,049.79						
<b>BODEC005 BODE CELLMARK FORENSICS, INC.</b>									
25000039	11/14/24 BODE HITS ANNUAL								
	1 BODE HITS ANNUAL		3,000.00 01-410-761	E DNA CONSORTIUM	R	11/14/24	11/14/24	24358	N
	Vendor Total:		3,000.00						
<b>BUCKS030 BUCKS COUNTY CONSORTIUM</b>									
25000026	01/01/25 2025 MEMBERSHIP DUES								
	1 2025 MEMBERSHIP DUES		300.00 01-400-300	E GENERAL ADMIN EXPENSE	R	01/01/25	01/01/25	010125	N
	Vendor Total:		300.00						





Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl	
<b>DEL-V010 DEL-VAL INTERNATIONAL TRUCKS I</b>												
	24001899	01/20/25	VEHICLE REPAIR - PW 48-27									
	1		VEHICLE REPAIR - PW 48-27	4,820.57	01-437-300		E VEHICLE REPAIRS	R	01/20/25	01/20/25	1538628	N
	25000057	01/20/25	TIRE MOUNT - PW 48-27									
	1		TIRE MOUNT - PW 48-27	97.50	01-437-300		E VEHICLE REPAIRS	R	01/20/25	01/20/25	1538777	N
	Vendor Total:			4,918.07								
<b>DIAMO010 DIAMOND MOWERS INC.</b>												
	24001852	01/09/25	ROAD BANK MOWER REPAIRS									
	1		ROAD BANK MOWER REPAIRS	353.08	01-437-300		E VEHICLE REPAIRS	R	01/09/25	01/09/25	275270	N
	Vendor Total:			353.08								
<b>DOYLE060 DOYLESTOWN FIRE COMPANY</b>												
	24001892	01/06/25	4TH QTR 2024 DISTRIBUTION									
	1		4TH QTR 2024 DISTRIBUTION	10.05	03-411-500		E CONTRIBUTIONS TO FIRE COMPANIES	R	01/06/25	01/06/25	Q4 2024	N
	24001896	01/06/25	LST DISTRIBUTION DEC 2024									
	1		LST DISTRIBUTION DEC 2024	19.57	03-411-501		E LST CONTRIBUTION FIRE	R	01/06/25	01/06/25	010625	N
	Vendor Total:			29.62								
<b>DUBLI010 DUBLIN FIRE COMPANY</b>												
	24001891	01/06/25	4TH QTR 2024 DISTRIBUTION									
	1		4TH QTR 2024 DISTRIBUTION	20.10	03-411-500		E CONTRIBUTIONS TO FIRE COMPANIES	R	01/06/25	01/06/25	Q4 2024	N
	24001895	01/06/25	LST DISTRIBUTION DEC 2024									
	1		LST DISTRIBUTION DEC 2024	39.14	03-411-501		E LST CONTRIBUTION FIRE	R	01/06/25	01/06/25	010625	N
	Vendor Total:			59.24								
<b>DUNLA010 dunlapSLK</b>												
	24001874	01/06/25	2024 AUDIT									
	1		2024 AUDIT	2,500.00	01-402-310		E APPOINTED AUDITOR	R	01/06/25	01/06/25	117781	N
	Vendor Total:			2,500.00								





Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Exc1
<b>GAREY005 GAREYS TRUCK FRAME AND REPAIR</b>										
	25000025 01/10/25 NEW FRAME RAILS - 2004 MAC									
	1 NEW FRAME RAILS - 2004 MAC		20,000.00	18-438-710	E MAJOR EQUIPMENT PURCHASES	R	01/10/25	01/10/25	011025	N
	Vendor Total:		20,000.00							
<b>GILMO010 GILMORE &amp; ASSOCIATES INC.</b>										
	24001882 12/29/24 ENGINEERING EXPENSES									
	1 ENGINEERING EXPENSES		505.00	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500272	N
	Tracking Id: 16-0300-00 4373 COUNTY LINE NAPLIN SUBDIV&LAND DEVELOP									
	2 ENGINEERING EXPENSES		376.25	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500273	N
	Tracking Id: 19-1400-00 ELAINES LANE - FOX LANE HOMES									
	3 ENGINEERING EXPENSES		298.50	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500274	N
	Tracking Id: 15-0200-00 9 SELLERSVILLE RD - TECCE SUBDIVISION									
	4 ENGINEERING EXPENSES		3,385.98	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500277	N
	Tracking Id: 16-1300-00 TOWNSHIP LN/WALTERS RD - MAR MAR BLDRS - 7 HOMES									
	5 ENGINEERING EXPENSES		1,339.33	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500278	N
	Tracking Id: 17-1100-00 84 SCHOOLHOUSE - HALLMARK									
	6 ENGINEERING EXPENSES		537.50	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500279	N
	Tracking Id: 18-0100-02 123 CREEK RD - LABROZZI									
	7 ENGINEERING EXPENSES		1,547.37	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500280	N
	Tracking Id: 19-1600-00 98 RAILROAD AVE - RAILROAD 3 LLC/RONDEAU BROS LLC									
	8 ENGINEERING EXPENSES		2,111.20	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500281	N
	Tracking Id: 20-1000-00 1 HIGHPOINT DRIVE - METROPOLITAIN SERVICE GROUP									
	9 ENGINEERING EXPENSES		920.00	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500282	N
	Tracking Id: 20-0600-00 (ADDRESS) SHARON&VINICIO DALESSIO AUDAX HOMES									
	10 ENGINEERING EXPENSES		206.25	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500283	N
	Tracking Id: 20-1600-00 DOLLY LANE - PRIME DEVL P/PRIME BLDRS BENNER SUBDIV									
	11 ENGINEERING EXPENSES		773.12	01-414-313	E ENGINEERING PLANNING/ZONING	R	12/29/24	12/29/24	PS-INV2500284	N
	12 ENGINEERING EXPENSES		330.00	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500285	N
	Tracking Id: 2022-12765 354 SCHOOLHOUSE RD - 180 NEW BRITAIN BLVD ASSOC									
	13 ENGINEERING EXPENSES		1,713.75	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500288	N
	Tracking Id: 2024-13470 COUNTY LINE - TOLL BROTHERS - BIRCH RUN									
	14 ENGINEERING EXPENSES		607.22	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500289	N
	Tracking Id: 2022-12263 396 KING RD - CASADONTI-L&E,WELL,SECURITY GUARANTY									
	15 ENGINEERING EXPENSES		2,255.00	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500290	N
	Tracking Id: 2024-31-Z 545 W BUTLER - FLAGSHIP OP CO - SPOTLESS BRANDS									
	16 ENGINEERING EXPENSES		783.75	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24	PS-INV2500291	N

Vendor # Name	PO #	PO Date	Description	Contract Amount	PO Type Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>GILMO010 GILMORE &amp; ASSOCIATES INC. Continued</b>												
24001882 12/29/24 ENGINEERING EXPENSES Continued												
Tracking Id: 2023-12977 4359 COUNTY RD - BROOKE ENT LLC/CP RANKIN												
17	ENGINEERING EXPENSES	1,973.75	90-414-311	E ENGINEERING BILLED	R	12/29/24	12/29/24				PS-INV2500293	N
Tracking Id: 2024-13573 753 NEW GALENA RD 2 PARCELS - PLUMSTEAD CHRISTIAN												
18	ENGINEERING EXPENSES	165.00	18-436-367	E NPDES COMPLIANCE	R	12/29/24	12/29/24				PS-INV2500294	N
19	ENGINEERING EXPENSES	428.75	04-414-150	E CONSULTANT/LAND PRESERVATION	R	12/29/24	12/29/24				PS-INV2500275	N
20	ENGINEERING EXPENSES	635.00	07-454-320	E NESHAMINY GREENWAY TRAILS	R	12/29/24	12/29/24				PS-INV2500276	N
21	ENGINEERING EXPENSES	5,887.50	01-414-150	E PLANNING CONSULTANT	R	12/29/24	12/29/24				PS-INV2500286	N
22	ENGINEERING EXPENSES	612.50	01-414-317	E CODIFICATION/UPDATES	R	12/29/24	12/29/24				PS-INV2500287	N
23	ENGINEERING EXPENSES	383.00	18-436-367	E NPDES COMPLIANCE	R	12/29/24	12/29/24				PS-INV2500295	N
24	ENGINEERING EXPENSES	2,065.00	01-408-100	E GENERAL ENGINEERING	R	12/29/24	12/29/24				PS-INV2500296	N
		<u>29,840.72</u>										
24001883 01/15/25 ENGINEERING EXPENSES												
1	ENGINEERING EXPENSES	2,022.80	01-408-100	E GENERAL ENGINEERING	R	01/15/25	01/15/25				PS-INV2500292	N
Vendor Total:		31,863.52										
<b>HABER010 H.A. BERKHEIMER INC.</b>												
24001872 12/31/24 COMMISSION FEE DECEMBER 2024												
1	COMMISSION FEE DECEMBER 2024	4.24	04-403-370	E EIT TAX COLLECTOR EXPENSE	R	12/31/24	12/31/24				OST 123124	N
24001873 12/31/24 COMMISSION FEE DECEMBER 2024												
1	COMMISSION FEE DECEMBER 2024	16.97	01-403-370	E EIT/EMST COLLECTOR	R	12/31/24	12/31/24				EIT 123124	N
Vendor Total:		21.21										
<b>HILLT020 HILLTOWN FIRE COMPANY</b>												
24001890 01/06/25 4TH QTR 2024 DISTRIBUTION												
1	4TH QTR 2024 DISTRIBUTION	30.15	03-411-500	E CONTRIBUTIONS TO FIRE COMPANIES	R	01/06/25	01/06/25				Q4 2024	N
24001894 01/06/25 LST DISTRIBUTION DEC 2024												
1	LST DISTRIBUTION DEC 2024	58.71	03-411-501	E LST CONTRIBUTION FIRE	R	01/06/25	01/06/25				010625	N
Vendor Total:		88.86										



Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	chk/Void Date	Invoice	1099 Excl
<b>NORTH105 NORTH AMERICAN RESCUE HOLDINGS</b>										
	24001860 01/06/25 NAR WOUND MGMNT SIMULATOR									
	1 NAR WOUND MGMNT SIMULATOR		349.98 01-410-319	E EQUIP SUPPLIES	R	01/06/25	01/06/25		INV833116	N
	Vendor Total:		349.98							
<b>NYCOC010 NYCO CORPORATION</b>										
	24001884 12/18/24 TRUCK PARTS									
	1 TRUCK PARTS		116.90 01-437-300	E VEHICLE REPAIRS	R	12/18/24	12/18/24		B2406262	N
	25000051 01/14/25 PRESSURE WASHER PARTS									
	1 PRESSURE WASHER PARTS		33.64 01-437-300	E VEHICLE REPAIRS	R	01/14/25	01/14/25		B2500237	N
	Vendor Total:		150.54							
<b>PACHI010 PA CHIEFS OF POLICE ASSOC</b>										
	25000034 12/30/24 2025 ACCREDITATION ANNUAL FEE									
	1 2025 ACCREDITATION ANNUAL FEE		1,000.00 01-410-310	E LEGAL EXPENSE	R	12/30/24	12/30/24		8330	N
	Vendor Total:		1,000.00							
<b>POLIC010 POLICE CHIEFS ASSOC. OF B</b>										
	25000044 01/09/25 2025 MEMBER DUES									
	1 2025 MEMBER DUES		200.00 01-410-420	E PUBLICATIONS/SUBSCRIPTIONS	R	01/09/25	01/09/25		010925	N
	Vendor Total:		200.00							
<b>PSATS020 PSATS</b>										
	24001861 12/18/24 LEHIGH VALLEY FORUM - C JONES									
	1 LEHIGH VALLEY FORUM - C JONES		99.00 01-400-300	E GENERAL ADMIN EXPENSE	R	12/18/24	12/18/24		INV-160663-D4K7	N
	Vendor Total:		99.00							
<b>RICHT010 RICHTER DRAFTING &amp; OFFICE SUPP</b>										
	24001862 12/30/24 OFFICE SUPPLIES									
	1 OFFICE SUPPLIES		51.09 01-410-200	E OFFICE SUPPLIES	R	12/30/24	12/30/24		1949940-0	N
	Vendor Total:		51.09							

Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099
	Item Description	Amount Charge Account Acct Type Description						Excl
<b>STAPL015 STAPLES</b>								
24001865	12/31/24 OFFICE SUPPLIES							
	1 OFFICE SUPPLIES	71.44 01-400-210	R	12/31/24	12/31/24		6020532116	N
	2 OFFICE SUPPLIES	57.08 01-400-210	R	12/31/24	12/31/24		6020532117	N
		128.52						
	Vendor Total:	128.52						
<b>TEAML005 TEAM LIFE, INC.</b>								
25000063	01/10/25 DEFIBRILLATION PADS							
	1 DEFIBRILLATION PADS	838.00 01-410-319	R	01/10/25	01/10/25		48217	N
	Vendor Total:	838.00						
<b>UNITE010 UNITED INSPECTION AGENCY INC.</b>								
24001863	12/18/24 OUTSIDE INSPECTIONS							
	1 OUTSIDE INSPECTIONS	450.00 01-413-122	R	12/18/24	12/18/24		160164	N
24001871	12/30/24 OUTSIDE INSPECTIONS							
	1 OUTSIDE INSPECTIONS	340.00 01-413-122	R	12/30/24	12/30/24		160349	N
24001910	01/15/25 OUTSIDE INSPECTIONS							
	1 OUTSIDE INSPECTIONS	300.00 01-413-122	R	01/15/25	01/15/25		160681	N
25000047	01/08/25 OUTSIDE INSPECTIONS							
	1 OUTSIDE INSPECTIONS	275.00 01-413-122	R	01/08/25	01/08/25		160517	N
25000084	01/15/25 OUTSIDE INSPECTIONS							
	1 OUTSIDE INSPECTIONS	150.00 01-413-122	R	01/15/25	01/15/25		160681	N
	Vendor Total:	1,515.00						
<b>WAREH010 WAREHOUSE BATTERY OUTLET INC.</b>								
25000046	01/14/25 BATTERY - 48-29							
	1 BATTERY - 48-29	359.70 01-437-300	R	01/14/25	01/14/25		INV765824	N

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Rcvd	Chk/Void	1099
	Item Description					Enc Date Date	Date Invoice	Excl
<b>WAREH010 WAREHOUSE BATTERY OUTLET INC. Continued</b>								
	25000067 01/15/25 PW TRUCKS BATTERIES							
	1 PW TRUCKS BATTERIES		237.72 01-437-300	E VEHICLE REPAIRS	R	01/15/25 01/15/25	INV765883	N
	Vendor Total:		597.42					
<b>WEHRU010 WEHRUNG'S</b>								
	24001876 12/31/24 MATERIALS							
	1 MATERIALS		14.99 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26569	N
	2 MATERIALS		8.89 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26624	N
	3 MATERIALS		46.52 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26625	N
	4 MATERIALS		17.48 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26645	N
	5 MATERIALS		15.37 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26704	N
	6 MATERIALS		0.60 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26705	N
	7 MATERIALS		15.18 01-438-460	E GENERAL EXPENSE	R	12/31/24 12/31/24	26738	N
			119.03					
	Vendor Total:		119.03					
<b>WITME010 WITMER PUBLIC SAFETY GROUP, INC</b>								
	25000042 12/09/24 FIREARMS/SUPPLIES							
	1 FIREARMS/SUPPLIES		4,711.08 01-410-240	E FIREARMS & SUPPLIES	R	12/09/24 12/09/24	INV588188	N
	25000043 12/17/24 CERT TEAM							
	1 CERT TEAM		1,155.90 01-410-390	E C.E.R.T. TEAM	R	12/17/24 12/17/24	INV595657	N
	Vendor Total:		5,866.98					
<b>YCGIN005 YCG, INC.</b>								
	25000062 01/14/25 2025 CALIBRATION AGREEMENT							
	1 2025 CALIBRATION AGREEMENT		3,128.00 01-410-223	E TRAFFIC COUNTER	R	01/14/25 01/14/25	234309	N
	Vendor Total:		3,128.00					

Total Purchase Orders: 71 Total P.O. Line Items: 119 Total List Amount: 152,110.50 Total Void Amount: 0.00

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	23,420.82	0.00	23,420.82	0.00	0.00	23,420.82
LAND PRESERVATION FUND:	4-04	957.99	0.00	957.99	0.00	0.00	957.99
PARKS & RECREATION FUND:	4-07	1,231.29	0.00	1,231.29	0.00	0.00	1,231.29
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	3,831.90	0.00	3,831.90	0.00	0.00	3,831.90
ESCROW:	4-90	18,890.85	0.00	18,890.85	0.00	0.00	18,890.85
Year Total:		48,332.85	0.00	48,332.85	0.00	0.00	48,332.85
GENERAL FUND:	5-01	34,132.26	0.00	34,132.26	0.00	0.00	34,132.26
FIRE/AMBULANCE TAX FUND:	5-03	2,489.23	0.00	2,489.23	0.00	0.00	2,489.23
LAND PRESERVATION FUND:	5-04	710.00	0.00	710.00	0.00	0.00	710.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	20,000.00	0.00	20,000.00	0.00	0.00	20,000.00
LIQUID FUELS FUND:	5-35	23,225.62	0.00	23,225.62	0.00	0.00	23,225.62
ESCROW:	5-90	23,220.54	0.00	23,220.54	0.00	0.00	23,220.54
Year Total:		103,777.65	0.00	103,777.65	0.00	0.00	103,777.65
Total of All Funds:		152,110.50	0.00	152,110.50	0.00	0.00	152,110.50

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	57,553.08	0.00	57,553.08	0.00	0.00	57,553.08
FIRE/AMBULANCE TAX FUND:	03	2,489.23	0.00	2,489.23	0.00	0.00	2,489.23
LAND PRESERVATION FUND:	04	1,667.99	0.00	1,667.99	0.00	0.00	1,667.99
PARKS & RECREATION FUND:	07	1,231.29	0.00	1,231.29	0.00	0.00	1,231.29
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	23,831.90	0.00	23,831.90	0.00	0.00	23,831.90
LIQUID FUELS FUND:	35	23,225.62	0.00	23,225.62	0.00	0.00	23,225.62
ESCROW:	90	42,111.39	0.00	42,111.39	0.00	0.00	42,111.39
Total of All Funds:		<u>152,110.50</u>	<u>0.00</u>	<u>152,110.50</u>	<u>0.00</u>	<u>0.00</u>	<u>152,110.50</u>



NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	23,420.82	0.00	0.00	0.00	23,420.82
LAND PRESERVATION FUND:	4-04	957.99	0.00	0.00	0.00	957.99
PARKS & RECREATION FUND:	4-07	1,231.29	0.00	0.00	0.00	1,231.29
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	3,831.90	0.00	0.00	0.00	3,831.90
ESCROW:	4-90	<u>18,890.85</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>18,890.85</u>
Year Total:		48,332.85	0.00	0.00	0.00	48,332.85
GENERAL FUND:	5-01	34,132.26	0.00	0.00	0.00	34,132.26
FIRE/AMBULANCE TAX FUND:	5-03	2,489.23	0.00	0.00	0.00	2,489.23
LAND PRESERVATION FUND:	5-04	710.00	0.00	0.00	0.00	710.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	20,000.00	0.00	0.00	0.00	20,000.00
LIQUID FUELS FUND:	5-35	23,225.62	0.00	0.00	0.00	23,225.62
ESCROW:	5-90	<u>23,220.54</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>23,220.54</u>
Year Total:		103,777.65	0.00	0.00	0.00	103,777.65
Total of All Funds:		<u>152,110.50</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>152,110.50</u>



# MEMO

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**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** January 23, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

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Approve prepaid bills list dated January 9, 2025, in the amount of \$54,343.84.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

January 9, 2025  
10:36 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All Include Non-Budgeted: Y  
 Open: N Paid: N Void: N  
 Rcvd: Y Held: Y Aprv: N  
 Bid: Y State: Y Other: Y Exempt: Y  
 Prior Year Only: N \* Means Prior Year Line

Rcvd Batch Id Range: KG0106PD to KG0106PD

Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>ALEXA005 ALEXANDER KOMATICK</b>											
	25000012	01/07/25	2025 CLEANING ALLOWANCE								
	1		2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
Vendor Total:				800.00							
<b>AQUAP010 AQUA PENNSYLVANIA</b>											
	24001833	12/31/24	FIRE HYDRANT RENTAL								
	1		FIRE HYDRANT RENTAL	2,198.36	01-411-380	E FIRE HYDRANT RENTALS	R	12/31/24	12/31/24	0408962	123124 N
	2		FIRE HYDRANT RENTAL	118.84	01-411-380	E FIRE HYDRANT RENTALS	R	12/31/24	12/31/24	0416695	123124 N
	3		FIRE HYDRANT RENTAL	356.50	01-411-380	E FIRE HYDRANT RENTALS	R	12/31/24	12/31/24	1065967	123124 N
				2,673.70							
Vendor Total:				2,673.70							
<b>ARMOU010 ARMOUR &amp; SONS ELECTRIC I</b>											
	24001848	12/27/24	TRAFFIC SIGNAL MAINTENANCE								
	1		TRAFFIC SIGNAL MAINTENANCE	2,350.00	01-433-310	E TRAFFIC SIGNAL MAINTENANCE	R	12/27/24	12/27/24	910042619	N
Vendor Total:				2,350.00							
<b>BERGE010 BERGEY'S INC.</b>											
	24001829	12/19/24	PARTS/REPAIRS 48-31								
	1		PARTS/REPAIRS 48-31	1,104.83	01-437-300	E VEHICLE REPAIRS	R	12/19/24	12/19/24	916117	N
Vendor Total:				1,104.83							
<b>BOYKO005 BOYKO'S PETROLEUM SERVICE, INC</b>											
	24001830	12/26/24	PARTS - PW TRUCKS								
	1		PARTS - PW TRUCKS	1,734.22	01-437-300	E VEHICLE REPAIRS	R	12/26/24	12/26/24	45958	N
Vendor Total:				1,734.22							

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
<b>BRIAN010 BRIAN JONES</b>									
	25000009 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE		800.00 01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:		800.00						
<b>BRYCE005 BRYCE O'CONNOR</b>									
	25000017 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE		800.00 01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:		800.00						
<b>CRICH010 C. RICHARD MICHIE II</b>									
	25000016 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE		800.00 01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:		800.00						
<b>CHALF030 CHALFONT BOROUGH</b>									
	24001846 12/11/24 2025 FIRE COMPANY WORKERS COMP								
	1 2025 FIRE COMPANY WORKERS COMP		19,741.00 01-411-354	E WORKERS COMP-FIRE CO SHARE	R	12/11/24	12/11/24	121124	N
	Vendor Total:		19,741.00						
<b>CONNO005 CONNOR MALONEY</b>									
	24001841 12/24/24 FIREARMS REIMBURSEMENT								
	1 FIREARMS REIMBURSEMENT		500.00 01-410-241	E UNIFORMS/VESTS	R	12/24/24	12/24/24	122424	N
	24001842 12/23/24 BOOTS REIMBURSEMENT								
	1 BOOTS REIMBURSEMENT		140.99 01-410-241	E UNIFORMS/VESTS	R	12/23/24	12/23/24	122324	N
	25000015 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE		800.00 01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:		1,440.99						



Vendor # Name	PO # PO Date Description	Amount	Contract Charge Account	PO Type Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
<b>LORCO010 LORCO PETROLEUM SERVICES</b>									
	24001834 12/20/24 OIL FILTER REMOVAL/WASHER FLUI								
	1 OIL FILTER REMOVAL/WASHER FLUI	432.32	01-437-300	E VEHICLE REPAIRS	R	12/20/24	12/20/24	2020407-IN	N
	Vendor Total:	432.32							
<b>MARIA015 MARIA CLANCY</b>									
	25000005 01/08/25 2025 MEDICAL REIMBURSEMENT								
	1 2025 MEDICAL REIMBURSEMENT	114.62	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/08/25	01/08/25	010825	N
	Vendor Total:	114.62							
<b>MARKS010 MARK S. DUNCAN JR.</b>									
	25000007 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:	800.00							
<b>MICHA210 MICHAEL KILROY</b>									
	25000010 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:	800.00							
<b>MICHA110 MICHAEL SANDT</b>									
	25000020 01/07/25 2025 CLEANING ALLOWANCE								
	1 2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N
	Vendor Total:	800.00							
<b>MUNIL005 MUNILOGIC</b>									
	24001845 12/15/24 MONTHLY HOSTING FEE								
	1 MONTHLY HOSTING FEE	833.00	01-414-319	E COMPUTER SOFTWARE AND SERVICES	R	12/15/24	12/15/24	01673	N
	Vendor Total:	833.00							

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099
	Item Description									Exc1
<b>NEWBR140 NEW BRITAIN TWP. P.B.A.</b>										
	24001847 01/06/25 PBA DUES									
	1 PBA DUES		750.00 01-221-000	E PBA DUES	R	01/06/25	01/06/25		010625	N
	Vendor Total:		750.00							
<b>NORTH050 NORTH PENN WATER AUTHORIT</b>										
	24001843 12/20/24 WATER									
	1 WATER		41.83 01-409-360	E UTILITIES	R	12/20/24	12/20/24		529905 122024	N
	2 WATER		41.83 01-410-360	E UTILITIES	R	12/20/24	12/20/24		529905 122024	N
	3 WATER		69.90 01-437-360	E HEAT AND UTILITIES	R	12/20/24	12/20/24		531345 122024	N
	4 WATER		11.76 07-454-360	E UTILITIES	R	12/20/24	12/20/24		536600 122024	N
	5 WATER		23.72 07-454-360	E UTILITIES	R	12/20/24	12/20/24		529906 122024	N
			189.04							
	Vendor Total:		189.04							
<b>PENNS020 PA ONE CALL SYSTEM, INC.</b>										
	24001849 12/31/24 PA ONE CALLS									
	1 PA ONE CALLS		77.92 01-438-460	E GENERAL EXPENSE	R	12/31/24	12/31/24		0001082515	N
	Vendor Total:		77.92							
<b>PAULZ010 PAUL ZIELINSKI</b>										
	25000021 01/07/25 2025 CLEANING ALLOWANCE									
	1 2025 CLEANING ALLOWANCE		800.00 01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25		010725	N
	Vendor Total:		800.00							
<b>RANDA010 RANDAL TESCHNER</b>										
	24001828 01/07/25 2024 MEDICAL REIMBURSEMENT									
	1 2024 MEDICAL REIMBURSEMENT		68.79 01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/07/25	01/07/25		010725	N
	Vendor Total:		68.79							
<b>READY005 READY REFRESH BY NESTLE</b>										
	24001851 01/07/25 BOTTLED WATER									
	1 BOTTLED WATER		111.13 01-409-360	E UTILITIES	R	01/07/25	01/07/25		15A0436107759	N

Vendor # Name	PO # PO Date Description	Contract Amount Charge Account	PO Type Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
<b>READY005 READY REFRESH BY NESTLE</b>								
		Continued						
24001851	01/07/25 BOTTLED WATER							
	2 BOTTLED WATER	118.31	01-410-360	E UTILITIES	R	01/07/25	01/07/25	15A0436449664 N
		229.44						
	Vendor Total:	229.44						
<b>RICHA095 RICHARD CLOWSER</b>								
25000006	01/07/25 2025 CLEANING ALLOWANCE							
	1 2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725 N
	Vendor Total:	800.00						
<b>RIGGI010 RIGGINS INC.</b>								
24001835	12/19/24 PW FUEL							
	1 PW FUEL	912.10	01-437-330	E FUEL & OIL EQUIP	R	12/19/24	12/19/24	75138691 N
24001836	12/20/24 PW DIESEL							
	1 PW DIESEL	1,396.05	01-437-330	E FUEL & OIL EQUIP	R	12/20/24	12/20/24	75138695 N
24001837	12/19/24 POLICE FUEL							
	1 POLICE FUEL	657.94	01-410-224	E FUELS/OIL	R	12/19/24	12/19/24	75138690 N
25000002	01/02/25 PW FUEL							
	1 PW FUEL	547.89	01-437-330	E FUEL & OIL EQUIP	R	01/02/25	01/02/25	75139838 N
25000003	01/02/25 PW DIESEL							
	1 PW DIESEL	434.39	01-437-330	E FUEL & OIL EQUIP	R	01/02/25	01/02/25	75139842 N
25000004	01/02/25 POLICE FUEL							
	1 POLICE FUEL	1,528.31	01-410-224	E FUELS/OIL	R	01/02/25	01/02/25	75139837 N
	Vendor Total:	5,476.68						
<b>RYANL005 RYAN LISCHKE</b>								
25000013	01/07/25 2025 CLEANING ALLOWANCE							
	1 2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725 N



Vendor #	Name	PO #	PO Date	Description	Amount	Contract Charge Account	PO Type	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
RYANL005 RYAN LISCHKE Continued														
25000023	01/09/25	2025 MEDICAL REIMBURSEMENT												
1	2025 MEDICAL REIMBURSEMENT	300.67	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/09/25	01/09/25	010925	N					
Vendor Total:		1,100.67												
SHAWN010 SHAWN MAGUIRE														
24001850	01/07/25	2024 MEDICAL REIMBURSEMENT												
1	2024 MEDICAL REIMBURSEMENT	710.88	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/07/25	01/07/25	010725	N					
25000014	01/07/25	2025 CLEANING ALLOWANCE												
1	2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N					
Vendor Total:		1,510.88												
SHAWN020 SHAWN P. KNIGHT														
25000011	01/07/25	2025 CLEANING ALLOWANCE												
1	2025 CLEANING ALLOWANCE	800.00	01-410-440	E UNIFORM CLEANING	R	01/07/25	01/07/25	010725	N					
Vendor Total:		800.00												
SUSET005 SUSETTE DUBIN														
24001838	01/03/25	FACILITY CLEANING - PD												
1	FACILITY CLEANING - PD	740.00	01-410-371	E CONTRACTED CLEANING	R	01/03/25	01/03/25	010325	N					
24001839	01/03/25	FACILITY CLEANING - ADMIN												
1	FACILITY CLEANING - ADMIN	300.00	01-409-370	E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	01/03/25	01/03/25	010325	N					
Vendor Total:		1,040.00												
VERIZ010 VERIZON														
24001831	12/27/24	INTERNET												
1	INTERNET	110.99	01-430-320	E COMMUNICATIONS/MAINT	R	12/27/24	12/27/24	0001-98 122724	N					
Vendor Total:		110.99												

January 9, 2025  
10:36 AM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
VERIZ050 VERIZON WIRELESS										
24001832 12/23/24 POLICE WIRELESS SERVICE										
	1 POLICE WIRELESS SERVICE		47.66 01-410-320	E COMMUNICATIONS	R	12/23/24	12/23/24	00001 122324		N
	2 POLICE WIRELESS SERVICE		841.49 01-410-320	E COMMUNICATIONS	R	12/23/24	12/23/24	00002 122324		N
	3 POLICE WIRELESS SERVICE		318.36 01-400-320	E TELEPHONE/COMMUNICATIONS	R	12/23/24	12/23/24	00001 122324		N
	4 POLICE WIRELESS SERVICE		661.45 01-410-320	E COMMUNICATIONS	R	12/23/24	12/23/24	00001 122324		N
	5 POLICE WIRELESS SERVICE		262.59 01-430-320	E COMMUNICATIONS/MAINT	R	12/23/24	12/23/24	00001 122324		N
			<u>2,131.55</u>							
	Vendor Total:		2,131.55							

Total Purchase Orders: 46 Total P.O. Line Items: 58 Total List Amount: 54,343.84 Total Void Amount: 0.00

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	35,678.37	0.00	35,678.37	0.00	0.00	35,678.37
PARKS & RECREATION FUND:	4-07	35.48	0.00	35.48	0.00	0.00	35.48
Year Total:		35,713.85	0.00	35,713.85	0.00	0.00	35,713.85
GENERAL FUND:	5-01	17,879.99	0.00	17,879.99	0.00	0.00	17,879.99
	X-01	750.00	0.00	750.00	0.00	0.00	750.00
Total of All Funds:		54,343.84	0.00	54,343.84	0.00	0.00	54,343.84

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Totals by Fund	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	54,308.36	0.00	54,308.36	0.00	0.00	54,308.36
PARKS & RECREATION FUND:	07	35.48	0.00	35.48	0.00	0.00	35.48
Total of All Funds:		<u>54,343.84</u>	<u>0.00</u>	<u>54,343.84</u>	<u>0.00</u>	<u>0.00</u>	<u>54,343.84</u>

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NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	35,678.37	0.00	0.00	0.00	35,678.37
PARKS & RECREATION FUND:	4-07	35.48	0.00	0.00	0.00	35.48
Year Total:		35,713.85	0.00	0.00	0.00	35,713.85
GENERAL FUND:	5-01	17,879.99	0.00	0.00	0.00	17,879.99
	X-01	750.00	0.00	0.00	0.00	750.00
Total of All Funds:		<u>54,343.84</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>54,343.84</u>

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** January 23, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

---

Approve prepaid bills list dated January 15, 2025, in the amount of \$5,568.80.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

January 15, 2025  
12:45 PM

NEW BRITAIN TOWNSHIP  
Bill List By Vendor Name



P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All Include Non-Budgeted: Y  
 Open: N Paid: N Void: N  
 Rcvd: Y Held: Y Aprv: N  
 Bid: Y State: Y Other: Y Exempt: Y  
 Prior Year Only: N \* Means Prior Year Line

Rcvd Batch Id Range: KG0113PD to KG0113PD

Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>ALEXA005 ALEXANDER KOMATICK</b>											
	24001854	01/09/25	2024 MEDICAL REIMBURSEMENT								
	1		2024 MEDICAL REIMBURSEMENT	192.98	01-486-157	R	01/09/25	01/09/25		010925	N
			Vendor Total:	192.98							
<b>BERGE010 BERGEY'S INC.</b>											
	24001856	01/13/25	PARTS/REPAIRS 48-27								
	1		PARTS/REPAIRS 48-27	673.62	01-437-300	R	01/13/25	01/13/25		XA508013997:01	N
	25000036	01/08/25	PARTS/REPAIRS 48-29								
	1		PARTS/REPAIRS 48-29	67.58	01-437-300	R	01/08/25	01/08/25		XA508016904:01	N
			Vendor Total:	741.20							
<b>BILLM010 BILL MITCHELL'S AUTO SERVICE I</b>											
	24001879	01/14/25	EMISSION INSPECTION 48-14								
	1		EMISSION INSPECTION 48-14	72.57	01-410-370	R	01/14/25	01/14/25		A045836	N
	24001880	01/14/25	EMISSION INSPECTION 48-15								
	1		EMISSION INSPECTION 48-15	85.57	01-410-370	R	01/14/25	01/14/25		A044882	N
	25000054	01/13/25	VEHICLE REPAIR 48-03								
	1		VEHICLE REPAIR 48-03	17.57	01-410-370	R	01/13/25	01/13/25		A046891	N
			Vendor Total:	175.71							
<b>COLON005 Colonial Oil Industries, Inc.</b>											
	24001857	12/17/24	FUEL/#2 HEATING OIL								
	1		FUEL/#2 HEATING OIL	800.50	01-437-330	R	12/17/24	12/17/24		IN-1484764	N
			Vendor Total:	800.50							

Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>DAWNF010 DAWN FARVER</b>											
	24001869	01/06/25	ZHB PMPEI TRAINING COURSE REIM								
	1		ZHB PMPEI TRAINING COURSE REIM	25.00	01-400-301	R	01/06/25	01/06/25		010625	N
			Vendor Total:	25.00							
<b>GEORG040 GEORGE ALLEN PORTABLE TOILETS</b>											
	25000037	01/07/25	PORTABLE TOILETS/PARKS								
	1		PORTABLE TOILETS/PARKS	346.00	07-454-360	R	01/07/25	01/07/25		I232057	N
	2		PORTABLE TOILETS/PARKS	210.00	07-454-360	R	01/07/25	01/07/25		I232058	N
	3		PORTABLE TOILETS/PARKS	74.00	07-454-360	R	01/07/25	01/07/25		I232059	N
	4		PORTABLE TOILETS/PARKS	74.00	07-454-360	R	01/07/25	01/07/25		I232060	N
				704.00							
			Vendor Total:	704.00							
<b>HPT HPT SYSTEMS, INC.</b>											
	24001877	12/31/24	DUO SECURITY - MFA LICENSES								
	1		DUO SECURITY - MFA LICENSES	441.00	01-400-741	R	12/31/24	12/31/24		13436	N
	24001878	12/31/24	MONTHLY CLOUD BACKUP								
	1		MONTHLY CLOUD BACKUP	471.00	01-400-741	R	12/31/24	12/31/24		13436	N
			Vendor Total:	912.00							
<b>LOUIS005 LOUIS GENTNER</b>											
	25000028	01/10/25	2025 MEDICAL REIMBURSEMENT								
	1		2025 MEDICAL REIMBURSEMENT	463.00	01-486-157	R	01/10/25	01/10/25		011025	N
			Vendor Total:	463.00							
<b>MARKS010 MARK S. DUNCAN JR.</b>											
	25000050	01/15/25	2025 MEDICAL REIMBURSEMENT								
	1		2025 MEDICAL REIMBURSEMENT	524.00	01-486-157	R	01/15/25	01/15/25		011525	N
			Vendor Total:	524.00							



Vendor # Name	PO # PO Date Description	Contract PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Exc1
	Item Description	Amount Charge Account Acct Type Description					
MCCAL005 MCCALLION TEMPS, INC	25000035 01/10/25 STAFFING SERVICES						
	1 STAFFING SERVICES	523.26 01-402-131 E SALARY/ADMIN ASST T.P.	R	01/10/25	01/10/25	12108	N
	Vendor Total:	523.26					
PAULZ010 PAUL ZIELINSKI	25000032 01/01/25 MEAL REIMBURSEMENT						
	1 MEAL REIMBURSEMENT	84.00 01-410-181 E EDUCATION/TRAINING IN SERVICE	R	01/01/25	01/01/25	010125	N
	Vendor Total:	84.00					
ROBER270 ROBERT E. LITTLE, INC.	25000053 01/14/25 MOWER PARTS						
	1 MOWER PARTS	15.17 01-437-300 E VEHICLE REPAIRS	R	01/14/25	01/14/25	05-1153897	N
	Vendor Total:	15.17					
TILLE010 TILLEY FIRE SOLUTIONS	24001881 01/14/25 EXTINGUISHER REPLACEMENT						
	1 EXTINGUISHER REPLACEMENT	101.94 01-409-370 E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	01/14/25	01/14/25	990029789	N
	Vendor Total:	101.94					
VERIZ010 VERIZON	25000049 01/05/25 POLICE INTERNET						
	1 POLICE INTERNET	159.59 01-410-320 E COMMUNICATIONS	R	01/05/25	01/05/25	0001-17 010525	N
	Vendor Total:	159.59					
WILLI010 WILLIAM A. MAY	24001855 01/10/25 2024 MEDICAL REIMBURSEMENT						
	1 2024 MEDICAL REIMBURSEMENT	71.01 01-486-157 E HEALTH & VISION REIMBURSEMENTS	R	01/10/25	01/10/25	011025	N
	Vendor Total:	71.01					

Vendor # Name	PO #	PO Date	Description	Contract	PO Type	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
Item Description	Amount	Charge Account	Acct Type Description								
ZANES005 ZANE SNYDER											
25000029	01/10/25	2025	MEDICAL REIMBURSEMENT								
1 2025 MEDICAL REIMBURSEMENT	75.44	01-486-157	E HEALTH & VISION REIMBURSEMENTS			R	01/10/25	01/10/25		011025	N
Vendor Total:	75.44										
<hr/> Total Purchase Orders: 20 Total P.O. Line Items: 23 Total List Amount: 5,568.80 Total Void Amount: 0.00											

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	1,712.50	0.00	1,712.50	0.00	0.00	1,712.50
GENERAL FUND:	5-01	3,152.30	0.00	3,152.30	0.00	0.00	3,152.30
PARKS & RECREATION FUND:	5-07	<u>704.00</u>	<u>0.00</u>	<u>704.00</u>	<u>0.00</u>	<u>0.00</u>	<u>704.00</u>
Year Total:		3,856.30	0.00	3,856.30	0.00	0.00	3,856.30
Total of All Funds:		<u>5,568.80</u>	<u>0.00</u>	<u>5,568.80</u>	<u>0.00</u>	<u>0.00</u>	<u>5,568.80</u>

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Totals by Fund	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description							
GENERAL FUND:	01	4,864.80	0.00	4,864.80	0.00	0.00	4,864.80
PARKS & RECREATION FUND:	07	704.00	0.00	704.00	0.00	0.00	704.00
Total of All Funds:		<u>5,568.80</u>	<u>0.00</u>	<u>5,568.80</u>	<u>0.00</u>	<u>0.00</u>	<u>5,568.80</u>

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NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	1,712.50	0.00	0.00	0.00	1,712.50
GENERAL FUND:	5-01	3,152.30	0.00	0.00	0.00	3,152.30
PARKS & RECREATION FUND:	5-07	704.00	0.00	0.00	0.00	704.00
Year Total:		3,856.30	0.00	0.00	0.00	3,856.30
Total of All Funds:		5,568.80	0.00	0.00	0.00	5,568.80

