

# **NEW BRITAIN TOWNSHIP**

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

# **SUBDIVISION & LAND DEVELOPMENT APPLICATION**

		01-1	100	T
1.	Date of Application:	8/15/3		TOWNSHIP USE ONLY
2.	Date of Plan or Revision:	2/22/	21	Date Recieved:Payment:
3.	Application for:	Minor So	bdivisio	n Check #:
4.	Name of Subdivision or Land Develop	ment: DEFELICE	Project	Receipt #: Escrow Acc. #:
5.	Location:	137 S. LIN	neki'n Pit	(E
6.	Tax Map Parcel #: 26- <u>0(0・0</u> 27	Total Acreage:	Gross 4.90	Base Site Area 4.33
7.	Net Buildable Site Area (from Section	2401): 4.33 ac	ES	
8.	Zoning Requirements:  Zoning District $SR-Z$	Minimum Lot Size	2 ac	Maximum Density <u>Na</u>
	Front Yard 50	Side Yard	25	Rear Yard 75
9.	Number of Lots or Dwelling Units:	2		
10.	Equitable Owner of Record of Land	Prestig	e Propert	y Partners, LLC
	Address:	1126 H	orsham 1	Rd
		Maple	Glen, Pi	7 19002
	Phone: (267) 884 - 1700	E-mail: James	builds &	Dyahoo.com
11.	Applicant:	SILME O	15 Equita	ble Chiner
	Address:			
	Phone:	E-mail:		
12.	Registered Engineer or Surveyor:	R.L.Sho	walter	Associates, Inc
	Address:		+ BUHET	
		charco	ont, PA	18914
	Phone: (215) 822-2990			
13.	Type of Water & Sewer:	c Water Priva	ate Water	
14.	Proposed Use:	B-1, Sin	yle Fami	ly Detached Dwelling
	s to certify that I have read Article V of the accompanying plan meets the requirer			
aidt (I	no accompanying plan meets the requirer	monto of that Afficie to t	no bost of my N	emougo.
	- July		01/6	em_
	Signature of Applicant		Signature of h	Registered Engineer or Surveyor

	SION & LAND DEVELOPMENT		
	SUBMISSION CHECKLIST		
Date of Application:	^		
Subdivision/Land Development Name:	DETELLE Project		
Address of Property:	131 S.LIMEKIN PK		
Owner(s) Name: Equitable Olivier	Prestige Property Partners, LLC		
Applicant(s) Name:	Prestige Property Partners, LC		
Tax Map Parcel Number:	26-010-6217		
Plan Sets for New Britain Township - Fold	led to 8 1/2 x 11: (9 Full Size, 5 11x17)		
NBT Board of Supervisors (Full Size) - 5 Cop	ies NBT Planning Commission (11x17) - 2 Copies		
Township Engineer (Full Size) - 1 Copy	NBT File (Full Size) - 2 Copies		
Fire Marshal (Full Size) - 1 Copy	Digital Submission - Flash Drive or File Sharing Service		
Application Forms & Fees to be Submitte application will be considered administratively income.	d to the Township: All applicants include these items or the complete and returned to the applicant.		
New Britain Township Subdivision and Land	Development Application (1 Signed Original)		
Filing Fee according to the most current Fee			
Escrow Fee according to the most current Fee Schedule adopted by Resolution			
Contract for Professional Services Agreement (3 Signed Originals)			
Proof of Submission to Bucks County Planning Commission			
Proof of Submission to Bucks County Conservation District			
☐ Proof of Submission to Water Authority (Nort	n Penn/North Wales/Aqua), if applicable		
☐ Proof of Submission to Chalfont New Britain	Proof of Submission to Chalfont New Britain Joint Sewer Authority OR Buck County Department of Health		
☑ Stomwater Management Report (2 Copies) (	Digital Acceptable)		
☐ PADEP Sewage Facilities Planning Module A	application/Mailer approved by Sewer Authority or SEO (Original & 2 Copies)		
☐ Traffic Impact Study, if applicable (2 Copies)	(Digital Acceptable)		
☐ PADOT Highway Occupancy Permit Plan/Ap	plication, if applicable (2 Copies)		
☐ Community Impact Assessment Report, if ap	plicable (4 Copies)		
Affidavit of Mailing Notification, Mailing Conte	ent & Post Property of SLD Application (§ 22-401.8 General Procedures)		
☐ Township Road Opening Permit, if applicable			
☐ Water Resource Impact Study, if applicable (	2 Copies) (Digital Acceptable)		
☐ Waiver Request Letter with Justification			
Reviewed By:	Date:		

\*All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.

\*\*The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.\*\*



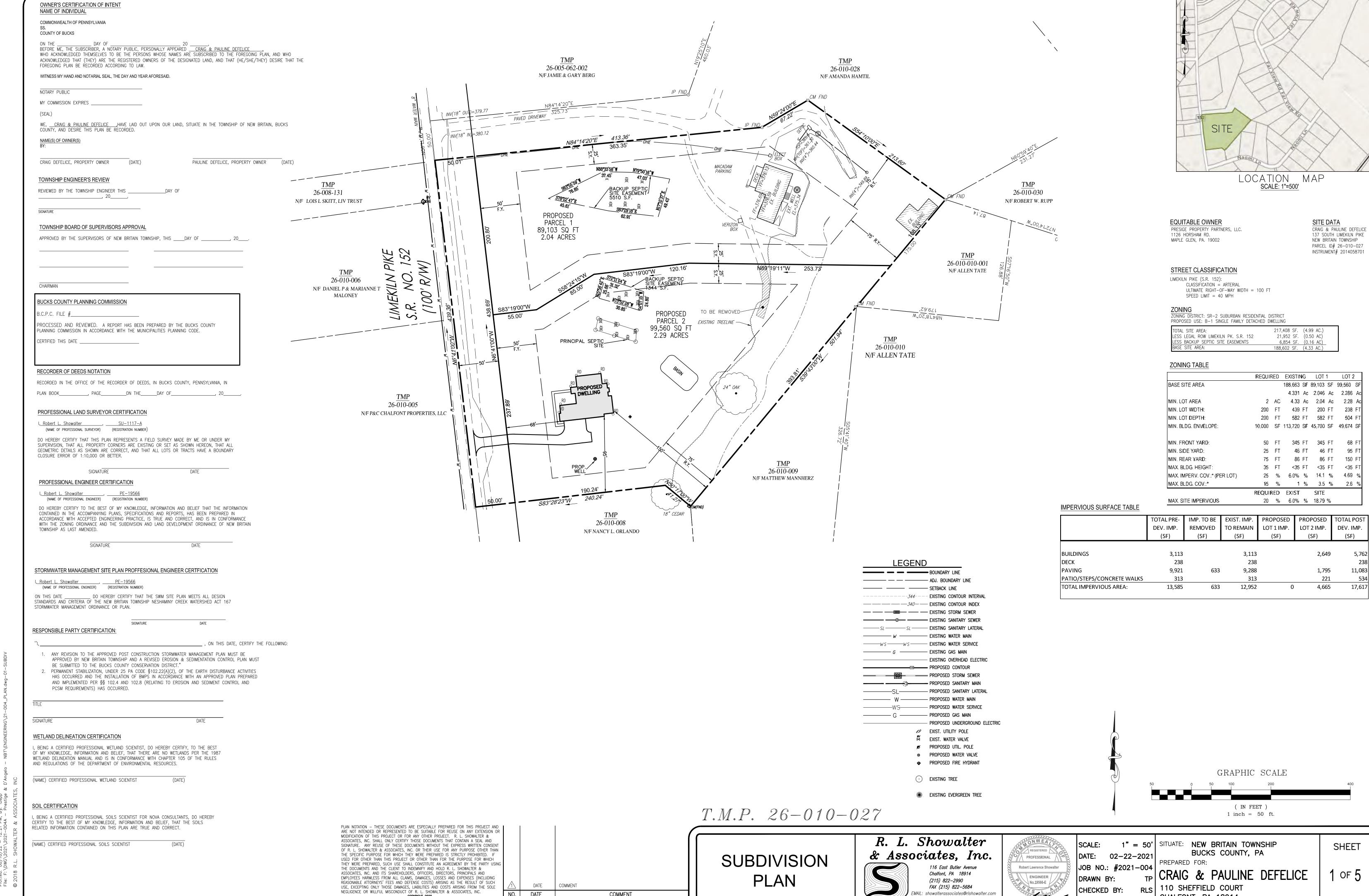
### NEW BRITAIN TOWNSHIP 90-DAY REVIEW PERIOD WAIVER

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

Name of Subdivision/Land Development:	DEFELICE PROJECT
Tax Map Parcel Number(s):	26-010-027
Signature of Applicant:	Date: 8/23/22
Signature of Applicant:	Date:





NO. DATE

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COMMENT

REVISIONS

CHALFONT, PA 18914

ullet Engineering ullet Planning ullet Surveying ullet

4.99 AC.

GROSS SITE AREA = 4.99 AC. ULTIMATE RIGHT-OF-WAY AREA = 0.50 AC.

AREA OF EASEMENTS FOR BACKUP SEPTIC SITES = 0.16 AC.

BASE SITE AREA = 4.33 AC. C. LAND WITH RESOURCE RESTRICTIONS AND RESOURCE PROTECTION LAND.

			Resource	Acres of
		Area of Land	Protection	Land to be
	Protection	in Resources	Land (Acres	Disturbed
Natural Resources	Ratio	(AC)	x Protection	(AC)
Watercourses	1.000	0.000	0.000	0.000
Riparian Buffer	1.000	0.000	0.000	0.000
Floodplain	1.000	0.000	0.000	0.000
Floodplain (Alluvial) Soils	1.000	0.000	0.000	0.000
Wetlands	1.000	0.000	0.000	0.000
Lakes or Ponds	1.000	0.000	0.000	0.000
Wetland Margin	0.800	0.000	0.000	0.000
Woodlands	0.800	0.468	0.375	0.000
Steep Slopes 8-15%	0.600	0.545	0.327	0.000
Steep Slopes 15-25%	0.700	0.402	0.282	0.000
Steep Slopes 25% or Greater	0.850	0.486	0.413	0.000
Total Land with Resource Restrictions		1.901		
Total Land with with 1.00 Protection Ratio		0.000		
Total Resource Protection Land Required			1.396	
Total Resource Protection Land Provided			1.396	
Total Disturbed Resources				0.000

D. MINIMUM OPEN SPACE BASE SITE AREA

MULTIPLY BY MIN. OPEN SPACE RATIO STANDARD MIN. OPEN SPACE

4.33 AC N/A <u>N/A</u>

4.33 AC.

4.33 AC.

E. DETERMINE REQUIRED OPEN SPACE

THE REQUIRED OPEN SPACE IS THE TOTAL OF THE RESOURCE PROTECTION LAND WITH A 1.00 PROTECTION RATIO OR THE MINIMUM OPEN SPACE, WHICHEVER IS GREATER

\_\_\_\_N/A F. NET BUILDABLE SITE AREA

SUBTRACT RESOURCE PROTECTED LAND (W/1.00 PROTECTION RATIO) NET BUILDABLE SITE AREA (NBSA)

G. NUMBER OF DWELLING UNITS/LOTS NET BUILDABLE SITE AREA

MAXIMUM PERMITTED IMPERVIOUS SURFACE

PROPOSED IMPERVIOUS SURFACE

RATIO BASE SITE AREA

MULITPLY BY MAX. DENSITY NUMBER OF DWELLING UNITS PERMITTED = H. IMPERVIOUS SURFACES

MULTIPLY BY MAX. IMPERVIOUS SURFACE RATIO

4.33 AC. 0.86 AC. AC.

N/A UNITS/LOTS

TMP 26-005-062-002 26-010-028 N/F JAMIE & GARY BERG N/F AMANDA HAMTIL 26-010-030 26-008-131 N/F LOIS L SKITT, LIV TRUST N/F ROBERT W. RUPP TMP26-010-010-001 N/F ALLEN TATE 26-010-006 N/F DANIEL P & MARIANNE T (100, MALONEY TO BE REMOVED 26-010-010 N/F ALLEN TATE 26-010-005 N/F P&C CHALFONT PROPERTIES, LLC 26•010-009 26-010-008 N/F NANCY L. ORLANDO

LOCATION MAP

SCALE: 1"=500'

**EQUITABLE OWNER** PRESIGE PROPERTY PARTNERS, LLC. 1126 HORSHAM RD. MAPLE GLEN, PA. 19002

SITE DATA CRAIG & PAULINE DEFELICE 137 SOUTH LIMEKILN PIKE NEW BRITAIN TOWNSHIP PARCEL ID# 26-010-027 INSTRUMENT# 2014058701

STREET CLASSIFICATION

LIMEKILN PIKE (S.R. 152): CLASSIFICATION = ARTERIAL ULTIMATE RIGHT-OF-WAY WIDTH = 100 FT SPEED LIMIT = 40 MPH

ZONING DISTRICT: SR-2 SUBURBAN RESIDENTIAL DISTRICT PROPOSED USE: B-1 SINGLE FAMILY DETACHED DWELLING

### PA ONE CALL UTILITIES #2022212537

#20222212537					
USER NAME	ADDRESS	CONTACT	RESULTS		
	1645 UPPER STATE RD				
CNBTJSA	DOYESTOWN PA. 18901	JOHN SCHMIDT jschmidt@cnbsa.org	CLEAR		
COMCAST CABLE	190 SHOEMAKER RD	MIKE KIMBERLY			
COMMUNICATIONS	POTTSTOWN, PA. 19464	mike_kimberly@cable.comcast.com	CLEAR		
	200 WA LNUT ST.	JOSEPH MURPHY			
	NORTH WALES, PA. 19454	JMURPHY@NVWATER.COM			
NVWA	215-699-4836	215-699-4836	PDF RECEIVED		
		RYAN CRESSMAN			
	207 PARK AVE CHALFONT,	RCRESSMAN@NEWBRITAINTOWNS			
NEW BRITAIN TWP	PA .18914	HIP.ORG	CLEAR		
		NIKKIA SIMPKINS			
	450 S. HENDERSON RD. KING	NIKKIA SIMPKINS@USICLLC.COM   484-681-5720			
PECO energy c/o usic	OF PRUSSIA, PA. 19406	404-001-3720			
	1050 VIRGINIA DR. FORT	DA RLENE LEPPERD JOHNSON			
VERIZON PA	WASHINGTON, PA. 19034	215-283-0690	PDF RECEIVED		

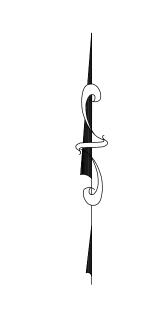
SOILS SYMBOL HSG FARMLAND CLASSIFICATION | ALLUVIAL | HYDRIC SOIL RATING AbB ABBOTTSTOWN SILT LOAM 3-8% SLOPES D ALL AREAS PRIME FARMLAND NONE NO BwB STATEWIDE IMPORTANCE BUCKINGHAM SILT LOAM 3-8% SLOPES NONE NO DdB NONE DOYLESTOWN SILT LOAM 3-8% SLOPES NOT PRIME YES SOIL INFORMATION BASED ON USDA-NRCS WEB SOIL SURVEY - SOIL SURVEY AREA OF

BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 18, AUGUST 31, 2021.