# MEMO



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** January 23, 2025  
**SUBJECT:** Schedule of Bills - Prepaid

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Approve prepaid bills list dated January 22, 2025, in the amount of \$125,344.09.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_



P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All  
 Include Non-Budgeted: Y  
 Prior Year Only: N  
 Open: N  
 Rcvd: Y  
 Bid: Y  
 Paid: N  
 Held: Y  
 State: Y  
 Void: N  
 Aprv: N  
 Other: Y  
 Exempt: Y  
 \* Means Prior Year Line

Rcvd Batch Id Range: KG0121PD to KG0121PD

Vendor # Name	PO #	PO Date	Description	Amount	Contract Charge Account	PO Type Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date Invoice	1099 Excl
<b>AIRGA010 AIRGAS USA LLC</b>											
	25000072	01/14/25	SHOP SUPPLIES								
			1 SHOP SUPPLIES	419.75	01-438-460	E GENERAL EXPENSE	R	01/14/25	01/14/25	9157315753	N
			Vendor Total:	419.75							
<b>BRIAN010 BRIAN JONES</b>											
	25000065	01/18/25	2025 MEDICAL REIMBURSEMENT								
			1 2025 MEDICAL REIMBURSEMENT	2,500.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/18/25	01/18/25	011825	N
	25000066	01/18/25	2025 ORTHODONTIC REIMBURSEMENT								
			1 2025 ORTHODONTIC REIMBURSEMENT	2,500.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/18/25	01/18/25	011825	N
			Vendor Total:	5,000.00							
<b>COLON005 Colonial Oil Industries, Inc.</b>											
	24001905	01/15/25	FUEL/#2 HEATING OIL								
			1 FUEL/#2 HEATING OIL	2,562.69	01-437-330	E FUEL & OIL EQUIP	R	01/15/25	01/15/25	IN-1486406	N
			Vendor Total:	2,562.69							
<b>DANIE050 DANIEL A. GONZALEZ</b>											
	24001907	01/16/25	2024 HEALTH CLUB REIMB								
			1 2024 HEALTH CLUB REIMB	250.00	01-486-158	E FITNESS REIMBURSEMENT	R	01/16/25	01/16/25	011625	N
	24001908	01/16/25	2024 MEDICAL REIMBURSEMENT								
			1 2024 MEDICAL REIMBURSEMENT	421.85	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/16/25	01/16/25	011625	N
	25000077	01/16/25	2025 MEDICAL REIMBURSEMENT								
			1 2025 MEDICAL REIMBURSEMENT	400.00	01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/16/25	01/16/25	011625	N
			Vendor Total:	1,071.85							

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/void Date	Invoice	1099 Exc1
<b>DOYLE120 DOYLESTOWN WEB DESIGN LLC</b>										
	24001903 01/17/25 WEB SITE UPDATES									
	1 WEB SITE UPDATES		453.75 01-400-302	E INFO TECH SERVICES	R	01/17/25	01/17/25		1073	N
	Vendor Total:		453.75							
<b>DVHIT010 DVHT</b>										
	25000079 01/01/25 HEALTH INSURANCE									
	1 HEALTH INSURANCE		5,283.25 01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	01/01/25	01/01/25		28291	N
	2 HEALTH INSURANCE		5,954.36 01-400-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	01/01/25	01/01/25		28291	N
	3 HEALTH INSURANCE		5,451.04 01-405-150	E MEDICAL/DENTAL/LIFE/RX INSURANCE	R	01/01/25	01/01/25		28291	N
	4 HEALTH INSURANCE		43,960.26 01-410-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	01/01/25	01/01/25		28291	N
	5 HEALTH INSURANCE		4,882.38 01-413-151	E MEDICAL/DENTAL/RX/LIFE/INSURANCE	R	01/01/25	01/01/25		28291	N
	6 HEALTH INSURANCE		9,149.93 01-430-151	E MEDICAL/DENTAL/RX/LIFE INSURANCE	R	01/01/25	01/01/25		28291	N
	7 HEALTH INSURANCE		5,580.49 07-454-151	E MEDICAL/DENTAL INSURANCE	R	01/01/25	01/01/25		28291	N
			80,261.71							
	Vendor Total:		80,261.71							
<b>FEDEX010 FEDEX</b>										
	25000070 01/14/25 ADMIN/ZONING SHIPPING									
	1 ADMIN/ZONING SHIPPING		39.79 01-400-300	E GENERAL ADMIN EXPENSE	R	01/14/25	01/14/25		8-740-15525	N
	Vendor Total:		39.79							
<b>GEORG080 GEORGE J. PIECZYNSKI</b>										
	25000073 01/22/25 01/19/25 SNOW REMOVAL									
	1 01/19/25 SNOW REMOVAL		500.00 01-432-220	E SNOW REMOVAL/CONTRACTORS	R	01/22/25	01/22/25		012225	N
	Vendor Total:		500.00							
<b>KELSE005 KELSEY C. GANTHER</b>										
	25000061 01/16/25 2025 BOOT ALLOWANCE									
	1 2025 BOOT ALLOWANCE		197.97 01-430-241	E UNIFORM EXPENSE	R	01/16/25	01/16/25		011625	N
	Vendor Total:		197.97							



Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Rcvd	Chk/Void	Invoice	1099
	Item Description					Enc Date Date	Date		Exc1
<b>MARYB005 MaryBeth McCabe</b>									
	25000058 01/18/25 PAINT SAMPLES REIMBURSEMENT								
	1 PAINT SAMPLES REIMBURSEMENT		16.92 18-400-741	E MUNICIPAL EQUIPMENT PURCHASES	R	01/18/25 01/18/25		011825	N
	Vendor Total:		16.92						
<b>MASTE010 MASTERS TELECOM LLC</b>									
	25000078 01/03/25 SPECIALTY VOICE MAIL/FAX LINE								
	1 SPECIALTY VOICE MAIL/FAX LINE		87.81 01-400-320	E TELEPHONE/COMMUNICATIONS	R	01/03/25 01/03/25		50968	N
	Vendor Total:		87.81						
<b>MCCAL005 MCCALLION TEMPS, INC</b>									
	25000060 01/17/25 STAFFING SERVICES								
	1 STAFFING SERVICES		447.53 01-402-131	E SALARY/ADMIN ASST T.P.	R	01/17/25 01/17/25		12123	N
	Vendor Total:		447.53						
<b>MICHA110 MICHAEL SANDT</b>									
	24001900 01/20/25 2024 MEDICAL REIMBURSEMENT								
	1 2024 MEDICAL REIMBURSEMENT		2,427.68 01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/20/25 01/20/25		012025	N
	Vendor Total:		2,427.68						
<b>MORTO005 MORTON SALT, INC.</b>									
	24001906 12/27/24 BULK SAFE-T-SALT								
	1 BULK SAFE-T-SALT		1,515.82 35-432-221	E SALT/CINDERS-SNOW REMOVAL	R	12/27/24 12/27/24		5403249812	N
	2 BULK SAFE-T-SALT		1,369.55 35-432-221	E SALT/CINDERS-SNOW REMOVAL	R	12/27/24 12/27/24		5403249811	N
	3 BULK SAFE-T-SALT		4,495.07 35-432-221	E SALT/CINDERS-SNOW REMOVAL	R	12/27/24 12/27/24		5403251315	N
	4 BULK SAFE-T-SALT		10,162.19 35-432-221	E SALT/CINDERS-SNOW REMOVAL	R	12/27/24 12/27/24		5403248752	N
			<u>17,542.63</u>						
	Vendor Total:		17,542.63						

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Rcvd	Chk/Void	Invoice	1099
	Item Description					Enc Date Date	Date		Exc1
<b>MUNIL005 MUNILOGIC</b>									
	25000059 01/15/25 MONTHLY HOSTING FEE								
	1 MONTHLY HOSTING FEE		833.00 01-414-319	E COMPUTER SOFTWARE AND SERVICES	R	01/15/25 01/15/25		1698	N
	Vendor Total:		833.00						
<b>NICOL010 NICOLE PERCETTI</b>									
	24001902 01/16/25 TAX COLLECTOR INTERIM REIMB								
	1 TAX COLLECTOR INTERIM REIMB		191.25 01-403-319	E REIMBUSEABLE EXPENSES	R	01/16/25 01/16/25		011625	N
	Vendor Total:		191.25						
<b>NORTH050 NORTH PENN WATER AUTHORIT</b>									
	24001904 12/31/24 ANNUAL FIRE HYDRANT FEE 2024								
	1 ANNUAL FIRE HYDRANT FEE 2024		8,694.00 01-411-380	E FIRE HYDRANT RENTALS	R	12/31/24 12/31/24		13-2024	N
	Vendor Total:		8,694.00						
<b>RIGGI010 RIGGINS INC.</b>									
	25000081 01/16/25 PW DIESEL								
	1 PW DIESEL		1,212.05 01-437-330	E FUEL & OIL EQUIP	R	01/16/25 01/16/25		75141033	N
	25000082 01/16/25 PW FUEL								
	1 PW FUEL		731.66 01-437-330	E FUEL & OIL EQUIP	R	01/16/25 01/16/25		75141031	N
	25000083 01/16/25 POLICE FUEL								
	1 POLICE FUEL		993.67 01-410-224	E FUELS/OIL	R	01/16/25 01/16/25		75141030	N
	Vendor Total:		2,937.38						
<b>TILLE010 TILLEY FIRE SOLUTIONS</b>									
	25000080 01/14/25 CONTRACT BILLING								
	1 CONTRACT BILLING		780.00 01-409-370	E BLDG MAINT&REPAIRS SERVICES&SUPPLIES	R	01/14/25 01/14/25		990033883	N
	Vendor Total:		780.00						

Vendor # Name	PO # PO Date Description	Contract PO Type	Amount Charge Account	Acct Type Description	Stat/Chk	First Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>VERIZ010 VERIZON</b>										
	25000071 01/14/25 FIOS SERVICES/EQUIP									
	1 FIOS SERVICES/EQUIP		168.08 01-430-320	E COMMUNICATIONS/MAINT	R	01/14/25	01/14/25		0001-97 011425	N
	25000075 01/12/25 FIOS SERVICES/EQUIP									
	1 FIOS SERVICES/EQUIP		22.30 01-430-320	E COMMUNICATIONS/MAINT	R	01/12/25	01/12/25		0001-65 011225	N
	Vendor Total:		190.38							
<b>WILLI010 WILLIAM A. MAY</b>										
	24001901 01/22/25 2024 MEDICAL REIMBURSEMENT									
	1 2024 MEDICAL REIMBURSEMENT		63.00 01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	01/22/25	01/22/25		012225	N
	Vendor Total:		63.00							
<b>WILLI030 WILLIE CLEMMER</b>										
	25000074 01/22/25 01/19/25 SNOW REMOVAL									
	1 01/19/25 SNOW REMOVAL		625.00 01-432-220	E SNOW REMOVAL/CONTRACTORS	R	01/22/25	01/22/25		012225	N
	Vendor Total:		625.00							
<hr/> Total Purchase Orders: 28 Total P.O. Line Items: 37 Total List Amount: 125,344.09 Total Void Amount: 0.00										

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	8,694.00	0.00	8,694.00	0.00	0.00	8,694.00
LIQUID FUELS FUND:	4-35	<u>17,542.63</u>	<u>0.00</u>	<u>17,542.63</u>	<u>0.00</u>	<u>0.00</u>	<u>17,542.63</u>
Year Total:		26,236.63	0.00	26,236.63	0.00	0.00	26,236.63
GENERAL FUND:	5-01	93,510.05	0.00	93,510.05	0.00	0.00	93,510.05
PARKS & RECREATION FUND:	5-07	5,580.49	0.00	5,580.49	0.00	0.00	5,580.49
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	<u>16.92</u>	<u>0.00</u>	<u>16.92</u>	<u>0.00</u>	<u>0.00</u>	<u>16.92</u>
Year Total:		99,107.46	0.00	99,107.46	0.00	0.00	99,107.46
Total of All Funds:		<u>125,344.09</u>	<u>0.00</u>	<u>125,344.09</u>	<u>0.00</u>	<u>0.00</u>	<u>125,344.09</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	102,204.05	0.00	102,204.05	0.00	0.00	102,204.05
PARKS & RECREATION FUND:	07	5,580.49	0.00	5,580.49	0.00	0.00	5,580.49
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	16.92	0.00	16.92	0.00	0.00	16.92
LIQUID FUELS FUND:	35	17,542.63	0.00	17,542.63	0.00	0.00	17,542.63
Total of All Funds:		<u>125,344.09</u>	<u>0.00</u>	<u>125,344.09</u>	<u>0.00</u>	<u>0.00</u>	<u>125,344.09</u>

NEW BRITAIN TOWNSHIP  
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	8,694.00	0.00	0.00	0.00	8,694.00
LIQUID FUELS FUND:	4-35	<u>17,542.63</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>17,542.63</u>
Year Total:		26,236.63	0.00	0.00	0.00	26,236.63
GENERAL FUND:	5-01	93,510.05	0.00	0.00	0.00	93,510.05
PARKS & RECREATION FUND:	5-07	5,580.49	0.00	0.00	0.00	5,580.49
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	5-18	<u>16.92</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>16.92</u>
Year Total:		99,107.46	0.00	0.00	0.00	99,107.46
Total of All Funds:		<u>125,344.09</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>125,344.09</u>



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1-888-470-1099  
mail@FlagerLaw.com  
www.FlagerLaw.com

TO: Dan Fox, Township Manager  
FROM: Scott C. Holbert, Esquire  
RE: Amendments to Zoning Ordinance and SALDO  
DATE: January 23, 2025

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The Pennsylvania Municipalities Planning Code sets forth the legal process for amending the Zoning and Subdivision and Land Development Ordinances:

1. Ordinance amendments once drafted must be sent to the local and county agencies for their review and comment at least 30 days prior to the Public Hearing
2. Prior to adoption, a municipality must hold a Public Hearing on the proposed Ordinance Amendments
  - a. The Public Hearing must be advertised 2 times, in successive weeks, with the final advertisement at least 7 days before the Public Hearing
  - b. A copy of the proposed Amendment must also be sent to the local law library
  - c. If there are no changes to the proposed amendment and the advertisement contains language providing notice of possible adoption, the Ordinance Amendment may be adopted/ enacted following the Public Hearing
3. If the Ordinance Amendment is substantially changed following the Public Hearing, this process must be restarted
4. After enactment, the final adopted Ordinance must be sent to the county planning agency and local law library

TOWNSHIP OF NEW BRITAIN  
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Zoning Ordinance, which is codified in Chapter 27 of the Code of Ordinances of New Britain Township; and

**WHEREAS**, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Zoning Ordinance in order to revise definitions of terms used in the Zoning Ordinance; to revise setback and buffer yard requirements and permitted activities within setbacks; to revise the general regulations applicable to all uses and districts; and to revise regulations pertaining to off-street parking, sightlines, lighting, fences and environmental standards; to relocate provisions that are more appropriate to the Subdivision and Land Development Ordinance; to provide for standardized fees-in-lieu for open space and/or recreation areas; and to make editorial and clarifying amendments throughout the Zoning Ordinance;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, Chapter 27-Zoning of the Township of New Britain is amended to read as follows:

**Section 1.** The following Sections of Chapter 27 Zoning is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 201 General Definitions.
  - i. Area; Lot Area
  - ii. Site Area; Site Area, Base
  - iii. Land Development
  - iv. New Definition for "Green (Stormwater) Infrastructure" is added
- b. Section 300 Applicability of Regulations
- c. Section 305 Use Definitions and Regulations
- d. Section 502 Area and Dimensional Requirements (WS District)



- e. Section 505 Environmentally Sensitive Land Standards for Watershed District
- f. Section 1403 Performance Standards (C-3 District)
- g. Section 1904 Requirements of the Floodplain Overlay District
- h. Section 2103 Minimum Lot Width
- i. Section 2108 Bifurcation of Restrictions
- j. Section 2109 Fences and Terraces in Yards
- k. Section 2111 Traffic Visibility Across Corners
- l. Section 2114 Special Considerations for ~~Municipal Uses and Emergency Service Uses~~
- m. Section 2115 Septic System Setbacks
- n. Section 2400 Natural Resources
- o. Section 2401 Application of Natural Resource Protection Standards
- p. Section 2606 Sign Type Specific Regulations
- q. Section 2702 Open Space Designation
- r. Section 2800 Purpose and Applicability (Buffer Yard Requirements)
- s. Section 2803 General Requirements (Buffer Yard Requirements)
- t. Section 2900 Purpose and General Requirements (Off-Street Parking and Loading)
- u. Section 2901 Off-Street Parking Requirements
- v. Section 2902 General Regulations for Off-Street Parking
- w. Section 2904 Design Standards for Off-Street Parking
- x. Section 2905 Parking of Trucks and Junk Vehicles in Residential Districts
- y. Section 3003 Application Requirements for Zoning Permits
- z. Attachment 1 – Appendix A. Environmental Impact Statement Report

**Section 2.** The following subsections shall be deleted from Section 305 Use Regulations: A3.b.5; A8.b.3.; A10.b.7.; C6.b.5.; D1.b.5.; D2.b.4; E1.b.3.; E2.b.4; E3.b.6.; E5.b.2.; E7.b.3; E8.b.2.; F2.b.2.; F3.b.3.; F4.b.2.; F5.b.6; G2.b.1.; G3.b.7; H15e.4.; H15f.2.; H15.g.7.; I.I1.b.1.; I2.b.2.; I3.b.1.; I4.b.1.; J.J1.b.1.; J3.b.1.; J4.b.2.; J5.b.1.; J6.b.1.; J7.b.3.; J8.b.1.; J10.b.; J11.b.1.; J12.b.5.; J13.b.1; J15.b.1.; J16.b.3.; J17.b.1.; J18.b.1.; J19.b.13.(g); J20.b.2.; J21.b.3.; J22.b.1.; J23.b.1.; J25.a.4.; J25.b.4.; J26.b.2.; J28.b.; J29.b.2.; J30.b.; J34.b.1. K.K1.b.1.; K2.b.1.; K3.b.2.; K4.b.1.; K5.b.1.; K6.b.5.; K7.b.1.; K8.b.1.; K9.b.1.; K10.b.2.; K15.d.5.; K17.b.17.; K20.h.; and K21.b.1.

**Section 3.** Sections 701, 801, 1001 and 1101 shall be amended to include Use H6 Residential Solar Energy Systems as a use permitted by Right. The Table of Use Regulations shall be amended to reflect this change.

**Section 4.** Sections 1201, 1401, 1501, 1601, 1701 and 1801 are amended to reflect that Use I3 is now titled “General Office” instead of Professional Office.

**Section 5.** Part 25 Traffic Impact Analysis shall be deleted in its entirety.

**Section 6.** Section 2802 Content of Planting Strips shall be deleted in its entirety.

**Section 7. Severability.**

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

**Section 8. Effective Date.**

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

**ORDAINED AND ENACTED** by the Board of Supervisors of New Britain Township this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Attest:

\_\_\_\_\_  
Dan Fox, Township  
Manager

**NEW BRITAIN TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
Cynthia Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice Chair

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
William B. Jones, III, Member

\_\_\_\_\_  
Bridget Kunakorn, Member

**EXHIBIT "A"**

## EXHIBIT "A"

**§27-201.AREA. b. LOT AREA** The area contained within the property lines of the individual parcels of land shown on a subdivision plan or required by this chapter, excluding any area within an existing or designated future street right-of-way; any area required as open space under this chapter; and the area of any existing easement. Adjoining "A" lots, in same ownership, shall be considered within the total lot area.

**§27-201.GREEN (STORMWATER) INFRASTRUCTURE** Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

**§27-201.LAND DEVELOPMENT** – Any of the following activities:

- a. The improvement of one lot or two or more contiguous lots, tracts or parcels of land for any purpose involving:
  1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or the tenants; or
  2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.
- d. The condominium of land or buildings.

**§27-201.SITE AREA.a. SITE AREA, BASE** The base site area is the area of the site remaining after subtracting land: within the ultimate road rights-of-way of existing roads; within existing utility rights-of-way or easements; preserved through easement or other means; which is not contiguous; ~~which is cut off from the main parcel by a road, railroad, existing land use, and/or major stream;~~ which was set aside, reserved, and/or restricted for open space, natural resource protection, and/or recreation purposes in a previously approved subdivision/land development; used and/or to be used for another type of use (i.e., land which is used, or to be used, for commercial or industrial uses in a residential development); and/or located in a different zoning district than the rest of the development.

**§27-300.a.** Except as provided by law or in this chapter, in each district no building, structure or land shall be used or occupied including work, construction and loading in the ultimate right-of-way except for the purposes permitted in § 27-305 and for the zoning districts so indicated in Parts 4 through 20. On any property, parcel or tract of land, only one principal use and principal structure shall be permitted unless otherwise stated in this chapter.

§27-300.d. The proceeding provisions shall apply; except, however, there shall be an exemption from the requirements of this chapter for municipal uses which are defined as those services rendered by New Britain Township, including the appurtenances owned, or to be owned by the Township and used in connection with the supplying of public services. Any existing or proposed use, structure, or extension thereof, by the Township for the purpose of providing municipal uses or services shall be exempt from the area, dimensional, parking and use regulations as otherwise would be required by this chapter.

§27-305.A.A7. Garden Center. A. Definition. The retail sale of floral items, flowers, plants, shrubs and trees in the field and/or indoors.

§27-305.B.B8. ~~Mobile Manufactured~~ Home Park I

§27-305.B.B9. ~~Mobile Manufactured~~ Home Park II

§27-305.F6.b.1.

F6 b. Use Regulations.

1. Only one or more of the following principal sub-uses may be included in a business campus:

- I1 Medical Office
- I2 Veterinary Office
- I3 General Office
- I4 Medical and Pharmaceutical Sales Office
- J4 Financial Establishment
- J28 Office Supplies and Equipment Sales and Services
- J29 Package Delivery Services
- K2 Research
- ~~K3 Wholesale Business, Wholesale Storage, and Warehousing~~
- K4 Printing
- K7 Crafts

§27-305.H.H2 Residential ~~Shed Structure~~.

a. Definition. Buildings such as storage sheds, garden sheds, pavilions, gazebos, and private greenhouses. A residential ~~shed-structure~~ shall be an uninhabitable, freestanding structure not having more than 200-250 square feet of building coverage; not greater than 12 feet in height; without footings; and which is used for the storage of household items incidental to the day-to-

day care and maintenance of a residential property. ~~These Household~~ items shall include, but not be limited to, lawn mowers, garden tools and supplies, and barbecue grills.

[Amended by Ord. No. 2018-10-04, 10/1/2018]

- b. Regulations. The following regulations are exceptions to the regulations generally covering residential accessory ~~buildings~~structures:
1. No residential sheds shall be located in front yards except on lots 10 acres or greater in size. Such sheds shall be permitted for Use B1 in front yards but shall not be located within the required minimum front yard setback. If any property has more than one front yard, the shed may be permitted within the yard that is along the side of the existing principal structure.
  2. No more than two residential sheds shall be situated on any property, one acre or less in size. On properties larger than one acre in size, one additional shed may be situated on the property for each additional acre in size above one acre.
  3. No residential shed shall be located in any easement or right-of-way.
  4. A residential ~~shed-structure~~ may occupy a required side or rear yard on properties of less than 25,000 square feet, provided that the shed is a minimum of five feet from any side or rear property line.
  5. Additional regulations for Accessory Uses/Structures may be found under Area and Dimensional Requirements for each Zoning District.

**§27-305.H.H3.** Residential Fences, Walls.

- a. Definition. Structures such as fences, and free-standing walls. Zoning permits are not required for replacement of an existing fence in the same location, likeness, and height provided it was legally conforming at the time it was installed.
- b. Regulations.
1. Fences:
    - (a) Any fence located in the front yard shall ~~not be 100% opaque have a minimum ratio of 4:1 of opaque to non-opaque areas~~ and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.
    - (b)~~Fences may be located on the side or rear lot line, except along a public street, and may be non-opaque. Solid wooden or split rail fences are permitted.~~
    - (~~eb~~) A fence located anywhere except the front yard may have a height of up to six (6) feet.
    - (~~ec~~) A fence of up to eight (8) feet high may be allowed in a rear yard for the sole purpose of enclosing a court for tennis or similar sports. Such fence shall be set back a minimum of 10 feet from the side and rear lot lines.
    - (~~e~~) ~~A fence shall not be required to comply with accessory structure setbacks.~~
    - (d) Fence enclosures for swimming pools are required to meet the requirements of the Pennsylvania Uniform Construction Code, as amended.
  2. Walls.
    - (a) Engineering retaining walls necessary to hold back slopes are exempted from the regulations for this section and are permitted ~~by right as needed~~ as approved by the Township Engineer.

- (b) Walls may be one foot in height for every two feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.
3. General regulations for walls and fences.
- (a) Fences and walls shall not be required to comply with accessory structure setbacks. (b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement restricting the placement of structures.
- (c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.
- (d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.
- (e) Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

**§27-305.H.H11** Recreational and Other Vehicle Storage.

- a. Definition. A vehicle or piece of equipment, whether self-powered or designed to be pulled or carried, intended primarily for leisure time or recreational use. Recreational vehicles or units include, but are not limited to, the following: travel trailers, truck-mounted campers, coaches, motorized homes, folding tent campers, automobiles, busses, or trucks adapted for vacation use, snowmobiles, minibikes, all-terrain vehicles, go-carts, boats, boat trailers and utility trailers.
- b. Regulations.
1. Recreational vehicles or units shall not be stored in the front yard setback. Any more than two recreational or other vehicle storage items shall be considered Use L2 Outside Storage.
  2. Recreational vehicles or other vehicle storage may be permitted as an accessory use of non-residential lots, single-family detached dwellings and two-family attached dwellings.

**§27-305.J.J1**. Retail Store Definition. A shop or store selling commodities and goods to the ultimate consumer. Not included under this use are vehicular sales, over-the-counter sale of alcoholic beverages in a tavern or bar, or a store with greater than 15 square feet of floor area devoted to the display of pornographic materials. A pharmacy is considered incidental to retail use if located within the same building.

**§ 27-305.K.K5**. Contracting.

- b. Regulations
2. All materials and vehicles shall be stored within a building or an enclosed area which is properly screened. Any outside storage, including storage of two or more commercial, recreational or other vehicle storage, shall be considered an L2 Outside

Storage or Display use and shall comply with all the requirements for this use, in addition to the above regulations.

**§ 27-305.K18** Flexible building space that can be used for either at least two of the following uses: office, light manufacturing, assembly and/or warehousing.

**§ 27-305.L.L2.** Outside Storage or Display.

- a. Definition. Outside storage or display, other than storage as a primary use of the land, necessary but incidental to the normal operation of a primary use. The keeping, ~~in an unenclosed area,~~ of any goods, junk, material, merchandise, or vehicles in the same place including within a temporary structure for more than 24 hours.
- b. Regulations.
  1. No part of the street right-of-way, no sidewalks or other areas intended or designed for pedestrian use, no required parking areas and no part of the required front yard shall be occupied by outside storage or display.
  2. Outside storage and display areas shall occupy an area of less than 0.550% of the ~~existing~~ building coverage.
  3. Outside storage areas shall be shielded from view with a dense evergreen buffer and/or fencing so that the areas cannot be seen from all public streets. Fencing shall meet the provisions of this Ordinance.
  4. Uses requiring more substantial amounts of land area for storage or display may be exempt from the provisions of Subsection b.1 and b.2 above when granted as a special exception by the Zoning Hearing Board and provided;
    - (a) No more than 25% of the lot area shall be used in outdoor storage or display.
    - (b) A Special Exception is required for the following uses; nurseries (Use A6), lumber yards (Use K8), automobile sales (Use J20), truck terminals (Use K6) and agricultural retail (Use A3).
    - (c) Among the uses that shall not be appropriate for inclusion under this provision are retail stores (Use J1), repair shops (Use J17), service station or car-washing facility (Use J19), automobile repair (Use J21), sale of automobile accessories (Use J22), wholesale business and storage (Use K3), contractor office and shops (Use K5) and crafts (Use K7).

**§ 27-305.L.L3.** Temporary Structure, Temporary Storage Container, Pod, or similar:

...

c.5.(b) – Such containers shall only be located within the front yard of any property for a residential use and set back from the edge of the cartway and the sidewalk a minimum of five feet, provided that there is no encroachment into the clear sight triangle for any intersecting streets or driveways. For non-residential use, any such container shall be visible from a public street or public accessway and shall not be placed within required parking spaces for more than one month from the date installed.

**§ 27-305.L.L4.** Temporary Community Event. A. Definition. A temporary activity including, but not limited to, flea markets, public exhibitions, auctions, carnivals, circuses, picnics, air shows,



suppers for fundraising, mobile vending, and similar organizational events and meetings. Ice cream trucks are excluded from these regulations.

...

b. Regulations.

1. Such temporary uses shall be limited in time to no longer than seven days per occurrence. Such occurrences shall be limited to not more than four occurrences in a calendar year for each organization. There shall be at least a thirty-day period between such occurrences.
2. Signs advertising a temporary community event shall be posted no more than 14 days prior to the first day of the event and shall be removed on the final day of the event. No more than four off-premises signs shall be placed. The location of off-premises signs must be approved by the property owners of the properties upon which they are to be fixed.
3. The applicant shall provide plans to ensure security, crowd control, adequate parking for existing and proposed uses on the premises, emergency access, traffic control, street access, sanitary facilities, erosion control, trash collection, noise control, and cleanup after the event.
4. Approval in the form of a certified letter shall be obtained from the owner of the site.
5. Mobile vending shall be permitted within non-residential zoning districts only. No mobile vending shall be permitted within 500 feet of an existing restaurant or retail store selling similar goods. No more than one mobile unit shall be permitted at one location at a time. No outdoor eating areas with tables and/or chairs are permitted.
6. Hours of operations shall be limited to between the hours of 9 am to 6 pm.

**Add §27-305.L L15. Non-Residential Fences and Walls**

a. Definition. Structures such as fences and free-standing walls. Zoning permits are not required for replacing an existing fence in the same location, likeness and height provided it was legally conforming at the time it was installed. A zoning permit is required to replace a free-standing wall.

b. Regulations.

1. Fences:

- (a) Any fence located in the front yard shall not be 100% opaque and shall not exceed four (4) feet in height. Wire mesh may be attached to the inside of split rail fences if desired.
- (b) A fence located anywhere, except the front yard, may have a height of up to six (6) feet.

2. Walls.

- (a) Retaining walls measured four (4) feet or higher from the lowest grade to the top of the wall, tiered walls, and walls with surcharges from adjacent slopes, foundation loads, or other loads, shall require a Zoning Permit and review and approval of all required plans, details, calculations, and specifications by the Township Engineer.
- (b) Walls may be one (1) foot in height for every two (2) feet they are setback from a property line, up to a maximum height of six (6) feet in the rear or side yard. No wall shall exceed four (4) feet in the front yard.

3. General regulations for walls and fences.

- (a) Fences and walls shall not be required to comply with accessory structure setbacks.

- (b) Fences or walls shall not be permitted within the Township ultimate right-of-way or PennDOT legal right-of-way, within any clear sight triangle, nor within any easement without permission of the beneficiary of the easement.
- (c) The onus shall be on the property owner to identify the property line to ensure that there are no non-compliant fence or wall encroachments onto adjoining property.
- (d) In the instance that the property contains a recorded access easement for adjacent lands that may be under different ownership, the location of a fence or wall shall not hinder access to those adjacent lands for maintenance or other purposes in accordance with any recorded easement agreement.
- (e) Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.

**4. Exemptions:**

- (a) Conventional fences required for farm use, agricultural use and related 27-305 facilities on properties in excess of five acres shall be exempt from the fence regulations of this chapter, except for height regulations.
- (b) Fences required in the Butler Corridor Overlay District shall be in accordance with § 22-722.D.(7), of the Subdivision and Land Development Ordinance.

**§27-502.b.3.** – When a lot or tract of land undergoes subdivision/land development or is being developed with a new ~~or expanded~~ principal building or structure, all the natural resource protection land on this lot or tract, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected with a conservation easement in accordance with §§ **27-505** and **27-2400** of this chapter. The natural resources required to be preserved on each lot shall only be disturbed in accordance with Part **24** of this chapter and § **27-505**.

**§27-505.1.** Resource restrictions for environmentally sensitive land shall be considered land to be protected and preserved within the Watershed District for all uses and activities in accordance with the protection ratios noted below. All natural resource protection land, such as watercourses, agricultural soils, woodlands, steep slopes, wetlands, etc., shall be protected and preserved on each site and/or lot in accordance with § **27-2400** of this chapter through the placement of a conservation easement on the site/lot. The natural resources required to be preserved and protected shall not be disturbed, other than ~~the cultivation of~~ agricultural soils.

**Amend § 27-701.a., 801.a., 901.a., 1001.a., 1101.a.,** to include H6 Residential Solar Energy Systems as Use permitted by Right.

**27 Attachment 2** Table of Uses Regulations for H6 Residential Solar Energy System within SR-1 to Y/SE for SR-2, RR, VR, and MHP.

**§27-1201.a., 1301.a., 1401.a., 1501.a., 1601.a., 1701.a., & 1801.a.** - I3 ~~Professional General~~ Office

**§27-1403.c.8(d)** – Trees shall be planted within at least 5 feet outside rights-of-way parallel to the street along all streets but not alleys.

**§27-1904.g.** Structural Anchoring. Any structure placed in the ~~identified Floodplain-floodplain Overlay District area~~ shall be anchored firmly to prevent flotation, collapse, or lateral movement. The floodplain administrator shall require the applicant to submit the written opinion of a registered

professional engineer that the proposed structural design meets the requirements of this Part for all buildings and manufactured homes and may require such an opinion for all other structures. All air ducts, large pipes, storage tanks, and other similar objects or components located below the regulatory flood elevation shall be securely anchored or affixed to prevent flotation.

**§27-2103.a. Residential Lane Lots.**

1. A lane lot shall only be improved with one single-family detached dwelling and related residential accessory uses.
2. Each lot must have a separate lane, and each lane lot must contain at least twice the minimum lot area of the zoning district where the property is located.~~10 acres.~~

**§27-2108.d.** These increased restrictions only apply to lots that are one acre in lot area or less, and do not apply to the B6 Multifamily ~~and~~, B7 Apartment, B8 and B9 Mobile Home Park I and II uses, if such buildings are owned by a single person or entity and the individual units are rented out to tenants.

**§27-2109. Fences, Walls, and Terraces**

...

~~b. Structures such as fences, walls, or signs shall be built, constructed, and/or installed so that the front or "good side" of the structure faces outward from the lot.~~

**§27-2111 – Traffic Visibility Across Corners**

- a. In all districts, no structure, fence, planting or other obstruction shall be maintained between a vertical plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front or side yard which is within a horizontal clear-sight triangle boundary by the two street lines and a straight line drawn between points on each such line 75-50 feet from the intersection of said lines or extension thereof, unless otherwise approved by the Township Engineer.

~~When one or both streets which form the intersection are classified as collector or arterial highways, the clear-sight triangle bounded by the two street lines and a straight line drawn between points on such line shall be 100 feet from the intersection of said lines or extension thereof.~~

- ~~b. At each point where a private accessway intersects a public street or road, a clear-sight triangle of 50 feet measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade.~~

**§ 27-2114 Special Considerations for ~~Municipal Uses and~~ Emergency Service Uses.**

[Added by Ord. 2007-10-01, 10/22/2007]

- a. Notwithstanding the front, side or rear yard requirements for the ~~F1 Municipal Building Use or the~~ F2 Emergency Service Center Use, the required setbacks and/or buffer yards for each of these uses this use may be either increased or decreased in an amount not to

exceed 75% upon approval of the Board of Supervisors, provided that any such request for an F2 Use shall be subject to conditional use approval.

- b. The modified setback requirements provided for in this section are permissible provided that the proposed use is either owned or operated by New Britain Township or is located upon land owned and/or leased by New Britain Township to a nonprofit organization.

**§ 27-2115** Septic System Setbacks.

[Ord. 8-14-1995; as added by Ord. 2009-01-01, 1/26/2009]

No portion of an on-lot septic system or any of its components, including the toe of slope of the berm, shall be installed closer than 10 feet to a property line ~~or~~, ultimate right-of-way, or paved area, or located within an existing easement, or located in a manner that would block any stormwater drainage or swales, or flow of stormwater from any lot. On-lot septic systems are both individual and community sewage systems, including, but not limited to, conventional in-ground systems, individual residential spray irrigation systems, drip irrigation systems, sand mounds, and any other alternate or experimental systems approved by the Pennsylvania Department of Environmental Protection.

**§27-2400** All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap. The developer shall determine what environmental or natural features are present on the lot and shall meet the following standards of environmental protection. For any lot proposed for development to which the provisions of Chapter 22, Subdivision and Land Development, do not apply, the environmental standards of this section shall apply. Where alterations occur, restoration of the lot to its original condition shall be required. The provisions of this section shall apply to all zoning districts, including nonresidential districts. For any lot proposed for development subject to Chapter 22, Subdivision and Land Development, such lot shall not be subject to the provisions of this section but rather shall meet the environmental standards set forth in Chapter 22, Subdivision and Land Development.

**§27-2400.a.** Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads, sewer or water lines, utility transmission lines, and trails may cross watercourses ~~where design approval is obtained from the Township and, if required, the provided a permit is obtained from the~~ Pennsylvania Department of Environmental Protection, if required.

		Resource Protection Land	
Natural Resources	Protection Ratio	Acres of Land in Resources	(acres protection ratio) x Acres of Land to be Disturbed
Watercourses	1.00		
Riparian Buffer	1.00		
Floodplain	1.00		
Floodplain (Alluvial) Soils	1.00		
Wetlands	1.00		
Lakes or Ponds	1.00		
Wetlands Margins	0.80		
Woodlands <u>in the CR, WS, SR-1, SR-2, &amp; RR zoning districts</u>	0.80		
<u>Woodlands in all other zoning districts</u>	<u>0.50</u>		
Steep Slopes 8-15%	0.60		
Steep Slopes 15-25%	0.70		
Steep Slopes 25% or more	0.85		
Total Land With Resource Restrictions		_____	acres
Total Land With 1.00 Protection Ratio Resource Restrictions		_____	acres
Total Resource Protection Land Required			_____ acres
Total Resource Protection Land Provided			_____ acres
Total Disturbed Resources			_____ acres

**§27-2400.f.** Woodlands. In areas of woodlands, the following standards shall apply:

...

~~(b) The planting of replacement trees shall be done in accordance with a woodlands management plan prepared by a licensed forester.~~

~~(c)(b) The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors., unless the owner/developer offers a fee in lieu of the required replacement, such fee being approved by the Board of Supervisors, in its sole discretion.~~

(e) Any trees that are dead, dying, or diseased, and may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.

**§27-2401.c.** Deed Restrictions. For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed or an easement for each site or lot that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas in accordance with the provisions of this Part. Natural resource protection areas may be held as common open space in accordance with the requirements of this chapter and Subdivision and Land Development Ordinances [Chapter 22], or in the ownership of individual property owners. For this latter form of ownership, it shall be clearly stated in the individual deed that the maintenance responsibility lies with the individual property owner.

**§27-2606.e.1.&2.** Temporary Signs Commercial and Noncommercial

...

(f) The number of times a temporary sign may be erected upon a property in a calendar year shall be equal to four times per year ~~the number of temporary signs allowed on the property under Subsection e1(b) above.~~

**§27-2702** Open Space Designation

b. In designating use and maintenance, the following classes may be used:

~~1. Lawn. A grass area with or without trees which may be used by the residents for a variety of purposes and which shall be mowed regularly to insure a neat and orderly appearance.~~

~~1. 2.~~ Natural Area. An area of natural vegetation undisturbed during construction, or replanted. Such areas may contain pathways. Meadows shall be maintained as such and not left to become weed-infested. Maintenance may be minimal, but shall prevent the proliferation of weeds and undesirable plants such as honeysuckle and poison ivy. Deep-rooted native plants are encouraged over turf grass where possible. Litter, dead trees and brush shall be removed and streams shall be kept in free flowing condition.

~~3. 2.~~ Active Recreation Area. An area designated for a specific recreational use, including but not limited to tennis, swimming, shuffleboard, play field and tot lot. Such areas shall be maintained so as to avoid creating a hazard or nuisance and provisions shall be made to perpetuate the proposed use.

~~3.4.~~ Passive Recreation Area. Space for outdoor recreational activities not considered active such as walking, picnicking, bird watching and other similar activities.

~~4.5.~~ Agricultural Area. An area to be leased for Crop Farming as defined in Part 3.

~~5.6.~~ Stormwater Management. No more than 30% of the open space may be used for stormwater detention or retention basins.

6.A combination of areas noted above.

**§27-2800.e.** Buffer yards shall include a planting strip which creates a dense screen of closely planted trees or shrubs that obscures visibility, glare and noise in accordance with the spacing and composition as specified in the Township's Subdivision and Land Development Ordinance.