BOUNDARY LINE —— ADJ. BOUNDARY ---- PROPERTY SETBACK LINE ---- Existing contour interval AmA EXISTING SOILS IP FND ⊙ IRON PIN FOUND CM FND o CONC. MONUMENT FOUND EXISTING UTIL. POLE EXISTING WATER VALVE EXISTING SANITARY MANHOLE EXISTING STORM MANHOLE EXISTING INLET EXISTING TREE EXISTING EVERGREEN TREE EXISTING TREE (TBR) STEEP SLOPES 8-15% STEEP SLOPES 15-25%

LEGEND

FLOOD PLAIN NOTE: THIS PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN IN ACCORDANCE WITH THE FOLLOWING FLOOD INSURANCE RATE MAPS (FIRM) BUCKS COUNTY, PENNSYLVANIA; MAP NUMBER: 42017C0289K, REVISED MARCH 21, 2021.



GRAPHIC SCALE ( IN FEET )

1 inch = 50 ft.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

PLAN NOTATION - THESE DOCUMENTS ARE ESPECIALLY PREPARED FOR THIS PROJECT AND ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE ON ANY EXTENSION OR MODIFICATION OF THIS PROJECT OR FOR ANY OTHER PROJECT. R. L. SHOWALTER & ASSOCIATES, INC. SHALL ONLY CERTIFY THOSE DOCUMENTS THAT CONTAIN A SEAL AND SIGNATURE. ANY REUSE OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF R. L. SHOWALTER & ASSOCIATES, INC. OR THEIR USE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY WERE PREPARED IS STRICTLY PROHIBITED. IF USED FOR OTHER THAN THIS PROJECT OR OTHER THAN FOR THE PURPOSE FOR WHICH THEY WERE PREPARED, SUCH USE SHALL CONSTITUTE AN AGREEMENT BY THE PARTY USING THE DOCUMENTS AND THE CLIENT TO INDEMNIFY AND HOLD R. L. SHOWALTER & ASSOCIATES, INC. AND ITS SHAREHOLDERS, OFFICERS, DIRECTORS, PRINCIPALS AND EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS) ARISING AS THE RESULT OF SUCH USE, EXCEPTING ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF R. L. SHOWALTER & ASSOCIATES, INC. COPYRIGHT 2020

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DATE COMMENT NO. DATE COMMENT REVISIONS

T.M.P. 26-010-027

**EXISTING FEATURES** PLAN



PROFESSIONAL Robert Lawrence Showalter LAND SURVEYOR SU-1117-A FAX (215) 822-5684 EMAIL: showalterassociates@rlshowalter.com ullet Engineering ullet Planning ullet Surveying ullet

WOODS

STEEP SLOPES 25%-

DATE: 02-22-2021 JOB NO.: #2021-004 DRAWN BY:

CHECKED BY:

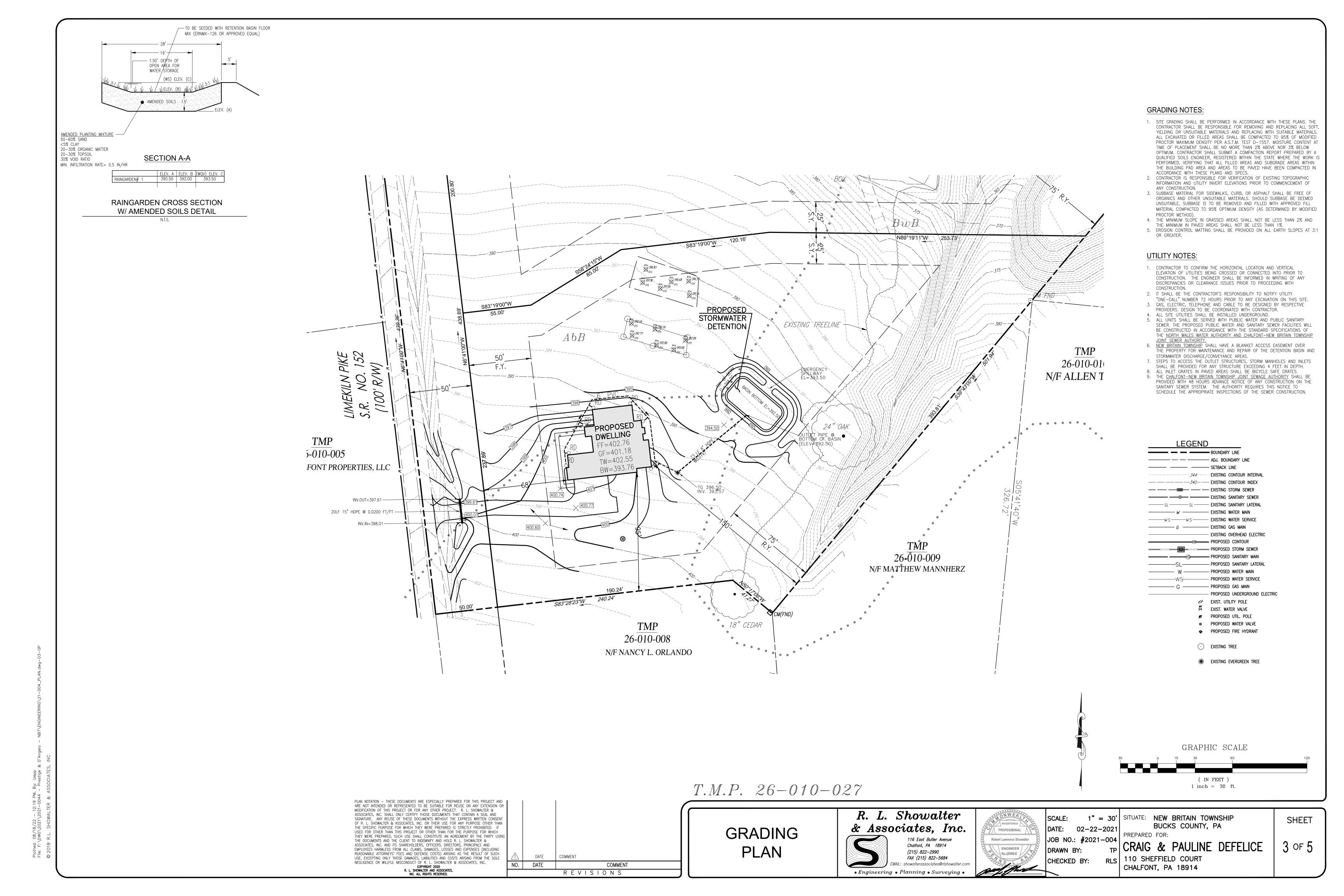
SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA PREPARED FOR:

CHALFONT, PA 18914

CRAIG & PAULINE DEFELICE RLS 110 SHEFFIELD COURT

2 of 5

SHEET



OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR

BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE

LOCAL COUNTY CONSERVATION DISTRICT OFF-SITE WASTE AND BORROW: THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES AND REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF

ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND

REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE SITE AT ALL TIMES.

UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

# **UTILITY LINE TRENCH EXCAVATION NOTES:**

LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS

ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME

WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND

IMMEDIATELY STABILIZED. SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING

### SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

E&S BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDED WITH PERMANENT SEED

MIX AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS: 1) <u>LIME</u> - AGRICULTURAL GRADE LIMESTONE A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:

LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.) 2) <u>FERTILIZER</u> - COMMERCIAL TYPE 10 - 10 - 20

A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)

ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEEDED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.

ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:

### SECTION 102.22(a) - PERMANENT SITE STABILIZATION

STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)

E&S BMPS SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY

ANOTHER APPROVED BMP. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE

CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT PCSM BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS MUST BE STABILIZED IMMEDIATELY AREAS WHICH AREA TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O/RP SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH

PERMANENT STABILIZATION SPECIFICATIONS. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.

MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING: MIXTURE AND MULCHED. SEEDBED PREPARATION AND PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED SEEDING METHODS: (1) <u>LIME</u> — AGRICULTURAL GRADE LIMESTONE

A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING

LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)

(2) <u>FERTILIZER</u> – COMMERCIAL TYPE 10 – 20 – 20 A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE

FOLLOWING RATE: FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.) IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:

LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.) FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)

APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE: LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.)

FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.) (3) PERMANENT SEED MIXTURE

IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE

REQUIREMENTS OF CHAPTER 102. (A) ANNUAL RYEGRASS IS TO BE SEEDED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)

(B) TURF LAWN AND MOWED AREAS (SUNNY): 60% KENTUCKY BLUEGRASS 20% CHEWINGS FESCUE 20% PERENNIAL RYEGRASS

SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.) PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15

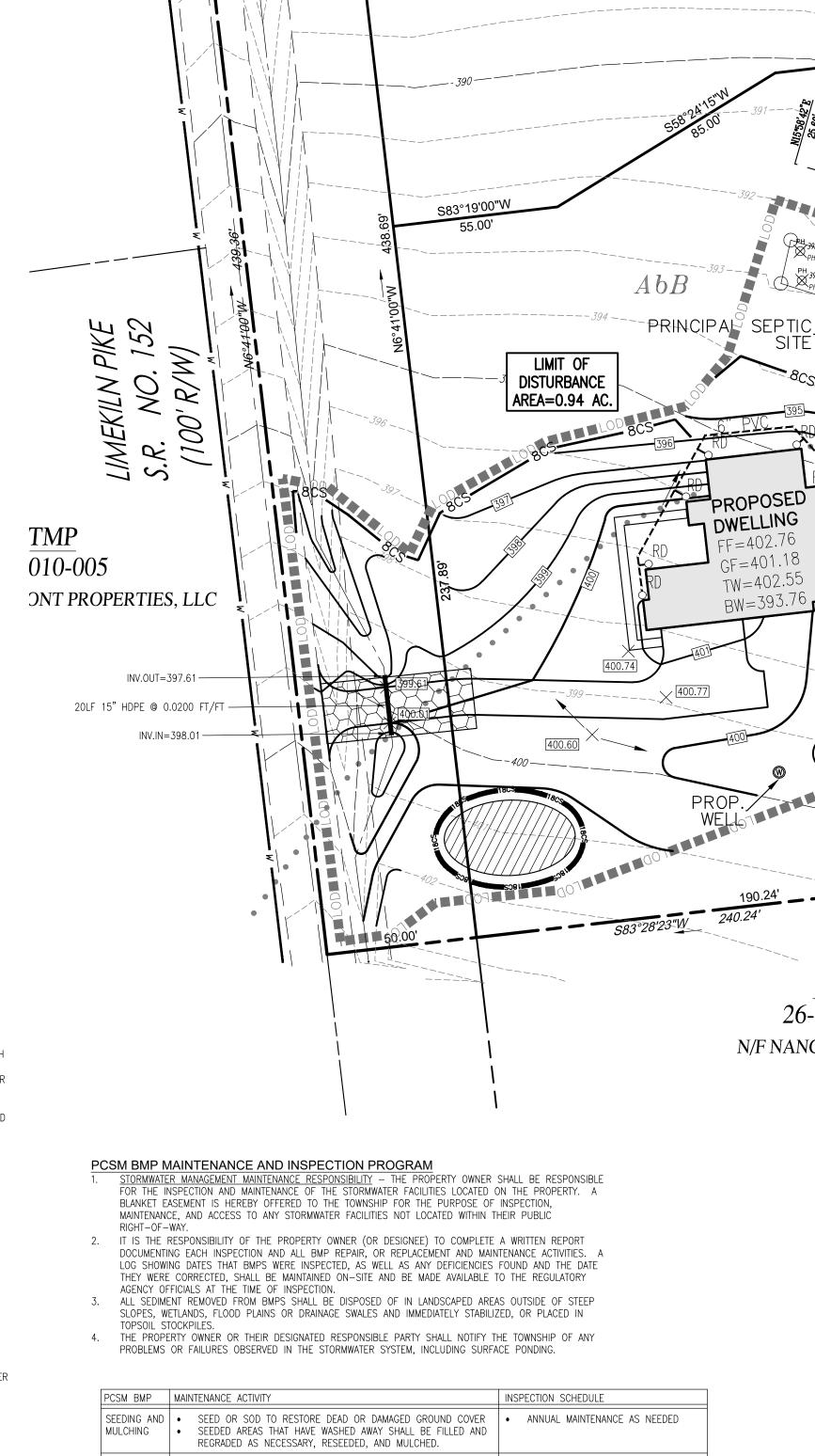
(C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)

EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT: CALCULATE PLS%: FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS

DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63. THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.

ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION WITH POLYMERIC OR GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURE'S RECOMMENDATIONS. MULCH ON SLOPES OF 8% OR GREATER SHOULD BE HELD IN PLACE WITH NETTING OR EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE: STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

(5) EROSION CONTROL BLANKET ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.



SEEDING AND MULCHING	SEED OR SOD TO RESTORE DEAD OR DAMAGED GROUND COVER     SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEEDED, AND MULCHED.	ANNUAL MAINTENANCE AS NEEDED
RAIN GARDEN OR BIO— RETENTION BASIN (BMP 6.4.5)	WATER PLANTS REGULARLY UNTIL THEY BECOME ESTABLISHED INSPECT FOR TRASH OR SEDIMENT, REMOVE DISPOSE OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS INSPECT DRAW—DOWN TIME TO ENSURE BASIN DRAINS BETWEEN 24 AND 72 HOURS INSPECT GRASS TO ENSURE THERE ARE NO BARE SPOTS WEED, PRUNE AND REMOVED DEAD VEGETATION IN THE SPRING SEASON	INSPECT QUARTERLY FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION, AND THEN ON A BI—ANNUAL BASIS THEREAFTER AND AFTER EACH MAJOR RAINFALL EVENT     INSPECT/REPLACE AMENDED SOILS EVERY 5 TO 7 YEARS OR AS NEEDED

STORM SEWER • INLET GRATES SHOULD BE PULLED AND THE INSIDE OF THE INLET • INSPECT ANNUALLY AND AFTER EACH

MAJOR RAINFALL EVENT

MAJOR RAINFALL EVENT

INSPECT ANNUALLY AND AFTER EACH

BOX SHOULD BE VISUALLY INSPECTED FOR SEDIMENT AND

GARDEN HOSE OR OTHER FORM OF A FLUSHING SYSTEM

BLOCKAGE OF THE PIPES SHOULD BE CLEARED.

STORM SEWER • INSPECT FOR SEDIMENT AND DEBRIS AND FLUSH CLEAN WITH

MANHOLES

DEBRIS. ANY SEDIMENT FOUND SHOULD BE REMOVED AND ANY

# SECTION 102.4(b)(5)(vii) - CONSTRUCTION SEQUENCE

SITÈ EASEMENT

MERGOLE REGIONAL PROCESSION OF THE PROCESSION OF

EXISTING FREELINE

STORMWALL. DETENTION

N/F NANCY L. ORLANDO

UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL BE FOR OR MORE DAYS, ALL BARE SOIL AREAS SHALL BE IMMEDIATELY STABILIZED IN THE FORM OF 3 TON/ACRE STRAW MULCH OR EQUIVALENT, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION

PENDING FUTURE EARTH DISTURBANCE ACTIVITIES. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.

## THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE

1. THE CONTRACTOR SHALL NOTIFY NEW BRITAIN TOWNSHIP, THE TOWNSHIP ENGINEER, DESIGN ENGINEER AND BCCD AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.

2. STAKE OUT LIMIT OF DISTURBANCE TO DELINEATE AREA WHERE WORK IS PERMITTED PRIOR TO ANY E&S MEASURES BEING INSTALLED. IF AT ANY TIME DURING CONSTRUCTION THE LIMIT OF DISTURBANCE EXCEEDS 1 ACRE, AN NPDES PERMIT WILL BE REQUIRED.

3. INSTALL CONSTRUCTION FENCE AROUND THE UNDERGROUND INFILTRATION

4. INSTALL COMPOST FILTER SOCK/TREE PROTECTION/CONSTRUCTION ENTRANCE

WHERE INDICATED ON THE PLAN. STRIP TOPSOIL FROM AREA OF PROPOSED CONSTRUCTION. 6. ROUGH GRADE SITE AS INDICATED ON PLAN.

8. INSTALL STONE BASE FOR PROPOSED DRIVEWAY \*\* PRIOR TO VERTICAL CONSTRUCTION, A STABLE BASE WILL BE ESTABLISHED.\*\* 9. INSTALL NEW BUILDING FOUNDATIONS AND PROPOSED HOUSES. 10. INSTALL UNDERGROUND UTILITIES.

11. INSTALL UNDERGROUND INFILTRATION BASIN AND ROOF DRAIN SYSTEM. BLOCK INLETS UNTIL FINAL STABILIZATION HAS OCCURRED. BASIN BOTTOM ELEVATIONS SHALL BE AS-BUILT PRIOR TO BACKFILLING WITH STONE. 12. COMPLETE FINAL GRADING OF SITE.

13. TEMPORARILY SEED ALL BARE EARTH AREAS. ADDITIONAL TOPSOIL TO BE ADDED IF REQUIRED. 14. REMOVE COMPOST FILTER SOCK/TREE PROTECTION FENCE AFTER APPROVAL BY BCCD AND UPSTREAM AREAS HAVE ACHIEVED 70% UNIFORM STABILIZATION.

15. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED

T.M.P. 26-010-027

IMMEDIATELY.

# **EROSION &** SEDIMENT CONTROL PLAN

ullet Engineering ullet Planning ullet Surveying ullet

Chalfont, PA 18914 (215) 822–2990 FAX (215) 822-5684 EMAIL: showalterassociates@rlshowalter.com

N/F MATTHEW MANNHERZ

CHECKED BY: CHALFONT, PA 18914

PREPARED FOR:

STREAM DESIGNATION:

TSF - TROUT STOCKING FISHES

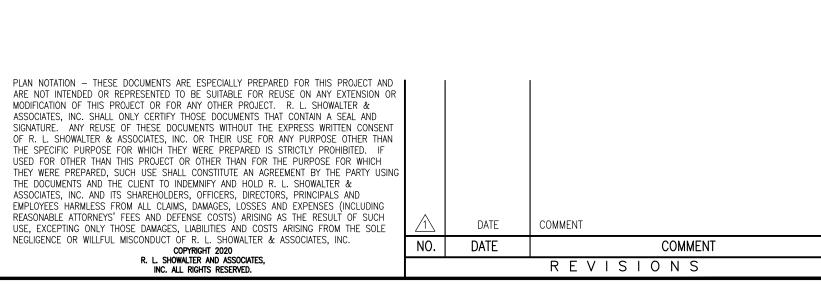
CRAIG & PAULINE DEFELICE RLS 110 SHEFFIELD COURT

HSG FARMLAND CLASSIFICATION

D ALL AREAS PRIME FARMLAND

C/D STATEWIDE IMPORTANCE

SHEET



R. L. Showalter & Associates, Inc. 116 East Butler Avenue

PROFESSIONAL Robert Lawrence Showalte No.19566-E

SYMBOL

AbB

BwB

|DATE: 02-22-2021 JOB NO.: #2021-004 DRAWN BY:

ABBOTTSTOWN SILT LOAM 3-8% SLOPES

**BUCKINGHAM SILT LOAM 3-8% SLOPES** 

DOYLESTOWN SILT LOAM 3-8% SLOPES

BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 18, AUGUST 31, 2021.

SOIL INFORMATION BASED ON USDA-NRCS WEB SOIL SURVEY - SOIL SURVEY AREA OF

N/F A

**EQUITABLE OWNER** 

MAPLE GLEN, PA. 19002

LIMEKILN PIKE (S.R. 152):

1126 HORSHAM RD

PRESIGE PROPERTY PARTNERS, LLC.

STREET CLASSIFICATION

CLASSIFICATION = ARTERIAL

SPEED LIMIT = 40 MPH

LESS LEGAL ROW LIMEKILN PK. S.R. 152

ESS BACKUP SEPTIC SITE EASEMENTS

ULTIMATE RIGHT-OF-WAY WIDTH = 100 FT

ZONING DISTRICT: SR-2 SUBURBAN RESIDENTIAL DISTRICT

PROPOSED USE: B-1 SINGLE FAMILY DETACHED DWELLING

**LEGEND** 

PROPOSED STORM SEWER

\_\_\_\_\_LOD\_\_\_\_\_LIMIT OF DISTURBANCE

TPF TREE PROTECTION FENCE (TPF)

SITE DATA

217,408 SF. (4.99 AC.)

21,952 SF. (0.50 AC)

6,793 SF. (0.16 AC)

PROPERTY SETBACK LINE

EXISTING WATER SERVICE FXISTING WATER MAIN

— PROPOSED CONTOUR

INLET PROTECTION

ENTRANCE

TEMPORARY CONSTRUCTION

NAG-75 SLOPE MATTING

TOPSOIL STOCKPILE

ALLUVIAL HYDRIC SOIL RATING

NO

NO

YES

NONE

NONE

NONE

SECTION 102.4(b)(5)(v) - SURFACE WATER CLASSIFICATION

WATERCOURSE IS AN UNNAMED TRIBUTARY TO THE NESHAMINY CREEK. PER THE PENNSYLVANIA CODE,

GRAPHIC SCALE

( IN FEET )

1 inch = 30 ft.

TITLE 25, CHAPTER 93 WATER QUALITY STANDARDS, THE RECEIVING WATERCOURSE HAS THE FOLLOWING

THE SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED. THE PROJECT'S RECEIVING

EXISTING CONTOUR INTERVAL

CRAIG & PAULINE DEFELICE

137 SOUTH LIMEKILN PIKE NEW BRITAIN TOWNSHIP

PARCEL ID# 26-010-027 INSTRUMENT# 2014058701

SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA

4 of 5

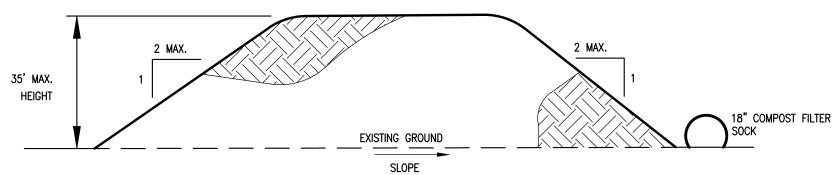
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

> STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



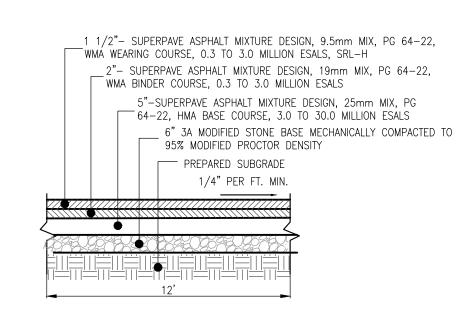
1. SILT SOCK SHALL BE PLACED AROUND TOPSOIL STOCKPILES TO PREVENT SEDIMENT FROM LEAVING THE SITE. IT

SHOULD BE STAKED PER THE SILT SOCK DETAILS AS SHOWN ON THE PLAN. 2. SEED STOCKPILE PER TEMPORARY SEEDING SPECIFICATIONS.

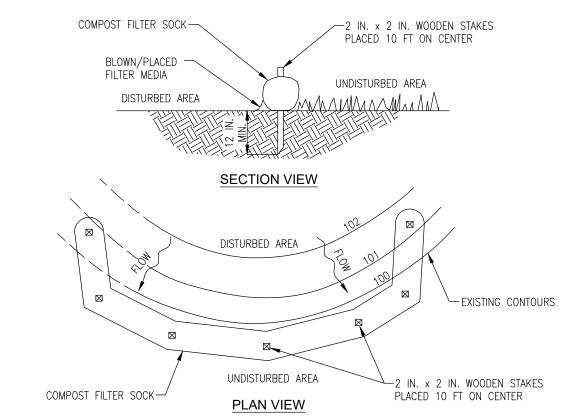
> STANDARD CONSTRUCTION DETAIL TOPSOIL STOCKPILE NOT TO SCALE

——1 1/2"- SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5mm MIX, PG 64-22, WMÁ WEARING COURSE, 0.3 TO 3.0 MILLION ESALS, SRL-H -2"- SUPERPAVE ASPHALT MIXTURE DESIGN, 19mm MIX, PG 64-22, WMA BINDER COURSE, 0.3 TO 3.0 MILLION ESALS 6" 3A MODIFIED STONE BASE MECHANICALLY COMPACTED TO 95% MODIFIED PROCTOR DENSITY PREPARED SUBGRADE 1/4" PER FT. MIN.

TYP. DRIVEWAY PAVING SECTION (ON-LOT ONLY) NOT TO SCALE



TYP. DRIVEWAY PAVING SECTION (WITHIN ULTIMATE R/W) NOT TO SCALE



# NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

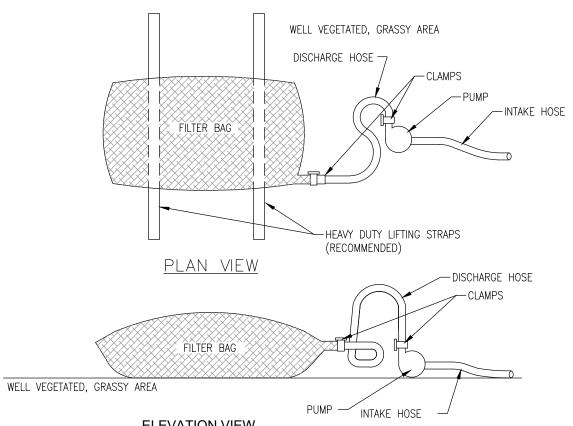
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. S SPECIFICATIONS OR DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED S RECOMMENDATIONS.

ACCORDING TO MANUFACTURER UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

# STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



# **ELEVATION VIEW**

NOTES: LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED.

BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50

FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND

SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

> STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG NOT TO SCALE

T.M.P. 26-010-027

ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE ON ANY EXTENSION OR MODIFICATION OF THIS PROJECT OR FOR ANY OTHER PROJECT. R. L. SHOWALTER & ASSOCIATES, INC. SHALL ONLY CERTIFY THOSE DOCUMENTS THAT CONTAIN A SEAL AND SIGNATURE. ANY REUSE OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF R. L. SHOWALTER & ASSOCIATES, INC. OR THEIR USE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY WERE PREPARED IS STRICTLY PROHIBITED. IF USED FOR OTHER THAN THIS PROJECT OR OTHER THAN FOR THE PURPOSE FOR WHICH THEY WERE PREPARED, SUCH USE SHALL CONSTITUTE AN AGREEMENT BY THE PARTY USING THE DOCUMENTS AND THE CLIENT TO INDEMNIFY AND HOLD R. L. SHOWALTER & ASSOCIATES, INC. AND ITS SHAREHOLDERS, OFFICERS, DIRECTORS, PRINCIPALS AND EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS) ARISING AS THE RESULT OF SUCH USE, EXCEPTING ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF R. L. SHOWALTER & ASSOCIATES, INC. DATE COMMENT

NO. DATE

COMMENT

REVISIONS

PLAN NOTATION - THESE DOCUMENTS ARE ESPECIALLY PREPARED FOR THIS PROJECT AND

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INC. ALL RIGHTS RESERVED.

DETAIL



ullet Engineering ullet Planning ullet Surveying ullet



SCALE: AS SHOWN DATE: 02-22-2021 |JOB NO.: #2021-004 DRAWN BY: CHECKED BY:

SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA PREPARED FOR:

CRAIG & PAULINE DEFELICE CHALFONT, PA 18914

SHEET



September 20, 2022

File No. 22-08099

Matt West, Township Manager New Britain Township 207 Park Avenue Chalfont, PA 18914

Reference: Prestige Partners, Minor Subdivision Review 1

137 S. Limekiln Pike, TMP #26-010-027

Dear Matt:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the Minor Subdivision Plan for the above-referenced project. We offer the following comments for consideration by New Britain Township:

### I. SUBMISSION

- A. Subdivision Plan prepared for Craig & Pauline Defelice, as prepared by R.L. Showalter & Associates, Inc., dated February 22, 2021, Sheets 1 to 5 of 5.
- B. Stormwater Management Report for Craig & Pauline Defelice, as prepared by R.L. Showalter & Associates, Inc., dated August 16, 2021

### II. GENERAL

The property is located at 137 S. Limekiln Pike (S.R. 0152), north of Naomi Lane and consists of 4.99 acres within the SR-2 Suburban Residential District. The applicant proposes a minor subdivision to create one new B1 single-family dwelling lot on 2.29 acres as permitted by-right, with an existing apartment building being retained on the remaining 2.04-acres. The proposed dwelling will take access from S. Limekiln Pike (S.R.0152) and is proposed to be served by an onsite well and an onsite septic system. Stormwater is proposed to be managed through an infiltration basin.