**§27-2803** All buffer yards shall be maintained and kept clear of all debris, rubbish, weeds, and tall grass except for meadow or other landscaping that includes native herbaceous material for a naturalized planting scheme.

**§27-2803.c** – No structures, including but not limited to ~~fences~~, sheds, pools, hot tubs, pergolas, gazebos, or play equipment, shall be permitted in the buffer yard. No manufacturing, processing, or storage of materials, goods, or items shall be permitted in the buffer yard. Fences are permitted in accordance with the regulations of this Ordinance. Green infrastructure is permitted within the buffer yards provided the plantings proposed to meet the buffer requirements of this section.

**Add §27-2900.g & h. –**

g.The 5th edition or most current edition of the Institute of Transportation Engineers Parking Generation Manual or a study from a Traffic Engineer may be used to support a reduction in the proposed parking requirement. In either case, the Township shall have sole authority with respect to establishing the parking requirement which shall consider potential future uses. The sum of the requirements for all uses may be reduced by no more than 25%.

h. All schools shall designate an area for overflow parking for special events of at least 100 parking spaces or one space per 2 students, whichever is less. This may be provided offsite with a recorded easement.

§ 27-2901 **Off-Street Parking Requirements.**

**B. Residential Uses**

B6 Multifamily	<u>2 spaces per dwelling unit</u>	
a. Efficiency	1 space per dwelling unit	
b. 1 to 3 BR	2 spaces per dwelling unit	
c. 4 BR or more	3 spaces per dwelling unit	

**C. Institutional Use**

C1 Hospital	<del>1.75</del> 6 spaces per bed
C2 Nursing Home	1.75 spaces per bed
C3 Personal Care Center	1.75 spaces per bed

**D. Educational Uses**

D1 Nursery School/Day Care	<del>2 spaces per classroom</del> <u>4 spaces per 1,000 square feet of total floor area</u>	1 space per full-time employee
D2 College, Primary or Secondary School		
a. Elementary, Middle Junior High	<del>2 spaces per classroom</del> <u>0.2</u>	



		<u>spaces per student</u>	
b.	High School	1 space for every 10 students of capacity <u>0.32 spaces per student</u>	1 space per full-time employee
c.	College	1 space for every 10 students of capacity <u>0.45 spaces per student</u>	1 space per full-time employee

### E. Recreational Uses

E1 Public Recreational Facility	<u>1 space per 250 square feet of total floor space</u> <u>16 spaces per acre</u>	
E2 Private Recreational Facility	<u>1 space per 250 square feet of total floor space</u> <u>16 spaces per acre</u>	
E6 Golf Course	<u>1 space per 100 square feet of total clubhouse floor area</u> <u>10 spaces per hole</u>	4 spaces per hole
E8 Library or Museum	<u>1-4 spaces per 500-1,000 square feet of total floor area</u>	

F1 Municipal Building      ~~1 space per 50 square feet of meeting area~~ 4 spaces per 1,000 square feet of total floor area

F4 Place of Worship      ~~1 space per 5 seats usable for worship or 8 linear feet of pews, whichever is greater~~ 17 spaces per 1,000 square feet of total floor area

**G. Utility and Transportation Uses**

G1 Utilities      ~~1 space per employee~~ 3 spaces per 1,000 square feet of total floor area

G2 Terminal      ~~1 space per 400 square feet every business vehicle normally stored on the premises~~      1 space per employee

G3 Airport      ~~1 space per 100 square feet~~ 2 spaces per daily enplanements      1 space per employee

**I. Office Uses**

I1 Medical Office	<del>1-6 spaces per</del> <u>1,000</u> <del>175</del> square feet of total floor area	
I2 Veterinary Office	<del>1-6 spaces per</del> <u>175-1,000</u> square feet of total floor area	
J6 Eating Place	1 space per 50 square feet of public <del>eating</del> area or 3 seats, whichever is greater	<u>1 space per  employee</u>
J7 Drive-In and Other Eating Place	1 space per 50 square feet of public area or <del>23</del> -seats, whichever is greater	<u>1 space per  employee</u>
J8 Tavern	<del>1 space per 100</del> <del>square feet for</del> <del>patron use or 3</del> <del>seats,</del> <del>whichever is</del> <del>greater</del> <u>21</u> <u>spaces per</u> <u>1,000 square</u> <u>feet total floor</u> <u>area</u>	

J10 Theater	<u>0.5 spaces per seat</u>	
J19 Service Station or Car Wash	<u>1 space per 1,000 square feet of total floor area</u>	
J22 Automotive Accessories	1 space per 100 square feet of total floor <del>space</del> <u>area</u>	
J29 Package Delivery Services	<del>1 space per pick-up station</del> <u>3 spaces per 1,000 square feet of total floor area</u>	
J30 Photocopying Services	<del>1 space per 100 square feet of floor space for customer use</del> <u>3 spaces per 1,000 square feet of total floor area</u>	
J34 Dispensary	<del>4</del> <u>21 spaces per 1,000</u> square feet of <del>gross</del> <u>total</u> floor area	1 space per employee

**K. Industrial Use**

K1 Manufacturing	1 <del>4</del> <u> spaces per 500</u> <u>1,000</u> square feet of total floor <del>space</del> <u>area</u>	1 space for each business vehicle normally stored on the premises
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K3 Wholesale Business, Wholesale Storage, Warehousing	1 space per <del>500</del> <u>1,000</u> square feet of total floor <u>area</u>	1 space for each business vehicle normally stored on the premises
K12 Extractive Operations	1 space for each business vehicle normally stored on the premises	1 space per employee working on the premises
<del>K19 Small Lot Industrial</del>	<del>See K19 use regulations</del>	<del>See K19 use regulations</del>
L5 Oil and Gas Drilling Well	<u>1 space per employee</u>	
L6 Wind Energy Conservation Systems	<u>1 space per employee</u>	
L7 Air Landing Field	<u>5 vehicle spaces and 2 aircraft spaces</u>	<u>1 space per employee</u>

**§27-2902.c.** – Changes in Use. Whenever a building or use is changed or enlarged in floor area, number of employees, number of dwellings ~~s-units~~, seating capacity or otherwise to create a need, based upon the requirements of this Part for an increase of 10% or more in the number of existing parking spaces, the number of total spaces to be provided shall be based upon the total parking that would be required for the entire existing and proposed use.

**§27-2902.g.** – Common guest parking areas shall be required at the rate of 0.3 space per dwelling unit for B3, B4, B5, ~~and B6, and B7~~ Uses. On-street parking may not be counted towards meeting this requirement, and the remainder, if any, shall be provided in an off-street parking lot that meets all of the applicable regulations and requirements set forth in Chapter 22, Subdivision and Land Development, of this Code. Perpendicular parking requiring backing up onto a street shall not be permitted. [Added by Ord. No. 2020-11-04, 11/16/2020]

**§27-2902.h.** – ~~Except for an off-street parking area on a single-family lot or serving a single-family or two-family dwelling, None~~ off-street parking area for a non-residential use shall be designed or built to require vehicles exiting the area to back out onto a street.

§ 27-2904 Design Standards for Off-Street Parking. [Ord. 8-14-1995, § 2904]

a. General Requirements.

~~1.No parking shall be designed to require or encourage parked vehicles to back into a public street in order to leave a parking space, except for a single-family or two-family dwelling backing onto a street other than an arterial or connector street.~~

2.1. Every parking area shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring the moving of any other vehicle, except for any spaces greater than two in number of a single-family detached dwelling.

~~3.No parking area shall be located in a required buffer yard or within an existing street right-of-way.~~

~~4.No parking or other paved area shall be located within 10 feet of a septic system absorption area.~~

~~5. Defined Traffic Ways. All parking areas shall include clearly defined and marked traffic patterns. In any lot with more than 30 off-street parking spaces, raised curbs and landscaped areas shall be used to direct traffic within the lot. Major vehicular routes shall be separated from major pedestrian routes within the lot.~~

6.2. Required off-street parking spaces shall be on the same lot or premises with the principal use served unless shared parking lot agreements are recorded to allow access and parking for all affected properties.

7.3. No parking area shall be used for any other use that interferes with its availability for the parking need it is required to serve. This includes storage or display of materials or vehicles.

b. Paved Area Setbacks (including Off-Street Parking Setbacks).

1.Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in stormwater management along streets.

2.All paved areas, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial or industrial building. This setback shall not apply to driveways entering into a garage, delivery entrance, vehicle service bay or carport, and similar uses as determined by the Zoning Officer. This setback is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.

3.No parking area, paved area, or outdoor display of vehicles or articles for sale shall be located in a required buffer yard, within an existing street right-of-way, or within 10 feet of the ultimate right-of-way line of any street.

4. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks or trails. Storm water control facilities may be located within this setback area if they do not obstruct sight distance. No fence shall be located within the paved area setback, except within the Butler Corridor Overlay District where it's demonstrated that the fence does not interfere with sight lines.

5. The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.

6. ~~All paved areas parking spaces, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial or industrial building. This setback shall not apply to driveways entering into a garage, delivery entrance, vehicle service bay or carport. This setback is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.~~

b. ~~Size of Parking Spaces. [Amended by Ord. 2016-05-01, 5/16/2016]~~

1. ~~Each parking space shall meet the following stall width and length:~~

<del>Type of Space</del>	<del>Width (feet)</del>	<del>Length (feet)</del>
<del>Perpendicular/90°</del>	<del>10</del>	<del>18</del>
<del>Angled (30°/45°/60°)</del>	<del>10</del>	<del>18</del>
<del>Parallel</del>	<del>8</del>	<del>22</del>

2. ~~All spaces shall be marked with double lines so as to indicate their location, except those of a single-family or two-family dwelling.~~

c. ~~Aisles. [Amended by Ord. 2016-05-01, 5/16/2016]~~

1. ~~For one-way traffic only, each aisle providing access to the type of stall listed shall meet the corresponding minimum aisle width specified below:~~

<del>Type of Parking Stall</del>	<del>Minimum Aisle Width (feet)</del>
<del>Parallel</del>	<del>12</del>
<del>30°</del>	<del>12</del>

### Minimum Aisle Width

Type of Parking Stall	(feet)
45°	18
60°	18
90°	20

2. For two-way traffic, each aisle providing access to any type of stall shall be at least 24 feet in width.
3. Raised pedestrian crosswalks and refuge islands shall be provided along the length of each parking aisle and row at intervals of 200 feet or less.

#### d. Access Drives and Driveways.

1. Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use.
2. Private driveways serving one dwelling unit or agricultural use shall have a maximum grade of no more than 10%.S
3. Any other driveway or access way shall have a 6% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 3% grade.
4. Adequate provisions shall be made to maintain uninterrupted parallel drainage along a public street at the point of driveway or access drive entry.
5. At least 75 feet shall be provided between any two access drives along one street along one lot.
6. No access drive or driveway shall open onto a public street less than 80 feet from the existing right-of-way line of any intersecting public street.
7. Where access is to a public street, a state or Township (if applicable) highway access permit shall be obtained.
8. Where access drives and driveways are proposed as part of a subdivision or land development, the provisions of the Township's Subdivision and Land Development Ordinance [Chapter 22] shall also be met. If there are any conflicts between the requirements of the Zoning and the Subdivision and Land Development Ordinances, the stricter provision shall apply.
9. Driveway Setbacks from Residence. A minimum five feet unpaved area setback shall be maintained between any driveway or access way and any abutting lot line of a single-



~~family detached house, unless a shared driveway is specifically shown on the approved plan.~~

e.c. Paving, Grading and Drainage.

1. Except for areas that are landscaped and so maintained, all portions of required parking, off-street loading facilities and driveways shall be graded, surfaced with asphalt, concrete, porous paving, or permeable pavers, ~~or concrete~~ and drained in ways necessary to prevent dust, erosion or water flow across streets or adjoining properties. Any parking, loading, or driveway shall at a minimum meet the ~~The~~ paving standards of the Township Subdivision and Land Development Ordinance ~~are hereby included by reference.~~ However, driveways serving an individual single-family detached house on a lot of five acres or greater or that only provide access to general or crop farming shall not be required to be paved except for the first 50 feet of the driveway or to the ultimate right-of-way, whichever is less.

d.f. ~~Night time~~Nighttime Illumination.

1. Any paved area of 1,000 square feet or more designed for use, or that would be open to the public during night hours shall be adequately illuminated ~~for security purposes~~ at no cost to the Township.

g. ~~Paved Area Setbacks (including Off-Street Parking Setbacks).~~

- ~~1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in storm water management along streets.~~
- ~~2. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks of six feet wide or less. Storm water control facilities may be located within this setback area. No fence shall be located within the paved area setback~~
- ~~3. No off-street parking space nor outdoor display of vehicles or articles for sale shall be located within 10 feet of the ultimate right-of-way line of any street.~~
- ~~4. The paved setback area, along with any curbing, shall be designed to prevent vehicles from entering or exiting the lot at locations other than approved driveways.~~
- ~~5. All paved areas, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial or industrial building. This setback shall not apply to driveways entering into a garage, delivery entrance, vehicle service bay or carport. This setback is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.~~

[Amended by Ord. 2017-01-01, 1/3/2017; and by Ord. 2017-06-07, 6/5/2017]

~~h. Paved Area Landscaping.~~

- ~~1. Any lot that would include more than 30 parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.~~
- ~~2. One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section or by the Subdivision and Land Development Ordinance [Chapter 22].~~
- ~~3. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."~~
- ~~4. Existing Trees. For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this section, one less shade tree shall be required to be planted.~~

~~i. Parking Lot Screening.~~

- ~~1. No off-street parking area for five or more vehicles shall be developed in such a way that vehicle headlights could shine into a dwelling located within 200 feet or less of the parking area.~~
- ~~2. Wooden fencing, brick walls or evergreen screening shall be required as needed to resolve the concern of this section. Such screening or fencing shall have a minimum height of four feet, except that screening or fencing of up to eight feet shall be required by the Zoning Officer as needed where there is unusual topography or the parked vehicles would be trucks or buses.~~

~~j.e. Handicapped Accessible Parking.~~

- ~~1. All The number and location of accessible parking and passenger loading zones shall comply with the requirements of the Federal Americans with Disabilities Act.~~
- ~~2. If not otherwise specified in the Federal Americans with Disabilities Act, accessible parking facilities ~~for the handicapped~~ shall meet the following minimum standards:
  - ~~(a) Any parking lot for public use including at least six-one off-street parking spaces, except for single-family dwellings, shall include of minimum of one handicapped space. A minimum of 3% of all off-street parking spaces required for use shall be handicapped spaces. The total minimum number of accessible parking spaces shall be in accordance with the following chart:~~~~

Minimum Number of Accessible Parking Spaces ADA Standards for Accessible Design 4.1.2 (5)			
Total Number of Parking spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (60" & 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
	Column A		
1 to 25	1	1	0
26 to 50	2	1	1
51 to 75	3	1	2
76 to 100	4	1	3
101 to 150	5	1	4
151 to 200	6	1	5
201 to 300	7	1	6
301 to 400	8	1	7
401 to 500	9	2	7
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*	7/8 of Column A**
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*	7/8 of Column A**

\* one out of every 8 accessible spaces      \*\* 7 out of every 8 accessible parking spaces

- (b) Handicapped-Accessible parking spaces shall be located where they would result in the shortest possible distance to an accessible building entrance.
- (c) Handicapped-Accessible spaces shall measure a minimum of 13 feet in width by 18 feet in length for each space.
- (d) The slope of handicapped-accessible parking spaces shall not exceed 2% in any direction.

**§27-2904.d.3** – Any other driveway or access way shall have an 68% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 43% grade.

**§ 27-2905** Parking of Trucks, Recreational and Other Vehicle and Storage, and Junk Vehicles in Residential Districts.

- a. The intent of this section is to prevent residential areas from being affected by commercial vehicles; and to maintain a residential character in residential districts by regulating junk vehicles, commercial trucks, etc.

...

~~d. No part of this section shall apply to recreational vehicles. [Amended by Ord. 2017-06-07, 6/5/2017]~~

~~ed. No commercial truck or van with a gross weight exceeding 8,500 pounds or greater than two axles or any, no tractor, or anyno trailer (as defined by this section), nor recreational or other vehicle storage shall be maintained (except emergency repairs), parked, stored, or otherwise kept within or upon a lot, driveway, on a public or private street without a valid license plate and registration, or other location that is within a residential zoning district between the hours of 8:30 p.m. and 9:00 a.m. any day of the week. Such equipment shall not pose a traffic safety concern as determined by the New Britain Township Police Department at any time. This prohibition does not apply to a single truck or van parked, stored, or otherwise kept within an enclosed building or garage upon a residential lot.~~

~~e. All such vehicles may be parked or stored on private property provided it is located as follows:~~

~~1. Within a carport;~~

~~2. Within a completely enclosed building;~~

~~3. Within the side or rear of a lot, but no closer than five feet to a property line;~~

~~4. Within the front yard provided it complies with the following:~~

~~(a) No such equipment shall be within the front yard setback or used for living, sleeping or housekeeping purposes when parked or stored on a residential lot or in any location not approved for that lot.~~

~~(b) The equipment shall be located on a paved or modified/crushed stone, permitted driveway.~~

~~(c) The location shall not cause ingress and egress sight line or safety issues as determined by the New Britain Township Police Department or the New Britain Township Zoning Officer.~~

~~(d) No more than two major recreational equipment items may be located on the exterior of a parcel unless permitted as an L2 Outdoor Storage Use or stored entirely within an enclosed structure.~~

~~(e) The equipment may be on a nonresidential lot that has been previously approved for storing major recreational equipment.~~

...

**§27-3003.a.** All applications for zoning permits shall be made in writing by the owner, tenant, vendee under contract of sale, or authorized agent on a form supplied by the municipality and shall be filed with the Zoning Officer. The application shall include ~~four~~two copies of the following information:

**Attachment 1 - Appendix A. Environmental Impact Statement Report**

...

**Add e.** For projects that involve dedication of land to the Township, properties with current or former environmentally sensitive uses or where site conditions warrant it, upon request by the

Board of Supervisors a Phase I Environmental Site Assessment shall be performed at the Applicant's expense. The Board of Supervisors may also request a Phase II Environmental Assessment and any similar additional environmental studies, work plans, remediation plans, environmental data, etc. as required by the Township Engineer pursuant to commonly accepted standards to characterize the site's environmental conditions considering the proposed use. The assessments shall conform with the scope and limitations of the ASTM Standard Practice for Environmental Site Assessment Process (ASTM E-1 525-05) as subsequently amended, and U.S. EPA Title 40 Code of Federal Regulations Part 312, Standard Practices for All Appropriate Inquiries (40 CFR Part 312) as subsequently amended.

**Attachment 3 – Zoning Map** – Replace with legible digital copy.

TOWNSHIP OF NEW BRITAIN  
BUCKS COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, PENNSYLVANIA, PROVIDING FOR COMPREHENSIVE AMENDMENTS TO THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS AMENDED, REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the Board of Supervisors of New Britain Township, Bucks County, Pennsylvania, has enacted the New Britain Township Subdivision and Land Development Ordinance, which is codified in Chapter 22 of the Code of Ordinances of New Britain Township; and

**WHEREAS**, the Board of Supervisors has determined that it is in the best interests of New Britain Township to revise the Subdivision and Land Development Ordinance in order to revise definitions of terms used in the Subdivision and Land Development Ordinance; to revise the requirements and procedures for submission of subdivision and land development plans and applications; to revise the requirements for natural resources and features that must be included on the plan; to add requirements for Environmental Site Assessments and Traffic Impact Studies; to provide for standardized fees-in-lieu for open space and/ or recreation areas; and to make editorial and clarifying amendments throughout the Subdivision and Land Development Ordinance;

**NOW, THEREFORE, BE IT ORDAINED AND ENACTED**, Chapter 22-Subdivision and Land Development of the Township of New Britain is amended to read as follows:

**Section 1.** The following Sections of Chapter 22 Subdivision and Land Development is amended to read as provided for in Exhibit "A" which is attached hereto and incorporated herein by reference:

- a. Section 202 Definitions of Terms.
  - i. Bioretention
  - ii. Bioswale
  - iii. Bypass Lane/ Escape Lane
  - iv. Green (Stormwater) Infrastructure
  - v. Impervious Surface
  - vi. Infiltration
  - vii. Invasive Plants
  - viii. Land Development
  - ix. Lot Area
  - x. Mobile Home
  - xi. Porous Pavement/ Pavers
  - xii. Rain Garden
  - xiii. Right-of-Way, Ultimate

- xiv. Soils on Floodplain
- xv. Specimen Tree
- xvi. Street Line
- xvii. Tree Protection Zone (TPZ)
- xviii. Water Supply
- xix. Wetlands

- b. Section 401 General Procedures
- c. Section 402 Sketch Plan and ERSAP Submission Review and Procedure
- d. Section 405 Minor Plan Submission and Review Procedure
- e. Section 406 Recording of Plans
- f. Section 502 Preliminary Plan Requirements
- g. Section 504 Minor Plan Requirements
- h. Section 505 Community Impact Assessment Report
- i. Section 703 Blocks and Lots
- j. Section 704 Easements
- k. Section 705 Streets
- l. Section 707 Pedestrian Walkways, Recreational Trails, and Bicycle Lanes
- m. Section 708 Parking Areas
- n. Section 709 Off-Street Loading Facilities
- o. Section 711 Grading, and Erosion and Sedimentation Control
- p. Section 712 Stormwater Management
- q. Section 713 Landscape Planting
- r. Section 714 Lighting
- s. Section 715 Park and Recreation Land
- t. Section 719 Private On-Lot Water Supply
- u. Section 721 Private On-Lot Sewage Disposal System
- v. Section 722 Butler Avenue Corridor Overlay District

**Section 2.** New Section 506 Traffic Impact Study shall be added to the Ordinance as provided in Exhibit "A".

**Section 3.** New Part 6 Natural Resources shall be added to the Ordinance as provided in Exhibit "A".

**Section 4.** Appendix A to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "B".

**Section 5.** Appendix B to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "C".

**Section 6.** Appendix D to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "D".

**Section 7.** Appendix E to the Subdivision and Land Development Ordinance is amended as set forth in Exhibit "E".

**Section 8. Severability.**

The provisions of this Ordinance are severable. If any section, clause, sentence, part or provisions hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair any of the remaining sections, clauses, sentences, parts of provisions of this Ordinance or prior Ordinances. It is hereby declared to be the intent of the New Britain Township Board of Supervisors that this Ordinance would have been adopted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included.

**Section 9. Effective Date.**

This Ordinance shall become effective five (5) days after the date of enactment, listed below.

**ORDAINED AND ENACTED** by the Board of Supervisors of New Britain Township  
this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Attest:

\_\_\_\_\_  
Dan Fox,  
Township Manager

\_\_\_\_\_  
Cynthia Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice Chair

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
William B. Jones, III, Member

\_\_\_\_\_  
Bridget Kunakorn, Member



**EXHIBIT "A"**

## **Subdivision and Land Development Ordinance Amendment**

October 28, 2024

Add or amend the following Definitions of **§22-202** as follows:

**BIORETENTION** – A stormwater retention area that utilizes woody and herbaceous plants and soils to remove pollutants before infiltration occurs.

**BIOSWALE** – a swale that uses bioretention and often includes native plants to absorb runoff and pollutants.

**BYPASS LANE/ESCAPE LANE** Vehicle lane allowing traffic to pass the drive-through lane and/or allowing vehicles, because of emergencies or mistakenly entering the drive-through lane, to exit the drive-through lane.

**GREEN (STORMWATER) INFRASTRUCTURE** – Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

### **IMPERVIOUS SURFACE**

Exterior surfaces which do not absorb water including all buildings, parking areas, driveways, roads, sidewalks, ~~swimming pools~~ and any area in concrete, asphalt, compacted stone and similar materials. Also includes other areas determined to be imperious by the Township Engineer.

### **INFILTRATION**

Movement of surface water into the soil, where it is absorbed by plant roots, ~~evaporated into the atmosphere,~~ or percolated downward to recharge groundwater.

**INVASIVE PLANTS** – Those species that are not native to the state, grow aggressively, and spread and displace native vegetation as noted on the DCNR Invasive Plant List that may be updated from time to time.

**LAND DEVELOPMENT** – Any of the following activities:

- a. The improvement of one lot or two or more contiguous lots, tracts, or parcels of land for any purpose involving:
  1. A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or tenure; or
  2. The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of, or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
- b. A subdivision of land.
- c. Development in accordance with § 503(1.1) of the Pennsylvania Municipalities Planning Code as may be amended.
- d. The condominium of land or buildings.
- e. The addition of an accessory building, including farm buildings subordinate to the existing principal building, are excluded from the definition of land development.

## **LAND DEVELOPMENT, MINOR**

~~The expansion of an existing building or parking area.~~

## **LOT AREA**

The area contained within the property lines of the individual parcels of land shown on a subdivision plan as required by this chapter, excluding any area within an existing or designated future street right-of-way and any area required as open space under the Township Zoning Ordinance [Chapter 27] and the area of any existing ~~or proposed~~ easement.

## **MOBILE HOME**

A transportable single-family dwelling intended for permanent occupancy contained in one unit or in two or more units designed to be joined into one integral unit, capable of again being separated for repeated towing, which arrives at a site complete and ready for occupancy except for minor and incidental unpacking and assembly operations, constructed so that it may be used without a permanent foundation and built under U.S. HUD standards and not [BOCA Uniform Commercial Code](#) standards. A mobile home need not meet local building codes but shall meet the standards of the U.S. Department of Housing and Urban Development, as indicated in the Structural Engineering Bulletin(s) which shall be provided to the township by the applicant.

**POROUS PAVEMENT/PAVERS** – Stormwater controls that allow stormwater to infiltrate through the surface of the pavement/pavers to the ground below.

## **RAIN GARDEN**

A stormwater facility planted with specially selected native vegetation to treat and capture runoff and by pooling water on the surface and settling out suspended solids and allowing for infiltration and pollutant removal in the plant/soil/microbe media.

~~SOILS, FLOODPLAIN (ALLUVIAL) Areas subject to periodic flooding and listed in the Soil Survey of Bucks and Philadelphia Counties.~~ **SOILS ON FLOODPLAIN** Areas subject to periodic flooding or listed in the Official Soil Survey provided by the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey (<http://websoilsurvey.nrcs.usda.gov/>), as soils having a flood frequency other than none. Such soils shall include, but may not be limited to, the following soil types: Bowmansville-Knauers silt loam (Bo), Buckingham silt loam (BwB), and Rowland silt loam (Ro). A landowner may submit detailed soil profiles and a report to the Township for the purpose of determining an alluvial soil classification, which the Township may or may not accept as the correct boundary of soils on floodplain.

**SPECIMEN TREE** Any tree with a caliper that is 75% or more of the record tree of the same species of the commonwealth. A unique, rare, or otherwise specifically selected tree considered worthy of conservation by New Britain Township because of its species, size, age, shape, form, historical importance, or any other significant characteristic, including listing as a species of special concern by the Commonwealth of Pennsylvania.

## **STREET LINE**

The dividing line between a lot and a street. Also called Ultimate Right-of-Way Line, Legal or Required Right-of-Way line. Where no right-of-way line exists or is proposed, the street line shall be the edge of sidewalk farthest from the street.

## **RIGHT-OF-WAY, ULTIMATE**

The street right-of-way projected as necessary for adequate handling of anticipated maximum traffic volumes, according to the Township Street Classification Map. The ultimate right-of-way is the legal right-of-way where it has been offered for dedication and accepted by the Township or other authority. It shall be measured from the centerline of the street or as determined by the Township Engineer.

## **TREE PROTECTION ZONE (TPZ)**

An area that is radial to the trunk of a tree in which no construction activity shall occur. The tree protection zone shall be 15 feet from the trunk of the tree to be retained, or the distance from the trunk to the dripline, whichever is greater. Where there is a group of trees or woodlands, the tree protection zone shall be the aggregate of the protection zones for the individual trees.

## **WATER SUPPLY**

### **A. PRIVATE WATER SUPPLY SYSTEM**

A system for supplying and distributing water to a single ~~lot or dwelling unit or building from a source located on the same lot.~~

### **B. PUBLIC WATER SUPPLY SYSTEM**

Any water supply and distribution system that is owned and managed by the Township, the Bucks County Water and Sewer Authority, North Wales Water Authority, North Penn Water Authority, ~~Aqua of Philadelphia or Philadelphia Suburban Water Company~~ or other approved water purveyor, which services more than a single community or subdivision and may be interconnected with other water supply systems.

### **C. COMMUNITY WATER SYSTEM**

A privately-owned system for supplying and distributing water from a common source(s) to two or more dwellings and/or other buildings in a single neighborhood and/or land development.

## **WETLANDS**

Areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions, including swamps, marshes, bogs and similar areas. The term includes but is not limited to wetland areas listed in the ~~Pennsylvania State Water Plan, the United States Forest U.S. Fish & Wildlife Service Wetlands Inventory of Pennsylvania, the Pennsylvania Coastal Zone Management Plan and/or a wetland area designated by a river basin commission.~~ Wetlands shall be determined by current standards established by the United States Army Corps of Engineers and the ~~Pennsylvania Department of Environmental Protection Agency.~~

~~§22-401.6. Subdivision applications creating a single new building lot are not considered minor subdivisions and such applications are required to submit a completed plan submission as required by §§ 22-403 and 22-404 of this chapter. Subdivision proposals creating a single new building lot must establish a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots.~~

~~§22-401.7. All plan submissions shall include two compact discs (CDs)a flashdrive or electronic submission that includes PDF copies of all the plan sheets, supporting documentation and any other application material included in this submission.~~

~~§22-401.8. Notification Requirements. The applicant for a subdivision or land development shall, with the submission of a sketch plan if submitted, and preliminary plan, notify all surrounding property owners (minor subdivision-adjacent property owners and major subdivisions and land developments within 500 1,000 feet of the proposed development perimeter). The notice shall state that a subdivision or land development plan has been filed for the property (indicate tax map parcel number) and shall state that the Township office will schedule the meetings at which the plans will be reviewed. The developer shall include in the notice the date the plan is scheduled for the initial Township Planning Commission meeting. The notice shall include a copy of the proposed development plan showing the proposed lots and streets and perimeter roads. The plan shall be either 8 1/2 inches by 11 inches or 11 inches by 17 inches. The notification shall be sent within five days of the time the plans are submitted to the Township. The applicant shall submit an affidavit to the Township setting forth the list of the names and addresses to which notices have been sent and include the content of the notice. The affidavit shall be supplied by the applicant to the Township at least five days prior to the first meeting of the Planning Commission at which the plans are to be discussed. The applicant shall post the property at the time of preliminary plan submission. The sign must be readable, maximum size of two feet by three feet and state that the property is the subject of a subdivision or land development with New Britain Township, (215) 822-1391, for any questions.~~

**§22-402.4. Sketch Plan Processing Procedures:**

- A. The applicant shall make a request to the Township Zoning Office to be scheduled on a Planning Commission or Board of Supervisors' meeting agenda for an informal discussion of the sketch plan.
- B. The applicant shall appear at the scheduled meeting to explain the plan and to discuss issues identified by the Planning Commission or Board of Supervisors. The applicant should be prepared to discuss significant issues including, but not limited to, land use proposed (residential, commercial, industrial, etc.), density or intensity of proposal; access to the subject site, including intersection locations and road realignments; site plan design, including subdividing, roads, buildings, common areas, curbs, sidewalks and pedestrian walkways and open space.
- C. The Township Planning Commission or Board of Supervisors may make suggestions and recommendations to the applicant during the meeting at which the plan is discussed. Suggestions and/or recommendations shall be summarized in the minutes of the Township Planning Commission or Board of Supervisors for reference by the applicant.

§22-402.5.B.(4) Once the aerial photograph and sketch plan have been received, the zoning office shall may coordinate a site visit with the applicant, Township staff and elected officials. The purpose of the visit is to familiarize officials with the property's existing conditions and special features, to identify potential site design issues, and to provide an informal opportunity to discuss site design concepts, including the general layout of a designated required open space (if applicable), potential locations for proposed buildings and street alignments, stormwater management concepts, and protection of resources (natural and historic). Comments made by the Township representatives, or their staff and consultants shall be as only be advisory and are not binding on either the Township or the applicant. It shall be understood by all parties that no formal recommendations can be offered, and no official decisions can be made, at the site visit or during the sketch plan process.

§22-405.1. Minor plans may be submitted and processed for only lot line adjustments and minor land developmentssubdivisions, as defined in this chapter.

§22-406.1.H. If the final plan is approved with public streetlights to be formally accepted for dedication by the Township, the applicant shall submit a streetlight petition to the Township in accordance with the requirements of the MPC.

§22-406.2. Submission Record Plans.

A. Six-Three paper copies of the final plan to be recorded shall be submitted directly to the Township Engineer for review and execution, prior to approval by the Board with the following information:

- (1) Five signature lines shall be provided for the Board of Supervisors,
- (2) The final plan shall bear the signature of the landowner(s) of record, -
- (3) Notary public with sufficient white space to avoid any text conflicts with the required notary stamp.
- (4) The signature and seal of the registered professional engineer and/or surveyor responsible for the plans, - and
- (5) signature of an official of the Bucks County Planning Commission file number, and-
- (6) The signature of the certified wetlands scientist certifying any delineated wetlands.

§22-406.2.B. At the time of record plan submission, the applicant shall also submit to the Township Engineer:

- (1) Five-Three (3) complete paper sets (rolled) of the final plans for construction; and
- (2) One electronic copy of all drawings on CD-ROM media in PC language in either DWG or DEF Vector format. The information on the electronic plan shall be the same in exact detail as the final plans to be recorded. In the event that electronic submission is not possible, the applicant may request preparation of an electronic plan by the Township Engineer. All expenses associated with preparation of the electronic plan by the Township Engineer shall be considered review expenses incurred by the Township on behalf of the applicant. Any

proposed Conservation Easement linework within the electronic copy of the Final Plan(s) in DWG or DEF Vector format shall be provided to the Township with georeferencing in order for the Township to plot the easement on a Township mapping system.

**§22-502.1.B(7)** The overall tract boundary from a field survey with bearings and distances ~~and~~, total tract acreage, the survey benchmark, north arrow orientation, datum, and any relevant survey control elements.

**§22-502.1.B.(21)** The following recording notes and certifications shall be provided for recording of the final plans: Professional land surveyor's certification, professional engineer's certification, professional wetlands/soils scientist's certification, Bucks County Recorder of Deeds Certification, ownership acknowledgment; notary public statement; Bucks County Planning Commission Certification; Township Engineer's Certification; ~~Planning Commission Chairman Approval with one signature line~~ and Board Approval with five signature lines.

Add **§22-502.1.B.(23)** The total amount of impervious area accounted for in the stormwater design within each sub drainage and bypass area shall be noted on the Record Plan.

**§22-502.1.D.(8)** Other natural features including:

- (a) Location, size and species, of individual trees six inches in diameter or greater, when standing alone or in small stands. The plan shall also identify any dead, dying, invasive, or diseased tree(s) within existing or proposed conservation easements or trees that may pose a threat to safety as determined by the Township or Township Engineer.
- (b) Outer limits of woodlands to remain. ~~Approximate~~ Limits of site disturbance, including a clear delineation of existing vegetation, including trees, hedge rows, wooded areas, and scrub growth, ~~meadow and actively farmed land~~. Indicate items to be removed and items to be preserved, including method of preservation. Healthy ~~Trees~~ need not be individually identified in areas proposed to be permanently preserved, set aside as open space or in areas proposed not to be disturbed.
- (c) Locations and limits of geologic features that may affect the locations of proposed streets or buildings, including rock outcroppings, quarries and sink holes.
- (d) Natural resources that are protected by the provisions of the Township Zoning Ordinance [Chapter 27], such as watercourses, floodplains, wetlands, natural steep slopes, riparian areas, ~~forests~~woodlands, agricultural soils and other features.

§22-502.1.D.(10)(a) Contour lines measured at vertical intervals of two feet, as determined by an on-site field survey, not interpretation of United States Geologic Service (USGS) Maps. The plans shall indicate the benchmark elevation and the location ~~and shall be based on the Chalfont-New Britain Township Joint Sewage Authority vertical datum.~~

§22-502.1.D.(12) All information shown on the plans shall be from an onsite field survey conducted within five two years of the date of the application.

Add §22-502.1.D.(13) Locations and type of existing underground and overhead utilities.

### **§ 22-502.1.H. Lighting Plan.**

- ~~(1) Location of all proposed streetlights, lighting fixtures and standards, including wall mounted lights.~~
- ~~(2) Location of buildings, building setback lines, proposed streets, rights-of-way, parking areas, sidewalks and walkways.~~
- ~~(3) Location of all proposed landscape plantings.~~
- ~~(4) All individual trees, vegetated areas and woodlands designated to remain and other related landscape features such as berms, water features, etc.~~
- ~~(5) Isofootcandle data and plots for each proposed lighting fixture.~~
- ~~(6) Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.~~
- ~~(7) Lighting intensities in footcandles plotted for the entire site.~~

(1) Existing and proposed site features including:

- a. Existing and proposed streetlights, lighting fixtures and standards, including architectural wall mounted lights.
- b. Existing and proposed buildings, retaining walls, parking areas, driveways and walkways
- c. Required setback and right-of-way lines
- d. Existing and proposed above and below ground utilities
- e. Location of all existing and proposed vegetation
- f. Site Grading

(2) Lighting information and calculations including:

- a. A ten-foot by ten-foot (10' x 10') point by point illuminance grid extending 10 feet beyond the property lines.
- b. Luminaire Schedule including: i.
  - \_\_\_\_\_ Luminaire catalog number
  - ii. \_\_\_\_\_ Luminaire IES file
  - iii. Quantity of luminaires
  - iv. Mounting height of luminaires
  - v. Light loss factor used in lighting calculations
- c. Site Lighting Statistics for illuminated areas including: i.
  - \_\_\_\_\_ Building entrances



- ii. Pedestrian ways
- iii. Parking Areas
- iv. Fueling and/or charging canopies
- v. Other areas as deemed necessary by the Township Engineer d.

Site lighting statistics for each area shall include:

- i. Maximum illumination level
  - ii. Minimum illumination level
  - iii. Average illumination level
  - iv. Maximum to minimum ratio
  - v. Additional information as required to determine compliance with IES guidelines
- e. Limits of each statistical area.
  - f. Lighting manufacturer's details for all proposed fixtures, including lamps, photo control devices, shields, poles and foundation supports.
  - g. Seal and signature of the design professional responsible for the preparation of the plan
  - h. Compliance chart to demonstrate compliance with IES recommended practices

**§22-502.1.J.(3)** Street, widening, right-of-way, access drive and driveway paving cross-section details.

**§22-504.2.** Minor Plan, Lot Line Adjustment or Subdivision. The following plan information shall be shown:

...

E. Subdivision proposals creating one single new building lot must develop a plan for all required improvements under this chapter in those cases where there is additional vacant land for future subdivision of additional lots unless otherwise approved by the Board of Supervisors.

F. For a lot line change where no new lots are created and where no physical improvements are proposed, public improvements such as road widening, curb, sidewalk, street trees, etc. are not required.

G. Any additional information as reasonably required by the Township Engineer.

~~**§22-504.3.** Minor Plan, Land Development. The plan requirements shall be the same as those required for preliminary and final plans, except for the following:~~

- ~~A. An aerial photograph plan shall not be required.~~
- ~~B. Horizontal plan and profile shall not be required.~~
- ~~C. Existing features and natural resource plan shall be submitted for the property only.~~
- ~~D. The applicant may submit one minor plan that combines all other plan requirements.~~

**§22-505.4.D.(3)** Surface water resources and their drainage characteristics, including creeks, streams, ponds, lakes, springs, wetlands, watersheds, floodplains and man-made structures and impoundments. The existing and proposed surface runoff from the

tract shall be calculated, including the potential development of the remainder of the watershed. The flow, depth, capacity and quality of the receiving waters shall be investigated and need for any onsite streambank stabilization evaluated.

Add §22-505.4.D.(5) Any Phase I and Phase II Environmental Site Assessments completed for the site in question shall be submitted to the Township for review.

Add §22-506 Traffic Impact Study

1.Purpose and Applicability.

A.Purpose. A traffic impact study shall be required as a prerequisite to a zoning permit for the following uses:

- (1)Residential land development or subdivision of 50 or more dwelling units.
- (2) Shopping Center.
- (3)Commercial: A commercial building or buildings consisting of 25,000 square feet or more or total floor area.
- (4)Office: A development consisting of 25,000 square feet or more of total floor area.
- (5)Industrial: A development consisting of 50,000 square feet or more of total floor area or any truck terminal as a principal use.
- (6)Institutional Hospital, Nursing Home or Institutional: A development of 50,000 square feet or more total floor area.
- (7)Any other use expected to generate greater than 100 new trips inbound to the site or out bound from the site in site peak hour traffic, or 1,000 trips per day.
- (8)The Township may request a Traffic Impact or Trip Generation Analysis for any proposed use at the Township's discretion.

B.The traffic study shall be submitted with the preliminary plans. This study will enable the Township to assess the impact of a proposed development on highways and public transportation. Its purpose is to identify any traffic problems and to delineate solutions.