### III. REVIEW COMMENTS

### A. Zoning Ordinance

- 1. §§27-305.B.B7, 27-801.A & 2300.a According to a February 25, 2014 letter from New Britain Township, the Township acknowledged the existing building as an established existing, non-conforming B7 Apartment Building use with 4 units. B7 uses are required to have a minimum lot area of 15 acres. The existing lot area is 4.99 while the proposal increases the non-conformity with a proposed area of 2.046 acres. The plans shall document the intent for the existing building. Unless the existing building is converted to a B1 Use, a variance is required to allow the existing B7 Apartment to legally continue on a smaller lot. Furthermore, additional non-conformities appear to exist, such as lot width, buffer yards, accessory building setback, parking requirements and setbacks, lighting, etc. which should be discussed.
- 2. §27-801.A The use of the accessory building on Lot 1 shall be noted on the plan and associated zoning area and dimensional requirements listed.
- 3. §27-802.B The side and rear yard setbacks for Lot 1 shall be based on the existing building at the northeastern corner of the lot. These setbacks shall be noted as existing non-conformities, where appropriate.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

- 4. §27-2115 No portion of an on-lot septic system or any of its components, including the toe of slope of the berm, shall be installed closer than 10 feet to a property line or ultimate right-of-way. The backup septic site for Lot (Parcel) 2 is located approximately 4 feet from the proposed subdivision line and shall be relocated to provide the required 10-foot minimum separation.
- 5. §27-2401.c For subdivision and land development plans, restrictions meeting Township specifications must be placed in the deed for each site that has natural resource protection areas within its boundaries. A deed-restriction or conservation easement shall be provided over the minimum resource protection area for woodlands, floodplain soils, and steep slopes on each lot. A sign shall be posted onsite on each lot to identify the location of the easements.

### B. Subdivision and Land Development Ordinance

- 1. §22-406.1.I Legal descriptions should be provided for the legal and ultimate rights-of-way, proposed lots, back up septic site easements and the required conservation easements.
- 2. §22-502. The following information should be provided on the plans:
  - a. The plan should note all appropriate Record Plan Notes.
  - b. The area between the title line and the legal right-of-way line shall be offered for dedication to PennDOT.
  - c. Tie in bearings and distances should be provided from a property corner to the backup septic site easements on Lots 1 and 2.
  - d. The width of the S. Limekiln Pike cartway shall be dimensioned on the plan.
  - e. Plan notations related to the source of property boundaries, right-of-way lines, survey data, benchmark, and reference plans shall be provided.
  - f. The chairman notation for the Board of Supervisors should be removed.
  - g. Add the BCPC File number.
  - h. Show clear sight triangle for new driveway.
- 3. §22-502.1.B.(10) A copy of a recorded shared access easement shall be provided to the Township for the Lot 1 driveway crossing through TMP 26-010-028.
- 4. §22-502.1.B.(20) The plan notes a 100-foot-wide right-of-way for S. Limekiln Pike. We note that the ultimate right-of-way is 100 feet, and the plan shall clarify the existing/proposed legal rights-of-way and proposed ultimate right-of-way. If the legal right-of-way is less than the required ultimate right-of-way, the right-of-way shall be separated with the area between the title line and the legal right-of-way being dedicated to PennDOT and the area between the legal and ultimate right-of-way line being dedicated to the Township.
- 5. §22-703.4.C Lot lines shall be drawn parallel, concentric, at right angles or radial to the street right-of-way line unless not feasible or undesirable due to existing, permanent, natural or manmade features. While the proposed lot line is initially at a right angle, the line changes direction to avoid the backup septic area.
- 6. §22-705.1.G All plans that require access to a street or highway under the jurisdiction of PennDOT shall either require a highway occupancy permit prior to recording of final plans or an acknowledgment on the site plan of the requirement to obtain a highway occupancy permit prior to the issuance of a use and occupancy permit. All necessary PennDOT permits for the proposed driveway, grading and utility connections within the S. Limekiln Pike right-of-way shall be provided for review.

- 7. §22-705.3.A, C & G Cartway widening and pavement mill and overlay shall be provided along existing streets which abut the proposed subdivision/ land development. S. Limekiln Pike appears to have a cartway width of 21 feet (10.5-foot half width), where a width of 52 feet (26-foot half width) is required. The plan does not propose any widening along the property frontage. We note that S. Limekiln Pike (S.R. 0152) is a PennDOT street, and any widening would require PennDOT approval.
- 8. §22-705.13.C&D Residential driveways shall have a minimum width of 12 feet. The width of the driveway shall be noted on the plan. In addition, all driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 3%, measured from the edge of cartway. This area shall be detailed or noted on the plans.
- 9. §22-706 Curb and sidewalk shall be provided along the property frontage of every existing street abutting a proposed subdivision. We note that there are no curb or sidewalk along the frontage of the adjoining properties to the north or south of the proposed subdivision. The installation of any curb or sidewalk would require PennDOT approval. We recommend the Township discuss the need for curb and sidewalk along the frontage.
- 10. §22-711.2 The following erosion and sediment control comments shall be addressed:
  - a. An E&S plan approved by the BCCD is required prior to the recording of the plans.
  - b. We recommend erosion protection be provided at end of the roofdrain into the basin.
  - c. Silt sock should be provided down slope of the disturbance for the septic system.
  - d. The sequence of construction mentions an underground basin and should be revised. In addition, the rain garden and amended soils should be installed after the completion of the proposed improvements and stabilization of the upslope area. The infiltration basin area should be protected with construction fence until such time.
- 11. §22-711.3 The following issues related to grading should be addressed:
  - a. Grading for the proposed septic site shall be shown to demonstrate adequate drainage.
  - b. The 393 and 394 contour labels around the rain garden shall be lined up with the corresponding contour.
  - c. The Rain Garden Cross Section/Amended Soils detail specifies a bottom elevation of 392. This is inconsistent with the plan which notes an elevation of 392.50 and should be clarified.
- 12. §22-713.2.B.(4)&(5) The tree protection notes per these sections shall be added to the plans. In addition, tree protection fence should be shown on the plan at any location where disturbance will occur within 15 feet of existing trees.
- 13. §22-713.2.D A note shall be added to the plan indicating that any tree designated to remain but damaged by construction shall be replaced by the Applicant on an equivalent caliper basis and in accordance with SALDO section §22-713.2.
- 14. §22-713.4 Street trees shall be planted every 30 feet along all existing streets when they abut or lie within the proposed subdivision at least 5 feet outside of the right-of-way. Based on 439 feet of road frontage, 15 total street trees are required along Lots 1 and 2 and shall be shown.
- 15. §22-715.2.C(1) The applicant shall dedicate land to the Township suitable for park and recreation use, unless one of the alternatives set forth in this Section is approved by the Board. Land to be dedicated shall be dedicated prior to recording the final plans. A fee in lieu of the requirement would be \$2,500.00 for the additional new dwelling unit.
- 16. §22-716.2 Concrete monuments shall be placed at all proposed lot corners, at the ultimate right-of-way and at the beginning and end of easements. The monumentation shall be shown.

- 17. §22-718.2.A The site is located within the North Wales Water Authority service area and multifamily subdivisions are required to have public water. The building code also requires public water for new homes where it's available. There is an existing water main within Limekiln Pike across the street from the site. Therefore, the plan shall be revised to specify a connection to public water with appropriate construction details. Correspondence shall be submitted from North Wales Water Authority indicating that they have adequate water supply to service the proposed dwelling. In addition to approval and service agreements for the proposed connection prior to construction.
- 18. §22-720.5 The site is located within the public sewer service area, however, the nearest sewer main appears to be in the Tower Hill Grove subdivision.

In areas not presently served by public sanitary sewers, appropriate on-site sewage disposal systems shall be provided in accordance with the regulations and procedures of the Township and the PADEP. However, if extension of the existing public sewer system is planned within five years to the service area, the applicant shall install sewer mains and laterals to provide adequate service to each lot when the public sewer extension occurs.

The Applicant should contact the Chalfont-New Britain Township Joint Sewage Authority (CNBTJSA) to determine if a connection is feasible and if any extension of the system is planned within the next five years. All correspondence with the CNBTJSA shall be provided.

- 19. §22-721.3 A completed PADEP Sewage Facilities Planning Module shall be submitted with all preliminary plan applications submitted for subdivision and/or land development with on-lot sewage disposal systems. Planning module approval or exemption is required to be obtained from the Pennsylvania Department of Environmental Protection (DEP) prior to plan approval.
- 20. §22-721.5 & 6 If on-lot septic is proposed, a permit from the Bucks County Department of Health (BCDH) shall be provided for the on-lot sewage disposal system for the proposed lot. In addition, the applicant shall submit to the Township acknowledgment from a reputable inspection company indicating that the existing system for Lot 1 is functioning properly. Finally, the pipe location, size and material of the existing and proposed laterals to the septic sites shall be added to the plan.
- 21. The Applicant is responsible for any other required reviews, approvals, permits, etc. (i.e., Bucks County Planning Commission, Bucks County Conservation District, PADEP, Water and Sewer Authority, Fire Marshal, etc.

### C. Stormwater Management Comments

- 1. §22-712.2.J. As-constructed plans shall be submitted to the Township for review and approval upon completion of all facilities and prior to offering of dedication of any public facilities or issuance of an occupancy permit.
- 2. §22-712.12.A & C All proposed driveways, where curbs and storm sewer are not required by the Board, shall have a concrete culvert with flared end sections or endwalls with a minimum culvert length of 24 feet. The proposed driveway culvert pipe shall be extended to provide the required 24-foot length with headwall/ endwalls at the ends of the pipe. A rip-rap apron shall be provided at the downslope end of the pipe.
- 3. §26-121.6.A The plans indicate 4,665 sf of impervious is proposed on Lot 2. We recommend the stormwater facility be designed to accommodate an additional 300 sf of impervious area to account for potential field changes, future impervious, and major stormwater modifications after construction.
- 4. §26-123.2.C.(5) The location of the stormwater infiltration tests shall be shown on the plans.

- 5. §26-164.1 The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater and storm sewer facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with transfer of ownership and shall be prepared by the Township Solicitor.
- 6. Township Resolution #2022-03 The Applicant will be required to pay a fee for the proposed onsite BMP to provide a financial guarantee for the timely installation, proper construction, and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMP. The Applicant's professional shall submit a cost estimate for review and approval.

If you have any questions regarding the above, please contact this office.

Sincerely,

Janene Marchand, P.E.

**Project Engineer** 

Gilmore & Associates, Inc.

Janura Marchand

JM/tw

cc: Michael Walsh, Assistant Manager

Ryan Gehman, Assistant Planning and Zoning Officer

Randy Teschner, Code Enforcement Officer

Jeffrey Garton, Esquire, Begley, Carlin, & Mandio, LLP

Robert L. Showalter, P.E., R.L. Showalter & Associates, Inc.

Prestige Property Partners, LLC., Owner/ Applicant

Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.



Office of Fire Marshal

September 13, 2022

RE: Fire Marshal review of 137 S. Limekiln Pike Parcel # 26-010-027 Review By: Randal J. Teschner Fire Marshal

### The following is a list of items to be addressed:

- 1. Drive Way access to new house appears to be fine
- 2. The existing building has at least 3 apartments units
- 3. Note that Pa UCC Residential Code Section P2602.1 requires connection to public water where public water supply is avai0ailable. A water mainline is on S. Limekiln Pike across the street.

### **2602.1** General

The water-distribution system of any building or premises where <u>plumbing fixtures</u> are installed shall be connected to a public water supply. Where a public water-supply system is not available, or connection to the supply is not feasible, an <u>individual water supply</u> shall be provided. <u>Individual water supplies</u> shall be constructed and installed in accordance with the applicable state and local laws. Where such laws do not address the requirements set forth in NGWA-01, <u>individual water supplies</u> shall comply with NGWA-01 for those requirements not addressed by state and local laws.



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August 19, 2022

Mr. Matthew West, Township Manager New Britain Township 207 Park Avenue Chalfont PA 18914 **Engineers** 

Environmental Consultants

Surveyors

Landscape Architects

Safety Consultants

RE: 141 Independence Lane

Preliminary/Final Land Development Plan

**Response to Comments** 

New Britain Township, Bucks County, PA

RETTEW Project No. 111902019

Dear Mr. West:

On behalf of our Client, we are hereby submitting the revised plans, and supporting documentation for the above referenced project. The plans have been revised per Gilmore & Associates Review letter dated July 20, 2022. Our item-by-item response to each comment appears in **bold**.

### **IV. Review Comments**

A. Zoning Hearing Board Decision

On May 16, 2022, the Township Zoning Hearing Board granted the Applicant's request for relief from the following Zoning Ordinance requirements subject to the Property and proposed building dimensions, size, location and appearance being in accordance with the exhibits and testimony presented and the non-residential building shall be in compliance with all reasonable requirements of the New Britain Township Fire Marshal:

- 1. §27-1802.a. To permit the proposed building to be 42 feet high.
- 2. §27-2901.K. To permit no less than 53 off-street parking spaces on the Property in connection with a warehouse use (use K3) on the Property.
- 3. §27-2904.g.5 To permit the paved areas on the front parking lot to be 9.3 feet from exterior front structural wall of the proposed building.

Response: Acknowledged.

### B. Zoning Ordinance

We have identified the following issues regarding the requirements and provisions of the current New Britain Township Zoning Ordinance:

 §27-201 – The definition of Lot Area specifies that areas of existing easements shall be excluded from the calculation. The Zoning Data table on Sheet 1 notes a proposed lot area of 7.071 acres and shall be revised to exclude the existing stormwater management and access easement areas.

Response: The Zoning Data Table on the Cover Sheet has been revised to reflect an area of 5.731 Acres (the newly calculated lot area).

2. §27-1802.b — The maximum building coverage ratio and maximum impervious surface ratio shall be based off the Ratio Base Site Area (See §27-201. Site Area, Ratio Base) and shall subtract out the 100% protected natural resources. The wetlands area is 100% protected and shall be deducted from the base site area in the Site Capacity Calculations.

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The maximum and proposed building coverage and impervious surface ratios shall be revised as necessary.

Response: The Maximum Building Coverage and Maximum Impervious Surface Ratios located within the Zoning Data Table on the Cover Sheet have been revised.

3. §27-1802.b — The proposed impervious surface ratio is 62.54% where 65% is the maximum permitted. A breakdown of the proposed impervious surfaces by building, sidewalk, paved area, etc. shall be provided to verify the impervious ratio listed on the plan.

Response: A breakdown of the proposed impervious surface as requested is now included under Impervious surface calculations on the Cover Sheet.

4. §27-2400.d & h – Disturbance of wetlands margins shall be limited to 20% and any DEP regulations concerning activities in wetlands margins shall also be met through permitting. The "Layout Plan" shows a retaining wall along the perimeter of the 25-foot wetlands margin which will likely require disturbance within the wetlands margin area. A sufficient work area from the face of the wall shall be designated as disturbance and shall be marked in the field. In addition, the design engineer shall confirm that any wall tie backs or footers for the proposed variable height wall can constructed without exceeding the maximum permitted margin disturbance.

Response: The assumed work area behind the wall is 10' which equates to 17.79% of the wetlands margin. The assumed 10' wetland margin encroachment is show on Sheet 4.

§27-2400.f.2 – No more than 50% of woodlands located upon a lot or site may be altered, regraded, cleared, or built upon. The Natural Resource Calculations table notes a total woodlands area of 3.18 acres and a disturbance area of 1.59 acres. This is not consistent with the existing and proposed tree lines shown on the Existing Conditions/ Demolition Plan. In addition, a site visit found that a portion of the site consists of low brush and scrub trees with minimal mature trees. The plans shall be revised to clarify the areas meeting the definition of woodlands. The woodland disturbance shall also consider any wall reinforcement that may require the removal of additional trees. The Natural Resource Calculations table shall be revised as necessary.

Response: As site investigation was completed to verify the existing woodland tree line; the updated existing tree line is shown on Sheet #2. The Natural Resource Calculations table on the cover sheet has been revised to reflect the new total woodland area and disturbance area.

- 6. §27-2400.f.2.(a) We offer the following comments regarding the proposed woodlands disturbance:
  - a. Where more than 20% of the woodlands are being disturbed, all disturbed woodlands exceeding this 20% limit shall be replaced on an acre-for-acre basis through the planting of replacement trees. The actual number of replacement trees shall be calculated by multiplying the acreage of disturbance exceeding 20% by 200 trees per acre. All replacement trees shall have a minimum tree caliper of 3-1/2-inch DBH.



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Response: Due to the limited space on site to plant the required replacement the applicant is offering a fee in lieu of for the required replacement. A copy of the tree replacement estimate is included with this submission.

- b. The planting of replacement trees shall be done in accordance with a woodlands management plan prepared by a licensed forester.
  - Response: Due to the limited space on site to plant the required replacement the applicant is offering a fee in lieu of for the required replacement. A copy of the tree replacement estimate is included with this submission.
- c. The planting of replacement trees shall occur on site, or on a property within New Britain Township designated and approved by the Board of Supervisors, unless the owner/developer offers a fee in lieu of the required replacement, such fee being approved by the Board of Supervisors, in its sole discretion.
  - Response: Due to the limited space on site to plant the required replacement the applicant is offering a fee in lieu of for the required replacement. A copy of the tree replacement estimate is included with this submission.
- 7. §27-2401.c Conservation easements shall be provided for the protection of the resource areas in accordance with the provisions of this Part. A defined easement shall be depicted, and a legal description submitted. A Declaration of Easements shall be prepared by the Township Solicitor and executed by the owner.
  - Response: The conservation easement is now shown on Sheet 12. A copy of the legal description will be provided prior to final plan approval.
- 8. §27-2402.b The Site Capacity Calculations note an area of 1.311 acres for existing streets ultimate rights-of-way. It appears this area is for the existing stormwater management and access easements and shall be listed under the 'existing easements' row of the calculations. The area of these easements shall be noted on the Layout Plan to confirm the areas listed in the calculations.
  - Response: The calculations on the cover sheet have been updated. The area for these easements is now noted on the Existing conditions plan, Sheet 2 and Layout Plan, Sheet 4.
- 9. §27-2501 The following comments related to the Traffic Impact Assessment shall be addressed:
  - a. §27-2501.a.3 Roadways and/or intersections experiencing levels of service D, E or F shall be noted as congested locations.
    - Response: The Traffic study has been updated to identify congested locations, refer to Page 9 (PDF page 14) of the revised study.
  - b. §27-2501.a.6 In accordance with this section, all roadways and intersections showing a level of service below C should be considered deficient, and specific recommendations or options for the elimination of any problems shall be listed. Options shall be suggested in the narrative to address deficient movements at Line Lexington Road and Bethlehem Pike.



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Response: The Traffic study has been updated to discuss mitigation strategies, refer to Page 9 (PDF page 14) of the revised study.

c. The square footage in the Traffic Impact Assessment of the proposed warehouse is not consistent with the area noted on the cover letter and plans. The square footage of the proposed warehouse should be clarified.

Response: A Statement was added to pages 4, 9, and 11 of the PDF stating that the building size is now 88,250 but that the calculations in the report are based on the previous plan for a 92,825 SF building.

- C. Subdivision and Land Development Ordinance Waivers
  - The following waivers from the Subdivision and Land Development Ordinance have been formally requested by the Applicant in a letter dated June 9, 2022:
  - 1. §22-502.1.D.10.a From the requirement that contour data be based on the New Britain Township Joint Sewage Authority vertical datum. The Applicant is proposing to use a benchmark elevation based on NAVD88, which we support.

Response: No response required.

- 2. §22-505 From the requirement to provide a Community Impact Assessment Report, which we do not support.
  - Response: The applicant is requesting a waiver from this requirement as the development is within an existing industrial park. Based on discussions at the Planning Commission meeting, they would be inclined to recommend granting requested waiver.
- 3. §22-705.3.G. From the requirement to mill and overlay the entire existing roadway width adjacent to development to a depth of 1-½ inches, which we do not support. Given the existing pavement conditions and the anticipated traffic from construction and proposed use, milling and overlay of the cul-de-sac is recommended.
  - Response: The applicant is requesting a waiver from this requirement. Based on review of the existing conditions of the road, base repairs may be required. The 50% contribution required for granting a waiver would be better used toward base repair.
- 4. §22-706.1.B & 2.B. From the requirement that sidewalk be provided along the frontage of the proposed land development, which we do not support. We note that sidewalk currently exists along the northern side of Independence Lane, however, the existing sidewalk does not connect to the property frontage. We recommend the required sidewalk be installed at this time and extended to the existing sidewalk across the cul-desac bulb for a pedestrian walkway connection to the development.
  - Response: A 5' sidewalk has been added along the property frontage and extended to connect to the existing sidewalk across the cul-de-sac bulb. (See sheet 4). This waiver request has been withdrawn.
- 5. If public improvement waivers are granted, Township Resolution 2007-12 requires a contribution towards future improvements based on 50% of the total estimated construction cost. An estimated cost of construction of any waived improvements shall be provided. The Board may adjust the amount based on onsite and offsite improvements not required by Ordinance at their sole discretion.



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### Response: Acknowledged.

D. Subdivision and Land Development Ordinance

We offer the following comments with respect to the current New Britain Township Subdivision and Land Development Ordinance:

1. §22-403 – The plans are labeled as Preliminary/Final Land Development Plans. Based on the comments herein, we recommend that the project be considered as preliminary at this time.

Response: A waiver to allow the project to be reviewed as combined Preliminary/Final has been included in the updated waiver request letter included in this submission.

2. §22-406.1 – The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC, BCCD, PADEP, Fire Marshal, Chalfont New Britain Sewer Authority, North Penn Water Authority, Aqua, Township Road Opening Permit, Well Construction Permit, etc.) as applicable.

Response: Acknowledged.

- 3. §22-502.1 The following comments related to plan presentation shall be addressed:
  - a. The parcel address is 141 Independence Lane, however, the plans and supporting documentation reference 101 Independence Lane. All documentation shall note the 141 Independence Lane for the address of the land development project.
     Response: The Plans have been revised to reference 141 Independence Lane.
  - b. The signature line for the BCPC may be removed from the Cover Sheet if the signature is not required by the county courthouse.

Response: The signature line for BCPC has been removed from the Cover Sheet.

c. The existing stormwater, driveway and roadway easements shall be labeled on the Layout Plan, Sh. 4.

Response: The area for these easements is now noted on the Existing conditions plan, Sheet 2 and Layout Plan, Sheet

d. The dimensions of the dumpster enclosure area shown on the Layout Plan shall be coordinated with the Dumpster Enclosure detail.

Response: The Dumpster Enclosure detail on Sheet 16 has been revised to be consistent with the Layout Plan.

- e. The Layout Plan notes 15 loading dock spaces, however, 16 spaces appear to be shown. The number of loading dock spaces should be clarified.
  - Response: The Layout Plan, Sheet 4, has been revised to note the correct number of spaces, 16.
- f. The list of drawings and the total sheet number should be revised to reflect the correct number of sheets provided in the plan set.

Response: The List of Drawings on the Cover Sheet has been revised to reflect the correct number of sheets.



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g. The locations of any man doors along the building shall also be identified on the plans.

Response: As no architecture has been completed for the building we don't know the exact location of doors is not available. Assumed man doors locations on the east and west face of the building are shown, refer to Sheet 4.

4. §22-502.1.B – A copy of the deed for the subject tract and any other reference documents used to create the plans shall be submitted.

Response: A copy of the deed, easement, and recorded plan showing the access easement have been included in this submission.

5. §22-502.1.D.(8)(a) — The location, size and species, of individual trees six inches in diameter or greater, when standing alone or in small stands shall be shown on the plan. Any individual tree to be removed shall be designated by an "X" marked on the tree on the plan.

Response: Individual trees six inches in diameter or greater standing alone or in small stands have been added to the plan. Individual trees to be removed have been designated by an "X" marked on the tree on the plan. (See sheet 2)

6. §22-502.1.D.10.a — Stipulates site topography shall be determined by an on-site field survey. The cover sheet notes the gross site area as determined by an on-site survey as required. A general note shall be added stating the date of survey, responsible surveyor, and any reference notes regarding the survey.

Response: General note 1 was added to the Cover Sheet stating the date of survey and responsible surveyor.

7. §22-502.1.J – Construction details for the storm DW endwalls, loading dock area concrete, cross section for sidewalk, stop bar striping, curb cut, rip rap aprons, roof drain pipes, cleanouts and connections shall be added to the plans.

Response: Details for depressed curbing, loading dock concrete and sidewalks are now included on Sheet 13.

Details for DW endwalls and Roof Drains/Cleanout are now Sheet 14.

The Stop Bar detail is now included on Sheet 16.

The Rip Rap Apron detail is now included on Sheet 14.

8. §22-704.4 – The Declaration of Covenants, Easements Conditions and Restrictions for the Road Right-of-Way Easement easement across TMP #26-1-100-11 dated April 16, 2002, states that no obstructions to the free and unhampered use of the easement shall be permitted without written approval of the Township. The plan proposes the entrance driveway within this easement. A note shall be added to the plans that it is acknowledged that the access driveway will need to be modified in order to accommodate the installation of the new street if and when constructed.

Response: The requested note has been added as General note #28 on the Cover Sheet.

9. §22-705.14.A – The pavement construction of all streets, access drives and driveways shall be in accordance with the Township Standard Details. The Light and Heavy-Duty



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Paving Section details on Sheet 11 shall be revised to meet or exceed the paving standard of the attached Non-Residential and Multi-Residential Driveways, Parking Areas and Loading Areas Paving Section Detail.

Response: The Paving sections on Sheet 13 have been revised to meet the paving standards.

10. §22-708.2.B – All parking stall striping shall be double-lined.

Response: The detail for parking stall striping has been added to Sheet 14. Additionally, a General note #2 was added to Sheet 4 stating that all parking stall striping shall be double-lined.

11. §22-706.3.G – The Detectable Warning Surface detail shall be revised to specify "brick red".

Response: The DWS Detail on Sheet 13 has been revised to specify brick red, as requested.

12. §22-706.13.A – Guiderail shall be provided along the emergency access due to the steep drop- off adjacent to the roadway.

Response: A majority of the emergency access is located at the toe of slope therefore no guiderail is required. There is a small portion of the emergency access drive where and adjacent slope drops off to the loading dock, a guiderail has been shown as appropriate.

13. §22-708.2.F — Where parking stalls are proposed adjacent to a sidewalk or walkway, the minimum width of the sidewalk or walkway shall be increased to a minimum width of six feet. The sidewalk adjacent to the parking stalls on the northwestern side of the building shall be widened to 6 feet.

Response: The sidewalk adjacent to the parking stalls on the northwestern side of the building has been revised to be 6' wide, refer to Sheet 4.

- 14. §22-708.4.A The following issues related to the Truck Turning Movements plan shall be addressed:
  - a. The plan shall show trucks entering and exiting the access to the cul-de-sac.
    - Response: The Truck Turning Movement Plan has been revised to show trucks entering and exiting the cul-de-sac, refer to Sheet 5.
  - b. Turning templates for WB-62 trucks shall be provided. If WB-62 trucks can be accommodated, remove sign E where appropriate.
    - Response: Turning templates for the WB-62 trucks have been provided on Sheet 5, the proposed signs E have been removed from Sheet 4.
- 15. §22-708.4.B The minimum width for access drives shall be 25 feet. The access drive to the parking spaces along the northwestern side of the building is 24 feet wide and shall be widened to provide the required 25-foot width.

Response: The access drive accessing the parking spaces has been revised to 25' as required, refer to Sheet 4.



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- \$22-708.6.I The minimum radius of curvature within a parking area shall be five feet. The typical curb radii throughout the parking lot shall be noted on the Layout Plan. Response: The curb radii through the parking lot is now noted on the Layout Plan, refer to Sheet 4.
- 17. §22-710 We note that a condition of the variances granted is for the Applicant to comply with all reasonable requirements of the New Britain Township Fire Marshal. We defer to the Township Fire Marshal for review of the plans with respect to water supply, fire hydrant placement, emergency access, etc. The emergency access is proposed to be delineated through a grass paver system and shrub mass along the edges. However, the Applicant's engineer submitted an informal sketch of the proposed building with an additional, conceptual retaining wall along the rear of the building. It appears that this potentially 13' high retaining wall would hinder access to the building during an emergency. There shall be free and clear access to the building from the emergency access drive.

Response: The applicant is proceeding per the layout shown on the Land Development Plans which provides free and clear access to the building from the emergency access drive.