2.Conduct of the Traffic Impact Study. The traffic impact study (TIS) or traffic impact analysis (TIA) shall be prepared by a qualified traffic engineer and/or transportation planner with previous traffic study experience. The procedures and standards for the traffic impact study are set forth in Subsection A of this section and the Highway Occupancy Permit Operations Manual Appendix A PennDOT Transportation Impact Study Guidelines dated September 2022 or as amended. If there is any discrepancy between the Township's and PennDOT Traffic Study Guidelines, the stricter standard shall apply.

A.General Requirements and Standards. A transportation impact study shall contain the following information:

- (1)General Site Description. The site description shall include the size, location, proposed land uses, construction staging and completion date of the proposed development. A brief description of other major existing and proposed land developments for which preliminary plans have been

submitted within the proposed study area shall be included. The Township reserves the right to determine the study area at a preapplication conference.

- (2)Transportation Facilities Description. The description shall contain documentation of the proposed internal and existing external transportation system. This description shall include proposed internal vehicular, bicycle and pedestrian circulation, all proposed ingress and egress locations, all internal roadway widths, and any traffic signals or other intersection control devices at all intersections within the site.
- (3)Existing Traffic Conditions. Existing traffic conditions shall be documented for all major roadways and intersections in the study area and any other intersections or roadways the Township deems will be affected by the proposed development. Existing traffic volumes for average daily traffic, peak highway hour(s) traffic and peak development-generated hour(s) traffic shall be recorded. Traffic counts at major intersections in the study area and others which the Township deems will be affected by the proposed development shall be conducted, encompassing the peak highway hour(s), and documentation shall be included in the report. A volume/capacity analysis based upon existing volumes shall be performed during the peak highway hour(s) and the peak development-generated hour(s) for all roadways and major intersections in the study area where those intersections which the Township deems will be impacted by the proposed development. Based upon the Highway Capacity Manual, or as amended, this analysis will determine the adequacy of the existing roadway system to serve the current traffic demand. Roadways and/or intersections experiencing levels of service D, E or F shall be noted as congested locations. A development generated peak hour analysis may be required per the Township Engineer's request.
- (4)Traffic Impact of Development. Estimation of vehicular trips to result from the proposed development shall be completed for the average daily peak highway hour(s) and peak development-generated hour(s). These development-generated traffic volumes shall be provided for the inbound and outbound traffic movements as estimated, and the I.T.E. Trip Generation Manual, 11th edition or as revised. All turning movements shall be calculated. These generated volumes shall be distributed and assigned to the existing roadways and intersections throughout the study area for which existing conditions were identified in Subsection A.(3) above. Documentation of all assumptions used in the distribution and assignment phase shall be provided. Traffic volumes shall be assigned to individual access points. Pedestrian volumes shall also be calculated, if applicable. If school crossings are to be used, pedestrian volumes shall be assigned to each crossing. Any characteristics of the site that will cause particular trip generation problems shall be noted.
- (5)Analysis of Traffic Impact. The total future traffic demand shall be calculated. This demand shall consist of the combination of the existing traffic expanded to the completion year (using an annual traffic growth rate available from the Delaware Valley Regional Planning Commission), the development-generated traffic, and the traffic generated by other proposed developments in the study area. Traffic generation data shall be developed by the applicant from trip generation rates or from other traffic impact studies if they are available. A volume/capacity analysis shall be conducted using future

demand. A 'without development' and 'with development' future roadway capacity shall be conducted. If staging of the proposed development is anticipated, calculations for each stage of completion shall be made. This analysis shall be performed during the peak highway hour(s) for all roadways and major intersections in the study area which are deemed to be impacted by the proposed development. Volume/capacity calculations shall be completed for all major intersections. All access points and pedestrian crossings shall be examined as to the feasibility of installing traffic signals. This evaluation shall compare the projected traffic and pedestrian volumes to the minimum standards as per PennDOT standards for installation of a traffic signal. Turn lane analysis and queuing analysis shall be provided as requested by the Township Engineer.

- (6)Conclusions and Recommended Improvements. The level of services shall be listed for all intersections including all individual movements and the overall intersection. All roadways, individual intersection movements, and/or intersections showing a level of service below C shall be considered deficient. Specific recommendations for the elimination of these problems shall be listed for critical movements and overall level of service drops and delays which increase by more than 10 seconds. This listing of recommended improvements shall include, but not be limited to, the following elements: internal circulation design, site access location and design, external roadway and intersection design and improvements and widenings, traffic signal installation and operation including signal timing, transit design improvements, and reduced intensities of use. The Township may request all physical roadway improvements to be shown in sketches. The recommended improvements for both roadways and transit shall include, for each improvement, the party responsible for the improvement, the cost and funding of the improvement and the completion date for the improvement.
- (7)Implementation. The Township Board of Supervisors shall review the traffic impact study to analyze the impact of the proposed development. If major problems are identified by the traffic impact study, or if any intersection, critical movement, or segment of road would fall below level C as the result of the proposed development, then the Board of Supervisors may:
- (a)Reject the application for zoning permits.
  - (b)Require specific onsite or offsite improvements as a condition of plan approval.
  - (c)Reduce the intensity of use permitted.
  - (d) A combination of (b) and (c) above.

## Add Part 6 Natural Resources

### § 22-600 Natural Resources.

All uses and activities, including subdivisions and land developments, established after the effective date of this chapter, shall comply with the following standards. Site alterations, regrading, filling or clearing of any natural resources prior to the submission of applications for zoning or building permits or the submission of plans for subdivision or land development shall be a violation of this chapter. Where alterations occur, restoration of the lot to its original condition shall be required. In the event that two or more resources overlap, the resource with the greatest protection shall apply to the area of overlap.

1. Watercourses. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon, except roads and trails may cross watercourses where design approval is obtained from the Township and, if required, the Pennsylvania Department of Environmental Protection.
2. Floodplains. See Part 19 of the Zoning Ordinance, Chapter 27.
3. Floodplain (Alluvial) Soils. See Part 19 of the Zoning Ordinance, Chapter 27.
4. Wetlands. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon. Where the property owner demonstrates to the Township's satisfaction that there is no reasonable alternative, minor road crossings, utility line crossings, streambank rehabilitation, and endwalls may be permitted, so long as state and federal permits have been obtained for such work. Wetland boundaries shall be delineated through an on-site assessment conducted by a professional soil scientist. Such person shall certify that the methods used correctly reflect currently accepted technical concepts, including the presence of wetlands vegetation, floodplain soils and/or hydrologic indicators. The study shall be submitted with sufficient detail to allow a thorough review by the Township prior to approval by the Board of Supervisors. The Township shall have the right to inspect the site as a part of its review of the study, and the Township reserves the right to verify the presence and/or extent of wetlands through the retention of its own professional soil scientist.
5. Lakes and Ponds. The entire extent of such areas shall not be altered, regraded, filled, piped, diverted or built upon.
6. Woodlands. In areas of woodlands, the following standards shall apply:
  - A. No more than 20% of woodlands located upon a lot or site shall be altered, regraded, cleared, or built upon in the CR, WS, SR-1, SR-2, and RR Districts.
  - B. In all other zoning districts, no more than 50% of woodlands located upon a lot or site may be altered, regraded, cleared, or built upon, provided the following requirements are met:
    - (1) Where more than 20% of the woodlands are being disturbed, all disturbed woodlands exceeding this 20% limit shall be replaced on an acre-for-acre

basis through the planting of replacement trees. The actual number of replacement trees shall be calculated by multiplying the acreage of disturbance exceeding 20% by 200 trees per acre. All replacement trees shall have a minimum tree caliper of 3 1/2 inches' DBH.

(2)The planting of replacement trees or woodlands restoration shall be done in accordance with a woodlands management plan prepared by a licensed forester as may be required by the Board of Supervisors based on the nature of the trees removed and nature of proposed trees.

(3)The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors.

(4)Any trees that are dead, dying, or diseased, and may be a safety hazard or may result in damage to any structure, may be removed or dropped in place with approval from the Township.

7. Steep Slopes. In areas of steep slopes, the following standards shall apply:

A. Eight percent to 15% grade. No more than 40% of such areas shall be altered, regraded, cleared or built upon.

B. Fifteen percent to 25% grade. No more than 30% of such areas shall be altered, regraded, cleared or built upon.

C. Twenty-five percent or steeper. No more than 15% of such areas shall be altered, regraded, cleared or built upon.

8. Wetlands Margin. No impervious surface area shall be located within 25 feet of a wetland boundary, and no more than 20% of such areas shall be disturbed. Any Department of Environmental Protection regulations concerning activities in wetlands margins shall also be met.

9. Riparian Buffer. The riparian buffer shall include only the portion of land sloping towards the surface water bodies being protected and shall extend no more than 75 feet from each side of the watercourse, lake or pond, at bankfull flow edge, or shall extend the extent of the 100-year floodplain, whichever is greater. No land disturbance shall be permitted within any riparian buffer except as permitted below. The buffer area will consist of two distinct protection zones.

A. Zone 1. This buffer area will begin at the edge of the lake, pond or watercourse and occupy a margin of land with a minimum width of 25 feet measured horizontally on a line perpendicular to the edge of water at bankfull flow or level. Open space uses that are primarily passive in nature may be permitted in Zone 1, including:

(1)Open space uses such as wildlife sanctuaries, nature preserves, forest preserves, fishing areas, passive areas for public or private parklands and reforestation.

- (2)Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks County Conservation District and a nutrient management plan in accordance with state requirements, if applicable.
  - (3)Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines, and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
  - (4)Vegetation management in accordance with an approved landscape or open space management plan.
  - (5)Runoff to be buffered or filtered by Zone 1 will be limited to sheet flow or subsurface flow only. Concentrated flows must be converted to sheet flow or subsurface flows prior to entering Zone 1 for proposed stormwater management facilities.
  - (6)The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.
- B. Zone 2. This buffer zone will begin at the outer edge of Zone 1 and occupy a minimum width of 50 feet in addition to Zone 1. However, where the width of the 100-year floodplain extends greater than 75 feet from the edge of water at bankfull flow or level, Zone 1 shall remain a minimum of 25 feet and Zone 2 shall extend from the outer edge of Zone 1 to the outer edge of the 100-year floodplain. Uses permitted in this buffer area include open space uses that are primarily passive in nature, including:
- (1)Open space uses such as wildlife sanctuaries, nature preserves, forest preserves and passive areas for public or private parklands, recreational trails for non-motorized use only and reforestation.
  - (2)Customary agricultural practices in accordance with a soil conservation plan approved by the Bucks Conservation District.
  - (3)Regulated activities permitted by the commonwealth and Township for stream or wetland crossing or other encroachment (i.e., farm vehicle and livestock, recreational trails for non-motorized use only, roads, sewer or water lines and utility transmission lines) provided that any disturbance is offset by riparian corridor improvements as approved by the Township and all regulated activities designed to have the least impact on native plant species and other sensitive environmental features.
  - (4)Recreational activities or uses not involving impervious surfaces such as playing fields or golf courses.

(5)The riparian buffer easement shall be planted with native trees, shrubs and other vegetation to create a diverse native plant community appropriate to the intended ecological context of the site. Invasive species shall be removed, whenever practicable.

C.Prohibited Uses. Any use or activity not authorized in Subsection i.1 or i.2 above shall be prohibited within the riparian buffer. The following activities and facilities are specifically prohibited:

(1)Clear cutting of trees and other vegetation.

(2)Selective cutting of trees and/or the clearing of other vegetation, except where such clearing is necessary to prepare land for a use permitted under Subsection i.1 or i.2 above, or where removal is necessary as a means to eliminate dead, diseased or hazardous trees. Removal is subject to revegetation by native plants that are most suited to the riparian corridor.

(3)Storage of any hazardous or noxious materials.

(4)Roads, access drives or driveways, except as permitted by the Pennsylvania Department of Environmental Protection and Township.

(5)Parking lots.

(6)Subsurface and elevated sewage disposal areas and other wastewater disposal systems.

D.Revegetation of Riparian Area. In cases where a major subdivision or land development is proposed, replanting of the riparian corridor shall be required where there is little or no existing streamside vegetation. Native vegetation approved by the Township must be used in replanting. Three layers of vegetation are required when replanting the riparian corridor. These layers include herbaceous plants that serve as ground cover, understory shrubs and trees that form an overhead canopy. The revegetation plan shall be prepared by a qualified professional, who has specific experience in the delineation of riparian buffer areas, and shall comply with the following minimum requirements, unless modified by the Board of Supervisors upon recommendation of the Planning Commission.

(1)Ground Cover. Ground cover consisting of a native seed mix extending a minimum of 25 feet in width from the edge of the stream bank must be provided along the portion(s) of the stream corridor where little or no riparian vegetation exists. Appropriate ground cover includes native material, exclusive of noxious weeds, as defined by the Pennsylvania State Department of Agriculture. This 25-foot wide planted area shall be designated on the plan as a "no mow zone" and shall be left as natural cover, except in accordance with the maintenance instructions stated on the plan.

(2)Trees and Shrubs. These planting layers include trees that form an overhead canopy and understory shrubs. Overstory trees are deciduous or evergreen trees that include oak, hickory, maple gum, sycamore, hemlock, pine and fir.



Evergreen and deciduous shrubs should consist of elderberry, viburnum, azalea, rhododendron, holly, laurel and alders. These plants shall be planted in an informal manner clustered within Zone one of the riparian buffer as indicated in Subsection i.4.(a) above. These plants shall be provided at a rate of at least one overstory tree and three shrubs for every 20 linear feet of waterway.

(3)Exceptions. These planting requirements shall not apply to existing farm fields located within the riparian buffer or the farmland tract areas if farming operations are to be continued and the required state nutrient management plan is met.

10. Individual Trees. In order to maintain natural vegetation, prevent erosion, foster the retention of groundwater supply and generally attempt to maintain the ecological balance in the community, the following requirements shall be met:

A.Any specimen tree having a diameter of thirty (30) inches or more, measured at twelve (12) inches above natural grade line, shall not be removed, whether located within a woodland area or standalone.

B.The planting of replacement trees shall occur onsite on an equivalent caliper inch basis.

§22.601. Land With Resource Restrictions and Resource Protection Land. Calculate the land with resource restrictions and the resource protection land through the use of the following chart. In the event that two or more resources overlap, only the resource with the highest protection ratio shall be used in the calculations.

<u>Natural Resources</u>	<u>Protection Ratio</u>	<u>Acres of Land in Resources</u>	<u>Resource Protection Land (acres in protection ratio)</u>	<u>x</u>	<u>Acres of Land to be Disturbed</u>
<u>Watercourses</u>	<u>1.00</u>	<u>R</u>	<u>r</u>		<u>Pr</u>
<u>Riparian Buffer</u>	<u>1.00</u>	<u>e</u>	<u>c</u>		<u>ov</u>
<u>Floodplain</u>	<u>1.00</u>	<u>q</u>	<u>e</u>		<u>id</u>
<u>Floodplain (Alluvial) Soils</u>	<u>1.00</u>	<u>u</u>	<u>P</u>		<u>Total</u>
<u>Wetlands</u>	<u>1.00</u>	<u>i</u>	<u>r</u>		<u>Disturb</u>
<u>Lakes or Ponds</u>	<u>1.00</u>	<u>r</u>	<u>o</u>		<u>ed</u>
<u>Wetlands Margins</u>	<u>0.80</u>	<u>d</u>	<u>t</u>		<u>Resource</u>
<u>Woodlands</u>	<u>0.80</u>	<u>T</u>	<u>e</u>		<u>es</u>
<u>Steep Slopes 8-15%</u>	<u>0.60</u>	<u>o</u>	<u>c</u>		
<u>Steep Slopes 15-25%</u>	<u>0.70</u>	<u>t</u>	<u>t</u>		
<u>Steep Slopes 25% or more</u>	<u>0.85</u>	<u>a</u>	<u>i</u>		
<u>Total Land With Resource Restrictions</u>		<u>I</u>	<u>o</u>		
<u>Total Land With 1.00 Protection Ratio Resource Restrictions</u>		<u>R</u>	<u>n</u>		
<u>Total Resource Protection Land</u>		<u>e</u>	<u>L</u>		
		<u>s</u>	<u>a</u>		
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acres acres

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acres

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acres

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acres

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1.) Minimum Open Space. Calculate the minimum open space using the following:

<u>Base Site Area</u>	<u>                </u> acres
<u>Multiply by Minimum Open Space Ratio</u>	x <u>                </u> acres
<u>Standard Minimum Open Space =</u>	<u>                </u> acres

**§22-703.4.A(1)** Each lot shall meet or exceed the minimum lot area and width requirements of the Township Zoning Ordinance. The area within any existing ~~or proposed~~ easement shall not be counted towards the minimum lot area.

**§22-703.4.C. ~~Lot Lines~~** Lot lines shall be drawn parallel, concentric, at right angles or radial ~~to from~~ the street right-of-way line to the front yard setback unless not feasible or undesirable due to existing, permanent, natural or man-made features or to minimize multiple changes in horizontal direction. In general, lot lines shall follow Township boundary lines rather than cross them.

**§22-703.6.A.** A lane lot ~~may be used for only a single family detached dwelling and~~ shall not be ~~permitted created~~ in a subdivision with proposed streets or extensions of existing streets.

**§22-703.6.D.** Points of access for lane lots shall be separated from another lane lot by at least 300 feet along the street right-of-way line.

**§22-704.2.B.** Easements for pedestrian or vehicular access shall be a minimum of 20 feet, unless a wider easement is required by the Board, upon recommendation of the Township Engineer. ~~Easements for pedestrian or vehicular access shall not be combined with utility easements.~~

**§22-704.3.** Proposed utility easements shall be ~~centered on or~~ adjacent to front, side, or rear property lines.

**§22-704.4.** Nothing shall be placed, planted or set within the area of an easement and the area shall be kept as lawn or in a natural state, unless otherwise approved by the Township Engineer.

**§22-705.3.D.** The primary street through a residential subdivision of 50 or more dwelling units shall at a minimum be designed to the specifications of a ~~minor collector local street~~. Additional width may be required at the discretion of the Board of Supervisors.

**§22-705.3.E.** Private streets within a subdivision shall be designed to the specifications of a local street. Private streets shall be recorded with a minimum 50-foot access easement to benefit New Britain Township. Additional width may be required at the discretion of the Board of Supervisors.

**§22-705.3.G.** Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1 1/2 inches or install a leveling course and a wearing course where requested by the Public Works Superintendent.

**§22-705.4.C.** Intersection spacing, clear sight triangles and curb radii listed below shall be considered minimum requirements.

Functional Classification	Intersection Spacing	Clear Sight Triangle	Curb Radius
Arterial	1000 feet	400 feet	35 feet
Major and Minor Collector	800 feet	75 feet	25 feet
Local Street	500 feet	50 feet	25 feet

**§22-705.5.A.** Clear sight triangles for street intersections ~~and driveway intersections with street right-of-way lines~~ shall be shown on the Record Plan and Landscape Plan and measured from the point of intersection of the street right-of-way lines in accordance with Section §2111 of the Township Zoning Ordinance.

**§22-705.6.** Sight Distances. ~~Minimum sight distances for stopping, passing and intersections shall comply with PennDOT standards shall be noted on the Land Development and Landscaping Plans in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended.~~

**§22-705.7.C.(3)** At all approaches to intersections, grades for arterial and major collector streets shall not exceed 3% for a minimum distance of 100 feet from the intersection of curblines or edges of cartways. Street grades for all other streets shall not exceed ~~3~~<sup>3.4</sup>% for a minimum distance of 50 feet from the intersection of curblines or edges of cartways.

**§22-705.8.B.** Cul-de-sac streets shall have a minimum length of 400 feet, but shall not exceed ~~800-1,200~~ feet in length nor serve more than 25 dwellings or units. ~~Cul-de-sac streets may be extended to 1,200 feet upon approval by the Board.~~ Measurement of the length shall be from the edge of cartway of the abutting through street to the center of the cul-de-sac turnaround, measured along the cul-de-sac street center line.

**§22-705.8.C.** Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet. Alternatively, for private cul-de-sac streets, a landscaped island is permitted to reduce impervious areas and for stormwater collection and treatment. The cartway width shall be a minimum paved width of twenty (20) feet unless a greater width is needed to accommodate emergency vehicles and as approved by the Fire Marshall. "No Parking" signs shall be installed as directed by the Fire Marshall. The island shall have mountable curb unless otherwise approved for drainage. If no curb is proposed, there shall be a minimum 2% salt-tolerant vegetated slope for 5 feet for pavement support.

**§22-705.8.D.** Cul-de-sac streets shall not be permitted ~~only as side streets extending from a through street off of another cul-de-sac street.~~ Such ~~Cul-de-sac~~ streets may not create a four-way intersection unless two permanent cul-de-sac streets intersect directly opposite one another along a local access street.

**§22-705.8.F.** ~~A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.~~

~~§22-705.12.A~~ All proposed street names shall be recommended ~~by staff presented to~~ and reviewed by the Township Fire Marshal's office for duplication. ~~Street names shall be subject to approval by the Board. All street names shall be shown on the final plans to be recorded.~~

Remove ~~§22-705.12.H.(6)(a) through (d)~~ and replace with ~~§22-705.12.H.(6)~~ All street name sign posts, standards, and nameplates shall be in accordance with the Street Sign Detail provided in Appendix E Construction Detail and Specifications.

~~§22-705.13.D.~~ All access drive and driveway construction shall be designed in accordance with the details listed in the Appendix and the following criteria. ~~Alternatively, profiles and/or truck turning plans can be provided to demonstrate that emergency access vehicles can adequately maneuver the site to the satisfaction of the Fire Marshall:~~

Type of Access	Minimum Driveway Width	Minimum Radius	Maximum Grade	Maximum Change of Grade
Residential <u>or Agricultural</u>	12 feet	<u>10 feet</u>	<u>10%</u>	<u>8%</u>
Residential (Shared)	16 feet	10 feet	8%	<u>68%</u>
Non-Residential (One-Way)	<u>10-12 feet</u>	25 feet	6%	<u>78%</u>
Non-Residential (Two-Way)	25 feet	25 feet	6%	<u>78%</u>

~~§22-705.13.H.~~ ~~Sight distances shall be noted on the Land Development and Landscaping Plans in accordance with Pennsylvania Code, Title 67 Transportation, Chapter 441, Access and Occupancy of Highways by Driveways and Local Roads, as amended. Clear sight triangle for access drives and driveways intersecting a street shall be 10 feet, measured from the point of intersection of the street right-of-way line and edge of the access drive or driveway. For access drives and driveways, the dimensions used shall be determined by the classification of street being intersected. The site plan shall contain a notation that states that the applicant is required to maintain the area of the clear sight triangle and the Township has the right to enter and perform required maintenance in the area if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions and Conditions approved by the Board. The applicant shall be required to obtain easements from adjoining property owners if deemed critical to public welfare.~~

~~§22-705.13.J-~~ ~~Driveways shall have a minimum turnaround area of 10 feet by 20 feet, or as recommended by the Township Fire Marshal's Office and approved by the Board.~~

~~§22-705.14.C.~~ Pavement underdrains shall be placed along both sides of all proposed streets and in areas of cartway widening of existing streets ~~as directed by the Township Engineer's representative in the field and~~ in accordance with the details listed in the Appendix. ~~A note shall be added to the plan to this effect.~~

~~§22-705.15.B.~~ Crosswalks shall be a minimum of ~~five-six~~ feet in width and shall be constructed in accordance with PennDOT standards.

Add §22-705.18. Centralized mail delivery and cluster box units (CBU's). A freestanding, concrete pad pedestal-mounted mailbox containing more than one individually locked mailboxes and parcel compartments.

A. Where cluster box units (CBUs) are proposed, the following requirements shall apply:

- (1) CBU shall be designed such that they are centrally located to serve the residents of the development, while providing safe and efficient access for pedestrians and motor vehicles in the vicinity of the CBU.
- (2) Provisions for off-street and/or on-street parking, and compliance with accessibility, shall be provided to each CBU.
- (3) CBU and location shall be subject to the United States Postal Service's approved specifications which are incorporated herein by reference.
- (5) At least two parking spaces shall be provided near the CBU with one space signed as 15-minute parking only.

§22-705.15.D. Crosswalks shall consist of ~~brick red/white~~ thermoplastic striping in a street imprint with herringbone continental pattern and six inch white stripes, unless otherwise approved by the ~~Board of Supervisors~~ Public Works Superintendent.

§22-707.1.B.(8) Curb ramps shall be required at all intersecting streets. ~~Curb ramps shall have a maximum slope of six horizontal to one vertical, with maximum side of two horizontal to one vertical.~~ in accordance with accessibility guidelines.

§22-707.1.C. Construction Standards. As approved by the Board, pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas. Asphalt pedestrian walkways or recreational trails shall be constructed with 2 1/2 inches of wearing course and six inches of 2A stone subbase. Concrete pedestrian walkways or recreational trails shall be constructed with four-inch ~~class 'AA'~~ air-entrained (3,500-4,000 PSI) cement concrete and four inches 2B (Clean) stone subbase. Pervious asphalt, concrete, or pavers may be installed for facilities to be privately owned and maintained.

§22-708.1. General Standards

A. Parking areas shall be provided for all subdivisions and/or land developments in accordance with the Zoning Ordinance [Chapter 27] and retrofitted for projects where the building is proposed to be expanded by 50% or more of the existing building square footage to improve the performance of the existing parking lots in an equitable manner.

...

G. All parking areas should include clearly defined and marked traffic patterns. Major vehicular routes shall be separated from major pedestrian routes within the lot.

H. Parking lots shall integrate stormwater management and landscape design by the use of plants and soils to naturally detain, treat, and infiltrate runoff from impervious surfaces.

I. Green parking lot standards are required to be met for all parking lots or expansions of 10 spaces or more.

- J. Grid/grass structures are encouraged in perimeter parking areas that are seldom used or used seasonably. Permeable pavement systems, including interlocking concrete pavers and grid systems, are encouraged in low-traffic areas such as parking bays, residential parking pads, driveways, and reserve areas or overflow parking areas.
- K. Redevelopment of Existing Parking Lot – For projects where an existing principal building is being expanded by 50% or more of the existing footprint, a minimum of 50% of the existing parking lot area shall be brought into compliance with these requirements.

§22-708.2.B. All parking stall striping shall be double-lined in accordance with the detail listed in the Appendix.

**§22-708.2.**

- ...
- C. All proposed planting islands and strips shall be provided with curb. Depressed curb or curb cuts are permitted where planting islands and strips are adjacent to a stormwater facility upon approval of the Township Engineer.
- D. No more than 15 parking spaces shall be permitted in a continuous row without being separated by a minimum 10' by 18' planting island.
- E. No parking areas shall exceed 30 spaces in capacity, without being separated into smaller parking areas by a minimum ten-foot plantings-strips.
- ...

§22-708.3.C. The minimum parking aisle width shall be determined by the angle of parking and direction of traffic as follows.

Angle of Parking	Minimum Aisle Width
Parallel/one-way	12 feet
<u>30°/one-way</u>	<u>12 feet</u>
45°/one-way	18 feet
60°/one-way	18 feet
90°/one-way	20 feet
90°/two-way	24 feet

§22-708.4.B. ~~The minimum width shall be 25 feet and parking along access drives is prohibited.~~ Each access drive shall have a minimum width of 12 feet and maximum width of 15 feet at the street line for one-way use only and a minimum width of 25 feet and maximum width of 30 feet at the street line for two-way use. Parking along access driveways is prohibited.

§22-708.5. Service Drives-, Drive-Through Lanes, and Bypass/Escape Lanes Around Buildings.

- A. The primary function of service drives is to provide emergency service access to the building, and to provide access to employee parking areas, loading facilities, trash collection areas and service areas.
- B. The minimum width shall be 20 feet for service driveways and parking along service drives shall be prohibited.
- C. Drive-through lanes shall be a minimum of 12 feet wide, or 10 feet wide if multiple drive-through lanes are proposed. Drive-through lanes shall be separated from the bypass lanes by painted lines or other delineation.
- D. A minimum 10-foot-wide bypass lane/escape lane shall be provided for all drive-through facilities.
- E. A drive-through lane shall not be the sole ingress and egress to the site.
- F. The design of a drive-through lane and bypass lane/escape lane shall minimize the blocking, crossing, or passing through of off-street parking areas and minimize crossing of, or the need to be crossed by, pedestrian accessways for patrons.
- G. Drive-through lanes shall be marked by signs which indicate the entrance and exit for the drive-through lane. The direction of traffic flow for the drive-through lane and bypass lane/escape lane shall be clearly marked.
- H. Delayed service parking areas shall be provided.

**§22-708.6.** Parking Lot Design Standards

- A. ~~All off-street parking shall be set back a minimum of 10 feet from any street ultimate right-of-way line, sewage disposal system or private well.~~ All off-street parking spaces shall be set back a minimum of ~~three~~ twenty (20) feet from any side of any non-residential building. This setback shall not apply to driveways entering garages, service bays or carports and is intended to allow sufficient area for firefighting, sidewalks, and foundation landscaping.
- ...
- G. Parking areas serving nonresidential uses that allow shopping carts in the parking areas shall be designed with cart return areas of suitable sizes and in suitable locations. Such cart return areas shall not be counted as parking spaces. The number and location of such cart return areas shall be approved by the Board Township Engineer.
- ...
- J. Walkways shall be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian full view of oncoming vehicles with minimum interference from trees, shrubs, and parking cars.
- K. Where pedestrian circulation crosses vehicular routes, a crosswalk with different material, pavement striping, speed tables, and/or signage shall be provided.
- L. At least one pedestrian route shall be provided and aligned within the parking lot with the main entry of a building to facilitate pedestrian movement where the building is open to the public. Clear separation/division from vehicular areas with landscaping, grade change, or surface material change shall be provided.



**§22-709.1.**

...

~~C. Each required loading space shall be no less than 14 feet by 60 feet for a tractor-trailer and 12 feet by 35 feet for smaller trucks.~~

DC. Each loading space and the area needed for maneuvering shall be located entirely on the lot being served and shall not conflict with parking aisles, stalls, access drives or service drives.

ED. Loading facilities shall be paved in accordance with the details listed in the Appendix, unless higher strength paving is required due to the type of anticipated vehicles.

~~F. The loading area shall be designed and used in such a manner so that at no time will it constitute a nuisance, a public safety hazard or an unreasonable impediment to traffic.~~

**§22-711.3.A.** All disturbed land within a development to be vegetated shall be graded at a minimum slope of 2% to provide proper drainage and dispose of stormwater runoff without ponding, except stormwater facilities designed to promote infiltration.

Add **§22-711.5.E.** Any areas of erosion along any onsite embankment, existing watercourse, etc. shall be identified and details provided for means and method of stabilization. A permit shall be obtained from the County Conservation District and/or PADEP as required.

**§22-711.7.A.** The Board in its consideration of all preliminary plans for subdivision and/or land development shall condition its approval upon the execution of erosion and sedimentation control measures as contained in this section. ~~The Township Engineer shall ensure compliance with the appropriate policies and standards of PADEP and the Bucks County Conservation District.~~

**§22-711.7.D.** An erosion and sedimentation control plan approved by the Bucks County Conservation District for projects disturbing 5,000 sf or more is required prior to the recording of final plans and any earthmoving activities. ~~and shall be maintained onsite at all times. Implementation and maintenance of erosion and sediment controls is required for any earthmoving activity. Projects having less than 5,000 square feet of earth disturbance are required to implement and maintain erosion and sedimentation controls, however are exempt from developing a written plan (unless in a Special Protection watershed).~~

Add **§22-711.7.E.** The Sequence of Construction shall note that the Township shall be notified at least three (3) days prior to start of construction in order to coordinate construction observation.

**§22-712 Stormwater Management**

...

2. General Requirements...

...

B. Stormwater Management Facilities. The applicant shall install stormwater management facilities, on- ~~and~~-off-site, as necessary, to meet the following minimum requirements:

...

3) To convey stormwater runoff along or through the property to a natural outfall, such as a watercourse, drainage swale, storm sewer or other drainage facilities. If an applicant concentrates or redirects stormwater runoff to discharge at another location on the property, the applicant ~~is responsible for constructing~~shall pursue offsite easements to install an adequate channel or storm sewer system on downstream properties and rights-of-way until a natural outfall is reached. A natural outfall shall have sufficient capacity to receive stormwater without deterioration of the facility and without adversely affecting property in the watershed.

...

F. Where stormwater runoff will be collected within the subdivision and/or land development and discharged over lands within or beyond the boundaries of the subdivision and/or land development, the applicant shall reserve or obtain easements over all lands affected. The stormwater easement width shall be of adequate width to collect the stormwater runoff and for access to the stormwater facility(ies) for maintenance and repairs. If requested by the Board, the applicant shall convey, at no cost, the easement(s) to the Township. Otherwise, all such easements shall be owned and maintained by individual lot owner(s) or another approved entity. Ownership and maintenance responsibilities shall be noted on the site plan and stormwater agreement ~~for such shall be as~~in a form approved by the Township Solicitor.

...

K. Roof drains and sump pumps for proposed residential and nonresidential buildings shall discharge to infiltration or vegetative BMPs to satisfy the criteria for disconnected impervious areas. However, Sump pump and roof drains may be connected to an existing or proposed storm sewer system or discharged directly to a stormwater detention facility as approved by the Township Engineer. Sump pump and roof drains may also be discharged to a watercourse or drainage swale provided a minimum twenty-foot drainage easement is provided over all affected properties. Sump pumps and roof drains shall not be discharged over a driveway or sidewalk on an adjunct property, or through a curb onto a public street or directly connected to a roadway underdrain system.

...

N. Stormwater management best management practices (BMPs) must be incorporated into the design of the stormwater management system ~~as determined by the Township Engineer.~~ All proposed best management practices for stormwater and erosion control shall be designed in accordance with the latest DEP BMP Manual and the Township's Stormwater Management Ordinances, as amended [Chapter **26**].

3. Stormwater Runoff Methodology.

~~A. Any stormwater detention facilities required by this chapter shall meet the applicable water quality requirement for the one-year return period, and peak rate requirements for the two-, five-, ten-, twenty-five-, fifty- and one-hundred-year return periods, consistent with the calculation methodology specified herein and in accordance with the regulations of the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~B. To calculate the increase in total stormwater runoff and peak flow resulting from a proposed subdivision and/or land development, the "cover complex" method will be used, as outlined in Urban Hydrology for Small Watersheds, U.S. Department of Agriculture, Soil Conservation Service, Technical Release 55 (NTIS PB87-101580) and following mathematical analyses described in Computer Program for Project Formulation — Hydrology (SCS Technical Release 20, 1983), as amended. The design of any stormwater management facility intended to meet the requirements of this chapter shall be verified by routing the design storm hydrographs through the proposed stormwater detention facility.~~

~~C. All stormwater detention facilities shall be designed to meet the Release Rate Districts requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~D. All stormwater detention facilities shall be designed to meet the water quality requirements in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].~~

~~E. Farm field or disturbed earth (existing conditions) within a watershed, or portion thereof, used for modeling purposes shall be considered as "meadow" when developing the necessary "cover complex" calculations.~~

A. Runoff calculation methodology, release rate districts requirements, water quality requirements, stormwater management plan requirements, operations and maintenance requirements, etc., shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].

B. The Soil Conservation Service Type II twenty-four-hour rainfall distribution shall be used in the soil cover complex calculations. The twenty-four-hour rainfall depths for the return periods used in the calculations shall be in accordance with the Township's Stormwater Management Ordinances, as amended [Chapter 26].

C. In calculating the time of concentration for a watershed, the maximum length of sheet flow over paved or unpaved surfaces shall not exceed 150 feet. All time of concentration paths used for calculation purposes shall be shown on the Watershed Area Plan.

4. Detention Basin Facilities and Bioretention Facilities with a drainage area of one acre or larger, or with an aboveground ponding depth of greater than 2.5 feet as measured from the finished grade of the facility to the 100-year water surface elevation, shall be designed in accordance with the following minimum requirements:

...

- ~~B. The use of regional detention basins to combine and eliminate numerous smaller basins is encouraged. Within subdivisions, detention basins shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries, unless a homeowners association will own and maintain the detention basin. If a homeowners association is not created for a subdivision, any detention basin located on an individual lot shall be owned and maintained by the lot owner.~~
- C.B. All detention basin berms, including emergency spillways, shall have a maximum interior and exterior side slope of three horizontal to one vertical. The toe of any slope shall be located a minimum of five feet from any property line or street right-of-way line.
- DC. The maximum difference between the top of berm elevation and the lowest invert ~~elevation~~ of the outlet structure shall be seven feet.
- ~~E. Post-development runoff volume generated from the one-year, twenty-four-hour design storm shall be controlled so that it is released over a minimum of 24 hours. Except with the one-year design storm, basins shall be designed so that they return to normal conditions within 12 hours after the termination of the storm.~~
- D. Storage facilities shall completely drain both the volume control and rate control capacities over a period of time not less than 24 and not more than 72 hours from the end of the design storm, unless approved by the Township Engineer. All open-air facilities shall be designed to completely infiltrate runoff volume within 3 days from the start of the design storm.
- F.E. The grading and utility plan shall contain a note that all detention basin embankments shall be placed in lifts not to exceed one foot in thickness. Each lift shall be compacted to a minimum of 95% of Modified Proctor Density as established by A.S.T.M. D-1557
- G.F. Outlet pipes from detention facilities shall be designed to control the peak rate for the one-hundred-year design storm. All basin outlet pipes shall be watertight reinforced concrete pipe having watertight "O-Ring" joints, with a minimum size of 18-15 inches.
- H.G. An emergency spillway shall be provided for a detention basin in order to convey basin inflow in excess of design flows, or in the event the outlet structure becomes blocked and is unable to convey the design flow. The minimum capacity of the emergency spillway shall be equivalent to the one-hundred-year peak inflow rate for the post-development design storm. Emergency spillways shall be constructed with a suitable liner, as determined by the Township Engineer, designed in accordance with the manufacturers' specifications, backfilled with topsoil, and seeded to protect the berm against erosion. The emergency spillway lining shall extend to the toe of the embankment on the exterior of the berm and shall extend to an elevation of three feet below the spillway crest on the interior of the berm.
- I.H. The minimum freeboard through the emergency spillway for basins shall be one foot and the maximum spillway length shall not exceed 75 feet.

- ~~J.I.~~ All portions of the detention basin shall be sloped towards the outlet structure at a minimum slope of 2%. A slope less than 2% is permitted for facilities relying on infiltration for drainage if an underdrain system is provided with cleanouts for maintenance. The underdrain shall have a valve at the outlet structure to allow the system to be drained should the infiltrative capabilities of the soils become compromised.
- ~~K.J.~~ The minimum ~~basin~~ berm width at the design elevation for basins shall be 10 feet. A cutoff trench (keyway) of impervious material shall be provided under all embankments that require fill material. The cut-off trench shall be a minimum of eight feet wide, three feet deep and have side slopes of one horizontal to one vertical.
- ~~L.K.~~ For all detention basins, the permanent outlet control structure shall be a Type "M" inlet grate and box. The inlet grate shall only be used as an emergency outflow and the grate elevation shall be equal to or higher than the one-hundred-year water surface elevation, but at least six inches below the emergency spillway elevation.
- ~~M.L.~~ Two anti-seep collars shall be installed around the basin outlet pipe and shall be centered within the normal saturation zone of the berm. The anti-seep collars and their connections to the pipe barrel shall be watertight.
- ~~N.M.~~ Detention basins shall be installed before the construction of any buildings or site improvements, unless otherwise approved by the Board and the Bucks County Conservation District. A preliminary basin as-built plan must be submitted and approved by the Township Engineer prior to beginning any building construction to confirm that the constructed volumes are in accordance with the design plans. A note confirming this shall be included on the record plan and in the sequence of construction.
- ~~O.N.~~ If a detention basin will serve as a temporary sedimentation basin, the temporary control measures shall be shown for the basin as required by PennDOT Pennsylvania Code, Chapter 102 Regulations, as amended. Temporary sediment basins shall be in place prior to any earth moving activities within their tributary drainage areas.
- ~~P.O.~~ Energy dissipating devices (cable concrete/~~rip rap~~, or equivalent) shall be provided at all discharge points. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required where a basin outlet pipe is discharged along or within a public road right-of-way.
- ~~P.~~ Basins shall be screened and landscaped in accordance with the Landscape Planting requirements of this chapter and the following minimum requirements:
- 1.) Bioretention and infiltration facilities shall be planted with vegetation and/or seed mix other than turf grass to encourage evapotranspiration. Planting soil depth shall be at least 18" where only herbaceous plant species will be utilized. If trees and woody shrubs will be used, soil media depth shall be increased depending on plant species.
  - 2.) Planting soil shall be amended with a composted organic material. A typical organic amended soil is combined with 20-30% organic material (compost), and 70-80% soil base (preferably topsoil).

Q. Retention basins or wet ponds are recommended for areas of natural high ground water with a recommended minimum drainage area to the facility of 5 acres. To protect the public health, safety and welfare, At a minimum, the any retention basin design shall include be designed in accordance with the following:

1) ~~a~~ A ten-foot wide safety ledge, a clay liner, a maximum four-foot permanent pool depth, wet-tolerant plantings, cutoff trench, two fountain aerators with locked controls, the location of power source, and specifications for embankment construction and soil testing. The above criteria shall be specified in a retention basing ~~g~~ cross section detail.

2) a forebay for sediment collection and removal,

3) a dewatering mechanism,

Q.R. Underground detention basins may be utilized for stormwater management, when approved by the Board. When approved, tThe underground detention basins shall be designed in accordance with the following criteria:

1) Underground detention basins shall be located outside all public rights-of-way.

2) Underground detention basins shall be constructed of ~~high density~~ high-density corrugated polyethylene pipe, or approved equal. ~~The required volume shall be provided utilizing only underground pipe capacity.~~ Each pipe shall have a minimum slope of 0.5%, except pipe slopes may be flat for infiltration facilities or Managed Release Facilities.

...

4) A minimum of ~~one foot~~ six inches of freeboard shall be provided between the one-hundred-year water surface elevation and the top of all inlet grates or manhole rims.

...

7) As-built plans shall be provided for any underground detention basin to verify it was constructed in accordance with the approved plan ~~prior to backfilling of the basin. A note to this effect shall be included on the record plan and in the sequence of construction.~~

S. Managed Release Basins. If it has been determined that it is not feasible to manage the required volume through infiltration and evapotranspiration alone due to soil or other environmental constraints on the site, all Managed Release Concept stormwater facilities shall be in accordance with the most recent Managed Release Concept design guidance provided by PADEP.

## 5. Storm Sewer.

...

E. Storm sewer within the Township ultimate right-of-way shall be reinforced concrete pipe with a minimum diameter of 15 inches or equivalent. Storm sewer located outside a public ultimate right-of-way or easement shall be high density corrugated polyethylene.

...

6. Inlets.

...

C. Inlet spacing in paved areas shall be arranged so that a minimum of 80% of the gutter flow tributary to the inlet will be captured. The designer shall be required to verify that bypass surface runoff from the one-hundred-year design storm will enter the storm sewer piping system at some point, prior to discharge into a detention basin stormwater facility or other approved outlet point. Inlets shall be spaced so that the accumulation of surface bypass runoff and surface runoff tributary to an individual inlet will not exceed other design requirements specified in this chapter. Inlet capacity shall be based on inlet efficiency curves provided in PennDOT Design Manual, Part 2, as amended.

...

7. Manholes.

...

C. Storm sewer manholes located within public rights-of-way, ~~the manhole covers~~ shall have the word "STORM" cast in two-inch high letters.

...

8. Headwalls and Endwalls.

...

B. A Type "DW" endwall shall be provided at the termination of all storm sewer systems, unless conditions warranted an alternate type approved by PennDOT and/or ~~the Board~~ the Township Engineer.

...

9. Overflow System. An overflow system shall be provided to carry all bypass flow and/or flow in excess of storm sewer design capacity, to ~~the detention basing~~ stormwater facility (or other approved outlet point) when the capacity of the storm sewer system is exceeded. Stormwater runoff will not be permitted to discharge from any storm sewer structures.

...

11. Bridges and Road Culverts.

...

~~D. Bethlehem Precast Cable Concrete CC-20, or approved equal, shall be required at the upstream and downstream ends of all bridges and culverts.~~

12. Access Drive and Driveway Culverts.

...

B. The minimum culvert size shall be 15 inches, or equivalent and constructed of reinforced concrete pipe with flared end sections or HDPE with flared end sections. The Township may approve a smaller culvert if it is demonstrated that the pipe is adequate for the 100-year design storm.

...

D. Where an existing roadside drainage swale is too shallow to permit installation of a driveway pipe, the Board Township Engineer may approve the use of a concrete trench box with grate.

13. Drainage Easements, Ownership and Maintenance. Drainage easements, ownership and maintenance responsibilities for all stormwater management facilities shall be as follows:

A. Detention-BasinStormwater Easements.

(1) When any detention-basinstormwater facility is proposed within a subdivision and/or land development, a blanket or defined-easement shall be provided. The description of the facility defined easement, access to facility, and the terms of the ownership and required maintenance, shall be provided on the recorded Post Construction Stormwater Management Plan incorporated on the site plan.

(2) An easement and stabilized access to a detention-basinstormwater facility shall be provided for maintenance and operation. This access easement shall be cleared and shall be a minimum of 20 feet in width. Access to detention basins and similar facilities shall be constructed of interlocking grass paving system and backfilled with topsoil and seeded if required by the Township Engineer. The access shall be a minimum of 12 feet in width and be no steeper in slope than 12 horizontal to one vertical. In addition, depressed curb and concrete driveway apron shall be provided where the access enters a road or access drive. Access easement shall be owned and maintained by the individual lot owner or homeowners association.

(3)A homeowners association, or other entity as approved by the Township Solicitor, shall be required for any facility managing stormwater flows from more than one lot. Within residential subdivisions, stormwater facilities shall be located in open space, on an individual lot, or common area, but shall not cross individual lot boundaries unless a homeowners association will own and maintain the facility(ies).

B. Storm Sewer and Drainage Swale Easements and Agreements.

(1) Easements shall be a minimum of 20 feet in width and shall be provided to accommodate required storm sewer facilities and drainage swales. No other utilities shall be located within a storm sewer easement, unless approved by the Township Engineer and Utility provider.

(2) On private property, the individual owner or homeowners association shall maintain the easement area, including ground cover, fencing and/or landscaping.

(3)Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be calculated as set by Township resolution.

C. Stormwater Maintenance Agreement.

(1)When an applicant retains ownership of any stormwater management facility, such entity shall be responsible for repair and maintenance of the facility. The site plan shall contain a notation permitting access to such facilities deemed



~~critical to public welfare, for inspection at any reasonable time by the Township or its designee.~~

- ~~(2) The site plan shall also contain a notation that states the approval of the final plans is conditioned upon the applicant agreeing to be responsible for all repairs and maintenance of the stormwater management facility and permitting access to such facilities deemed critical to public welfare, for inspection at any reasonable time by the Township or its designee. This Stormwater Maintenance Agreement shall be in writing, as prepared by the Township Solicitor, for recording. The failure of the applicant to properly maintain any stormwater management facility shall be construed to be a violation of this chapter and shall be declared to be a public nuisance, subjecting the violator to any and all penalties provided by law.~~

~~D. Stormwater Management Facility Maintenance Fees. The Township shall require payment of a fee in order to maintain the stormwater management facilities. The fee shall apply to all storm sewers located in public rights-of-way or any easement owned by the Township. The amount of the fee shall be set by Township resolution.~~

**§22-713.2.B.(5)** The site plan shall contain plan notations stating that, in the opinion of the Township Engineer's representative or certified arborist, any trees intended to remain and are disturbed, damaged or killed during or as a result of construction shall be replaced at a rate of one caliper inch for one caliper inch.

Add **§22-713.2.E.** Any specimen tree having a diameter of thirty (30) inches or more, measured at twelve (12) inches above natural grade line, shall not be removed, whether located within a woodland area or standalone without approval of the Township. If a specimen tree is approved to be removed, the following requirements shall be met:

- (1) Any specimen tree over 30 inches caliper shall be protected 100%, whether located within the woodland area or stand alone.
- (2) Individual, mature non-invasive trees 30 inches or more DBH shall be designated on a plan, and the total number of caliper inches to be removed shall be calculated.
- (3) Invasive, diseased, dead, dying, or hazardous trees may be identified as such by a certified arborist based on a field visit and shall be subject to the tree replacement requirements at the discretion of the Township.
- (4) If the layout cannot be revised to avoid disturbance of a specimen tree, the planting of replacement trees shall occur onsite on an equivalent caliper inch basis unless the owner/developer offers a fee in lieu of the required replacement trees, such fee being approved by the Board of Supervisors, in its sole discretion. Such fee shall be contributed to the Township in lieu of plantings at a rate established by the Board of Supervisors of New Britain Township by resolution.
- (5) Replacement trees shall be selected from the Required Plant Material List in Appendix D and installed at the minimum planting sizes noted therein.

**§22-713.3.** Parking Area Landscaping

- A. Planting islands. All 10-foot by 36-foot planting islands shall contain 2 shade trees and all 10-foot by 18-foot plantings islands shall contain one shade tree, including any parking islands that are designed as a stormwater facility which shall have wet tolerant species.
- B. Plantings Strips. Planting strips shall be a minimum of 10 feet wide and shall run the length of the parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average, including any parking strips that are designed as a stormwater facility which shall have wet tolerant species.
- C. § 22-713.4.B(1) Any lot with 30 parking spaces or more shall have landscaped areas within the paved area equal to a minimum of 5% of the total paved area. The total paved area shall exclude landscape strips around the perimeter.
- ~~D.C.~~ All planting islands and strips shall be underlain by soil improved to a minimum depth of 30 inches, not stone or bituminous material, and shall be graded not to exceed a slope of 5 horizontal to 1 vertical. A soil improvement detail and notes on the Landscape Plan shall include the removal of all construction debris and existing compacted soils and the specifications for the soil improvement mix.
- ~~E.D.~~ The placement of light standards shall be coordinated with the landscape plan to avoid a conflict with the effectiveness of light fixtures.
- ~~F.E.~~ Shade treesAll required plantings shall be native plants and shall be selected from the List of Required Plant Material contained in the Appendix.
- G. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands well-distributed throughout the paved surface. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."

**§22-713.4.A.** – Street Trees. Street trees shall be planted every 30 feet along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development. If existing trees meet the intent of this section, they may be utilized to meet the street tree requirements subject to approval by the Township Engineer.

**§22-713.4.B.** – Street trees shall be planted between ~~three and five~~ and ten feet outside the ultimate right-of-way line unless otherwise specified in this Chapter, and as an alternative, the same quantity of trees may be planted in an informal arrangement along the perimeter of the street, when approved by the Board.

**§22-713.5.A.** All subdivisions and/or land developments shall comply with the buffer yard requirements of the Township Zoning Ordinance [Chapter 27]. The spacing and composition of the buffer yard plantings strips required by the Zoning Ordinance shall comply with the following provisions:

- (1) Each strip shall contain a combination of native evergreen and deciduous trees and shrubs listed below in naturalistic groupings rather than linear strips.

(2) The mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. Unless required elsewhere in this chapter, plantings are not required to run parallel or be aligned on property or right-of-way boundaries. At the discretion of the Township, plant material may be sited on any portion of the property for buffer purposes and may be staggered or grouped, if a satisfactory buffer can be achieved in this fashion.

<b>Buffer Width</b>	<b>Planting Options</b>
<u>25-foot buffer width</u>	(a) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen per 60 feet</u>
<u>35 and 45-foot buffer widths</u>	(b) <u>1 canopy tree per 40 feet and 1 flowering tree per 60 feet and 1 evergreen tree per 30 feet and 1 shrub per 20 feet</u>
	(c) <u>A Vegetated Filter Strip in accordance with the PA Stormwater BMP Manual including 1 canopy tree per 60 feet and 1 flowering tree every 60 feet and 1 evergreen per 60 feet and planted with native grasses or flowering meadow mix with a wide variety of species, not standard turf grass.</u>
	(d) <u>1 canopy tree per 40 feet and 1 evergreen per 30 feet and 1 shrub per 5 feet</u>
<u>45 feet buffer width or greater</u>	(e) <u>1 canopy tree per 40 feet and 1 flowering tree per 50 feet and 1 evergreen per 50 feet and 1 shrub per 15 feet</u>
	(f) <u>1 canopy tree per 100 feet and 1 evergreen per 30 feet and 1 shrub per 15 feet</u>
	(g) <u>1 evergreen per 25 feet and 1 shrub per 10 feet</u>
	(h) <u>A berm varying in height with maximum side slopes of all to be 4 horizontal to 1 vertical and 1 flowering or evergreen tree per 20 feet and 1 shrub per 10 feet Stormwater infiltration berms are permitted in accordance with the PA Stormwater BMP Manual, as amended, with species chosen to suit the proposed soil conditions.</u>

§22-713.5.A(3). Plant materials shall be native and selected from the following list:

(a) Canopy Trees

- Acer rubrum - Red Maple
- Acer saccharum - Sugar Maple
- Aesculus flava - Yello (Sweet) Buckeye
- Celtis occidentalis - Hackberry
- Betula lenta - Sweet Birch
- Carya ovata - Shagbark Hickory
- Fagus grandifolia - American Beech
- Gleditsia triacanthos inermis - Thornless Honey Locust

Liquidambar styraciflua (seedless variety) - Sweet Gum  
Liriodendron tulipifera - Tulip Tree  
Ostrya virginiana - American Hop-hornbeam  
Platanus occidentalis - Sycamore  
Prunus serotina - Black Cherry  
Quercus alba - White Oak  
Quercus bicolor - Swamp White oak  
Quercus rubra - Red Oak  
Quercus palustris - Pin Oak  
Quercus phellos - Willow Oak  
Quercus prinus - Chestnut oak  
Quercus vellutina - Black Oak  
Tilia\*\*\* - Linden/Basswood (all species hardy to the area)  
Tilia americana (disease resistant variety)

(b) Flowering Trees

Amelanchier canadensis - Shadblow Serviceberry  
Betula nigra - Riverbirch  
Carpinus caroliniana - American Hornbeam  
Cercis canadensis - Eastern Redbud  
Chionanathus virginicus - Fringetree  
Cornus florida - Flowering Dogwood (disease resistant variety)  
Crataegus mollis - Downy Hawthorn  
Crataegus phaenopyrum - Washington Hawthorn  
Halesia carolina - Carolina Silverbellk  
Magnolia virginiana - Sweetbay Magnolia  
Malus hopa - Hopa Red-Flowering Crabsp. (native, disease-resistant varieties)  
Oxydendrum arboreum - Sourwood  
Sassafras albidum - Sassafras

(c) Evergreens

Abies concolor - White Fir  
Chamaecyparis thyoides - Atlantic White Cedar  
Ilex opaca - American Holly  
Juniperus virginiana - Eastern Redcedar  
Picea pungens - Colorado Spruce  
Pinus strobus - Eastern White Pine

(d) Hedge (four feet high minimum):

Crataegus intricata - Thicket Hawthorn  
Syringa vulgaris - Common Lilac  
Viburnum sp. - Viburnum (Arrowwood, Possumhaw)

(e) Shrubs

Aronia arbutifolia - Black Chokeberry  
Calycanthus floridus - Sweet Shrub  
Clethra alnifolia - Summersweet  
Cornus amomum - Silky Dogwood  
Cornus racemosa - Gray Dogwood  
Cornus sericea - Redtwig Dogwood  
Fothergilla major - Large Fothergilla  
Hamamelis vernalis - Vernal Witch Hazel  
Hamamelis virginiana - Common Witch Hazel  
Hydrangea arborescens - Smooth Hydrangea  
Hydrangea quercifolia - Oakleaf Hydrangea  
Ilex glabra - Inkberry Holly  
Ilex verticillata - Winterberry Holly  
Itea virginica - Virginia Sweetspire  
Juniperus virginiana - Eastern Redcedar  
Kalmia latifolia - Mountain Laurel  
Lindera benzoin - Spicebush  
Myrica pensylvanica - Northern Bayberry  
Physocarpus opulifolius - Ninebark  
Pieris floribunda - Mountain Andromeda  
Rhododendron arborescens - Sweet (Smooth) Azalea  
Rhododendron periclymenoides - Pinsterbloom Azalea  
Rhododendron maximum - Rosebay Rhododendron  
Rhus aromatica - Fragrant Sumac  
Sambucus canadensis - Elderberry  
Thuja occidentalis - American Arborvitae (four feet high minimum)  
Vaccinium corymbosum - Highbush Blueberry  
Viburnum dentatum - Arrowwood Viburnum  
Viburnum sp. - Viburnum (Arrowwood, Possumhaw)

**§22-713.5.B.(1)** ~~Off-Street Parking Areas. One deciduous or evergreen shrub~~ Densely planted with a mixture of evergreen and deciduous shrubs and grasses every five feet to create a screen along the perimeter of the parking area.

(a) In addition to the above, for every parking lot buffer that abuts a sidewalk or a street for a parking area of 5 spaces or more, one of the options below shall be installed to block headlights:

(1) Option A: One (1) shade tree and 10 evergreen shrubs shall be planted for each 30 feet of buffer length and 1 square foot of perennial plantings for every linear foot of total buffer.

(2) Option B: A low-wall fence or berm not to exceed 4 feet in height or 3:1 slope as measured from the adjoining sidewalk, along with 1 tree per 30 feet of buffer length and three shrubs for every 20 feet of buffer length. An increased height may be permitted up to 8 feet high where there is unusual topography, larger vehicles, or other similar circumstances.

**§22-713.5.B.(2)** ~~Trash Collection Areas and Mechanical Units. A minimum six-foot wooden shadow-box opaque fence or wall, or approved equal,~~ on at least three sides, with a staggered row of evergreen trees planted every 10 feet along the fence perimeter.

§22-713.5.B.(8) Easements.—The boundary of a pedestrian ~~or vehicular~~ access easement, when located on, or adjacent to, ~~a lot private property~~, shall have a method of physical delineation ~~on both sides~~ consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors.

Add §22-713.5.B.(9) The boundary of a vehicular access easement, such as emergency access easements, when located on, or adjacent to a private property, shall have a method of physical delineation on both sides consisting of six-foot arborvitae trees, planted nine feet on center, with four-foot-high split-rail fence, or other type of delineation as approved by the Board of Supervisors and Fire Marshall.

Add §22-713.5.B.(10) Proposed and existing conservation easements shall be physically delineated in the field by a concrete monument at the intersection of the easement with the property line. A two or three-rail split-rail tapered fence or stone-shaped concrete monument corner may be substituted at the discretion of the Board of Supervisors.

**§22-713.6.A.** – General Requirements. The location, dimensions and spacing of required plantings should be adequate for their proper growth and maintenance, taking into account the sizes of such plantings at maturity and their present and future environmental requirements, such as wind, soil, moisture and sunlight. Plantings should be selected and located where they will not contribute to conditions hazardous to public safety and trees shall be a minimum of 10 feet from all existing and proposed underground and overhead utilities.

**§22-713.6.B.** – Plant Specifications. All plant material shall meet the minimum standards for health, form, and root condition as outlined in the American National Standards Institute (ANSI) Z60.1 — ~~1996~~2014, as amended. All plant material shall be hardy and within the United States Department of Agricultural (USDA) Hardiness Zone 6, applicable to Bucks County, Pennsylvania.

**§22-713.6.C.** – Installation. All shade and evergreen trees shall be supported with stakes and guy wiring in accordance with The American Nursery and Landscape Association (ANLA) Standards. The backfill for excavated planting areas shall be composed of native topsoil and shall be mulched six inches beyond the dripline. Mulch shall not be applied against the trunk. The trunk flare shall remain visible.

Add §22-713.6.E. To ensure plant diversity and the sustainability of the installation in parking lots, the following plant diversity is required, where 60% of trees in parking lots must be large shade tree species:

Plant Diversity Requirements		
Minimum Number of Required Trees	Minimum Number of Tree Species	Maximum % of any 1 species
0-5	1	100
6-15	2	50
16-30	3	40
31-50	4	30
51+	5	20

## **§ 22-714. Lighting**

1. Purpose. It is the purpose of these requirements to regulate the design, placement, orientation and distribution of lighting in order to:
  - A. Provide lighting of facilities to protect public health, safety and welfare.
  - B. ~~Control glare from parking areas and protect the privacy of adjacent properties.~~Minimize adverse offsite impacts of lighting such as light trespass and glare.
  - C. Provide lighting for safe vehicular and pedestrian movements.
  - D. ~~Limit spacing, fixture type and height of lighting to lessen light pollution.~~Protect the natural environment from the adverse effects of night lighting from artificial light sources.
  - E. ~~Promote efficient design and construction with regard to energy conservation.~~energy conservation.

### 2. Definitions

- A. **Backlight** – For an exterior luminaire, lumens emitted in the quarter sphere below horizontal and in the opposite direction of the intended orientation of the luminaire. For luminaires with symmetric distribution, backlight will be the same as front light.
- B. **BUG** - A luminaire classification system that classifies Backlight (B), Uplight (U) and Glare (G).
- C. **Footcandle** -The unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one-foot square from a distance of one foot.
- D. **Glare** – Lighting entering the eye directly from luminaires or indirectly from reflective surfaces that causes visual discomfort or reduced visibility.
- E. **IES** - An acronym for the Illuminating Engineering Society, a professional guidance body for lighting engineers.
- F. **LED** - Light Emitting Diode
- G. **Light Trespass** - Light that falls beyond the property boundary it is intended to illuminate
- H. **Mounting Height** – The height of the photometric center of a luminaire above grade level
- I. **Uplight** – For an exterior luminaire, flux radiated in the hemisphere at or above the horizontal plane

2.3. Applicability. Lighting shall be required for facilities as deemed necessary by the

Board, including but not limited to ~~for all~~ public streets, parking areas, sidewalks, ~~pedestrian ways~~, entrances, loading facilities, access drives, nonresidential buildings, multifamily subdivisions, recreational facilities ~~and~~, other public facilities, ~~and at any other locations deemed necessary by the Board.~~

### 3.4. ~~Public~~ Streetlights.

A. Residential Streets. ~~Public~~ Streetlights shall be required for all residential subdivisions at the following locations: ...

...

C. Prior to the submission of Final Plans, the applicant shall submit a petition to create a streetlight district to the Township. All streetlights shall be the responsibility of the property owner.

D. The site plan shall contain a plan notation stating, "All streetlights shall be installed and energized prior to the issuance of the first occupancy permit for any subdivision and/or land development or first phase or section thereof and the lighting and maintenance costs shall be assessed to affected property owners on a per lot basis or by an owners' association."

E. The applicant shall be responsible for all costs involved in lighting the streets until such time that the Township accepts the streets for dedication or accepts the improvements at the end of the 18-month maintenance period. Thereafter the property owner(s) shall be responsible.

### F. Streetlight Specifications

...

(2) Where streetlights are installed at intersections, the applicant ~~shall~~may install combination street name signs and streetlights.

...

(4) All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk. For all commercial, industrial, public recreational, and institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to permit extinguishing sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.

...

### 4. ~~Parking Areas and Loading Facilities.~~

A. ~~Lighting of parking areas, including access drives and loading facilities, shall meet the minimum illumination levels and uniformity ratio specified in this chapter.~~

B. ~~Light standards shall be a maximum of 20 feet in height, and have a concrete base raised 30 inches above finished grade.~~



- ~~C. Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface.~~
- ~~D. All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk.~~
- ~~E. All electrical power lines to lighting fixtures shall be underground.~~
- ~~F. Glare Control:~~
  - ~~(1) The maximum light intensity measured at any point along the property line shall be 0.2 footcandles.~~
  - ~~(2) All lighting fixtures shall meet all applicable IESNA cutoff criteria.~~
  - ~~(3) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.~~
  - ~~(4) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.~~
- ~~5. All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Board in accordance with the recommended practices and standards of the IESNA.~~
- ~~6. The applicant shall submit three copies of an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.~~
- ~~7. Where required by this chapter, illumination levels shall have intensities and uniformity ratios in accordance with recommended practices of the IESNA handbook RP-20-98 and IESNA Handbook RP-8-00, as amended, and in accordance with the minimum standards listed below:~~

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
High Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Retail, Office)	0.9 Minimum	4:1
Medium Activity Nonresidential Parking, Loading Facilities and Drives (e.g., Industrial, Institutional)	0.4 Minimum	4:1
Multifamily Residential Parking	0.2 Minimum	4:1
All Nonresidential Subdivision Streets	0.9 Average	6:1

Description of Use/Area	Maintained Footcandles	Uniformity Avg.: Min.
Pedestrian Walkways, Bike Lanes, Trails	0.2 Average	5:1
Building Entrances	2.0 Average	—

4. Parking Areas and Loading Facilities.

A. Illumination Levels

Lighting of parking areas, including access drive, loading facilities, pedestrian walkways and building entrances, shall have intensities and uniformity ratios in accordance with the recommended practices of the Illuminating Engineering Society (IES) as contained in the most current editions of the following publications:

- (1) IES RP-43-22 Lighting Exterior Applications
- (2) IES RP-8-22 Lighting Roadway and Parking Facilities
- (3) IES G-1-22 Guide for Security Lighting for People, Property and Critical Infrastructure

<u>Description of Use/Area</u>	<u>Light Level (footcandles)</u>	<u>Uniformity</u>
<u>General Uncovered Parking Area Drive Aisles &amp; Parking Spaces</u>	<u>0.2 Minimum</u>	<u>20:1 max:min</u>
<u>Parking Area General Pedestrian &amp; Vehicle Transaction Areas</u>	<u>0.9 Minimum</u>	<u>15:1 max:min</u>
<u>Mixed Use Trails (when required)</u>	<u>0.8 Minimum</u>	<u>5:1 ave:min</u>
<u>Building Entrances</u>	<u>1.0 Average</u>	<u>5:1 ave:min</u>

B. Luminaire Design

- (1) Mounting height. Light standards shall be a maximum of 20 feet in height.
- (2) Location. Light standards shall be located in planting islands or planting strips within parking areas. Light standards shall not be installed directly on the parking area surface. Poles shall be a minimum of five feet (5') from the edge of pavement or protected by a raised concrete base thirty inches (30") in height.
- (2) Color Temperature. Luminaires shall have a maximum color temperature of 3,000K.
- (3) Uplight (U) value for all luminaires shall be zero (0).

(4) All electrical power lines to lighting fixtures shall be underground.

C. Control of Light

- (1) Lighting for commercial, industrial, public recreational and institutional applications shall be controlled by automatic switching devices to extinguish outdoor lighting fixtures between 11:00 p.m. and dawn in order to mitigate glare and sky-lighting consequences. Where feasible, motion-activated fixtures shall be utilized to further reduce unnecessary illumination during times of non-use.
- (2) The maximum light intensity measured at any point along the property line shall be 0.1 footcandles at any point along off-street areas and 0.30 footcandles along public roadways.
- (3) The maximum uplight (U) value as defined by IES TM 15-20 shall be 0 and the maximum glare (G) value shall be 2 adjacent to properties with a residential use.
- (4) All lighting shall be effectively shielded and directed towards the interior of the parking area away from adjacent properties.
- (5) Illuminated signs shall have a shielded lighting source and shall be directed away from all street rights-of-way.
- (6) All other lighting required by this chapter for recreational facilities, sidewalks, pedestrian walkways, trails, crosswalks, bicycle lanes, etc., may be approved by the Township Engineer in accordance with the recommended practices and standards of the IESNA.

D. Compliance Monitoring

- (1) The applicant shall submit an as-built lighting plan to the Township to verify existing light intensities and uniformity are in accordance with the approved final plans.
- (2) The Township reserves the right to conduct post-installation inspections to verify compliance with the requirements of this Ordinance and approved lighting plan commitments, and to require remedial action at no expense to the Township.

~~§22-715.2.G.(3) Recreation Fees Districts. The fees shall be recorded to one of the recreation fee districts Township Planning Areas in Appendix C to ensure that the lands and facilities are accessible to the residents of the development(s) that paid fees towards their cost. The Recreation Fee District Map in this Appendix designates "Recreation Fee Districts." Any fees collected under this chapter shall be expended only within the same Recreation Fee District Planning Area as the subdivision and/or land development that contributed the fees, except that fees from any district may be used for public Township-wide amenities such as trails, community parks and recreation areas.~~

§22-715.3.A.(5)(b) Stormwater DeRetention Facilities. Stormwater retention basins may be approved by the Board if the resulting body of water is integrated into the landscape and the area can be used by the residents for active recreational activities.

**§22-719.6.** The site plan shall contain a plan notation stating that any existing or proposed well is subject to the provisions of the well construction standards, which includes requirements for well permitting, water quality testing and well production certification.

**§22-719.7.A.** ~~Four~~ Two copies of a Water Resource Impact Study shall be submitted to the Township with the preliminary plan application. An application for subdivision and/or land development shall be considered incomplete without the required water resource impact study.

**§22-719.8.A.** Purpose. These regulations are to ensure that existing wells and new wells constructed in New Britain Township can provide a reliable, safe and adequate supply of water to support the intended use within the capacity of available groundwater resources and to estimate any impacts of the additional water withdrawals on existing nearby wells, underlying aquifers and watercourses.

**§27-721.6.** If the property being subdivided or developed contains an existing on-site sewage disposal system, the applicant shall submit to the Township acknowledgment from ~~the Bucks County Department of Health~~ a reputable septic system inspection company indicating that the existing system has been inspected and is functioning properly.

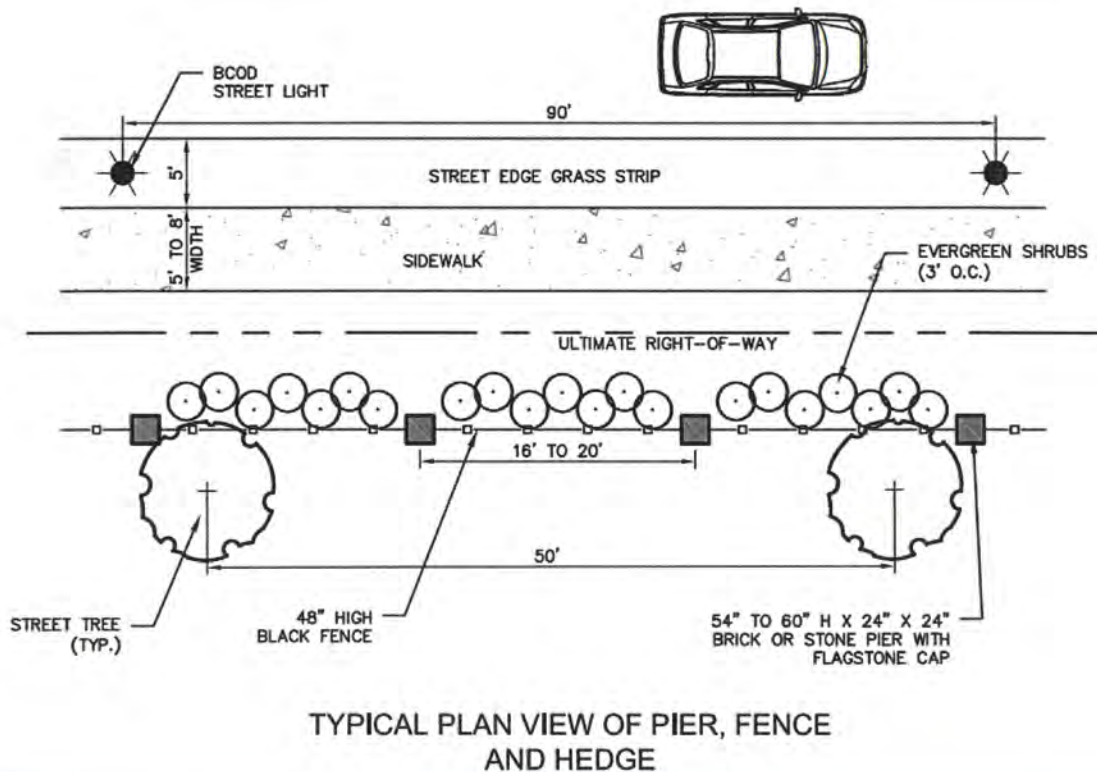
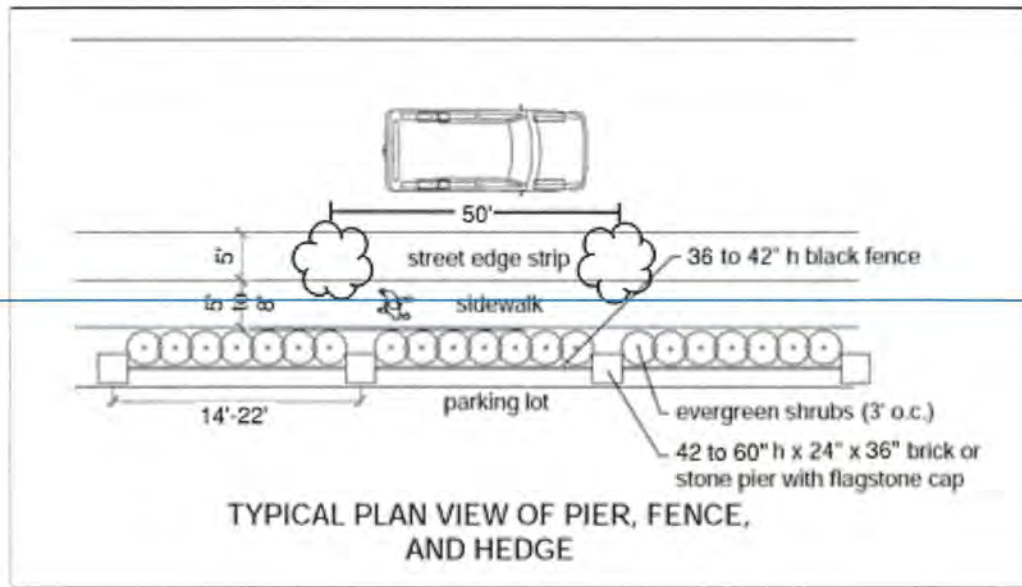
**§27-721.9.** The property owner shall execute an operation and maintenance agreement with the Township and post the required financial security for any non-conventional, alternate or experimental sewage system, such as an Individual Residential Spray Irrigation System, Small Flow Treatment Facility or Community Sewage System. The design, plans and specifications for the proposed system shall be approved by the Township and Bucks County Health Department prior to final plan approval. The agreement shall provide for a non-refundable fee to the Township for administration and future compliance monitoring and shall furthermore provide for sufficient financial security to guarantee the proper operation and maintenance of the proposed facility in accordance with the Act, which may include cash, a letter of credit or other Township approved financial security.

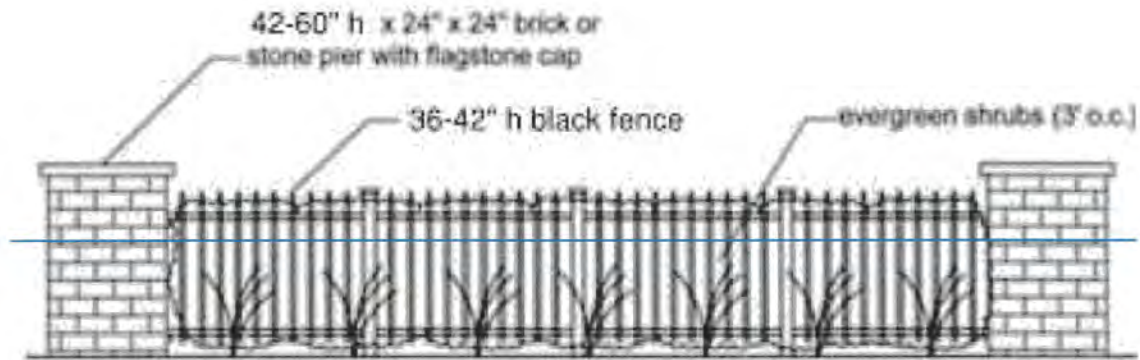
**§§22-722.4.C.(7)(b)** All street trees shall be planted in the planting strip located between the curblin and the sidewalk 5 to 10 feet behind the ultimate right-of-way. See the "Typical Plan View" illustration in Subsection 4D(7).

**22-722.4.D.(7)(a)** Where parking areas are located or are proposed to be located between a street and a principal building, a buffer fence shall be installed withinbetween five and ten feet outside of the ultimate right-of-way line of the street between this parking area and the street. This buffer fence shall be constructed and installed in accordance with the following standards, figures, and illustrations:

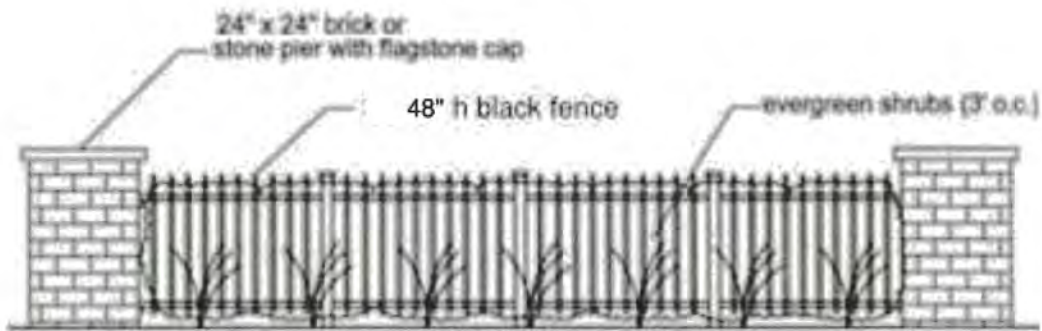
- 1) The fencing shall be black steel or aluminum, 36 inches to 42-48 inches in height, and installed and maintained between the masonry piers.

- 2) The masonry piers shall be constructed out of stone or brick, six to 18 inches taller than the fencing between them, 24 to 36 inches or greater in width and depth, and with a concrete or stone cap. The piers shall be evenly installed 14 to 22 feet on center or at a spacing to be approved by the Township Engineer.
- 3) Evergreen hedge plants, initially at least 18 to 24 inches in height and maintained at a height of no less than 30 inches, shall be installed and maintained between the fencing and the street.





TYPICAL SECTION OF PIER, FENCE,  
AND HEDGE



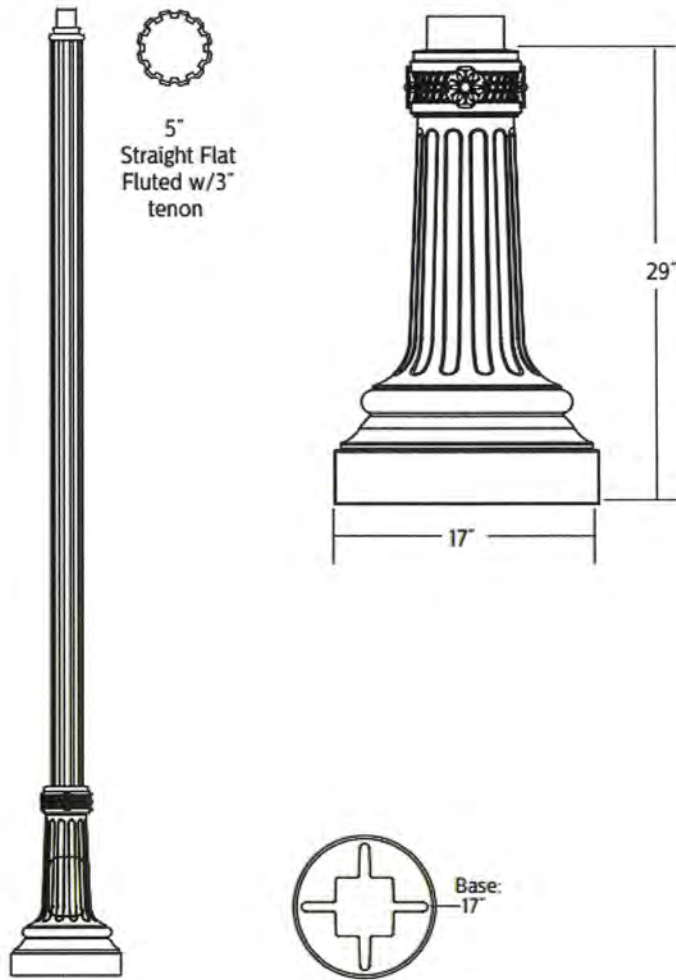
TYPICAL SECTION OF PIER, FENCE,  
AND HEDGE

**§22-722.4.e.** All parking areas, walkways, and passages shall be adequately illuminated with a lighting system designed to complement the general areas and the site of the proposed development and to prevent any off-site glare and spillover light onto adjacent properties.

- (1) All light fixtures shall be shielded to reduce light spillage beyond the extent of the property line. At no point shall any light trespass onto adjacent residential properties exceed 0.1 footcandle at the residential property line, and at no point shall any light trespass onto adjacent nonresidential properties exceed ~~0.5~~ 0.3 footcandle at the nonresidential property line.
- (2) Pedestrian scaled lighting shall be positioned along on-site pedestrian walks and trails such that lighting levels ~~along them maintain a consistent 0.2 footcandle~~ are consistent with IES recommended guidelines.
- ...
- (4) Freestanding fixtures shall utilize appropriate ~~shape cutoff~~ luminares with shielding of the light source at angles above 72° from the vertical having an Uplight (U) rating of (0).

- (a) in order to establish a consistent design scheme along the corridor overlay district, all freestanding fixture types shall be constructed of metal, with a black finish. The luminaire shall be in the style illustrated below from [philips \[citypost led post top \(tx1\)\] Signify \[Hagerstown LED Post Top Comfort \(txo3c\)-Gen 2\]](#) and shall be placed upon a P3165 pole from [Signifyphilips](#), or the Board of Supervisors may approve an appropriate alternative. The detail shall be in accordance with the Township's Standard Butler Avenue Corridor Overlay District Street Light Detail unless otherwise approved.