18. §22-710.3.D – Fire lanes shall be designed to have adequate width, radii, and material strength to accommodate and support emergency vehicles. The radii of the center line of the emergency access around the building should be provided. In addition, a template of the fire truck used on the Fire Truck Turning Movements plan shall be provided. The template shall meet the New Britain Fire Truck Standards as attached.

Response: The radii of the centerline of the emergency access around the building is now shown on Sheet 4. The template for the fire truck used is now shown on Sheet 6.

- 19. §22-711.2. The following comments related to E&S controls shall be addressed:
  - a. The limits of disturbance extend around the perimeter of the site and include the wetlands and woodlands areas to remain. The limits of disturbance shall be revised to extend along the perimeter of the natural resources to remain.

Response: The LOD has been revised to not include as much of the woodland area on the northeast side of the property as possible. The LOD has been revised to not include the existing wetland. The LOD boundary on the southwest side of the property has not been revised, as the proposed access drive and existing basins are in this area. The existing basins are to remain as undisturbed as possible, with the only disturbance occurring is grading and changes to outlet control structures. It is difficult to determine how much space will be needed for construction vehicles to grade and make the necessary changes to these basins, so it is our professional opinion that permitting the LOD to the extent of the property line for this section of the property is what's best.

The E&S Plan has also been revised to include a note stating that the construction activities shall only disturb what is absolutely necessary, refer to Sheet 19.

b. The sequence of construction shall be revised to include the retaining wall installation.



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Response: The installation of retaining walls have been added to the construction sequence.

c. Inlet protection shall be provided for Inlet I-5.

Response: Inlet protection has been added for Inlet I-5 and can be found in the ESC Plan, Sheet 19.

d. Inlet protection shall be provided for the outlet structure grates of the existing basins.

Response: A Trash rack has been added to the outlet structure in the existing basin, refer to Sheet 14 for detail and plan view call out on Sheet 9.

e. It appears the topsoil stockpile will block drainage from the eastern side of the building during construction. It may also conflict with the installation of the building pad and roof drains. The stockpile should be relocated, or multiple, smaller piles provided.

Response: The topsoil stockpile has been removed and replaced with 3 smaller topsoil stockpiles in various locations on the site. Please see the revised ESC Plan (Sheet 19), sheet for these locations.

f. The E&S Control Notes include specifications for engineered soils. The plans shall clarify where the engineered soils are specified.

Response: The engineered soils are to be placed at the bottom of the underground MRC basin. Plans have been updated with notes to clarify this.

g. Calculations shall be provided for the rip rap aprons at HW 1, 2, and 3.

Response: Rip-rap apron calculations for HW 1, 2, and 3 have been provided with

this submission.

h. A note shall be added to the sequence of construction requiring the contractor to clean out any accumulated silt within the existing or proposed basins and to permanently stabilize as necessary.

Response: This note has been added to the construction sequence.

- 20. §22-711.3. The following comments related to site grading shall be addressed:
  - a. Based on the top of curb elevation of 298.05 and the proposed 299 contour adjacent to Inlet I-7, the proposed grading exceeds a 3:1 slope and it appears the flow from Channel 1 may overtop the swale and discharge into the parking lot. The grading and retaining wall shall be revised as necessary to ensure the flow remains within the channel.

Response: At a minimum, Channel 1 is 1 foot deep. The channel calcs have been revised to be analyzed the 100-year storm event flow instead of the 25-year storm event flow to determine what the highest flow depth could possibly be. The flow depth produced from this analysis was 0.27 feet. This flow depth meets the required half foot of freeboard and ensures that no stormwater could overflow into the parking lot.

The grading has been revised to meet 3:1 slope requirement, refer to Sheet 7.



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b. The retaining wall on the northwestern side of the building has a maximum height of 9.5 feet. Fall protection shall be provided along the wall.

Response: Fencing above retaining walls is now shown on the Layout Plan (Sheet 4) and the Wall detail on Sheet 17.

c. The area between the emergency access road and the loading dock has a slope of 3:1 with an elevation change of 4 feet. A guide rail should be provided along the emergency access road at this location.

Response: The guiderail is shown on Sheet 4 as requested. A guide rail detail is shown on Sheet 17.

d. Additional spot elevations shall be provided for the driveway entrance at the culde-sac to clarify the grading.

Response: Spot elevations at the driveway entrance are now shown on sheet 7.

e. Spot elevations shall be provided for the dumpster enclosure area. Any sections of depressed curb should be identified as necessary.

Response: Spot elevations at the dumpster enclosure area are now shown on sheet 7.

f. It shall be clarified if a minimum 5-foot curb taper shall be provided on either side of the curb cut along the entrance drive.

Response: A 5' curb taper is shown on Sheet 4.

g. The location of all inlets shall be shown on the Grading Plan.
 Response: Inlets are now shown on the Grading Plan, Sheet 7.

h. Additional labels shall be provided for the existing contours within and around the basins.

Response: Additional control labels are now shown within the basin area.

- §22-711.4.A Based on the current layout, two retaining walls, exceeding 3 feet in height are proposed. Design plans, specifications and details, signed and sealed by a licensed professional engineer, shall be provided for review prior to plan approval. Wall style, finish and color should be coordinated with proposed building architecture. All retaining walls shall have fall protection on vertical elevation changes of 30 inches or greater and depending on the proximity to drives, parking, walkways, maintained landscape area, etc. Response: Based on direction provided after the Planning Commission meeting from the Township Engineer, retaining wall plans are not required prior to Final plan approval and they requested a note specifying retaining wall plan submission prior to construction. A note stating that Retaining wall design plans, specifications, and details, signed and sealed by a professional engineer shall be provided with the Building Permit Application was added as General note 29 on the cover sheet.
- 22. §22-711 The Applicant will be required to secure the necessary NPDES and E&S Control



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permits from the Bucks County Conservation District and the Department of Environmental Protection.

Response: Acknowledged.

§22-715.2.C.(2). – The amount of land to be dedicated for park and recreational areas for nonresidential land developments shall be 2,500 square feet per 4,000 square feet of building area. Based on a building area of 88,250 square feet, 55,156 SF of park and recreation area is required. The area shall be identified on the plan or a fee-in-lieu provided at the discretion of the Board in the amount of \$55,156.25.

Response: The applicant is requesting to provide a fee-in-lieu of in the amount of \$55,156.26.

24. §22-716 – Concrete monuments shall be placed at all property boundary corners, along the right-of-way of Independence Lane and along the existing and proposed easements at any location where markers do not currently exist.

Response: Concrete monuments have been added at all property corners where existing monuments do not exist, refer to Sheet 4. The applicant is requesting a waiver to provide iron pins instead of concrete monuments along existing and proposed easements, refer to the revised waiver request letter included in this submission.

- 25. §22-718 We defer to the North Penn Water Authority (NPWA) for review of the water service connection from the existing main on Independence Lane. A copy of the approved agreement shall be submitted to the Township and our office prior to plan recording.
  Response: Acknowledged.
- 26. §22-720 We note that a Sewage Planning Module Application Mailer has been submitted. A Sewage Facilities Planning Module shall be approved by the Township, Authority, and PADEP prior to final plan approval by the Township.

Response: The Sewage Planning Module Exemption has been sent to PADEP for review. Documentation from DEP regarding the exemption approval will be sent to the Township once received.

27. §22-720 – We defer to the Chalfont-New Britain Township Joint Sewer Authority (CNBJSA) for review of the connection to the force main from Independence Lane. A copy of the approved agreement shall be submitted to the Township and our office prior to plan recording.

Response: Acknowledged.

- E. Stormwater Management Comments
  - 1. §22-712.4.I The minimum freeboard through the emergency spillway shall be one foot. The modification to Basin 1 removes the spillway for the construction of the access driveway. In addition, the Modified Detention Basin 1 notes a 100-year water surface elevation of 292.90 which is higher than the entrance road elevation and may result in stormwater flows into the cul-de-sac and adjacent driveways (TMP# 26-001-100-012). The basin shall be revised to provide storage for the 100-year storm and minimum freeboard of 1 foot.



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Response: An inlet has been added to the lower spot in the access drive to discharge into Existing Basin 1. The curb cut has been removed in this location and an additional inlet is proposed as an alternative to the emergency spillway to avoid discharging over access drive.

2. §22-712.4.Q. – A wet-tolerant seed mix should be specified for the seeding of the disturbed areas within the existing basins.

Response: A wet-tolerant seed mix has been specified for the seeding of the disturbed areas within the existing basins. (See sheet 10)

3. §22-712.4.S.(5) - An emergency overflow weir shall be provided for the outlet structure in order to convey basin inflow in excess of design flows or in the event the outlet structure becomes blocked and is unable to convey the design flow. The minimum capacity of the emergency overflow weir shall be equivalent to the one-hundred-year peak inflow rate for the post-development design storm. The bypass orifice in the MRC Basins shall be modeled with the other orifices blocked to demonstrate they has the capacity to convey the 100-year storm.

Response: The proposed MRC Basins have been modelled with bypass orifices to handle the capacity of the emergency spillway.

4. §22-712.4.S.(7) – As-built plans shall be provided for any underground detention basin to verify it was constructed in accordance with the approved plan prior to backfilling of the basin. A note to this effect shall be included on the record plan and in the sequence of construction.

Response: Notes have been added to step 15 of the sequence of construction.

5. §22-712.13.C – When an applicant retains ownership of any stormwater management facility, such entity shall be responsible for repair and maintenance of the facility. The existing stormwater facilities shall be reviewed to determine if the facilities are functioning properly, in need of maintenance or repair, and being regularly maintained in accordance with the PA BMP Manual.

Response: The applicant is coordinating clearing of the basin so we can inspect the basin and whether this is functioning properly. An inspection report will be provided once available.

- 6. §26-123 The proposed design utilizes the Managed Release Concept (MRC) developed by PADEP to meet the volume control requirement which is permitted for situations where infiltration is infeasible. We note that the proposed managed release concept is subject to PADEP approval. However, the following issues related to the design of the MRC basins should be addressed:
  - a. The soil test pits indicate that the MRC basins do not provide the 1-foot minimum separation between the bottom of the MRC BMP (at the underdrain elevation) and bedrock/ groundwater. The PADEP MRC guidance recommends an additional 1 foot of soil media below the underdrain where the preferred separation does not exist. Response: A foot of soil media has been added to the details below the underdrain of each basin, refer to Sheet 15.



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b. The PADEP guidance for MRC basins states that a composite Curve Number is inadequate for modeling the 1.2 inch/2-hour storm due to the error associated with averaging of initial abstractions for storms less than or equal to the 2-year/24-hour storm.

Response: The HydroCAD input has been revised to calculation separate pervious/impervious runoff (SBUH weighting) composite CN (weighted CN).

c. The stormwater report uses a weighted curve number for the flows to MRC Basins 1 and 2.

Response: The HydroCAD input has been revised to calculation separate pervious/impervious runoff (SBUH weighting) composite CN (weighted CN).

d. Separate hydrographs for the pervious and impervious flows to these basins shall be provided to verify they meet the release rate requirement.

Response: The HydroCAD input has been revised to calculation separate pervious/impervious runoff (SBUH weighting) composite CN (weighted CN).

§26-123.1 The plans propose grading modifications to the existing Stormwater Detention Basin Areas #3 and #4 resulting in less volume within the facilities. The original stormwater report for the existing basins shall be provided to determine if the design included a minimum volume control below the basin outlet structures. If water volume control from the original design is reduced below this requirement by the reduction in basin volume, the proposed design shall include additional volume control to offset this reduction.

Response: Based on conversation with the Township Engineer, this comment does not apply as the stormwater management report for the existing basin is not available and the design volume cannot be verified.

§26-123.2.C.(5)(c) — All open-air infiltration facilities shall be designed to completely infiltrate runoff volume within three days (72 hours) from the start of the design storm. Based on the pond report, Existing Basin 1 has a storage volume of 54,128 CF below the outlet structure grate, indicating that this storage volume will infiltrate over time. However, the infiltration results for Existing Basin 1 reported a 0.00 in/hr infiltration rate. Similarly, this is the case for Existing Basin 2. Additional documentation shall be provided to clarify the dewatering of these basins.

Response: Per direction received from the Township engineer after the review letter issued, we must address the items below prior to <u>final</u> plan approval:

- 1. the existing basins being cleared out of overgrowth,
- 2. an inspection be completed to determine whether or not the basin is functioning properly,
- 3. the basins designed to be modified as necessary to allow draining of the facilities within the require duration and DEP Permitted, and
- stormwater report updated to reflect the actual outlet structure configuration in the facilities and demonstrate compliance with the current stormwater ordinance.

The applicant is coordinating clearing of the basin so we can inspect the basin and determine modifications as required to drain the facility.



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- 9. §26-125.9 The following issues related to the modeling of the design in the stormwater management report shall be addressed:
  - a. The inlet label for the outlet structure in Existing basin 1 lists a 15" RCP at 284.40. This is not modeled in the Pond Report for Existing Basin 1. The 15" RCP invert shall be clarified, and the basin model revised accordingly.
    - Response: The 15" RCP invert shown on the plans is the invert of an incoming 15" RCP from and "upstream" inlet. This invert has no bearing on the HydroCAD model and has been intentionally left out for this reason.
  - b. Existing Basin 2 models two outlet structure grates at an elevation of 283.00. The Existing Conditions/ Demolition Plan notes that this outlet structure is underwater, and no grate or orifice openings are provided. The basin shall be drained sufficiently to determine the size and elevation of all openings in the outlet structure. In addition, the outlet structure should be inspected to determine why Basin 2 is not draining and outlet structure is submerged.
    - Response: The applicant is coordinating clearing of the basin so we can inspect the basin and structures and determine modifications as required to drain the facility.
  - c. The invert elevation of 290.50 for the outlet pipe of MRC Basin 1 is lower than the 100-year water surface elevation of 292.90 in Modified Detention Basin 1. A similar situation occurs between MRC Basin 2 and Modified Detention Basin 2. The outflow from the MRC Basins shall consider the tailwater effect from the downslope basins. Response: Dynamic Routing has been used as the routing option for this project, due to having large stormwater BMP's in series. Dynamic routing automatically used automatic tailwater conditions that use real-time elevation of the downstream pond. No changes have been made based on this comment.
- 10. §26-132 The following discrepancies with the stormwater management design and plans shall be addressed:
  - a. The Typical Front View of Non-Vegetated MRC Basin detail on Sheet 13 does not appear to include the stone over the chambers modeled in the stormwater report. Based on the report, 6 inches of stone should be specified over MRC Basin 1 and 30 inches of stone over MRC Basin 2. The detail and report shall be revised as necessary to clarify the extent of the stone envelope.
    - Response: A note has been added to this detail to specify the depth of rock bed above the media storage. In an MRC Basin, the maximum media storage is 4 feet, so any rock above that, although being the same rock, cannot be considered media storage.
  - b. The elevations of the 3-inch orifice and 18-inch outlet pipe for MRC Basin 2 modeled in the stormwater report shall be verified and coordinated with the elevations provided in the Typical Front View of Non-Vegetated MRC Basin detail on Sheet 13. Response: All items in this comment have been reviewed and revised to show identical information.