- ...
- (c) The maximum height of freestanding fixtures ~~shall~~ may vary to provide scale and dimension to the project. All lighting fixtures shall not exceed 15 feet in height, except up to 25% of the fixtures may be up to 25 feet in height. Fixture heights shall be measured from the top of the fixture to ground level. Streetlights directly along West Butler Avenue shall be 14 feet in height.
- (5) Building-mounted lighting shall be shown on all plans. All building-mounted lighting shall ~~be designed so that all light from the source is shielded at angles above 72° from the vertical so as not to create any glare or visible source of light~~ have an Uplight (U) rating of zero (0). Building-mounted lighting shall not be installed higher than the building upon which it is mounted and shall not exceed 30 feet in height in all cases, as measured from the top of the fixture to ground level. Lights are not permitted to outline buildings or rooflines.



Prepared By: Scott C. Holbert, Esquire  
Flager & Associates, P.C.  
1210 Northbrook Drive, Suite 280  
Trevose, PA 19053

Return To: Flager & Associates, P.C.  
1210 Northbrook Drive, Suite 280  
Trevose, PA 19053

TMP #s: 26-001-038, 26-001-039, and 26-001-040-002

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## DEED OF DEDICATION

BARCLAY ROAD, HAINES COURT

& ROWLAND LANE

(Barclay Road - Toll)

*THIS INDENTURE*, made this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2024, by and between *TOLL PA XIII, L.P.*, a Pennsylvania Limited Partnership, by its general partner, *TOLL PA GP CORP.*, having offices at 250 Gibraltar Road, Horsham, PA 19044 (hereinafter referred to as "*Grantor*") and the *TOWNSHIP OF NEW BRITAIN*, of 207 Park Avenue, Chalfont, PA 18914 (hereinafter referred to as "*Grantee*").

*WITNESS*, that the said Grantor, for and in consideration of the advantages to it accruing as well as for diverse other considerations affecting the public welfare which it seeks to advance, has granted, bargained, sold, aliened, release and convey unto the said Grantee, its successors and assigns, all that certain strip of land situate within the Township of New Britain, County of Bucks and Commonwealth of Pennsylvania as described on the attached description marked **Exhibit "A"**.

*TO HAVE AND TO HOLD*, the said tract or piece of ground above described unto the said Grantee, to and for the only proper use and behoof of said Grantee, its successors and assigns, forever as and for a public road and/or utility purposes for no other use or purpose whatsoever.

*AND THE SAID GRANTOR*, for itself, its successors and assigns, does by these presents further covenant, promise and agree to and with the said Grantee, its successors and assigns, that the said tract of ground herein described hereby granted, or mentioned, or intended so to be unto


the said Grantee, its successors and assigns, against it, the said Grantor, its successors and assigns, and against all and any person or persons whomever lawfully claiming or to claim the same or any part hereof, by, from and under it or them or any of them shall and will warrant and forever defend.

*IN WITNESS WHEREOF*, the said Grantor has hereunto set its hand and seal the day and year first above written.

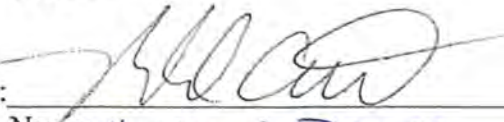
GRANTOR

*TOLL PA XIII, L.P.*, a Pennsylvania Limited Partnership, by its general partner, *TOLL PA GP CORP.*

Attest:

  
Seth Pellegrini, SR LDM

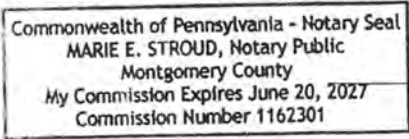
By:

  
Name: Michael Downs  
Title: SR VP Land Development

*COMMONWEALTH OF PENNSYLVANIA* :  
: ss.  
*COUNTY OF Montgomery* :

On this 20 day of December, 2024 before me a Notary Public, personally appeared Michael Downs, the SR. Vice President OF TOLL PA GP CORP., GENERAL PARTNER OF TOLL PA XIII, L.P., and that he as such Officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Corporation by himself as such Officer.

*IN WITNESS WHEREOF*, I have hereunto set my hand and official seal.



 (SEAL)  
Notary Public

I hereby certify that the precise address of the within-named Grantee is 207 Park Avenue, Chalfont, Pennsylvania 18914

\_\_\_\_\_  
Scott C. Holbert, Esq.

**RESOLUTION NO. 2025-03**  
**New Britain Township**  
**Bucks County, Pennsylvania**

**A RESOLUTION OF THE TOWNSHIP OF NEW BRITAIN SETTING THE SALARY OF THE NEW BRITAIN TOWNSHIP TAX COLLECTOR FOR THE CALENDAR YEARS 2025 THROUGH 2028**

**WHEREAS** the New Britain Township Tax Collector is the designated municipal officer to collect taxes as authorized by Act 511, Local Tax Enabling Act, to collect school taxes under the authority of the Public-School Code, and to collect assessments for streetlights in designated street light districts; and

**WHEREAS** compensation for the Township Tax Collector is set by the governing body prior to the 15th day of February of the year of the municipal election where the office is filled; and

**WHEREAS** the Township Tax Collector may also be reimbursed for actual expenses for printing, postage, books, blanks and forms necessary for collecting taxes in accordance with the Local Tax Collection Law.

**NOW, THEREFORE, BE HEREBY RESOLVED**, by the Board of Supervisors of this Township, that the compensation for the New Britain Township Tax Collector is hereby set at Twenty-Two Thousand Five Hundred Dollars annually (\$22,500.00) for the years 2025 through 2028.

**FURTHER, BE IT RESOLVED** that in addition to this compensation, the New Britain Township Tax Collector shall receive Four Dollars and Twenty-Five Cents (\$4.25) per Interim Tax Bill issued and receive a flat fee of Two Thousand Five Hundred Dollars (\$2,500.00) for collection of Street Light Assessments for the years 2025 through 2028.

**FURTHER, BE IT RESOLVED** that the fee for Tax Certification Services provided by the Township Tax Collector shall be set at Thirty-Five Dollars (\$35.00) for a four-year tax certification; and the fee for a Duplicate Tax Bill shall be set at Five Dollars (\$5.00) per duplicate; and the fee for a Returned Check shall be set at Thirty-Five Dollars (\$35.00).

**FURTHER, BE IT RESOLVED**, that the Board authorizes reimbursement for actual expenses for printing, postage, books, blanks and forms necessary for the collecting of taxes in accordance with the Local Tax Collection Law.

DULY ADOPTED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA, the lawful session duly assembled this 27<sup>th</sup> day of January, A.D, 2025

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

\_\_\_\_\_  
Cynthia M. Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Esq. Vice-Chair

\_\_\_\_\_  
William B. Jones, III, Member

\_\_\_\_\_  
Stephanie M. Shortall, Member

\_\_\_\_\_  
Bridget Kunakorn, Member

ATTEST:

\_\_\_\_\_  
Daniel C. Fox,  
Township Manager/Secretary



# NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

## ZONING HEARING BOARD APPEAL APPLICATION

**Please Note:**

It is the applicant's responsibility to complete all pertinent sections of this form. Please contact the Zoning Officer prior to submittal if you need any assistance.

**TOWNSHIP USE ONLY**

Application #:	<u>2025-3-7</u>
Date Filed:	<u>12/23/24</u>
Payment:	<u>1800-</u>
Check #:	<u>22060</u>
Receipt #:	<u>16843</u>

- Date: \_\_\_\_\_
- Classification of Appeal/Application (Check one or more if applicable):

- A. Request for Variance
- B. Request for Special Exception
- C. Other \_\_\_\_\_

3. Applicant:

- Name: Calvary Chapel of Central Bucks
- Mailing Address: 150 East Butler Avenue, Chalfont, PA 18914
- Phone Number: 215-822-4012

(d) State whether owner of legal title, owner of equitable title, or tenant with the permission of owner of legal title:  
Owner of Equitable Title

\*Proof of title of the property affected must be available to the Zoning Hearing Board at all hearings.

4. Applicant's attorney, if applicable:

- Name: Alexander M. Glassman
- Mailing Address: 1300 Virginia Drive, Suite 405  
Fort Washington, PA 19034
- Phone Number: 215-633-1890
- Email Address: aglassman@cgbaglaw.com

5. Property:

- Present Zoning Use Classification: C-3 Commercial District
- Tax Parcel Number: 26-005-049-013-001
- Location (With reference to nearby intersections or prominent features):  
Manor Drive (1100 Manor Drive)  
Surrounded by Manor Drive/East School House Rd

6. Proposed use of property/construction:

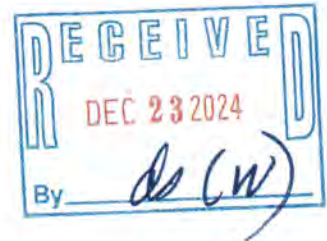
Calvary Chapel wishes to use the  
property as a church; please see supplemental  
addendum.

7. Cite specific section(s) of Zoning Ordinance from which relief is being requested:

§27-1401(b): F4 - Place of Worship.


\_\_\_\_\_

\_\_\_\_\_



8. Has any previous application/appeal been filed concerning the subject of this appeal?  Yes  No  
 If yes, specify:  
N/A
9. Signs: If appeal is for a commercial use, will a variance for a sign be necessary?  Yes  No  
 If yes, specify:  
N/A
10. List names and addresses of all property owners whose properties are within 500 feet of the property in question.  
 (Supplemental sheets of the same size may be attached)  
See supplement.

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Stephen F. Feeley   
 Signature

\_\_\_\_\_  
 Signature

Commonwealth of Pennsylvania } SS.  
 County of Bucks

Stephen F. Feeley, being duly sworn, according to law, deposes and says that he is the above-named Applicant; that he is authorized to, and does, take this Affidavit on behalf of the Owner, and that the foregoing facts are true and correct.

  
 \_\_\_\_\_

Sworn to and described before me This  
23 day of December, 2024

  
 \_\_\_\_\_  
 Notary Public

My Commission expires: 2/6/2027

Commonwealth of Pennsylvania - Notary Seal  
 NEEL PATEL - Notary Public  
 Bucks County  
 My Commission Expires February 6, 2027  
 Commission Number 1432570



The Zoning Hearing Board functions are as follows:

To hear and decide appeals from a decision or determination of any administrative official in the enforcement of the Zoning Ordinance and its amendments. Such appeals must be made within 30 days after the date of the decision.

To hear and decide Special Exceptions to the terms of the Zoning Ordinance and its amendments as specifically set forth and permitted by the ordinance(s).

To authorize, upon application/appeal, in specific cases, such variance from the terms of the Zoning Ordinance and its amendments, as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the Zoning Ordinance will result in unnecessary hardship and so that the spirit of the Ordinance will be observed and substantial justice done. The burden of proof of the "unnecessary hardship" as defined by the courts shall rest on the applicant. The circumstances must be unique and applicable to the applicant's particular property and no other. The possibility of the applicant's earning a greater financial return if a variance were granted does not in itself constitute sufficient reason for such a variance.

**Instructions:**

- (1) For 2(A) or (B), one (1) copy of the plan (if size 8 1/2" x 11") or eight (8) copies (if larger than size 8 1/2" x 11") must be attached to the appeal. The plan should be prepared by a professional engineer or surveyor, but the Board will accept any plan which is complete and accurate, provided that if not prepared by a professional engineer or surveyor, the person who prepared the plan must be prepared to state under oath at the formal hearing that the plan is complete and accurate. The plan must contain all information relevant to the appeal, including but not limited to, the following: the property related to a street, the dimensions and area of the lot, the dimensions and location of existing buildings or improvements, the dimensions and locations of proposed uses, buildings or improvements.
- (2) An application fee must accompany this Application/Appeal and is not returnable once it is accepted.

Residential Application Fee Request for Continuance Fee	\$800.00 \$200.00*
Non-residential Application Fee Request for Continuance Fee	\$1,200.00 \$200.00*

\*A fee of \$200.00 is required for each applicant requested postponement or continuance

- (3) Submit copy of deed with application.
- (4) This application must be filed with the Township Office by the 3<sup>rd</sup> Friday of the month to be on the agenda for the following month.
- (5) Applicant must be present at hearing otherwise the petition will be dismissed unless postponed by the Zoning Hearing Board upon cause shown or upon their motion.
- (6) All meetings of the Zoning Hearing Board shall be open to the public.
- (7) No decision by the Zoning Hearing Board shall relieve any applicant from the responsibility of obtaining any required permits in the manner prescribed by the Zoning Ordinance.
- (8) Once the application is approved by the Zoning Hearing Board, the time limit for the commencement of improvements is one year.



**BEFORE THE ZONING HEARING BOARD OF**  
**NEW BRITAIN TOWNSHIP**  
**BUCKS COUNTY, PENNSYLVANIA**

APPLICATION OF CALVARY BAPTIST CHURCH  
1100 MANOR DRIVE  
TAX MAP PARCEL NO. 26-005-049-013-001

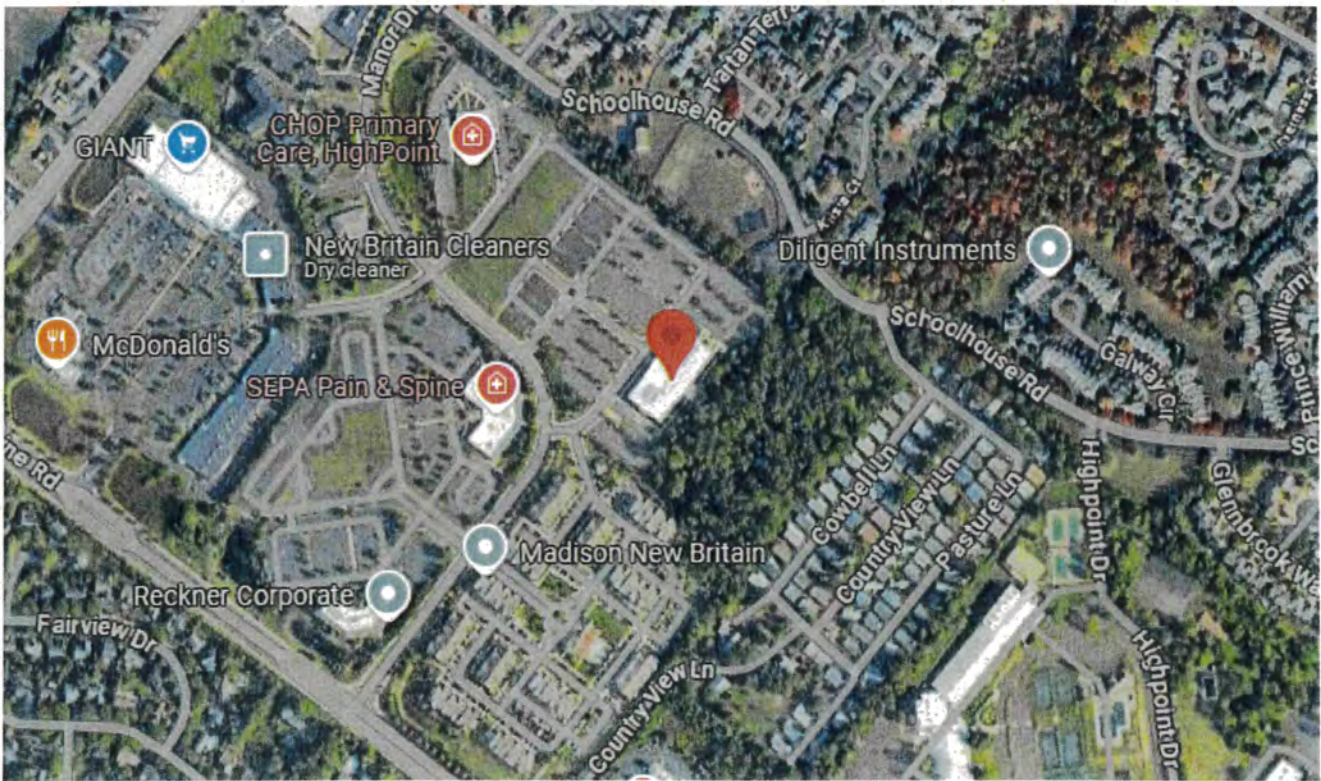
**SUPPLEMENTAL ADDENDUM TO ZONING HEARING BOARD APPLICATION**

**NARRATIVE**

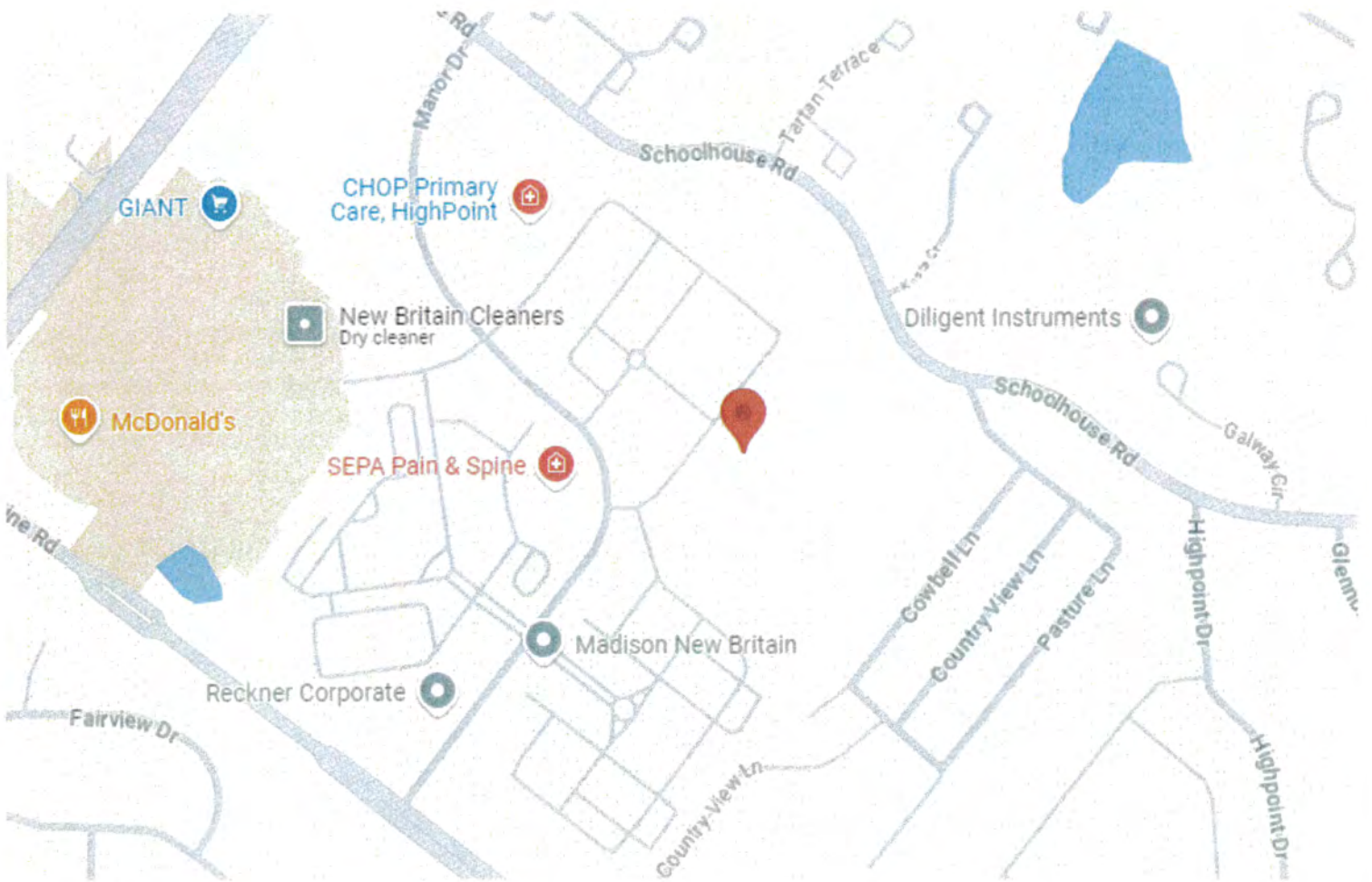
Applicant, Calvary Baptist Church, is the equitable owner of 1100 Manor Drive, Chalfont, PA 18914 ("Subject Property"). Applicant requests a Special Exception pursuant to the New Britain Zoning Code, Section 27-1401, which permits the use of a property in the C-3 Commercial District for Religious Worship by special exception from the Zoning Hearing Board.

At this time, Applicant proposes minor changes inside of the building for better use as a church, as it currently stands as an office building. No changes are planned for the building's exterior. Proposed plans for the building shall be supplied to the Board prior to a hearing for this Application.









**BUCKS COUNTY RECORDER OF DEEDS**  
55 East Court Street  
Doylestown, Pennsylvania 18901  
(215) 348-6209

Instrument Number - 2012018649

Recorded On 3/9/2012 At 12:04:53 PM

\* Total Pages - 6

\* Instrument Type - DEED

Invoice Number - 490437 User - KLJ

\* Grantor - NEW BRITAIN LTD PART

\* Grantee - ONE (110) MANOR DRIVE LTD PART

\* Customer - 1ST EASTERN LAND TRANSFER CO., INC.

\* **FEEES**

STATE TRANSFER TAX	\$85,000.00
RECORDING FEES	\$65.00
CENTRAL BUCKS	\$42,500.00
SCHOOL DISTRICT REALTY TAX	
NEW BRITAIN	\$42,500.00
TOWNSHIP	
TOTAL PAID	\$170,065.00

This is a certification page

**DO NOT DETACH**

This page is now part  
of this legal document.

**RETURN DOCUMENT TO:**  
1ST EASTERN LAND TRANSFER CO., INC.

I hereby CERTIFY that this document is  
recorded in the Recorder of Deeds Office  
of Bucks County, Pennsylvania.



*Joseph J. Szafran, Jr.*  
Joseph J. Szafran, Jr.  
Recorder of Deeds

\* - Information denoted by an asterisk may change during  
the verification process and may not be reflected on this page.

Book: 6963 Page: 1228



Prepared By: Joseph L. Di Tomo, Jr. Esq.  
Return To: 1<sup>st</sup> Eastern Land Transfer Co., Inc.  
1026 Winter St., Phila., PA 19107  
CPN # 26-005-049-013-001

RECORDED  
2012 MAR -6 A 8:32  
BUCKS COUNTY  
RECORDS OF DEEDS

B.C.B.O.A.  
Registry

**THIS INDENTURE,**

Made the 1<sup>st</sup> day of March in the year of our Lord Two Thousand and Twelve\*\*\*\*\*

Between

**NEW BRITAIN D/C LIMITED PARTNERSHIP, a Delaware Limited Partnership**  
(hereinafter called the Grantor), of the one part, and **1100 MANOR DRIVE, LP, a**  
**Pennsylvania Limited Partnership** (hereinafter called the Grantee), of the other part,

Witnesseth, That the said Grantor for and in consideration of the sum of Eight Million Five Hundred Thousand Dollars (\$8,500,000.00) lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery, hereof, the receipt whereof is hereby acknowledged, hath granted, bargained and sold, aliened, enfeoffed, released and confirmed, and by these presents doth grant, bargain and sell, alien, enfeoff, release and confirm unto the said Grantee, its administrators, successors and assigns:

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon erected, Hereditaments and Appurtenances, **SITUATE** in the Township of New Britain, County of Bucks and State of Pennsylvania, being Unit #1, "New Britain Corporate Center", bounded and described as follows, to wit:

**BEGINNING** at the common corner of Unit #1, Limited Common Element and Common Element, said point being distant the following (8) courses and distances from the intersection of the Easterly Right-of-Way Line of Manor Drive (50 feet wide Right-of-Way) with the dividing line between Limited Common Element and Convertible Real Estate/Withdrawable Real Estate-South, the following (4) courses and distances along the dividing line between Limited Common Element and Convertible Real Estate/Withdrawable Real Estate-South: (A) South 82 degrees, 38 minutes, 25 seconds East, a distance of 47.13 feet to a point; thence (B) South 54 degrees, 16 minutes, 36 seconds East, a distance of 52.30 feet to a point; thence (C) North 35 degrees, 43 minutes, 24 seconds East, a distance of 50.22 feet to a point; thence (D) South 54 degrees, 16 minutes, 36 seconds East, a distance of 407.31 feet to a point; thence the following (4) courses and distances along the dividing line between Limited Common Element and Common Element: (E) North 5 degrees, 7 minutes, 34 seconds West, a distance of 6.27 feet to a point; thence (F) North 42 degrees, 18 minutes, 0 seconds West, a distance of 144.57 feet to a point; thence (G) North 14 degrees, 0 minutes, 56 seconds West, a distance of 88.39 feet to a point; thence (H) North 44 degrees, 24 minutes, 30 seconds East, a distance of 45.72 feet to the true point and place of beginning; and from said point of

beginning, running thence: the following (3) courses and distances along the dividing line between Unit #1 and Limited Common Element: (1) North 53 degrees, 21 minutes, 53 seconds West, a distance of 221.42 feet to a point; thence (2) North 36 degrees, 38 minutes, 7 seconds East, a distance of 430.27 feet to a point; thence (3) South 53 degrees, 21 minutes, 53 seconds East, a distance of 275.55 feet to a point; thence the following (2) courses and distances along the dividing line between Unit #1 and Common Element: (4) South 40 degrees, 15 minutes, 58 seconds West, a distance of 63.12 feet to a point; thence (5) South 44 degrees, 24 minutes, 30 seconds West, a distance of 370.68 feet to the point and place of beginning.

**THIS DESCRIPTION** is based upon a Map entitled "Planned Community Plat, New Britain Corporate Center Business Community, a Planned Community; Lot 4 in New Britain Corporate Center, New Britain Township, Bucks County, Commonwealth of Pennsylvania", prepared by Bohler Engineering, Inc., Project No. P06-0614, CAD I.D. No. P06-0614-COMMPLAT-1, dated November 1, 2006, last revised December 19, 2007, Sheet 1 of 1.

**BEING PART OF** the same premises which New Britain Land Limited Partnership, a Pennsylvania Limited Partnership, by Indenture bearing date the 21<sup>st</sup> day of November, A.D. 2006 and recorded the 3<sup>rd</sup> day of January, A.D. 2007 in the Office of the Recorder of Deeds, in and for the County of Bucks, aforesaid, in Land Record Book 5239 page 165, granted and conveyed unto New Britain D/C Limited Partnership, a Delaware Limited Partnership, in fee.

**UNDER AND SUBJECT** to all conditions, easements, rights-of-way, agreements, covenants, liens, reservations, exceptions, restrictions and other encumbrances of record, to the extent still valid, subsisting and enforceable.

**BEING PARCEL NUMBER** 26-5-49-13-1.

**Together** with all and singular the buildings and Improvements, Ways, Streets, Alleys, Passages, Waters, Water-courses, Rights, Liberties, Privileges, Hereditaments and Appurtenances, whatsoever thereunto belonging, or in any wise appertaining, and the Reversions and Remainders, Rents, Issues and Profits thereof; and all the Estate, Right, Title, Interest, Property, Claim and Demand whatsoever of the said Grantor in law as in equity, or otherwise howsoever, of, in, and to the same and every part thereof.

**To have and to hold** the said lot or piece of ground described above with the messuage or tenement thereon erected, Hereditaments and Premises hereby granted, or mentioned and intended so to be, with the Appurtenances, unto the said Grantee, its administrators, successors and assigns, to and for the only proper use and behoof of the said Grantee, its administrators, successors and assigns, forever.

**And** the said Grantor, for itself and its successors and assigns doth by these presents, covenant, grant and agree, to and with the said Grantee, its administrators, successors and assigns, all and singular the Hereditaments and Premises herein above described and granted, or mentioned and intended so to be, with the Appurtenances, unto the said Grantee, its administrators, successors and assigns, and against all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under it, them or any of them, shall and will **SPECIALLY WARRANT** and forever **DEFEND**.

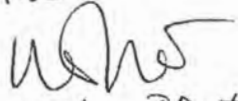
IN WITNESS WHEREOF the party of the first part has hereunto set its hand and seal.

Sealed and Delivered

IN THE PRESENCE OF US:

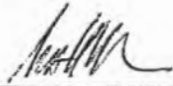
ATTEST:

WITNESS:

  
Matthew J. Swett

NEW BRITAIN D/C LIMITED PARTNERSHIP

By: BERGEN OF NEW BRITAIN D/C, LLC,  
its General Partner

By  \_\_\_\_\_

Name Title Scott A. Williams  
Senior Vice President

COPY

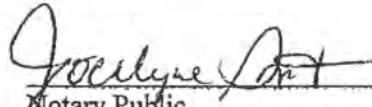
COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF PHILADELPHIA:

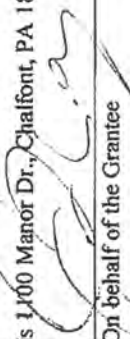
On this, the 1<sup>st</sup> day of March 2012, before me, the undersigned officer, personally appeared Scott R. Williams, the S.R. V-P of Bergen of New Britain D/C, LLC, the general partner of New Britain D/C Limited Partnership, grantor herein who, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing his name thereto.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



  
Notary Public

<b>DEED</b>	<b>NEW BRITAIN D/C LIMITED PARTNERSHIP</b>
	<b>To</b> <b>1100 MANOR DRIVE, LP</b>
<b>Premises:</b> <b>1100 Manor Drive</b> <b>Chalfont, PA</b> <b>County of Bucks</b> <b>Commonwealth of Pennsylvania</b>	<b>Prepared By:</b> <b>Joseph L. Di Tomo, Jr., Esquire</b> <b>1026 Winter Street</b> <b>Suite 100</b> <b>Philadelphia, PA 19107-1808</b> <b>(215) 238-8090</b>

The address of the above-named Grantee is  
is 1100 Manor Dr., Chalfont, PA 18914  
  
On behalf of the Grantee





**pennsylvania**  
DEPARTMENT OF REVENUE  
Bureau of Individual Taxes  
PO BOX 280603  
Harrisburg PA 17128-0603

## REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

### RECORDER'S USE ONLY

State Tax Paid	
Book Number	
Page Number	
Date Recorded	

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) the deed is without consideration or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on family relationship or public utility easement. If more space is needed, attach additional sheets.

#### A. CORRESPONDENT – All inquiries may be directed to the following person:

Name	1st Eastern Land Transfer Co., Inc.			Telephone Number:	(215) 238-8090		
Street Address	1026 Winter Street	City	Philadelphia	State	PA	ZIP Code	19107

#### B. TRANSFER DATA

#### Date of Acceptance of Document

Grantor(s)/Lessor(s)	New Britan D/C Limited Partnership			Grantee(s)/Lessee(s)	1100 Manor Drive, LP		
Street Address	770 Township Line Road	City	Yardley	Street Address	1100 Manor Drive	City	Chalfont
State	PA	ZIP Code	19067	State	PA	ZIP Code	18914

#### C. REAL ESTATE LOCATION

Street Address	1100 Manor Drive			City, Township, Borough	Chalfont	
County	Bucks	School District	Central Bucks S D	Tax Parcel Number	26549131	

#### D. VALUATION DATA

1. Actual Cash Consideration	8,500,000.00	2. Other Consideration	+ 0.00	3. Total Consideration	= 8,500,000.00
4. County Assessed Value	891,700.00	5. Common Level Ratio Factor	X 8.85	6. Fair Market Value	= 7,891,545.00

#### E. EXEMPTION DATA

1a. Amount of Exemption Claimed	0.00	1b. Percentage of Grantor's Interest in Real Estate	100	1c. Percentage of Grantor's Interest Conveyed	100
---------------------------------	------	---	-----	---	-----

#### 2. Check Appropriate Box Below for Exemption Claimed

- Will or intestate succession. (Name of Decedent) (Estate File Number)
- Transfer to Industrial Development Agency.
- Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- Transfer between principal and agent/straw party. (Attach complete copy of agency/straw party agreement.)
- Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- Transfer from mortgagor to a holder of a mortgage in default. (Attach copy of Mortgage and note/Assignment.)
- Corrective or confirmatory deed. (Attach complete copy of the deed to be corrected or confirmed.)
- Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- Other (Please explain exemption claimed, if other than listed above.)

Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party

Date

3-2-12

**FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH REQUESTED DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.**

**MEMORANDUM OF UNDERSTANDING  
BETWEEN NEW BRITAIN TOWNSHIP AND  
NEW BRITAIN TOWNSHIP POLICE BENEVOLENT ASSOCIATION**

This Memorandum of Understanding ("Agreement") is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2025 by and between New Britain Township ("the Township") and New Britain Township Police Benevolent Association ("the Association").

**WHEREAS**, the Township and the Association have entered into a collective bargaining agreement from January 1, 2022 to December 31, 2026 ("CBA").

**WHEREAS**, the Township and the Association desire to clarify the rank of officers while they are in the Detective and Highway Safety Officer positions.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements contained herein, and other good valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and intending to be legally bound, the Parties hereby agree as follows:

1. The Chief of Police may assign officers to the positions of Detective and Highway Safety Officer.
2. Officers assigned to the positions of Detective and Highway Safety Officer shall be designated as Corporal.
3. The Corporal designation shall only apply to one (1) Detective and (1) Highway Safety Officer. If there are multiple officers in the position of Detective and in the position of Highway Safety Officer, only the Lead Detective and Lead Highway Safety Officer shall be designated as Corporal.
4. The rank of Corporal applies only while the officers assigned occupies the Lead Detective and Lead Highway Safety Officer positions. Upon leaving the position, whether voluntarily, through reassignment, due to a leave of absence, or any other circumstances in which the officer ceases to perform the duties of the position, the officer will revert to their prior rank.
5. The designation as Corporal does not confer any permanent rights to the rank beyond the duration of the assignment by the Chief of Police.
6. Compensation at the Corporal rate shall not begin until after this Agreement has been fully executed by both parties. No retroactive pay adjustments or back pay for the Corporal rate will be made for any period prior to the date of full execution of this Agreement.
7. This Agreement shall not serve as a precedent for any future agreements or disputes.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be duly executed as of the date first above written.

**NEW BRITAIN TOWNSHIP**

**NEW BRITAIN TOWNSHIP POLICE  
BENEVOLENT ASSOCIATION**



\_\_\_\_\_  
BY:

\_\_\_\_\_  
BY: PAUL J. ZIOLKOWSKI, PRESIDENT.



# MEMO

---

**TO:** Board of Supervisors, Township Manager Dan Fox  
**FROM:** Bill May, Parks, and Recreation Coordinator/ Foreman  
**DATE:** January 22, 2025  
**RE:** Lenape Valley Baseball, Dugout Repainting

---

The Lenape Valley Baseball Organization has been a part of the New Britain Township Community for decades and use North Branch Fields as part of their home fields. The organization has contacted the Parks and Recreation Foreman/Coordinator and informed that LV Baseball has changed their team colors from orange and black to blue and yellow to match LV Softball, and LV Football. They have requested to paint and change the colors on the dugouts at fields 5 and 6 from black and orange to blue and yellow.

On Tuesday January 21, 2025, at the Parks and Recreation Advisory Board meeting, The Parks and Recreation Foreman/ Coordinator presented the request to the Parks and Recreation Advisory Board and stated that the organization has a professional painter within their group of volunteers and would handle the project. There would be no cost to the Township.

**STAFF RECOMMENDATION:**

The Parks and Recreation Advisory Board and New Britain Township Staff recommend the Board of Supervisors allow LV Baseball to repaint the dugouts at fields 5 and 6 and change the color from orange and black to blue and yellow with the agreement that there will be no logo or images added.



# MEMO

---

**TO:** Board of Supervisors, Township Manager Dan Fox  
**FROM:** Bill May, Parks, and Recreation Coordinator/ Foreman  
**DATE:** January 22, 2025  
**RE:** Lenape Valley Baseball, Additional Bathroom at North Branch

---

The Lenape Valley Baseball Organization has been a part of the New Britain Township Community for decades and use North Branch Fields as part of their home fields. The organization has contacted the Parks and Recreation Foreman/Coordinator requesting an additional Port-O-Pot at North Branch Park fields 5 and 6.

On Tuesday January 21, 2025, at the Parks and Recreation Advisory Board meeting, The Parks and Recreation Foreman/ Coordinator presented the request to the Parks and Recreation Advisory Board stating that Lenape Valley is requesting a Port-O-Pot at fields 5 and 6 at North Branch, the youths are currently using the back side of the existing shed to relieve themselves during the games. The cost to the Township would be an additional \$70 per month.

## **STAFF RECOMMENDATION:**

The Parks and Recreation Advisory Board and New Britain Township Staff recommend the Board of Supervisors authorize the placement of an additional ADA Port- O - Pot at North Branch Park as a trial basis, with the contingency that it will be removed due to excessive vandalism.

January 23, 2025

To Whom it may concern,

Please accept this letter as my formal resignation from the New Britain Township Planning Commission, effective immediately.

Please don't hesitate to reach out to me with any questions or concerns.

Regards,

Kristen Ives

Kristen E. Ives 1/23/2025

102 Sheffield Court  
Chalfont, PA 18914  
(267) 475-1757

Account Range: First to Last Date Range: 01/01/24 to 12/31/24  
Exclude Accounts with Zero Balance and No Activity: Y Class Id: 100

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
01-100-000	GENERAL FUND CHECKING	A	484,100.86 Db	7,554,210.02	8,009,054.28	454,844.26 Cr	29,256.60 Db
01-102-000	TREASURY CHECKING	A	2,823.07 Db	513.76	2,473.58	1,959.82 Cr	863.25 Db
01-105-000	PAYROLL CHECKING	A	25,724.29 Db	4,684,190.19	4,695,869.05	11,678.86 Cr	14,045.43 Db
01-106-000	MONEY MARKET	A	194,117.88 Db	6,796,904.31	6,984,364.73	187,460.42 Cr	6,657.46 Db
01-107-000	PLGIT PROCUREMENT CARD	A	25,832.72 Db	76,365.82	85,949.02	9,583.20 Cr	16,249.52 Db
01-107-001	GENERAL FUND PLGIT	A	501.92 Db	27.62	2.12	25.50 Db	527.42 Db
01-109-000	Certificate of Deposit	A	1,012,508.77 Db		1,012,508.77	1,012,508.77 Cr	0.00
01-110-000	CASH - PETTY CASH	A	891.37 Db	719.75	500.00	219.75 Db	1,111.12 Db
	Fund Totals		1,746,500.88 Db	19,112,931.47	20,790,721.55	1,677,790.08 Cr	68,710.80 Db
	Fund Balance Totals			68,710.80	0.00		
02-106-000	STREET LIGHT FUND MONEY MARKET	A	9,815.24 Db	245,281.68	223,419.36	21,862.32 Db	31,677.56 Db
02-109-000	Certificate of Deposit	A	202,501.75 Db	102,333.32	202,501.75	100,168.43 Cr	102,333.32 Db
	Fund Totals		212,316.99 Db	347,615.00	425,921.11	78,306.11 Cr	134,010.88 Db
	Fund Balance Totals			134,010.88	0.00		
03-106-000	FIRE TAX FUND MONEY MARKET	A	151,420.46 Db	296,462.17	315,929.42	19,467.25 Cr	131,953.21 Db
03-106-100	AMBULANCE TAX FUND	A	21,444.36 Cr	176,333.46	140,171.13	36,162.33 Db	14,717.97 Db
	Fund Totals		129,976.10 Db	472,795.63	456,100.55	16,695.08 Db	146,671.18 Db
	Fund Balance Totals			146,671.18	0.00		
04-102-110	MONEY MARKET UNIVEST	A	0.00	1,530,188.95		1,530,188.95 Db	1,530,188.95 Db
04-106-000	LAND PRESERVATION MONEY MARKET	A	1,402.36 Db	8,511.59	9,907.40	1,395.81 Cr	6.55 Db
04-106-001	NBT OPN EIT FUNDS	A	553,675.10 Db	4,445,570.64	4,028,725.92	416,844.72 Db	970,519.82 Db
04-107-000	LAND PRESERVATION PLGIT	A	1,205.11 Db	61.24		61.24 Db	1,266.35 Db
04-107-001	OPN/EIT PLGIT	A	2,489.33 Db	126.47		126.47 Db	2,615.80 Db
04-109-000	Certificate of Deposit	A	3,543,780.69 Db	2,559,799.66	3,543,780.69	983,981.03 Cr	2,559,799.66 Db
	Fund Totals		4,102,552.59 Db	8,544,258.55	7,582,414.01	961,844.54 Db	5,064,397.13 Db
	Fund Balance Totals			5,064,397.13	0.00		
07-102-501	PARK/REC RECREATION LAND ACCT	A	219,865.33 Db	1,653,666.18	738,051.84	915,614.34 Db	1,135,479.67 Db
07-106-000	PARK & RECREATION MONEY MARKET	A	237,307.11 Db	705,623.73	908,575.25	202,951.52 Cr	34,355.59 Db
07-106-100	VETERANS MEMORIAL ACCOUNT	A	99,170.02 Db	700.00	700.00		99,170.02 Db

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
07-109-000	Certificate of Deposit	A	1,012,508.77 Db		1,012,508.77	1,012,508.77 Cr	0.00
	Fund Totals		1,568,851.23 Db	2,359,989.91	2,659,835.86	299,845.95 Cr	1,269,005.28 Db
	Fund Balance Totals			1,269,005.28	0.00		
15-102-800	ACCRUED LEAVE ACCOUNT	A	261,064.68 Db	584.79	261,649.47	261,064.68 Cr	0.00
15-102-900	EMST RESERVE ACCOUNT	A	1,848.03 Db	35.93	1,875.37	1,839.44 Cr	8.59 Db
15-106-300	GENERAL FD YEAR END RESERVE ACCT	A	190,505.15 Db	2,993,599.92	1,892,579.64	1,101,020.28 Db	1,291,525.43 Db
15-107-000	GENERAL RESERVE PLGIT	A	1,454.07 Db	73.86		73.86 Db	1,527.93 Db
15-109-000	Certificate of Deposit	A	1,518,763.15 Db	1,025,833.01	1,518,763.15	492,930.14 Cr	1,025,833.01 Db
15-109-001	CERTIFICATE OF DEPOSIT UNIVEST	A	0.00	267,397.56		267,397.56 Db	267,397.56 Db
	Fund Totals		1,973,635.08 Db	4,287,525.07	3,674,867.63	612,657.44 Db	2,586,292.52 Db
	Fund Balance Totals			2,586,292.52	0.00		
18-102-901	SEWAGE MAINTENANCE FEE ACCT	A	11,507.69 Db	20,395.01	31,773.42	11,378.41 Cr	129.28 Db
18-102-902	STORMWATER MAINTENANCE FEES	A	81,499.77 Db	567,239.92	626,859.94	59,620.02 Cr	21,879.75 Db
18-106-000	MONEY MARKET ACCOUNT	A	33,487.39 Db	1,319,963.68	987,574.75	332,388.93 Db	365,876.32 Db
18-106-001	CAPITAL LOAN PROCEEDS	A	211,107.64 Db	472.84	211,580.48	211,107.64 Cr	0.00
18-106-002	2020 CAPITAL SINKING FUND	A	306,730.82 Db	6,532.02	311,860.21	305,328.19 Cr	1,402.63 Db
18-109-000	Certificate of Deposit	A	708,756.14 Db	1,071,981.78	708,756.14	363,225.64 Db	1,071,981.78 Db
18-109-001	CERTIFICATE OF DEPOSIT UNIVEST	A	0.00	216,525.29	297.06	216,228.23 Db	216,228.23 Db
	Fund Totals		1,353,089.45 Db	3,203,110.54	2,878,702.00	324,408.54 Db	1,677,497.99 Db
	Fund Balance Totals			1,677,497.99	0.00		
20-106-000	MONEY MARKET ACCOUNT	A	394,759.90 Db	196,240.38	120,009.03	76,231.35 Db	470,991.25 Db
20-106-001	2005 DVRFA/P.WKS.ACCT	A	308,262.00 Db	1,192,343.30	1,010,376.13	181,967.17 Db	490,229.17 Db
	Fund Totals		703,021.90 Db	1,388,583.68	1,130,385.16	258,198.52 Db	961,220.42 Db
	Fund Balance Totals			961,220.42	0.00		
30-106-000	MONEY MARKET	A	32,622.78 Db	427,195.48	356,851.78	70,343.70 Db	102,966.48 Db
30-109-000	Certificate of Deposit	A	303,752.63 Db	102,449.45	303,752.63	201,303.18 Cr	102,449.45 Db
	Fund Totals		336,375.41 Db	529,644.93	660,604.41	130,959.48 Cr	205,415.93 Db
	Fund Balance Totals			205,415.93	0.00		
35-100-000	CHECKING ACCOUNT	A	206,566.35 Db	866,160.18	771,316.25	94,843.93 Db	301,410.28 Db
35-106-000	MONEY MARKET	A	0.00	2,334.99		2,334.99 Db	2,334.99 Db



Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
35-109-000	Certificate of Deposit	A	405,003.51 db	409,333.27	405,003.51	4,329.76 db	409,333.27 db
	Fund Totals		611,569.86 db	1,277,828.44	1,176,319.76	101,508.68 db	713,078.54 db
	Fund Balance Totals			713,078.54	0.00		
Total Accounts ==>	42						
	Report Totals		12,737,889.49 db	41,524,283.22	41,435,872.04	88,411.18 db	12,826,300.67 db
	Report Balance Totals			12,826,300.67	0.00		

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
01-301-100	REAL ESTATE CURRENT YEAR	1,197,946.57	1,201,714.00	1,191,571.52	-10,142.48	99.16
01-301-200	REAL ESTATE-PRIOR YEAR	4,112.29	4,000.00	213.04	-3,786.96	5.33
01-301-400	REAL ESTATE - DELINQUENT	9,082.50	20,000.00	11,386.78	-8,613.22	56.93
01-301-600	REAL ESTATE - INTERIM	2,001.53	2,000.00	5,518.99	3,518.99	275.95
01-310-100	REAL ESTATE TRANSFER TAX-NEW	0	50,000.00	61,207.43	11,207.43	122.41
01-310-101	R.E. TRANSFER TAX-RESALES	381,920.57	450,000.00	376,533.90	-73,466.10	83.67
01-310-210	EARNED INCOME TAX	3,178,783.08	3,325,000.00	3,308,177.23	-16,822.77	99.49
01-310-220	LST TAXES	127,319.06	130,000.00	127,770.67	-2,229.33	98.29
01-321-800	CABLE TV FRANCHISE FEE	208,800.89	240,000.00	230,065.18	-9,934.82	95.86
01-322-800	ROAD OPENING PERMITS	7,231.50	5,000.00	8,983.80	3,983.80	179.68
01-331-100	DISTRICT COURT FINES	9,155.31	15,000.00	16,303.47	1,303.47	108.69
01-331-110	VEHICLE CODE VIOLATIONS	4,849.83	8,000.00	6,952.19	-1,047.81	86.90
01-331-120	TOWNSHIP ORDINANCE FINES	0	100.00	0	-100.00	0.00
01-331-130	STATE POLICE FINES	5,496.01	5,000.00	5,346.03	346.03	106.92
01-341-000	INTEREST EARNINGS	17,525.76	150,000.00	23,140.92	-126,859.08	15.43
01-341-401	OVER COUNTER SALES	1,774.98	0.00	866.98	866.98	0.00
01-342-100	FARMLAND LEASES	1,500.00	0.00	1,500.00	1,500.00	0.00
01-342-200	BLDG RENT & WB CELL TOWER	2,144.00	600.00	600.00	0.00	100.00
01-342-201	CELL TOWER LEASE/N. BRANCH	59,363.52	26,000.00	32,371.93	6,371.93	124.51
01-351-001	ALL OTHR FEDERAL CAPITAL&OPERATING GRANT	0	0.00	49,710.53	49,710.53	0.00
01-352-530	FEDERAL ENTITLEMENTS TO GOVERN UNITS	732,046.00	0.00	513,915.67	513,915.67	0.00
01-354-000	RECYCLING GRANT	23,834.37	26,000.00	0	-26,000.00	0.00
01-355-010	PUBLIC UTILITY TAXES	4,434.70	0.00	4,627.66	4,627.66	0.00
01-355-080	LIQUOR LICENSES	1,200.00	0.00	1,800.00	1,800.00	0.00
01-355-120	STATE AID PENSION PLANS	124,146.46	100,000.00	60,225.13	-39,774.87	60.23
01-355-130	FOREIGN FIRE INSURANCE	108,369.77	86,000.00	109,880.96	23,880.96	127.77
01-355-140	DARE GRANT/REVENUES	0	0.00	2,400.00	2,400.00	0.00
01-355-141	OVERTIME REIMBURSEABLES	25,952.35	40,000.00	42,547.86	2,547.86	106.37
01-355-150	FEMA/PEMA AID	84,075.00	69,000.00	0	-69,000.00	0.00
01-361-001	OVER COUNTER SALES	0	0.00	100.00	100.00	0.00
01-361-300	ZONING SUBDIVISION FILING FEES	17,652.00	2,000.00	12,875.00	10,875.00	643.75
01-361-330	ZONING PERMITS	15,717.90	10,000.00	12,475.00	2,475.00	124.75
01-361-340	ZONING HEARING BOARD	23,800.00	10,000.00	9,300.00	-700.00	93.00
01-362-100	MISC. CHARGES AND FEES	0	0.00	85.00	85.00	0.00
01-362-140	POLICE & ACCIDENT REPORTS	11,995.00	13,000.00	12,206.00	-794.00	93.89
01-362-410	BUILDING PERMITS	109,844.41	100,000.00	146,191.49	46,191.49	146.19
01-362-420	ELECTRICAL PERMITS	47,087.50	40,000.00	56,393.50	16,393.50	140.98
01-362-430	PLUMBING/MECHANICAL PERMITS	63,972.32	50,000.00	70,608.95	20,608.95	141.22
01-362-450	OCCUPANCY PERMITS - NEW CONST	750.00	1,500.00	6,925.00	5,425.00	461.67

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
01-402-131	SALARY/ADMIN ASST T.P.	0	0.00	34,813.20	-34,813.20	0.00
01-402-161	FICA/MEDICARE-FINANCE	7,066.97	9,563.00	9,106.50	456.50	95.23
01-402-300	PAYROLL SERVICES & ACCOUNTING	40,785.06	10,000.00	29,249.51	-19,249.51	292.50
01-402-310	APPOINTED AUDITOR	23,000.00	30,000.00	24,750.00	5,250.00	82.50
01-402-350	BONDING/SURETY	1,650.00	5,000.00	1,660.00	3,340.00	33.20
01-403-000	TAX COLLECTION:	0	0	0	0	0.00
01-403-110	SALARY-ELECTED TAX COLLECTOR	22,499.00	22,500.00	22,500.00	0.00	100.00
01-403-161	FICA/MEDICARE/TAX	1,792.28	1,721.00	1,721.29	-0.29	100.02
01-403-319	REIMBUSEABLE EXPENSES	1,796.28	2,400.00	1,925.27	474.73	80.22
01-403-370	EIT/EMST COLLECTOR	43,492.93	1,200.00	49,927.17	-48,727.17	4,160.60
01-404-000	SOLICITOR/LEGAL SERVICES:	0	0	0	0	0.00
01-404-101	SOLICITOR/LABOR	17,459.52	10,000.00	13,408.14	-3,408.14	134.08
01-404-110	SOLICITOR/POLICE GENERAL SERVICES	0	0.00	10,640.00	-10,640.00	0.00
01-404-310	SOLICITOR/GENERAL SERVICES	62,143.63	40,000.00	33,992.95	6,007.05	84.98
01-405-000	SECRETARY/CLERK:	0	0	0	0	0.00
01-405-140	WAGES/CLERICAL STAFF	105,309.88	164,288.00	110,232.99	54,055.01	67.10
01-405-150	MEDICAL/DENTAL/LIFE/RX INSURANCE	42,494.79	103,485.00	60,797.43	42,687.57	58.75
01-405-161	FICA/MEDICARE	7,768.56	12,568.00	8,472.29	4,095.71	67.41
01-406-000	OTHER GENERAL GOVT ADMINISTRATION:	0	0	0	0	0.00
01-407-000	IT-NETWORKING & DATA SERVICES:	0	0	0	0	0.00
01-408-000	ENGINEERING SERVICES:	0	0	0	0	0.00
01-408-100	GENERAL ENGINEERING	102,122.98	40,000.00	111,673.65	-71,673.65	279.18
01-408-140	SPECIAL PROJECTS/ENGINEERING	250.85	0.00	0	0.00	0.00
01-409-000	BUILDINGS & PLANT:	0	0	0	0	0.00
01-409-319	SUPPLIES AND EQUIPMENT	0	0.00	440.57	-440.57	0.00
01-409-360	UTILITIES	19,651.43	20,000.00	17,148.95	2,851.05	85.74
01-409-370	BLDG MAINT&REPAIRS SERVICES&SUPPLIES	185,798.78	50,000.00	19,569.94	30,430.06	39.14
01-410-000	POLICE:	0	0	0	0	0.00
01-410-120	SALARY - POLICE MANAGEMENT	135,969.60	136,486.00	136,489.60	-3.60	100.00
01-410-130	WAGES - BARGAINING UNIT	1,426,771.20	1,632,376.00	1,474,427.01	157,948.99	90.32
01-410-131	POLICE OVERTIME	132,415.02	150,000.00	162,073.03	-12,073.03	108.05
01-410-132	ACCRUED TIME EXPENSE	151,638.96	215,000.00	199,264.53	15,735.47	92.68
01-410-133	EDUCATION INCENTIVE PAY	38,617.00	0.00	48,157.78	-48,157.78	0.00
01-410-140	WAGES-CLERICAL STAFF FT	49,378.90	90,277.00	66,427.20	23,849.80	73.58
01-410-150	SALARY - VEHICLE MAINTENANCE	337.40	0.00	0	0.00	0.00
01-410-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	421,699.90	545,910.00	489,754.84	56,155.16	89.71
01-410-160	CROSSING GUARD WAGES	6,654.24	12,782.00	7,518.96	5,263.04	58.82
01-410-161	FICA/MEDICARE/POLICE	149,523.03	143,202.00	162,426.70	-19,224.70	113.42
01-410-162	UNEMPLOYMENT PREMIUM PD	0	3,026.00	0	3,026.00	0.00

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
01-413-161	FICA/MEDICARE-CODES	13,066.95	13,217.00	12,712.35	504.65	96.18
01-413-319	GENERAL EXPENSE AND TRAINING	873.00	0.00	436.12	-436.12	0.00
01-413-330	VEHICLE EXPENSE	524.49	1,000.00	40.49	959.51	4.05
01-413-351	AUTO INSURANCE/ADMIN-INSPEC VEH.	684.60	776.00	775.96	0.04	99.99
01-413-352	LIABILITY INSURANCE	580.56	658.00	658.04	-0.04	100.01
01-413-751	VEHICLE PURCHASE	0	0.00	69,316.34	-69,316.34	0.00
01-413-752	STATE PASS THRU FEE	1,071.00	2,000.00	1,188.00	812.00	59.40
01-414-000	PLANNING & ZONING:	0	0	0	0	0.00
01-414-140	ZONING PERSONNEL	135,955.30	103,500.00	82,108.04	21,391.96	79.33
01-414-141	ZONING HEARING BOARD	3,696.25	3,000.00	1,910.00	1,090.00	63.67
01-414-150	PLANNING CONSULTANT	0	0.00	13,512.50	-13,512.50	0.00
01-414-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	41,885.49	38,265.00	33,805.37	4,459.63	88.35
01-414-161	FICA/MEDICARE	10,718.58	7,918.00	6,703.44	1,214.56	84.66
01-414-310	LEGAL, PLNG & ZONING	49,866.00	35,000.00	39,694.08	-4,694.08	113.41
01-414-313	ENGINEERING PLANNING/ZONING	23,183.75	15,000.00	28,533.62	-13,533.62	190.22
01-414-317	CODIFICATION/UPDATES	0	0.00	5,405.00	-5,405.00	0.00
01-414-319	COMPUTER SOFTWARE AND SERVICES	0	0.00	32,452.67	-32,452.67	0.00
01-414-352	LIABILITY INSURANCE	346.68	393.00	392.92	0.08	99.98
01-414-354	WORKERS COMPENSATION	351.00	318.00	349.99	-31.99	110.06
01-415-000	EMERGENCY MANAGEMENT & COMMUNICATIONS:	0	0	0	0	0.00
01-415-100	EMERGENCY MANAGEMENT ADMIN EXP	10,400.00	21,050.00	6,200.00	14,850.00	29.45
01-427-000	SOLID WASTE COLLECTION & DISPOSAL:	0	0	0	0	0.00
01-427-010	SLID WASTE/HAZ WASTE COLLECTION	9,327.12	6,000.00	4,767.20	1,232.80	79.45
01-429-000	WASTEWATER COLLECTION & TREATMENT:	0	0	0	0	0.00
01-430-000	GENERAL SERVICES-ADMINISTRATION:	0	0	0	0	0.00
01-430-120	SALARY - MANAGEMENT	93,683.72	96,390.00	107,161.59	-10,771.59	111.18
01-430-130	SALARY/BLDG MAINTENANCE	-1,070.00	0.00	8,892.01	-8,892.01	0.00
01-430-131	OT - PUBLIC WORKS	4,749.04	5,000.00	3,739.45	1,260.55	74.79
01-430-140	WAGES PUBLIC WORKS CREW	446,727.54	477,529.00	419,397.52	58,131.48	87.83
01-430-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	178,768.98	172,924.00	173,513.32	-589.32	100.34
01-430-161	FICA/MEDICARE-PUBLIC WORKS	43,682.25	43,905.00	42,064.79	1,840.21	95.81
01-430-241	UNIFORM EXPENSE	7,389.29	10,099.99	7,314.71	2,785.28	72.42
01-430-300	GENERAL EXPENSE & TRAINING	0	0.00	410.61	-410.61	0.00
01-430-320	COMMUNICATIONS/MAINT	13,085.87	10,000.00	13,647.74	-3,647.74	136.48
01-430-321	RADIO REPAIRS	0	1,000.00	0	1,000.00	0.00
01-430-351	VEHICLE INSURANCE	15,978.38	18,111.00	18,111.04	-0.04	100.00
01-430-352	LIABILITY INSURANCE	3,368.40	3,818.00	3,818.00	0.00	100.00
01-430-354	WORKERS COMPENSATION	33,663.00	26,763.00	33,493.26	-6,730.26	125.15
01-430-370	BUILDING MAINTENANCE	33,412.21	40,000.00	38,559.04	1,440.96	96.40

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
01-483-510	MMO PENSION PAYMENT	124,146.46	62,284.00	64,284.00	-2,000.00	103.21
01-486-000	INSURANCE,CASUALTY, & SURETY:	0	0	0	0	0.00
01-486-157	HEALTH & VISION REIMBURSEMENTS	54,211.40	50,000.00	59,885.19	-9,885.19	119.77
01-486-158	FITNESS REIMBURSEMENT	2,990.60	2,000.00	2,392.99	-392.99	119.65
01-487-000	HEALTH INSURANCE BENEFIT:	0	0	0	0	0.00
01-487-161	FICA/MEDICARE	0	3,750.00	0	3,750.00	0.00
01-487-162	NON-UNIFORM TIME PAY OUT	38,571.21	50,000.00	34,948.88	15,051.12	69.90
01-487-192	ORTHODONTIA REIMBURSEMENT	1,000.00	6,000.00	0	6,000.00	0.00
01-487-502	457 MATCHING	32,940.00	36,000.00	32,550.00	3,450.00	90.42
01-488-000	FIDUCIARY FUNDS BENEFIT & REFUND PAID:	0	0	0	0	0.00
01-488-540	FIREMEN'S RELIEF DISTRIBUTION	108,369.77	86,000.00	109,880.96	-23,880.96	127.77
01-492-000	INTERFUND OPERATING TRANSFERS:	0	0	0	0	0.00
01-492-010	UNALLOCATED GENERAL FUNDS	0.00	0.00	-1,587.21	1,587.21	0.00
<b>GENERAL FUND: Expenditure Totals</b>		<b>7,107,131.80</b>	<b>7,253,052.99</b>	<b>7,097,452.69</b>	<b>155,600.30</b>	
02-341-000	INTEREST EARNINGS	3,862.30	10,500.00	7,448.25	-3,051.75	70.94
02-383-000	STREET LIGHT ASSESSMENTS	37,005.00	37,550.00	37,665.00	115.00	100.31
02-393-990	ESTIMATED BEGINNING BALANCE	0	104,806.50	0	-104,806.50	0.00
<b>STREET LIGHTING FUND: Revenue Totals</b>		<b>40,867.30</b>	<b>152,856.50</b>	<b>45,113.25</b>	<b>-107,743.25</b>	
02-403-000	TAX COLLECTION:	0	0	0	0	0.00
02-403-110	SALARY-ELECTED	2,500.00	2,500.00	2,500.00	0.00	100.00
02-403-120	TAX COLLECTOR FEE	0	191.00	0	191.00	0.00
02-434-000	STREET LIGHTING:	0	0	0	0	0.00
02-434-360	UTILITY EXPENSE	9,767.34	10,000.00	12,118.94	-2,118.94	121.19
02-471-100	PRINCIPAL PAYMENT/STREET LIGHT LOAN	20,931.48	0.00	689.72	-689.72	0.00
02-472-100	INTEREST PAYMENT/STREET LIGHT LOAN	440.68	0.00	-14.79	14.79	0.00
02-492-000	INTERFUND OPERATING TRANSFERS:	0	0	0	0	0.00
02-492-102	TRANSFER TO ST.LT. CAPITAL RESERVE	0	4,001.00	0	4,001.00	0.00
<b>STREET LIGHTING FUND: Expenditure Total</b>		<b>33,639.50</b>	<b>16,692.00</b>	<b>15,293.87</b>	<b>1,398.13</b>	
03-301-100	FIRE REAL ESTATE TAXES	220,876.57	222,540.00	220,840.77	-1,699.23	99.24
03-301-101	AMBULANCE REAL ESTATE TAXES	87,746.43	89,016.00	88,336.31	-679.69	99.24
03-301-200	FIRE REAL ESTATE TAXES-PRIOR YEAR	1,119.74	500.00	27.92	-472.08	5.58
03-301-201	AMBULANCE R.E. TAXES/PRIOR YEAR	60.41	250.00	9.96	-240.04	3.98
03-301-400	FIRE R.E. DELINQUENT TAXES	1,512.23	100.00	2,116.21	2,016.21	2,116.21
03-301-401	AMBULANCE/DELINQUENT TAXES	-0.28	100.00	843.47	743.47	843.47
03-301-600	FIRE R.E. TAXES/INTERIM	351.43	100.00	1,022.02	922.02	1,022.02
03-301-601	AMBULANCE/INTERIM TAXES	148.27	50.00	408.83	358.83	817.66

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
07-341-001	INTEREST EARNING/P&R MISC ACCTS	0	26,250.00	39,009.77	12,759.77	148.61
07-341-410	EVENT REVENUE	22,382.00	5,000.00	21,301.39	16,301.39	426.03
07-342-200	BLDG RENT & WB CELL TOWER	14,991.47	12,000.00	18,348.58	6,348.58	152.90
07-354-011	COUNTY OPEN SPACE GRANT	140,000.00	0.00	0.00	0.00	0.00
07-355-150	ALL OTHER GRANTS	0.00	365,000.00	0	-365,000.00	0.00
07-362-100	MISC CHARGES & FEES	-700.00	0.00	0	0.00	0.00
07-367-001	EVENT REVENUE	0	0.00	1,600.00	1,600.00	0.00
07-387-017	PARK & REC CONTRIBUTIONS	737,100.00	0.00	58,384.00	58,384.00	0.00
07-387-018	VETERAN'S MEMORIAL	0	10,000.00	0	-10,000.00	0.00
07-392-000	TRANSFER FROM LAND PRES	0	150,000.00	0	-150,000.00	0.00
07-392-410	USER FEES/FIELD USE	9,605.00	10,000.00	10,638.00	638.00	106.38
07-393-990	ESTIMATED BEGINNING CASH BALANCE	0	549,995.50	0	-549,995.50	0.00
07-393-991	EST. BEGINNING CASH BAL/P&R CAP FD	0	770,608.18	0	-770,608.18	0.00
07-399-000	CANCELLED PRIOR YEAR EXPENDITURES	0	0.00	-108.00	-108.00	0.00
<b>PARKS &amp; RECREATION FUND: Revenue Totals</b>		<b>1,345,253.35</b>	<b>2,326,274.68</b>	<b>557,435.16</b>	<b>-1,768,839.52</b>	
07-000-000	PARKS & RECREATION FUND:	0	0	0	0	0.00
07-402-000	AUDITING SERVICES/FINANCE ADMINISTRATION	0	0	0	0	0.00
07-430-000	PUBLIC WORKS-GENERAL SERVICES:	0	0	0	0	0.00
07-437-000	PUBLIC WORKS-REPAIRS OF TOOLS & MACHINER	0	0	0	0	0.00
07-454-000	PARKS:	0	0	0	0	0.00
07-454-140	SALARIES/CLERICAL	-520.00	0.00	4,618.36	-4,618.36	0.00
07-454-141	SALARIES P.W. SUPPORT	222,935.82	252,199.00	221,747.37	30,451.63	87.93
07-454-151	MEDICAL/DENTAL INSURANCE	57,449.73	81,120.00	58,898.98	22,221.02	72.61
07-454-161	FICA/MEDICARE-PARKS	18,265.87	19,293.00	17,808.18	1,484.82	92.30
07-454-181	EDUCATION/TRAINING	0	4,000.00	0	4,000.00	0.00
07-454-226	FACILITIES MAINTENANCE	19,599.34	27,500.00	31,327.97	-3,827.97	113.92
07-454-300	ACTIVITIES/PROGRAMS	35,756.44	37,000.00	16,090.68	20,909.32	43.49
07-454-310	ENGINEERING SERVICES	16,463.20	95,000.00	0	95,000.00	0.00
07-454-311	W.B. PARK EXPENSE	189.70	5,000.00	0	5,000.00	0.00
07-454-312	NORTH BRANCH PARK EXP	7,902.56	242,500.00	66,498.76	176,001.24	27.42
07-454-318	VETERAN'S MEMORIAL	181.95	6,500.00	237.02	6,262.98	3.65
07-454-319	GENERAL EXPENSES/SUPPLIES	2,354.27	10,000.00	8,677.23	1,322.77	86.77
07-454-320	NESHAMINY GREENWAY TRAILS	27,312.31	598,637.00	153,945.26	444,691.74	25.72
07-454-352	LIABILITY INSURANCE	743.40	843.00	842.64	0.36	99.96
07-454-360	UTILITIES	12,317.70	20,000.00	12,315.11	7,684.89	61.58
07-454-402	COLEMAN PROPERTY DEVELOPMENT	41,925.00	0.00	0	0.00	0.00
07-454-710	CAPITAL PURCHASES	344,245.31	0.00	13,727.00	-13,727.00	0.00
07-455-000	TREE MAINTENANCE	0	0	0	0	0.00

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
20-301-200	REAL ESTATE PRIOR/CAP INFRA	1,515.82	500.00	49.80	-450.20	9.96
20-301-202	REAL ESTATE TAXES/PRIOR/PWKS LOAN	0.92	500.00	8.61	-491.39	1.72
20-301-400	REAL ESTATE DEL/CAP INFRA	22.25	0.00	1,674.32	1,674.32	0.00
20-301-402	DELINQUENT TAXES/PUBLIC WORKS	2,783.82	0.00	2,092.91	2,092.91	0.00
20-301-600	R.E. TAXES/INTERIM/CAP INFRA	348.80	100.00	817.64	717.64	817.64
20-301-601	PUBLIC WORKS BLDG/INTERIM TAXES	359.13	100.00	1,022.02	922.02	1,022.02
20-341-000	INTEREST EARNINGS/CAP INFRA	6,504.63	500.00	16,785.08	16,285.08	3,357.02
20-341-102	INTEREST EARNINGS/P.WKS.	0	50.00	187.88	137.88	375.76
20-392-072	TRANSFER FROM ST LIGHT	0	4,001.00	0	-4,001.00	0.00
20-393-990	EST BEGINNING CASH BALANCE/CAP INFR	0	568,956.77	0	-568,956.77	0.00
20-393-992	ESTIMATED BEG. CASH BALANCE/P.WKS.	0	366,482.73	0	-366,482.73	0.00
<b>FUND 20: Revenue Totals</b>		<b>406,862.35</b>	<b>1,341,762.50</b>	<b>420,151.65</b>	<b>-921,610.85</b>	
20-401-000	EXECUTIVE:	0	0	0	0	0.00
20-401-050	BRIDGE LOAN PRINCIPAL	297,000.00	327,000.00	327,000.00	0.00	100.00
20-401-100	BRIDGE LOAN INTEREST	41,712.63	36,512.00	36,361.38	150.62	99.59
20-471-000	DEBT SERVICE-PRINCIPAL:	0	0	0	0	0.00
20-471-100	PW BLDG PRINCIPAL	37,000.00	40,000.00	40,000.00	0.00	100.00
20-472-000	DEBT SERVICE-INTEREST:	0	0	0	0	0.00
20-472-100	INTEREST/DEBT/MUN BLDG	270.49	0.00	0	0.00	0.00
20-472-102	PW BLDG INTEREST	2,706.59	2,941.00	2,722.52	218.48	92.57
20-475-000	FISCAL AGENT FEES:	0	0	0	0	0.00
20-475-100	ST LT LOAN PRINCIPAL	0.00	4,327.00	0	4,327.00	0.00
20-476-102	STREET LIGHT LOAN INTEREST	0.00	552.00	0	552.00	0.00
<b>MUNICIPAL/P WRKS BUILDI Expenditure Tot</b>		<b>378,689.71</b>	<b>411,332.00</b>	<b>406,083.90</b>	<b>5,248.10</b>	
30-301-100	REAL ESTATE TAXES/CURRENT	88,646.43	89,016.00	88,336.31	-679.69	99.24
30-301-200	REAL ESTATE TAXES/PRIOR	337.01	50.00	12.98	-37.02	25.96
30-301-400	REAL ESTATE TAXES/DELINQUENT	704.13	0.00	837.18	837.18	0.00
30-301-600	REAL ESTATE TAXES/INTERIM	148.27	50.00	408.83	358.83	817.66
30-341-000	INTEREST EARNINGS	5,880.40	16,000.00	12,620.18	-3,379.82	78.88
30-393-990	ESTIMATED BEGINNING CASH BALANCE	0	611,026.11	0	-611,026.11	0.00
<b>FUND 30: Revenue Totals</b>		<b>95,716.24</b>	<b>716,142.11</b>	<b>102,215.48</b>	<b>-613,926.63</b>	
30-000-000	HIGHWAY EQUIPMENT FUND:	0	0	0	0	0.00
30-437-740	CAPITAL EXPENSE/SURPLUS EQUIP	0	137,500.00	154,929.74	-17,429.74	112.68
30-438-710	MAJOR EQUIPMENT PURCHASE	0	90,000.00	79,190.22	10,809.78	87.99
<b>HIGHWAY EQUIPMENT FUND: Expenditure Tot</b>		<b>0.00</b>	<b>227,500.00</b>	<b>234,119.96</b>	<b>-6,619.96</b>	

Account Id	Account Description	2023 YTD as of		2024 YTD as of		% Variance to Budget
		12/31/23	2024 Budget as of 12/31/24	12/31/24	\$ Variance to Budget	
90-000-000	ESCROW:	0	0	0	0	0.00
90-414-000	PLANNING & ZONING:	0	0	0	0	0.00
90-414-311	ENGINEERING BILLED	389,375.32	0.00	420,692.77	-420,692.77	0.00
90-414-451	LEGAL BILLED	39,790.50	0.00	46,113.75	-46,113.75	0.00
90-414-500	ADMINISTRATION FEE	42,640.60	0.00	44,017.43	-44,017.43	0.00
90-414-600	REFUND OF ESCROW	584,411.28	0.00	279,745.32	-279,745.32	0.00
	<b>ESCROW: Expenditure Totals</b>	<b>1,056,217.70</b>	<b>0.00</b>	<b>790,569.27</b>	<b>-790,569.27</b>	





UPC 24600

PAGE: 1

**MORTON SALT**

444 W. Lake Street, Suite 2900  
Chicago, IL 60606-0090

**PLEASE REMIT TO:**

Dept. CH 19973  
Palatine, IL 60055-9973

CSF	SALES REP	DATE	INVOICE NUMBER
X030	Harris K	JAN 20, 2025	5403296832
PURCHASE ORDER NO		RELEASE NUMBER	
Shop			

Credit Representative: Goicoechea D

TERMS: 30 days net cash after dte inv

Customer Service: Jefferson-William +1 (312) 807-2719

ADDITIONAL TERMS AND MARKETING  
PROVISIONS ON REVERSE SIDE

5380137

CUSTOMER NO:  
3683171

**B**  
**I**  
**L**  
**L**  
New Britain Township  
207 Park Ave  
Chalfont PA 18914-2103

**S**  
**H**  
**I**  
**P**  
TWP NEW BRITAIN-PA  
615 N LIMEKILN PIKE  
CHALFONT PA 18914-2112

**T**  
**O**

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**O**

DATE SHIPPED	SHIPPED VIA	FOB	SHIPPED FROM	BILL OF LADING NO	MORTON ORDER NO	
JAN 20, 2025	W.J. Menkins H	CONSIGNE	Morrisville Stoc		5190074314	
QTY U/M	Code	*-----Description-----*		Price	Extension	Net
95.27	STO F140010000Z	Bulk Safe-T-Salt		60.95	5,806.71	5,806.71
	E/L No.	Ticket no.	Weight	Shipped date		
	0022368982	114177	49,680 LB	Jan 20, 2025		
	0898531140	114178	44,600 LB	Jan 20, 2025		
	0022369120	114214	46,100 LB	Jan 20, 2025		
	0022370009	114234	50,160 LB	Jan 20, 2025		
Promo/Allowce\$	Gross Products	Tot Tax \$				
0.00	5,806.71			<b>INVOICE TOTAL \$ 5,806.71</b>		
<i>thank you for buying Morton Salt</i>				<b>CREDIT \$</b>		
Total Net Weight	190,540 LB	Total Unit Weight	190,540 LB			

849 RT/216

ORIGINAL  
DETACH HERE

**MORTON SALT**

5380137

**B**  
**I**  
**L**  
**L**  
New Britain Township  
207 Park Ave  
Chalfont PA 18914-2103

**T**  
**O**

**PLEASE REMIT TO:**

Dept. CH 19973  
Palatine, IL 60055-9973

**INVOICE #** 5403296832

**DATE** JAN 20, 2025

**AMOUNT DUE**

5,806.71

PLEASE DETACH AND RETURN THIS PORTION WITH PAYMENT.

## MORTON SALT, INC. ("Seller") STANDARD INVOICE TERMS AND CONDITIONS

All price quotations and sales are subject to the following terms and conditions:

### PRICES AND TERMS OF PAYMENTS:

1. Sales are F.O.B. SELLER'S plant or warehouse. If shipment is to be arranged by SELLER for BUYER'S account, the freight charges to BUYER will be based on SELLER'S freight rates; such rates may represent an average of carrier rates and may or may not include carrier surcharges and/or volume discounts. Shipments will be made with freight charges collect or, at SELLER'S option, freight will be prepaid and billed to BUYER. Stopoff charges and other accessorial charges must be paid by BUYER. On pooled shipments, delivered costs for the entire shipment may be based on the highest freight rate applicable to any of the stopoff points.
2. All orders are subject to any production, processing, sales, use, transportation, and all other taxes (excluding those taxes based on SELLER'S income), dues and duties now in effect or hereafter imposed, which are to be paid by BUYER. Additionally, BUYER shall be responsible for all tax liabilities resulting from any allowances given by SELLER.
3. Net cash payable within 30 days after date of invoice. All invoices payable at Dept CH 19973, Palatine, IL 60055-9973, unless otherwise designated on the invoice. BUYER will pay a 1 1/2% per month surcharge upon any invoice not paid within thirty (30) days. Such a surcharge does not constitute a further extension of credit but rather is an agreed upon measure of SELLER'S damages for delay in payment and from BUYER'S default hereunder, in addition to any other remedies that SELLER may be entitled to at law, in equity or pursuant to any written agreement between the parties. On bulk shipments, SELLER'S weights at shipping origin, based on the bill of lading quantity, shall govern pricing.
4. The SELLER reserves the right upon notice to BUYER to condition any future shipments (including those previously ordered or in transit) upon SELLER'S receipt of cash, certified or cashier's check in the amount of the invoice price of such shipments and inclusive of all freight. SELLER may, upon notice to BUYER, condition all future shipments (including those in transit or previously on order) upon BUYER'S execution of documents in form satisfactory to SELLER, granting SELLER a first perfected security interest in assets which SELLER in its sole discretion believes sufficient to collateralize the outstanding account balance. The foregoing remedies are in addition to and not in lieu of SELLER'S rights under Article 2 of the Uniform Commercial Code as enacted in Illinois. BUYER agrees from time to time to supply SELLER with such financial information relative to BUYER'S operations as may be deemed relevant by SELLER for determining BUYER'S credit worthiness. BUYER'S order or its execution of any written agreement with SELLER (if applicable) shall be deemed a written representation that BUYER is solvent, which representation shall be deemed renewed by each order made by BUYER subsequent to the initial order or written agreement date, as applicable. Any sales made to BUYER by SELLER hereunder are made in reliance upon BUYER'S representation of its solvency.

**NOTICE OF PRICE INCREASE:** It is our intent to publish price increases to our customers thirty (30) days prior to their effective date. We reserve the right, however, to publish price increases without notice.

**POST AUDITS:** SELLER limits the period of post audit to no longer than two (2) years from date of invoice.

**WARRANTIES:** SELLER warrants that the goods sold hereunder are merchantable. SELLER warrants that the goods shall be fit for a particular purpose, provided only if SELLER at the time of contracting receives written notification of: (1) the particular purpose for which the goods are required, and (2) that BUYER is relying on SELLER'S skill or judgment to select or furnish suitable goods. SELLER warrants that the goods sold hereunder were produced in compliance with the requirements of the Fair Labor Standards Act of 1938, as amended, and further that it has not incorporated in the goods sold hereunder any goods known by it to have been produced in violation of said Act. EXCEPT AS EXPRESSLY STATED IN THE FOREGOING, SELLER MAKES AND HAS MADE NO OTHER REPRESENTATION OR WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED.

### ASSUMPTION OF RISK AND LIABILITY LIMITATIONS:

1. BUYER assumes the risk for results obtained from the use of the goods sold hereunder, whether used alone or in combination with other products. BUYER assumes, and promises to indemnify and hold SELLER harmless from, any liability, loss, cost, damage and expense arising out of or in connection with the use or sale by BUYER or by any subsequent owner or user of the goods sold hereunder, including any infringement claim, except to the extent such is directly caused by the SELLER'S negligence in the manufacture or sale of the goods sold hereunder. The sale of the goods hereunder is not to be construed as a recommendation for their use in violation of any patents, applicable laws or regulations. Any technical information furnished by SELLER is offered as a service and is given gratuitously, but BUYER assumes all risks in relying upon such information.
2. SELLER'S liability under this sale shall be limited to the replacement of any improper or defective goods or the return of the purchase price thereof, at SELLER'S option, and in no event shall SELLER be liable to BUYER or any subsequent owner or user of the goods sold hereunder for any incidental, indirect or consequential damages, and in no event in an amount in excess of the invoice amount of the goods in question sold hereunder.
3. SELLER is not responsible for damage to goods in transit. In the event shipping is arranged by SELLER, SELLER will process claims for loss or damage on BUYER'S behalf only if supported by proof of loss or damage satisfactory to SELLER.

**FORCE MAJEURE:** If the performance by any party of any obligation under this invoice (or related written contract, if any) is prevented, hindered or delayed, in whole or in part, by as event of Force Majeure, other than the obligation to make money payments then due and owing, the party so affected shall be excused from nonperformance to the extent that performance is prevented, hindered, or delayed by such event of Force Majeure. This invoice (and related written contract, if any) shall be deemed to be suspended during the continuance of the Force Majeure, but only to the extent and for the period of time that performance is actually prevented or delayed as a direct result of Force Majeure. "Force Majeure" means any cause beyond the reasonable control of any party that impedes a party's performance hereunder, including, but not limited to, any act of God or the public enemy; fire; explosion; sabotage; perils of the sea; embargoes; accidents; riots; floods; war; acts of terrorism; strike; lockout; labor disturbances; inability to obtain goods; fuel or equipment shortages or failures in production, production equipment or contingencies of transportation; laws; orders; or any act or request of government, provided that written notice of such interference shall be given to the other party as promptly as practicable of the nature and probable duration of same. The party whose performance is excused shall use its reasonable best efforts to resume performance at the earliest practicable date, provided that the settlement of any strike or labor dispute shall be within the sole discretion of the party involved in such labor dispute and the failure by any party to prevent or settle any strike or labor dispute shall not be considered to be a matter within the control of the party claiming Force Majeure hereunder.

**ENTIRE CONTRACT; GOVERNING LAW:** This invoice, together with any separate written contract between the parties hereto, if any, shall constitute the entire contract of sale and purchase of the goods sold hereunder. All questions relating to the validity, interpretation or performance of this contract shall be determined in accordance with the laws of the State of Illinois relating to contracts made and to be performed in that State, without regard to the State's conflicts of laws. All disputes arising out of this contract or performance thereof shall be litigated in a court of competent jurisdiction in Cook County, Illinois.



# New Britain Township

## *Parks & Recreation*

DEPARTMENTAL REPORT

YEAR: 2024

MONTH: NOVEMBER

### **Township Property Maintenance:**

The Parks and Recreation Department performed daily inspections of North Branch, West Branch, Highlands, Veteran's and Pheasant Run Parks and the Green Way Trail for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind the New Britain Walk Development.

The Parks and Recreation Department performed the final mowing of all parks and open spaces for the year. The process of leaf blowing and collection at North Branch park has been done on an as needed basis, typically two to three times a week to keep ahead of the falling leaves, and not overwork equipment.

### **Special Projects / Other:**

The Park and Recreation Department has completed the installation of the first order of the new trash can receptacles. A total of nine new receptacles were installed at North Branch Park. The picture below will show the contrast between the new and old styles.



*New / Old*



# New Britain Township

## Parks & Recreation

The Parks and Recreation Department had to rebuild and reinstall The Little Free Library at Highlands Park due to obvious vandalism. Pictures below illustrate the severity of damage



*Before*



*After(Rebuilt with new 4x4 Post)*

The Parks and Recreation Department has made some design changes to the Santa House configuration. It was recommended by the PnR Committee to remove the archway leading into the house to allow a more ADA compliant passage, which is now 7ft wide versus the original 3ft wide. The picture below shows the new configuration prior to the repainting of the posts and fence, all painting and minor repairs were then completed, and all functions of the house were double checked, and it is ready for transport and display.



*New Design with Archway Removed and 4x4 Posts Added*



# New Britain Township

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## *Parks & Recreation*

The PnR department has continued to work on the backfilling of the edges around the walking trail at North Branch Park, this is continued to be scheduled throughout the fall and winter months until completion, as weather permits.

The four new composite wheelchair accessible picnic tables were delivered and assembled. Two tables were placed at the Highlands Pavilion replacing the two wooden tables that are now removed, and two were placed at Pavilion 2 at North Branch and the wooden tables were removed as well. There are no more wooden picnic tables at any of the New Britain Township Park Pavilions.

The Parks and Recreation Foreman / Coordinator is categorizing all administrative duties as other.

### **Ballfield Maintenance:**

The Parks and Recreation Department has winterized the irrigation system at North Branch Park. All the backstop pads have been removed and stored.

### **Parks and Recreation Daily Hours:**

<b>Township Property Maintenance:</b>	<b>179</b>	<b>Hrs.</b>
<b>Ballfield Maintenance:</b>	<b>9</b>	<b>Hrs.</b>
<b>Other/ Special Projects:</b>	<b>180</b>	<b>Hrs.</b>



# New Britain Township

## *Parks & Recreation*

### DEPARTMENTAL REPORT

YEAR: 2024

MONTH: DECEMBER

### Township Property Maintenance:

The Parks and Recreation Department performed daily inspections of North Branch, West Branch, Highlands, Veteran's, and Pheasant Run Parks and the Green Way Trail for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind the New Britain Walk Development.

The Parks and Recreation Department completed all leaf removal at North Branch Park. All signs stating no trail maintenance were installed at the walking trail entrances at North Branch Park, Veteran's Park, West Branch Park, Highlands Park and at both ends of the Neshaminy Greenway Trail at the New Britain Township boundary.

### Special Projects / Other:

The Parks and Recreation Department installed all Santa House Event signs throughout the township. The Santa House and all accessories were moved from the Public Works facility to New Britain Village shopping center in coordination with the event dates of the 13<sup>th</sup> and 14<sup>th</sup> of December. The house was promptly removed on the Monday following the event (December 16<sup>th</sup>) and placed back into the pole barn at the Public Works facility. All of the event signs were picked up throughout the Township.



*Santa House Lifted and Being Loaded on to Trailer*



# New Britain Township

## *Parks & Recreation*

The PnR department has continued to work on the backfilling of the edges around the walking trail at North Branch Park.

The open space along Park Avenue that is adjacent to the Fairwood Development has been mowed three times to restore it to its original height prior to the naturalization program. This is the first stage in the cleanup process for the entire area that is tentatively scheduled for the winter months. Picture below will illustrate the amount off dead grass that will need to be removed along with the tree work and debris cleanup that needs to be done.



*Above are two views after multiple mowings to restore area to a maintainable height.*



# New Britain Township

## *Parks & Recreation*

The PnR department assisted the Environmental Advisory Council with the preliminary soil prep for the pollinator garden to be installed at North Branch Park just below the basketball courts by field four. The ten-foot by twenty-foot area involved the placement of cardboard covered by approximately three inches of composted wood mulch.



*Completed soil prep area.*

The former concession stand which has been used for storage was cleaned out and organized, all of the Township event supplies and signage have been rearranged and stored with each event having a specific area. Photos below illustrate the organization.



*Full View*



*Area for Egg Hunt*



*Area for Fall Festival*





# New Britain Township

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## *Parks & Recreation*

The Parks and Recreation Foreman / Coordinator is categorizing all administrative duties as other.

### **Ballfield Maintenance:**

All fields are not in use and will be prepped prior to the Spring season.

### **Parks and Recreation Daily Hours:**

Township Property Maintenance:	120	Hrs.
Ballfield Maintenance:	0	Hrs.
Other/ Special Projects:	230	Hrs.



# New Britain Township

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## *Public Works*

### Departmental Report

Year: 2024

Month: November

### Road Maintenance: 15 Hrs.

- PW crack sealed the joints of the newly paved/ scratched roads: Walter Road and Barclay Road.

### Drainage: 64 Hrs.

- Checked all storm sewer systems as needed.
- Continued leaf blowing ditches on open roads: Zones 1, 2, and 3.

### Street Signs: 4 Hrs.

- Installed signage that were knocked down by motorists.
- Put up new "No Hunting" signs along Township property open spaces (W. Branch Park, Veterans' Park, Keller Rd., etc.)

### Township Property Maintenance: 317 Hrs.

- Public Works continued re-grading and stabilizing edges of the Neshaminy Greenway trail at the Coleman Property.

### Equipment Maintenance: 175 Hrs.

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Oil changes and preps for inspections were performed.
- Replaced all Tires on Mack Granite dump truck.
- All snow removal equipment (salt spreaders and snowplows) were inspected and installed prior to winter season.

### Other: 25 Hrs.

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.
- New Britain Township hosted a Ribbon Cutting at the Coleman Property for the Neshaminy Greenway Trail.



# New Britain Township

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## *Public Works*

### Departmental Report

Year: 2024

Month: December

### Road Maintenance: 32 Hrs.

- Cold patched Township roadways as needed.

### Snow/ Ice: 64 Hrs.

- Public Works experienced 2 minor weather events and salted Township roadways on 3 separate occasions. We used approximately 225 Tons of salt.

### Drainage: 237 Hrs.

- Check all storm sewer systems as needed.
- Began vacuuming storm sewer inlets to ensure they are cleared of debris and leaves.

### Township Property Maintenance: 78 Hrs.

- Cleaned shop floors and all drains/ separator tanks throughout the Public Works Facility.

### Equipment Maintenance: 112 Hrs.

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Oil changes and preps for inspections were performed.
- All dump trucks were serviced before the winter season: greased/ filters changed.
- Repaired/ reinstalled the hydraulic valve body on 2004 Mack dump truck.
- Inspected all On-Spots (insta-chains) on dump trucks.

### Other: 21 Hrs.

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.
- Placed Christmas Tree signs at drop off locations: Administration Building and West Branch Park.



# New Britain Township Police Department



Monthly Report

November 2024

## Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2023

Objective 2: Become PLEAC Accredited

Objective 3: Implement In Car Camera Systems

Objective 4: Increase community engagement activity

## Result of Goals and Objectives:

Objective 1: PennDOT traffic study for New Galena and Sellersville Roads complete.

Objective 2: Accreditation approved by commission.

Objective 3: In Car Camera systems installed and fully functional.

Objective 4: Two officers completed Veterans Response Team training.

## Significant Events:

### Completed:

- 445 Calls For Service/440 Directed Patrols/124 Vehicle Stops
- Chief participated in Veteran's Day Ceremony
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### Upcoming:

- Making Spirits Bright - Holiday Gift Giving Program
- Co-Responder program
- Victim Services Unit
- 
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# New Britain Township Police Department



Monthly Report

November 2024

## Performance Statistics:

Part 1 Crimes	28 Day		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	0	0	N/A
Theft	11	1	1000.00%
Auto Theft	0	1	-100.00%
Arson	0	0	N/A
<b>Totals</b>	<b>11</b>	<b>2</b>	<b>450.00%</b>

Part 2 Crimes	28 Day		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	3	3	N/A
Fraud	2	4	-50.00%
Vandalism / Criminal Mischief	1	1	N/A
Disorderly Conduct	0	3	-100.00%
Drug Violations	0	0	N/A
Driving Under the Influence	1	5	-80.00%
Public Drunkenness	0	1	-100.00%
Weapons Offenses	1	0	#DIV/0!
All Other Offenses (Except Traffic Related)	2	1	100.00%
<b>Totals</b>	<b>10</b>	<b>18</b>	<b>-44.44%</b>

Motor Vehicle Accidents	28 Day		
	2024	2023	% of Change
Non-Reportable	18	14	28.57%
Reportable	6	8	-25.00%
Fatal	0	0	N/A
<b>Totals</b>	<b>24</b>	<b>22</b>	<b>9.09%</b>



# New Britain Township Police Department



Monthly Report

November 2024

## Performance Statistics:

Part 1 Crimes	Year to Date		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	1	0	#DIV/0!
Burglary	2	0	#DIV/0!
Theft	53	48	10.42%
Auto Theft	3	4	-25.00%
Arson	0	0	N/A
<b>Totals</b>	<b>59</b>	<b>52</b>	<b>13.46%</b>

Part 2 Crimes	Year to Date		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	19	22	-13.64%
Fraud	23	34	-32.35%
Vandalism / Criminal Mischief	10	9	11.11%
Disorderly Conduct	2	3	-33.33%
Drug Violations	8	9	-11.11%
Driving Under the Influence	19	20	-5.00%
Public Drunkenness	3	2	50.00%
Weapons Offenses	3	1	200.00%
All Other Offenses (Except Traffic Related)	22	9	144.44%
<b>Totals</b>	<b>109</b>	<b>109</b>	<b>N/A</b>

Motor Vehicle Accidents	Year to Date		
	2024	2023	% of Change
Non-Reportable	136	129	5.43%
Reportable	87	68	27.94%
Fatal	0	0	N/A
<b>Totals</b>	<b>223</b>	<b>197</b>	<b>13.20%</b>



# New Britain Township Police Department



Monthly Report

December 2024

## Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2023

Objective 2: Become PLEAC Accredited

Objective 3: Implement In Car Camera Systems

Objective 4: Increase community engagement activity

## Result of Goals and Objectives:

Objective 1: Increase of 11.06% (25 more accidents than in 2023)

Objective 2: Accreditation approved by commission.

Objective 3: In Car Camera systems installed and fully functional.

Objective 4: Ten plus events planned and attended by departmental personnel.

## Significant Events:

### Completed:

- 407 Calls For Service/481 Directed Patrols/102 Vehicle Stops
- Making Spirits Bright - Holiday Gift Giving Program
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### Upcoming:

- Co-Responder program
- Promotions
- 2025 Goals and Objectives
- 
-



# New Britain Township Police Department



Monthly Report

December 2024

## Performance Statistics:

Part 1 Crimes	28 Day		
	2024	2023	% of Change
Murder	0	1	-100.00%
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	0	1	-100.00%
Theft	4	1	300.00%
Auto Theft	0	0	N/A
Arson	0	0	N/A
<b>Totals</b>	<b>4</b>	<b>3</b>	<b>33.33%</b>

Part 2 Crimes	28 Day		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	0	2	-100.00%
Fraud	0	3	-100.00%
Vandalism / Criminal Mischief	0	0	N/A
Disorderly Conduct	0	1	-100.00%
Drug Violations	0	0	N/A
Driving Under the Influence	2	3	-33.33%
Public Drunkenness	0	1	-100.00%
Weapons Offenses	0	0	N/A
All Other Offenses (Except Traffic Related)	1	0	#DIV/0!
<b>Totals</b>	<b>3</b>	<b>10</b>	<b>-70.00%</b>

Motor Vehicle Accidents	28 Day		
	2024	2023	% of Change
Non-Reportable	20	12	66.67%
Reportable	8	15	-46.67%
Fatal	0	0	N/A
<b>Totals</b>	<b>28</b>	<b>27</b>	<b>3.70%</b>





# New Britain Township Police Department



Monthly Report

December 2024

## Performance Statistics:

Part 1 Crimes	Year to Date		
	2024	2023	% of Change
Murder	0	1	-100.00%
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	1	0	#DIV/0!
Burglary	2	1	100.00%
Theft	57	49	16.33%
Auto Theft	3	5	-40.00%
Arson	0	0	N/A
<b>Totals</b>	<b>63</b>	<b>56</b>	<b>12.50%</b>

Part 2 Crimes	Year to Date		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	19	25	-24.00%
Fraud	23	37	-37.84%
Vandalism / Criminal Mischief	10	9	11.11%
Disorderly Conduct	2	4	-50.00%
Drug Violations	8	9	-11.11%
Driving Under the Influence	21	23	-8.70%
Public Drunkenness	3	3	N/A
Weapons Offenses	3	1	200.00%
All Other Offenses (Except Traffic Related)	23	1	2200.00%
<b>Totals</b>	<b>112</b>	<b>112</b>	<b>N/A</b>

Motor Vehicle Accidents	Year to Date		
	2024	2023	% of Change
Non-Reportable	156	141	10.64%
Reportable	95	85	11.76%
Fatal	0	0	N/A
<b>Totals</b>	<b>251</b>	<b>226</b>	<b>11.06%</b>

<b>General Services Projects</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
NBT Stormwater MS4	Township Urbanized Area	Brittany Farms Stream Final Payment apprvd 11/18/24; Annual Report submitted 9/30/24; Final Permit Report due 9/2025
Keller Road Bridge	Keller Road	Survey Plan completed; Discussed at 7/16/24 CIP Mtg, G&A provided updated estimate of scope and engineering. BOS to advise on repair or replacement. DEP Insp Report rec'd 10/16/24; Site Visit with NBT Staff held 11/8; PennDOT priority ltr issued 11/13/24; Emergency DEP Permit received 11/22/24; NBTPW to start gabion and stabilization work ASAP while creek is dry; Plan of Action (POA) issued to PennDOT (pavement deterioration and guiderail embedment)
Neshaminy Greenway Trail - Coleman Property Connection	1606 Upper State Road	Trail paved 4/22/24; Contractor 100% completed; PW to complete final grading by 12/31/24; DCNR grant reimbursement to be submitted; Phase 2: G&A to work with BOS and Staff to discuss project scope, planning, and phasing.
Ordinance Amendments		Ordinance Amendments to be provided to BCPC and NBTPC for review and comment; Worksession mtg to be scheduled to discuss amendments; Anticipate authorization to advertize early 2025
Road Program		Contractor substantially complete (Britain Woods, Glen, Marshall Cir, Brook Ln); Pay App 1(Final) apprvd 10/21/24 BOS Mtg; Minor maintenane punchlist items to be completed. Concrete marked for 2025+ Road Program (Teal Dr, Goldeneye, Janton Way, Green Valley, Nicholas, Michaels)
North Branch and Pine Run Park Upgrades	Forrest Park Drive to Cayuga Circle	Existing Conditions Plan presented at 6/17 BOS Exec Session
<b>Subdivision and Land Development Projects - Planning and Reviews</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
123 Creek Road Minor Subdivision (Labrozzi)	123 Creek Road	BOS approved 11/20/23; Rev. Resolution approved 3/4/24; Legals and Cost Estimate apprvd. Record plans fully executed; Applicant executing agreements
98 Railroad (JAMP)	98 Railroad Avenue	3 new SFD's, 1 Existing SFD to remain; Amended final approval 5/21/21; Proposing public sewer. Plan approval issued 8/16/23; Eng. confirming location of 30" water line; Record Plans being generated; Railroad3, LLC executing agreements
Galena Reserve	Limekiln Road	B9 MHP II - 46 33 Age-Restricted Units; Preliminary Plan rvw issued 1/18/23; need correspondence from Water and Sewer Authorities
D'Alessio Subdivision	315 Old Limekiln Road	2 new single-family homes; Final Plan Approval 9/26/22; Cost Estimate under review
Byer's Choice	4355 County Line Road	Staff meeting 3/21/24 to discuss potential Subdivision/LD; G&A Sketch Plan rvw issued 8/14/24; Prel plans being generated
180 New Britain Boulevard Land Development	354 Schoolhouse Road	Consolidation of two parcels and expansion of parking and loading areas. Eng Sketch Rvw issued 1/16/23; Attended 1/24/23 PC and 2/6/23 BOS. Rec'd variance and special exception at 6/22/23 ZHB

**Subdivision and Land Development Projects - Planning and Reviews (continued)**

Project Name	Location	Status
Petrucci Land Development	Manor Drive	Age-Restricted Apartments, Medical Office, Senior Living Facility and/or 60,000-SF Warehouse/Office; Sketch Rvw (Warehouse) issued 6/9/22; attended 6/28/22 PC, 7/11/22 BOS, 11/2/22 Staff Mtg, 12/1/22 BOS, 2/14/23 Staff Mtg, 4/3/23 BOS; ZHB Decision dated 11/20/23
141 Independence Lane Land Development	141 Independence Lane	92,825-SF warehouse; Received variances from ZHB; Prel/Final Plans approved 10/17/22; Plans approved 5/25/23;
Toll Brothers Land Development (Birch Run)	County Line Road	44 Townhomes; 5/1/23 Conditional Use Hearing; Adjudication approved 7/17/23; Prel Plan Approval 4/1/24 BOS; Final Plan Approval 6/17/24; Checkset rvw issued 11/25/24
Dunkin Donuts - Rao Group	545 W. Butler Avenue	ZHB variance granted 2/15/24 for 2,530-SF Dunkin Use with 18 parking spaces and drive-thru-No Papa Johns; Preliminary Plan Rvw 5/13/24; Applicant to formally withdraw per email 11/21/24
Spotless Car Wash	545 W. Butler Avenue	Sketch Plan issued 9/10/24; Attended 9/24/24 PC; ZHB Application rec'd. Staff mtg 11/7/24; To submit renderings for 12/9/24 BOS Mtg
C.P. Rankin	4359 County Line Road	31,000-SF building addition for 9 warehouse spaces; PC apprvd 10/24/23; BOS approved 11/20/23; Plans & lgl's apprvd 11/12/24; Agreements drafted; Record Plans being signed
Isai Kastriot	104 S. Limekiln Pike	3-lot Subd for 3 new single-fam semi-detached(twins); Rec'd variance on 9/25/23 to allow 2 B3 uses on two lots. Prel plans being drafted
Plumstead Christian School	753 New Galena Road	Waiver of LD Plan under rvw; Waiver of LD to be considered at 12/9/24 BOS Mtg; Submitted Petition fo re-zoning of residential parcel to institutional to be processed in early 2025
Hulton Contracting	4645 County Line Road	12,800-SF, 16-Unit Storage Building; BOS apprvd Amended Final 10/21/24; Closing 11/20/24
W.B. Homes	Barry Road	4-lot Subd. Attended 9/24/24 PC; Presented Sketch at 11/18/24 BOS Mtg-Proposed road width discussed.
Ferry Road - Lot Line Change	256 Ferry Road & 393 Old Iron Hill Road	Lot Line Change Rvw (Solana) issued 9/17/2024; Tentatively scheduled for 1/28 PC Meeting
Ferry Road Caracausa	Ferry Road	Staff mtg held 9/10/24 & 9/24/24; Applicant presented a Cluster Development which requires a Conditional Use; Applicant to prepare Sketch for a By-Right Use.
Sheetz (Hatfield Twp)	1100 Bethlehem Pike	Site of Zoto's Diner. PennDOT mtg held 10/16/24 to discuss scope of Traffic Impact Study
Muzika Farm	66 Sellersville Road	Mar Mar Builders submitted two informal sketch plans one for 38 twins, and one for 19 single-family homes. Applicant requested a staff meeting. NBT to formally respond

**Subdivision and Land Development Projects - Under Construction**

Project Name	Location	Status
Estates at Julius Farm (PRDC)	Dorothy Lane & Anna Way	Escrow Rel 5 approved 9/4/19. Development paved 11/14/22. Punchlist being addressed. 5/8/24 Staff Mtg; Site Mtg held 5/23/24; Dorothy Lane and Anna Way to be dedicated and maintenance period to commence.
Naplin LD (Nappen & Associates)	4371 County Line Road	Plans recorded 8/22. Township previously discussed acquiring ROW along CLR to accommodate future widening at Richardson Road. Rel 4 apprvd 6/3/24; G&A recommended TCO for Units C/D (Benchmark) 4/29/24; Construction completed. As-Blt Plan apprvd; Escrow Rel 5 to be considered at 12/9/24 BOS Mtg

**Subdivision and Land Development Projects - Under Construction (continued)**

<b>Project Name</b>	<b>Location</b>	<b>Status</b>
Tecce Minor Subdivision	9 Sellersville Road	Plans recorded 8/3/22; Driveway waiver approved 2/6/23; Revised Plot Plan approvals 9/23/23. Pre-Con 10/4/23. Houses under construction; SWM facilities under construction
Sharpan Building Permit	52 N. Chapman Road	1 new SFD Under Construction; Conservation Easement Violation Notice Issued; 4/28/22 Mtg with Owner; As-built survey review issued 10/27/22; Cons Easement Lgl approved, need revised as-built plan
84 Schoolhouse Road	84 Schoolhouse Road	5-Lot SFD LD with hammerhead cul-de-sac rd. Pre-Con Mtg held 12/20/23; Release 1 3/14/24; Bulk site work completed, Approved Lots 1-5 for Zoning permits. Rec'd requests from residents about removing hazardous trees in conservation easements. Rec'd final asb plan for Lot 2
Highpoint Land Development	1 Highpoint Drive	CU apprvd for 137 units (twins/towns). Prelim/Final aprvl 4/14/22; Pre-Con 7/6/23; Amended Final Plans approved 11/20/23 and recorded; 60 units under construction of 137;
Clauser Tree Care (Holy Properties)	324 Schoolhouse Road	Amended Final aprvd 3/4/24; PreCon held 10/23/24
County Builders Mixed Use	409 West Butler Avenue	Site work for 70-Unit Apt Bldg; Site seeded and stabilized; parking lot paved; Mtg with Mr. Cain 6/18/24; Street light bases added. Release 2 aprvd and Asbuilt Plan rvw issued.
MarMar Major Subdivision (fka Lohin)	Township Line Road and Walter Road	7-Lot Subd and LD with new private cul-de-sac rd. Prel/Final Plans approved on 9/27/21; Plans approved on 3/30/23; Pre-Con for "7 Walters LLC" (MarMar Builders) 6/27/24; Site under construction
Benner Subdivision	Dolly Lane	3 new SFD lots. Plans recorded; Pre-Con held 8/6/24; Site work underway.
Casadonti Subdivision and Land Development	396 King Road	5 new SFD lots; Residents concerned with uplighting, road widening, and well impacts. BOS aprvd at 9/25/23 mtg (Res 2023-21); Plans aprvd 2/1/24; Agreements recorded; Pre-Con held 9/26/24; Phase 1 under construction including clearing ultimate ROW, new road, and rain gardens.

**Subdivision and Land Development Projects - In Maintenance Period**

<b>Project Name</b>	<b>Location</b>	<b>Status</b>
New Britain Woods (Toll Brothers)	Haines Court and Rowland Lane	Recommended dedication 8/15/24; NBT to add to Liquid Fuels; Twp to record deed of dedication
Mill Ridge Land Development	Mill Ridge Drive	8 new SFD's and new cul-de-sac rd. Dedication Resolution aprvd at 1/23/23 BOS Mtg. NBT to add to liquid fuels. G&A and NBTPW issued maintenance punchlist 5/31/24
NB Meadows Houselines	New Galena Road	10/14/24 Punchlist addressed, Improvements to be accepted at 12/9/24 BOS Mtg.
180 New Britain Boulevard Land Development	180 New Britain Boulevard	Parking lot expansion for existing 101,700-SF building completed; Rel3 approved 10/16/23; Maintenance Period to end 1/17/25; Rel4(Final) to be considered at 1/6/25 BOS Mtg

<b>General Services Projects</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
NBT Stormwater MS4	Township Urbanized Area	Brittany Farms Stream Final Payment apprvd 11/18/24; Annual Report submitted 9/30/24; Final Permit Report due 9/2025; DEP Mtg scheduled for 2/19/25
Keller Road Bridge	Keller Road	Survey Plan completed; Discussed at 7/16/24 CIP Mtg, G&A provided updated estimate of scope and engineering. BOS to advise on repair or replacement. DEP Insp Report rec'd 10/16/24; Site Visit with NBT Staff held 11/8; PennDOT priority ltr issued 11/13/24; Plan of Action (POA) issued to PennDOT (pavement deterioration and guiderail embedment) Emergency DEP Permit received 11/22/24 and expires 1/21/25; GP-11 permit applied for 1/14/25
Neshaminy Greenway Trail - Coleman Property Connection	1606 Upper State Road	Contractor 100% completed; PW to complete final grading; DCNR grant reimbursement to be submitted; Phase 2: G&A to work with BOS and Staff to discuss project scope, planning, and phasing.
Ordinance Amendments		Ordinance Amendments to be discussed at 1/27 BOS mtg; To be provided to BCPC and NBTPC for review and comment; Worksession to be scheduled to discuss; Anticipate authorization to advertize early 2025
Road Program		Concrete marked for 2025+ Road Program (Teal Dr, Goldeneye, Janton Way, Green Valley, Nicholas, Michaels)
North Branch and Pine Run Park Upgrades	Forrest Park Drive to Cayuga Circle	Existing Conditions Plan presented at 6/17 BOS Exec Session; Site meeting scheduled for 1/23/25
<b>Subdivision and Land Development Projects - Planning and Reviews</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
123 Creek Road Minor Subdivision (Labrozzi)	123 Creek Road	BOS approved 11/20/23; Rev. Resolution approved 3/4/24; Legals and Cost Estimate apprvd. Record Plans and Agreements recorded 12/19/24
Galena Reserve	Limekiln Road	B9 MHP II - 46 33 Age-Restricted Units; Preliminary Plan rvw issued 1/18/23; need correspondence from Water and Sewer Authorities
D'Alessio Subdivision	315 Old Limekiln Road	2 new single-family homes; Final Plan Approval 9/26/22; Waiting for Record Plans/Agreements
Byer's Choice	4355 County Line Road	Staff meeting 3/21/24 to discuss potential Subdivision/LD; G&A Sketch Plan rvw issued 8/14/24; Prel plans being generated
180 New Britain Boulevard Land Development	354 Schoolhouse Road	Consolidation of two parcels and expansion of parking and loading areas. Eng Sketch Rvw issued 1/16/23; Attended 1/24/23 PC and 2/6/23 BOS. Rec'd variance and special exception at 6/22/23 ZHB
Petrucci Land Development	Manor Drive	Age-Restricted Apartments, Medical Office, Senior Living Facility and/or 60,000-SF Warehouse/Office; Sketch Rvw (Warehouse) issued 6/9/22; attended 6/28/22 PC, 7/11/22 BOS, 11/2/22 Staff Mtg, 12/1/22 BOS, 2/14/23 Staff Mtg, 4/3/23 BOS; ZHB Decision dated 11/20/23
141 Independence Lane Land Development	141 Independence Lane	92,825-SF warehouse; Received variances from ZHB; Prel/Final Plans approved 10/17/22; Plans approved 5/25/23;
Toll Brothers Land Development (Birch Run)	County Line Road	44 Townhomes; 5/1/23 Conditional Use Hearing; Adjudication approved 7/17/23; Prel Plan Approval 4/1/24 BOS; Final Plan BOS Approval 6/17/24; Plans and legals approved.

**Subdivision and Land Development Projects - Planning and Reviews (continued)**

Project Name	Location	Status
Spotless Car Wash	545 W. Butler Avenue	Sketch Plan issued 9/10/24; Attended 9/24/24 PC; Staff mtg 11/7/24; Renderings rev'd at 12/9/24 BOS Mtg; ZHB 1/23/25
Isai Kastriot	104 S. Limekiln Pike	3-lot Subd for 3 new single-fam semi-detached(twins); Rec'd variance on 9/25/23 to allow 2 B3 uses on two lots. Prel plans being drafted
Plumstead Christian School	753 New Galena Road	Waiver of LD approved at 1/6/25 BOS Mtg; Twp rec'd Petition fo re-zoning of residential parcel to institutional
Hulton Contracting	4645 County Line Road	12,800-SF, 16-Unit Storage Building; BOS apprvd Amended Final 10/21/24; Closing 11/20/24; Waiting on revised plans
W.B. Homes	Barry Road	4-lot Subd. Attended 9/24/24 PC; Presented Sketch at 11/18/24 BOS Mtg- Proposed road width discussed.
Ferry Road - Lot Line Change	256 Ferry Road & 393 Old Iron Hill Road	Lot Line Change Rvw (Solana) issued 9/17/2024; Tentatively scheduled for 1/28 PC Meeting; on hold, waiting on escrow
Ferry Road Caracausa	Ferry Road	Staff mtg held 9/10/24 & 9/24/24; Applicant presented a Cluster Development which requires a Conditional Use; Applicant to prepare Sketch for a By-Right Use.
Sheetz (Hatfield Twp)	1100 Bethlehem Pike	Site of Zoto's Diner. PennDOT mtg held 10/16/24 to discuss scope of Traffic Impact Study

**Subdivision and Land Development Projects - Under Construction**

Project Name	Location	Status
Estates at Julius Farm (PRDC)	Dorothy Lane & Anna Way	Escrow Rel 5 approved 9/4/19. Development paved 11/14/22. Punchlist being addressed. 5/8/24 Staff Mtg; Site Mtg held 5/23/24; Dorothy Lane and Anna Way to be dedicated and maintenance period to commence.
Tecce Minor Subdivision	9 Sellersville Road	Plans recorded 8/3/22; Driveway waiver approved 2/6/23; Revised Plot Plan approvals 9/23/23. Pre-Con 10/4/23. Asb Plans being prepared
Sharpan Building Permit	52 N. Chapman Road	1 new SFD Under Construction; Conservation Easement Violation Notice Issued; 4/28/22 Mtg with Owner; As-built survey review issued 10/27/22; Cons Easement Lgl approved, need revised as-built plan
84 Schoolhouse Road	84 Schoolhouse Road	5-Lot SFD LD with hammerhead cul-de-sac rd. Pre-Con Mtg held 12/20/23; Release 1 3/14/24; Bulk site work completed, Approved Lots 1-5 for Zoning permits. Rec'd requests from residents about removing hazardous trees in conservation easements. Rec'd final asb plan for Lots 1, 2, 3 and 5
Highpoint Land Development	1 Highpoint Drive	CU apprvd for 137 units (twins/towns). Prelim/Final apprvl 4/14/22; Pre-Con 7/6/23; Amended Final Plans approved 11/20/23 and recorded; 60 units under construction of 137;
Clouser Tree Care (Holy Properties)	324 Schoolhouse Road	Amended Final apprvd 3/4/24; PreCon held 10/23/24
County Builders Mixed Use	409 West Butler Avenue	Site work for 70-Unit Apt Bldg; Site seeded and stabilized; parking lot paved; Mtg with Mr. Cain 6/18/24; Street light bases added. Release 2 apprvd and Asbuilt Plan rvw issued.
Mortimer Minor Subdivision	Curley Mill Road	Litigation settled 5/16/22 for 1 new SFD lot; BOS approved Prel/Final Plan 11/21/22; Plans recorded 4/24;
Prestige/Defelice Minor Subd	137 S. Limekiln Pike	One new SFD lot; Received variance at 2/23/23 ZHB; Approved by BOS on 6/19/23; Planning Module appvd 9/23; Pre-Con 3/13/24; Fnl asbuilt plan rvw issued
MarMar Major Subdivision (fka Lohin)	Township Line Road and Walter Road	7-Lot Subd and LD with new private cul-de-sac rd. Prel/Final Plans approved on 9/27/21; Plans approved on 3/30/23; Pre-Con for "7 Walters LLC" (MarMar Builders) 6/27/24; Site under construction

**Subdivision and Land Development Projects - Under Construction**

Project Name	Location	Status
Benner Subdivision	Dolly Lane	3 new SFD lots. Plans recorded; Pre-Con held 8/6/24; Site work underway. Rec'd zoning permit application for Lot 1. Stop Work Order issued due to expired BCCD NPDES Permit
Casadonti Subdivision and Land Development	396 King Road	5 new SFD lots; Residents concerned with uplighting, road widening, and well impacts. BOS apprvd at 9/25/23 mtg (Res 2023-21); Plans apprvd 2/1/24; Agreements recorded; Pre-Con held 9/26/24; Phase 1 under construction including clearing ultimate ROW, new road, and rain gardens. Esc Rel1 apprvd at 1/6/25 BOS mtg
98 Railroad (Senior Construction)	98 Railroad Avenue	3 new SFD's, 1 Existing SFD to remain; Amended final approval 5/21/21; Pre-Construction Mte held 12/17/24; Zoning Permit issued for Lot 3 1/21/25
C.P. Rankin	4359 County Line Road	31,000-SF building addition for 9 warehouse spaces; PC apprvd 10/24/23;

**Subdivision and Land Development Projects - In Maintenance Period**

Project Name	Location	Status
New Britain Woods (Toll Brothers)	Haines Court and Rowland Lane	Recommended dedication 8/15/24; NBT to add to Liquid Fuels; Twp to record deed of dedication after 1/27/25 BOS Mtg
Mill Ridge Land Development	Mill Ridge Drive	8 new SFD's and new cul-de-sac rd. Dedication Resolution apprvd at 1/23/23 BOS Mtg. NBT to add to liquid fuels. G&A and NBTPW issued maintenance punchlist 5/31/24
180 New Britain Boulevard Land Development	180 New Britain Boulevard	Parking lot expansion for existing 101,700-SF building completed; Rel3 approved 10/16/23; Maintenance Period to end 1/17/25; Rel4(Final) approved at 1/6/25 BOS Mtg
Naplin LD (Nappen & Associates)	4371 County Line Road	Plans recorded 8/22. Township previously discussed acquiring ROW along CLR to accommodate future widening at Richardson Road. Rel 4 apprvd

# New Britain Township

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## Permit List 11/01/2024 to 11/30/2024

Trps. Date	Permit #	Application Type	Inspection Type	Trps. Time	Owner Name	Site Address
11/13/2024	2024-222-UO	Residential	Residential Occupancy Inspection	12:00 AM	VITALE, LOUIS & SUZANNE K	305 ROWLAND LN
11/4/2024	2024-243-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	214 FOXHEDGE RD
11/13/2024	2024-244-UO	Residential	Residential Occupancy Inspection	10:00 AM	MININGER, PAUL K & JENNIFER L	106 SOLWAY CIR
11/19/2024	2024-244-UO	Residential	Residential Occupancy Inspection	9:30 AM	MININGER, PAUL K & JENNIFER L	106 SOLWAY CIR
11/22/2024	2024-244-UO	Residential	Residential Occupancy Inspection	12:00 AM	MININGER, PAUL K & JENNIFER L	106 SOLWAY CIR
11/12/2024	2024-246-UO	Residential	Residential Occupancy Inspection	9:30 AM	REGA CHALFONT LLC	4207 GREY FRIARS TERRACE
11/12/2024	2024-247-UO	Residential	Residential Occupancy Inspection	10:00 AM	NEW BRITAIN MULTIFAMILY DEVELOPMENT, LP	511 ANTHEM WAY
11/12/2024	2024-248-UO	Residential	Residential Occupancy Inspection	10:30 AM	NEW BRITAIN MULTIFAMILY DEVELOPMENT, LP	616 ANTHEM WAY
11/12/2024	2024-249-UO	Residential	Residential Occupancy Inspection	11:00 AM	NEW BRITAIN MULTIFAMILY DEVELOPMENT, LP	1201 ANTHEM WAY
11/12/2024	2024-250-UO	Residential	Residential Occupancy Inspection	11:30 AM	NEW BRITAIN MULTIFAMILY DEVELOPMENT, LP	710 ANTHEM WAY
11/6/2024	2024-251-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W. BUTLER AVE APT 213
11/6/2024	2024-252-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W. BUTLER AVE APT 313
11/6/2024	2024-253-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W. BUTLER AVE APT 113
11/19/2024	2024-254-UO	Residential	Residential Occupancy Inspection	10:30 AM	MCELROY, ANTHONY	300 PHEASANT RUN DR
11/18/2024	2024-254-UO	Residential	Residential Occupancy Inspection	1:00 PM	MCELROY, ANTHONY	300 PHEASANT RUN DR
11/6/2024	2024-255-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W. BUTLER AVE APT 210
11/13/2024	2024-256-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	204 FOXHEDGE RD
11/15/2024	2024-257-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	218 FOXHEDGE RD
11/20/2024	2024-258-UO	Residential	Residential Occupancy Inspection	9:30 AM	SCHOLL, ADAM & HOLLY	324 PHEASANT RUN DR
11/19/2024	2024-259-UO	Residential	Residential Occupancy Inspection	10:00 AM	JAREMA, HUBERT	103 REMINGTON CT
11/19/2024	2024-261-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	105 CATHERINE CT
11/19/2024	2024-262-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	107 CATHERINE CT
11/26/2024	2024-263-UO	Non-Residential	Commercial Occupancy Inspection	2:00 PM	PALERMO ASSOC L P	1500 HORIZON DR UNIT E - SUITE 112,113
11/26/2024	2024-266-UO	Residential	Residential Occupancy Inspection	12:00 AM	LATOUCHE, PATRICK	240 HAMPSHIRE DR



11/27/2024	2024-266-UO	Residential	Residential Occupancy Inspection	12:00 AM	LATOUCHE, PATRICK	240 HAMPSHIRE DR
11/27/2024	2024-267-UO	Residential	Residential Occupancy Inspection	9:30 AM	LSF9 MASTER PARTICIPATION TRUST	129 TARTAN TERRACE
11/27/2024	2024-268-UO	Residential	Residential Occupancy Inspection	9:00 AM	AZHAR, HAROON	366 VILLAGE WAY
11/26/2024	2024-268-UO	Residential	Residential Occupancy Inspection	12:00 AM	AZHAR, HAROON	366 VILLAGE WAY

**Total Inspections: 28**

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## Permit List 12/01/2024 to 12/31/2024

Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
12/13/2024	2023-13533	Residential	Residential Occupancy Inspection	10:00 AM	WALLY	120 SUFFIELD CT
12/16/2024	2024-235-UO	Residential	Residential Occupancy Inspection	1:00 PM	BENNER, VIRGINIA A	4 VALLEY DR
12/9/2024	2024-264-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	LIBORIO L P	1100 HORIZON CIR
12/4/2024	2024-269-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	310 FOXTAIL LN
12/4/2024	2024-270-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	308 FOXTAIL LN
12/16/2024	2024-271-UO	Residential	Residential Occupancy Inspection	12:00 AM	MAHMUD, YASSER & MIRIAM	249 CAMBRIDGE PLACE
12/18/2024	2024-271-UO	Residential	Residential Occupancy Inspection	10:00 AM	MAHMUD, YASSER & MIRIAM	249 CAMBRIDGE PLACE
12/10/2024	2024-273-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	302 FOXTAIL LN
12/17/2024	2024-274-UO	Residential	Residential Occupancy Inspection	9:30 AM	NEW BRITAIN MULTI-FAMILY DEVELOPMENT, LP	302 ANTHEM WAY
12/17/2024	2024-275-UO	Residential	Residential Occupancy Inspection	10:00 AM	NEW BRITAIN MULTI-FAMILY DEVELOPMENT, LP	310 ANTHEM WAY
12/17/2024	2024-276-UO	Residential	Residential Occupancy Inspection	10:30 AM	NEW BRITAIN MULTI-FAMILY DEVELOPMENT, LP	320 ANTHEM WAY
12/17/2024	2024-277-UO	Residential	Residential Occupancy Inspection	11:00 AM	NEW BRITAIN MULTI-FAMILY DEVELOPMENT, LP	508 ANTHEM WAY
12/17/2024	2024-278-UO	Residential	Residential Occupancy Inspection	11:30 AM	NEW BRITAIN MULTI-FAMILY DEVELOPMENT, LP	1210 ANTHEM WAY
12/18/2024	2024-279-UO	Residential	Residential Occupancy Inspection	9:30 AM	FIRKO, GEORGE R & MARY C	25 EDINBORO CIR
12/12/2024	2024-280-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	206 FOXHEDGE RD
12/16/2024	2024-281-UO	Residential	Residential Occupancy Inspection	2:00 PM	ISAI, KASTRIOT & ANILA & RUBENS & AVIORA	104 S LIMEKILN PIKE
12/18/2024	2024-281-UO	Residential	Residential Occupancy Inspection	11:00 AM	ISAI, KASTRIOT & ANILA & RUBENS & AVIORA	104 S LIMEKILN PIKE
12/12/2024	2024-282-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	208 FOXHEDGE RD
12/17/2024	2024-283-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	MAPLIN ONE LTD PART	4373 COUNTY LINE RD
12/18/2024	2024-284-UO	Residential	Residential Occupancy Inspection	10:30 AM	SADAZA MANAGEMENT L L C	414 HAMPTON CT
12/17/2024	2024-285-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	304 FOXTAIL LN
12/17/2024	2024-286-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES AT HIGHPOINT, LLC	300 FOXTAIL LN

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Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
12/18/2024	2024-287-UO	Residential	Residential Occupancy Inspection	12:00 AM	GREENE, JOSEPH & FRANCES	110 SUFFIELD CT
12/19/2024	2024-289-UO	Residential	Residential Occupancy Inspection	12:00 AM	HALLMARK BUILDING GROUP	201 LAUREN LN

Total Inspections: 24