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c. The 36"x12" bypass orifice at an elevation of 295.00 for MRC Basin 1 shall be verified and coordinated with the details on Sheet 13 that note an elevation of 294.50.

Response: This bypass orifice has been moved to 294.50' as shown on the detail.

d. The slope of the pipe from Inlet I-4 shall be revised to match the chamber elevation of 283.50 in MRC Basin 2.

Response: The pipe profile has been revised to show the corrected slope, refer to Sheet 11.

e. The Overview of Non-Vegetated MRC Basin 2 detail on Sheet 13 shows 3 roof drain connections, while the Utility Plan shows two connections. In addition, the Utility Plan shows two roof drain connections to MRC Basin 1 which are not shown on the detail. The details shall be revised as necessary to be consistent with the plans.

Response: The Overview of Non-Vegetated MRC Basin 2 has been revised to show

Response: The Overview of Non-Vegetated MRC Basin 2 has been revised to show only two roof drain connections and the Utility plan has been revised to not have any roof drains connecting to MRC Basin 1.

f. Spot elevations and dimensions for the existing basin spillways shall be provided to verify the spillways modeled in the report.

Response: Response: The applicant is coordinating clearing of the basin so we can inspect the basin and structures and determine modifications as required to drain the facility.

g. The details shall clarify how the weir orifice and bypass orifice will be provided for the MRC Basin to prevent stone from entering the structure.

Response: The outlet control structure adjusted to prevent stone from entering the structure.

h. The openings of the 12-inch-high bypass orifices for both MRC basins exceed the height of the stone beds. The bypass orifice shall be revised as necessary to be contained within the stone envelope.

Response: For a Non-Vegetated MRC Basin, there is extremely limited information and criteria. A model that was used by DEP showed a Bypass Orifice similar to the ones modeled in this project where the invert of such orifice was at the stop of the stone bed media. A large orifice, like the ones modeled, would be used to make sure that the WSE does not go far above the top of the media. It is our understanding that these orifices need to stay at the elevations they are. The bypass orifice for MRC Basin 1 has been reduce from 12" to 6" to fit withing the rock bed storage above the rock media storage.

i. The location and number of underdrain pipes and the 10" PVC lateral pipes between chambers shall be shown on the overview layout detail on Sheet 13.

Response: The details have been revised to show the underdrain pipes and underdrain pipe connections.



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11. §26-164.1 – The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with the transfer of ownership and shall be prepared by the Township Solicitor.

Response: Acknowledged.

12. Township Resolution #2022-02 – The Applicant will be required to pay a fee for the proposed onsite BMPs to provide a financial guarantee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMPs. The Applicant's professional shall submit a cost estimate once the design is finalized.

Response: Acknowledged.

- 13. The owner's name listed on the Individual PCSM BMP Information on Sheet 21 is not consistent with the owner information provided on the Cover Sheet and shall be revised. Response: The owner's name has been updated on the PCSM Notes and Details Sheet, which is now Sheet 24.
- F. Landscape and Lighting Comments
  - 1. §22-713.3.C All planting islands and strips shall be underlain by soil, not stone or bituminous material. The stone associated with MRC Basin #1 underlies the planting islands in the parking area. It shall be clarified that there's adequate soil depth in the planting islands to support tree growth.

Response: The proposed trees have been moved outside of islands, refer to sheet 9. The islands above the basin have appropriate soil depth to sustain grass growth.

- §22-713.4.A Street trees shall be planted every 30 feet along all existing streets. Due to the proposed accessway and existing Detention Basin Area #3, the street trees shall be proposed onsite in an informal arrangement.
  - Response: Three street trees are required along the property frontage. Per the latest site visit, it was determined that two healthy Honey Locust trees exist along the existing property frontage. A third tree has been provided elsewhere onsite to satisfy the street tree requirement. (See sheet 10)
- §22-713.5.B(3) Detention/Retention basins require one deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement. Basin perimeter plantings shall be provided around the perimeter of the existing basins where modified and not within the future access easement.

Response: The disturbance within Basin One is entirely within the future access easement, therefore no plantings are proposed around the basin perimeter. Perimeter plantings have been provided for Basin Two at a rate of one deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement. (See sheet 10)



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- 4. §22-713.6.A The location, dimensions, and spacing of required plantings shall be adequate for their proper growth and maintenance. The following comments regarding plant placement shall be addressed:
  - a. Trees and shrubs are proposed within Channel 1 which conflicts with the channel installation instructions provided on Sheet 19. The trees and shrubs shall be relocated as necessary.
    - Response: Trees and shrubs have been relocated out of channel 1. (See sheet 10)
  - b. It appears that the storm pipe from Inlet I-8 and OCS-1 conflict with the proposed parking island trees. We recommend a minimum distance of 10 feet between proposed plantings and all underground utilities. All utilities shall be shown on the landscape plan.
    - Response: Proposed plantings have been relocated to be a minimum distance of 10 feet from all underground utilities. (See sheet 10)
- 5. §27-713.6.D The Landscape Plan shall contain plan notation stating that the applicant is required to maintain and guarantee all plant material until the end of the eighteen-month maintenance period.
  - Response: This note has been added to the Landscape Plan. (See Sheet 10)
- 6. §22-714.1.C Lighting and corresponding illuminance values/statistics are provided for the parking and loading areas. However, illuminance values shall also be shown for the sidewalk along the front of the building to demonstrate that adequate lighting is provided. Response: Illuminance values are now shown for the sidewalk, refer to Sheet 10.
- 7. §22-714.4.A. Manufacturer cut sheets for all proposed lighting shall be provided. **Response: Manufacturer cut sheets have been included in this submission.**
- 8. §22-714.4.B. The Light Foundation detail on Sheet 14 shall specify a minimum distance to curb. We recommend that a minimum distance of 3' to the face of curb be specified to prevent vehicular conflicts.
  - Response: The light Foundation Detail on Sheet 17 has been revised to note that shall be placed a minimum distance of 3' to the face of curb
- 9. §22-714.4.C. The proposed light within the dumpster enclosure shall be verified or relocated.
  - Response: The light within the dumpster area has been relocated, refer to Sheet 10.
- 10. §22-714.7 Illumination levels shall have intensities and uniformity ratios in accordance with current recommended IESNA standards. Nonresidential parking, loading facilities and drives associated with industrial uses shall demonstrate maintained footcandles of 0.4 minimum and a 4:1 Average: Minimum ratio. The statistics for the Truck Dock Area indicated in the Calculation Summary are not in compliance with the above-stated values and shall be revised.
  - Response: The applicant is requesting a partial waiver from this requirement. Refer to waiver request letter included in this submission.



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Should you have any questions or need any additional information, please do not hesitate to contact me at <a href="mailto:kim.fasnacht@rettew.com">kim.fasnacht@rettew.com</a> or on my cell phone at (484)798-9782

Sincerely,

Kim Fasnacht, PMP, LEED AP

Kimbiply M Fasnacut

Project Manager

**Enclosures** 

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3020 Columbia Avenue, Lancaster, PA 17603 ● Phone: (800) 738-8395

E-mail: rettew@rettew.com • Website: rettew.com

August 19, 2022

Mr. Matthew West, Township Manager New Britain Township 207 Park Avenue Chalfont PA 18914 Engineers

Environmental Consultants

Surveyors

Landscape Architects

Safety Consultants

RE: 141 Independence Lane

Preliminary/Final Land Development Plan

Waivers/Modifications/Deferrals

New Britain Township, Bucks County, PA

RETTEW Project No. 111902019

Dear Mr. West:

Please find herein a listing of waivers and deferrals which are requested from the New Britain Township Subdivision and Land Development Ordinance:

- 1. Section 22-403 Preliminary Plan Submission and Review Procedure
  - a. Relief requested: We request a waiver of this section to allow the project to be reviewed as a combined Preliminary/Final Plan.
  - b. Justification: The project will be completed in one phase; all streets are private and will be maintained by the applicant. Sewer and water infrastructure are both private and maintained by the applicant. Stormwater improvements will be provided within the development and will not have any effect on Township's roadways or infrastructure.
- 2. Section 22-502.1.D.10.a Contour lines measured at vertical intervals of two feet, as determined by an on-site field survey, not interpretation of United States Geologic Service (USGS) Maps. The plans shall indicate the benchmark elevation and the location and shall be based on the Chalfont-New Britain Township Joint Sewage Authority vertical datum.
  - a. Relief requested: Waiver from the requirement to use the Chalfont-New Britain Township Joint Sewage Authority Vertical datum.
  - b. Justification: The benchmark elevation is based on NAVD88, which is industry standard.
- 3. Section 22-705.3.G Where a land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1 ½ inches.
  - a. Relief requested: Waiver from the requirement to mill and overlay the entire width of the roadway to a depth of 1 % inches.
  - b. Justification: The abutting streets appear to have base failure that would not be fixed by mill and overlay. Any overlay installed would likely fail prematurely due to the insufficient base, and the 50% contribution required for granting a waiver would be better used towards repairs necessary to improve the base.
- 4. Section 22-505. Community Impact Assessment Report.
  - a. Relief requested: Waiver from providing a Community Impact Assessment Report



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- b. Justification: The proposed development is located on the only remaining developable lot within an existing Industrial Park. As this parcel was already planned to be Industrial and went through the subdivision process when the Industrial Park was initially developed, we are requesting a waiver from providing the Community Impact Assessment Report.
- 5. Section 22-716.2.D Requiring Concrete monuments placed at the beginning and end of all easements, including changes in direction of easement.
  - a. Relief requested: Waiver to provide concrete monuments at all easements.
  - b. Justification: The applicant is requesting as a modification to allow iron pins to be set at the beginning and end of all easements including changes in direction of easement due to the location and number of required monuments to be set.
- 6. Section 22-705.3.A— Requiring grass strip between curb and sidewalk.
  - a. Relief requested: Waiver from providing 3–6-foot grass strip between the curb.
  - b. Justification: The applicant is requesting as a waiver from the requirement to provide a 3-6 foot grass strip between the existing curbing and the proposed sidewalk in the cult-desac. Elimination of the grass strip would keep the sidewalk and grading in the proposed right-of-way and eliminate further encroachment into the existing basin.
- 7. Section 22-714.7 Illumination levels shall have intensities and uniformity ratios in accordance with current recommended IESNA standards. Nonresidential parking, loading facilities and drives associated with industrial uses shall demonstrate maintained footcandles of 0.4 minimum and a 4:1 Average: Minimum ratio.
  - a. Relief requested: Partial waiver to allow an Average: Minimum ratio exceeding 4:1 in the Truck loading Dock Area. The proposed Average: minimum ratio is 21.60:1.
  - b. Justification: Without raising the pole height above the maximum 20' allowable by ordinance requirement and causing light to spill over the property line the loading dock area is unable to achieve the minimum ratio. The proposed lighting levels are sufficient for loading dock operations.

Should you have any questions or need any additional information, please do not hesitate to contact me at <a href="mailto:kim.fasnacht@rettew.com">kim.fasnacht@rettew.com</a> or on my cell phone at (484)798-9782

Sincerely,

Kim Fasnacht, PMP, LEED AP

Kimbiply M Fasnacht

**Project Manager** 

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# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN 141 INDEPENDENCE LANE NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

# GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY RETTEW ASSOCIATES INC. IN DECEMBER 2021
- BENCHMARK: MAG NAIL SET IN MACADAM CUL-DE-SAC.
- 📭 a.DATUM: NAVD 88
- b.ELEV.: 292.69 BASIS OF BEARINGS IS PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, PA SOUTH ZONE, NAD 83-2011
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, PA ONE CALL UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. PA ONE CALL NOTIFICATION SERIAL NUMBER IS 20213472396, DATED DECEMBER 13, 2021. (RETTEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE)
- EASEMENT.
- NOTHING EXCEPT EROSION CONTROL AND/OR STORM WATER MANAGEMENT FACILITIES SHALL BE PLACED, PLANTED, OR PUT WITHIN THE AREA OF A
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. ALL UTILITIES HAVE BEEN IDENTIFIED BASED ON THE BEST AVAILABLE INFORMATION AND LISTED ON THESE PLANS IN ACCORDANCE WITH ACT 187 REQUIREMENTS THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR. (RETTEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT
- THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHT-OF-WAY WHILE ENTERING AND LEAVING THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE
- THERE SHALL BE NO CHANGES OR DEVIATION FROM THESE PLANS UNLESS APPROVED BY THE TOWNSHIP ENGINEER. SUCH PLAN CHANGES, SHOULD THEY BECOME NECESSARY, ARE SUBJECT TO MUNICIPAL ORDINANCES.
- D. THE CONTRACTOR SHALL INSPECT EXISTING SITE/PROJECT AREA CONDITIONS AND VERIFY ALL DIMENSIONS, QUANTITIES AND MATERIALS PRIOR TO
- THE DEVELOPER OR THE SUCCESSIVE LAND OWNER. NEW BRITAIN TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME; REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION; AUTHORIZE MAINTENANCE TO BE DONE; AND LIEN ALL COST OF THE WORK AGAINST THE PROPERTIES OF THE OWNER RESPONSIBLE FOR
- . THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL PAVEMENT MARKINGS, STREET SIGNS, TRAFFIC DIRECTIONAL AND CONTROL SIGNS SHOWN ON THIS PLAN IN ACCORDANCE WITH APPLICABLE STATE OR MUNICIPAL REGULATIONS AND SPECIFICATIONS. ALL SIGNAGE SHALL BE CONSISTENT WITH EXISTING SIGNAGE WITHIN NEW BRITAIN TOWNSHIP.
- 3. NEW BRITAIN TOWNSHIP SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR THE PUBLIC
- 4. ANY FURTHER EXPANSION OF THE SITE WOULD REQUIRE THE FILING OF A REVISED LAND DEVELOPMENT PLAN.
- 5. CONSTRUCTION OVERSIGHT OF THE INSTALLATION OF THE STORMWATER MANAGEMENT FACILITY IS REQUIRED BY A QUALIFIED PROFESSIONAL GEOLOGIST REGISTERED IN THE COMMONWEALTH PENNSYLVANIA.
- S. AFTER CONSTRUCTION, THE OWNER SHALL MONITOR THE SITE FOR POTENTIAL SINKHOLE ACTIVITY. IN THE EVENT THAT A SINKHOLE OCCURS, THE OWNER SHALL IMMEDIATELY CONTACT THE TOWNSHIP AND ARRANGE FOR A QUALIFIED PROFESSIONAL GEOLOGIST REGISTERED IN THE COMMONWEALTH PENNSYLVANIA TO MAKE THE APPROPRIATE REMEDIATION.
- . A "SITE EVALUATION FOR STORMWATER INFILTRATION" REPORT DATED 01/07/2022, WAS PREPARED BY RETTEW ASSOCIATES.
- B. THE STORMWATER MANAGEMENT AGREEMENT RECORDED AS PART OF THIS PLAN, FURTHER INDICATES THE REQUIRED RESPONSIBILITIES OF OWNERSHIF
- AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES. 9. THE DEVELOPER SHALL BE RESPONSIBLE FOR COMPLETING A RECORD SURVEY OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE RECORD SURVEY AND EXPLANATION OF ANY DISCREPANCIES WITH THE DESIGN PLANS SHALL BE
- SUBMITTED TO THE TOWNSHIP OR ITS DESIGNEE FOR FINAL APPROVAL. O. THIS PLAN WAS DESIGNED UNDER THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE OF 1995, THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND
- DEVELOPMENT ORDINANCE OF 2002 AND THE NEW BRITAIN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, ADOPTED MAY 7, 2014, ORDINANCE
- 21. ANY/ALL SIGNAGE WILL ULTIMATELY NEED TO BE APPROVED BY THE NEW BRITAIN TOWNSHIP ZONING OFFICER.
- 22. DEVELOPER SHALL CONTACT THE INSPECTING ENGINEER TO COORDINATE THE CONSTRUCTION OBSERVATION SCHEDULE AND RELATED DETAILS. 23. THE APPLICANT MUST SCHEDULE CONSTRUCTION INSPECTIONS FOR ALL STORMWATER MANAGEMENT FACILITIES WITH THE TOWNSHIP.
- 24. AT THE COMPLETION OF THE PROJECT, AND AS PREREQUISITE FOR THE RELEASE OF THE FINANCIAL SECURITY, THE APPLICANT SHALL PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT SWM FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS AND APPROVED REVISIONS THERETO.
- 25. UPON RECEIPT OF THE CERTIFICATE OF COMPLETION, AND PRIOR TO RELEASE OF THE REMAINING FINANCIAL SECURITY THE TOWNSHIP SHALL CONDUCT A FINAL INSPECTION TO CERTIFY COMPLIANCE WITH THIS ORDINANCE.
- 26. A WETLANDS INVESTIGATION WAS COMPLETED ON 9/14/2021, NO STREAMS WERE FOUND, BUT ONE WETLAND WAS PRESENT ON SITE.
- 27. A BLANKET EASEMENT IS HEREBY GRANTED TO THE TOWNSHIP AND THEIR REPRESENTATIVES TO PERFORM REQUIRED INSPECTIONS AND MAINTENANCE OF STORMWATER CONVEYANCE, DETENTION/RETENTION, AND ALL OTHER ASSOCIATED STORMWATER IMPROVEMENTS.
- 28. THE ACCESS DRIVEWAY WILL NEED TO BE MODIFIED IN ORDER TO ACCOMMODATE THE INSTALLATION OF THE NEW STREET IF AND WHEN
- CONSTRUCTED THROUGH THE EXISTING 50' WIDE ROAD RIGHT-OF-WAY EASEMENT. 29. RETAINING WALL DESIGN PLANS, SPECIFICATIONS, AND DETAILS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER SHALL BE PROVIDED WITH THE

### BUILDING PERMIT APPLICATION. CONSTRUCTION NOTES

- HE FOLLOWING NOTES PERTAIN TO ALL PROPOSED CONSTRUCTION METHODS, MATERIALS, STRUCTURES AND FACILITIES WITHIN NEW BRITAIN TOWNSHIP. HESE CONSTRUCTION NOTES, IN A SIMILAR FORMAT, MUST BE PROVIDED ON THE RECORD PLAN. THE APPLICANT SHOULD MODIFY THE CONSTRUCTION NOTES OR PROVIDE ADDITIONAL NOTES, AS NECESSARY, WHEN THE DESIGN METHODS AND STANDARDS ARE NOT SPECIFICALLY STATED. IN NEW BRITAIN TOWNSHIP'S ZONING OR SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, THE FOLLOWING SHALL APPLY TO ALL CONSTRUCTION ACTIVITIES.
- 1. ALL CONSTRUCTION METHODS AND MATERIALS MUST COMPLY WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408,
- 2. ALL PROPOSED STRUCTURES AND FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 72, "ROAD CONSTRUCTION STANDARDS", LATEST REVISION.
- ALL PROPOSED STREETS, ACCESS DRIVES, DRIVEWAYS AND UTILITIES SHALL COMPLY WITH THE PENNSYLVANIA CODE, TITLE 67, CHAPTER 441, "ACCESS TO AND OCCUPANCY OF HIGHWAYS BY DRIVEWAYS AND LOCAL ROADS", AND CHAPTER 459, "OCCUPANCY OF HIGHWAYS BY UTILITIES",
- 4. ALL PROPOSED STRUCTURES AND FACILITIES MUST COMPLY WITH THE AMERICANS WITH DISABILITY ACT, "ACCESSIBILITY GUIDELINES FOR BUILDINGS
- 5. ALL PROPOSED WATER AND SEWER FACILITIES MUST COMPLY WITH THE STANDARDS AND POLICIES OF THE APPLICABLE WATER AUTHORITY, SEWER AUTHORITY, SEWER AUTHORITY, BUCKS COUNTY HEALTH DEPARTMENT, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND NEW
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION ACTIVITIES ARE PERFORMED IN ACCORDANCE WITH THE STANDARDS
- AND POLICIES OF THE BUCKS COUNTY CONSERVATION DISTRICT. 7. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION ACTIVITIES ARE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND POLICIES OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- 8. ALL CONTRACTS SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES AND COMPLYING WITH THE PENNSYLVANIA ACT 38 AND ACT
- 9. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 10. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, No. 287, 12/10/72, AS AMENDED 12/12/86, P.L. 1574, No. 172. CONTRACTOR MUST NOTIFY PA-1 CALL SYSTEM, INC. 3 DAYS PRIOR TO CONSTRUCTION. 11. CONTRACTOR SHALL NOT ENCROACH ONTO ABUTTING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED IN AREAS WHERE GRADING WILL ENCROACH WITHIN 5

FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCROACHMENT ONTO ADJACENT

12. NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN 2.5 HORIZONTAL TO 1 VERTICAL

NEW BRITAIN TOWNSHIP ENGINEER REVIEW CERTIFICATION

REVIEWED BY THE NEW BRITAIN TOWNSHIP ENGINEER

TOWNSHIP ENGINEER

	PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE PA MUNICIPALITIES PLANNING CODE.
ı	CERTIFIED THIS DATE:

# **CERTIFICATIONS**

CERTIFICATION OF SURVEY ACCURACY I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

# CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NEW BRITAIN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

STORM WATER MANAGEMENT PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE NEW BRITAIN TOWNSHIP STORM WATER MANAGEMENT ORDINANCE

### WETLAND DELINEATION CERTIFICATION

MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE WETLAND RELATED INFORMATION CONTAINED ON THIS PLAN IS TRUE AND CORRECT AND HAS BEEN DELINEATED IN ACCORDANCE WITH ACCEPTED WETLAND DELINEATION PRACTICES BASED ON THE 2087 WETLAND DELINEATION MANUAL AND IS IN CONFORMANCE WITH CHAPTER 105 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL RESOURCES.

# (NAME) CERTIFIED PROFESSIONAL WETLAND SCIENTIST

# **CORPORATION**

COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUCKS

\_\_, 20\_\_ BEFORE ME, THE UNDERSIGNED OFFICER. \_ DAY OF \_\_\_\_ PERSONALLY APPEARED BEING A MEMBER OF 180 NEW BRITAIN BLVD MANAGER, LLC, THE MANAGER OF 180 NEW BRITAIN BLVD ASSOCIATES, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE

LIMITED LIABILITY COMPANY IS THE FEE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE LIMITED LIABILITY COMPANY, THAT THE PLAN IS THE ACT AND DEED OF THE LIMITED LIABILITY COMPANY, THAT THE LIMITED LIABILITY COMPANY DESIRES THE SAME TO BE RECORDED, AND ON BEHALF OF THE LIMITED LIABILITY COMPANY FURTHER ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

# (TITLE) (SIGNATURE) (NOTARY PUBLIC)

STORM WATER MANAGEMENT FACILITIES CERTIFICATION

A STATEMENT, SIGNED BY THE FACILITY OWNER, ACKNOWLEDGING THAT THE STORMWATER FACILITIES AND

BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE MUNICIPALITY.

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR BUCKS COUNTY, PENNSYLVANIA, IN SUBDIVISION PLAN BOOK \_\_\_\_\_, VOLUME \_\_\_\_\_ \_\_\_\_\_\_ WITNESS MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF

NEW BRITAIN TOWNSHIP'S BOARD OF SUPERVISORS FINAL PLAN APPROVAL CERTIFICATE

THIS PLAN WAS APPROVED BY THE NEW BRITAIN BOARD OF SUPERVISORS THIS \_\_\_\_ DAY

# EQUITABLE OWNER/DEVELOPER

101 INDEPENDENCE LANE ASSOCIATES, LLC GABE CLARK, PARTNER ONE TOWER BRIDGE 100 FRONT STREET, SUITE 560

141 REALTY, LP INST. 2014066017

# SITE DATA

# SITE CAPACITY CALCULATIONS

	AREA (AC)
GROSS SITE AREA DETERMINED BY ACTUAL ON-SITE SURVEY	7.071
EXISTING STREETS ULTIMATE RIGHTS-OF-WAY	0
EXISTING UTILITY ULTIMATE RIGHTS-OF-WAY OR EASEMENT	1.30*
EXISTING PRESERVATION EASEMENTS	0
LAND NOT CONTIGUOUS	0
LAND SHOWN ON PREVIOUS SUBDIVISION RESERVED FOR OPEN SPACE, PROTECTION, ECT	0
LAND IN A DIFFERENT ZONING DISTRICT FROM PRIMARY USE	0
100% PROTECTED NATURAL RESOURCES	0.04
BASE SITE AREA	5.731
*PORTIONS OF THE STORMWATER MANAGEMENT, DRIVEWAY AND ROAD RIGHT-OF-WAY EASEMENT OVERLAP THER TOTAL EXISTING EASEMENT CALCULATION, DIFFERS FROM THE INDIVIDUAL TOTALS TO ACCOUNT FOR THE OVERLAP	•

• • • • • • • • • • • • • • • • • • • •		
ZONING DATA 10 - INDUSTRIAL OFFICE	REQUIRED	PROPOSED
MINIMUM LOT AREA	3 ACRES	5.731 ACRES
MINIMUM LOT WIDTH	200 FT.	556 FT.
MINIMUM LOT DEPTH	200 FT.	356 FT.
FRONT BUILDING SETBACK	50 FT.	131 FT.
SIDE BUILDING SETBACK	25 FT.	100 FT.
REAR BUILDING SETBACK	50 FT.	62 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	42 FT.*
MAXIMUM BUILDING COVERAGE	50%	35.41%
MAXIMUM IMPERVIOUS COVERAGE	65%	63.82%
REQUIRED PARKING		

- \*\*\* VARIANCE GRANTED 04/21/22 ALLOWING PAVED AREAS WITHIN 20' FROM EXTERIOR STRUCTURAL
- WALL OF AN INDUSTRIAL BUILDING.

BASE SITE AREA

# BASE SITE CALCULATIONS

- 1. GROSS SITE AREA AS DETERMINED BY AN ON-SITE BOUNDARY SURVEY 7.071 ACRES 2. SUBTRACT LAND WITHIN THE ULTIMATE RIGHT-OF-WAY OF EXISTING ROADS; - 1.300 ACRES WITHIN EXISTING UTILITY RIGHTS-OF-WAY OR EASEMENTS; AND/OR WHICH HAS BEEN PRESERVED THROUGH EASEMENT OR OTHER MEANS.
- UNAVAILABLE FOR BUILDING PURPOSES. 4. SUBTRACT LAND WHICH, IN A PREVIOUSLY APPROVED SUBDIVISION, WAS SET ASIDE, RESERVED, AND/OR RESTRICTED FOR OPEN SPACE, NATURAL RESOURCE
- PROTECTION, AND/OR RECREATION PURPOSES. 5. SUBTRACT LAND USED FOR ANOTHER USE (I.E. LAND WHICH IS USED OR TO BE USED, FOR COMMERCIAL OR INDUSTRIAL USES IN A RESIDENTIAL DEVELOPMENT)

	RATIO	(AC)	PROTECTION LAND (AC)	PROTECTIO LAND (AC
WATERCOURSES	1.0	0.00	0.00	0.00
RIPARIAN BUFFER	1.0	0.00	0.00	0.00
FLOODPLAIN	1.0	0.00	0.00	0.00
FLOODPLAIN (ALLUVIAL) SOILS	1.0	0.00	0.00	0.00
WETLANDS	1.0	0.04	0.04	0.04
LAKES OR PONDS	1.0	0.00	0.00	0.00
WETLANDS MARGINS	0.80	0.16	0.13	0.13
WOODLANDS	0.50	1.31	0.655	0.675
STEEP SLOPES 8-15%	0.60	0.00*	0.00*	0.00*
STEEP SLOPES 15-25%	0.70	0.00*	0.00*	0.00*
STEEP SLOPES 25% OR MORE	0.85	0.00*	0.00*	0.00*
TOTAL LAND WITH RESOURCE REST	RICTIONS	1.	51	
		_		

TOTAL LAND WITH 1.00 PROTECTION RATIO 0.04 TOTAL RESOURCE PROTECTION LAND REQUIRED 0.825 TOTAL RESOURCE PROTECTION LAND PROVIDED 0.845 TOTAL DISTURBED RESOURCES

- NET BUILDABLE SITE AREA = BASE AREA REQUIRED OPEN SPACE = 5.771 0.04 = 5.731 AC
- INCLUDED IN THE NATURAL RESOURCE CALCULATIONS.

# SOURCE OF TITLE

5.771 ACRES

PARCEL ID 26-001-100-011 P.B. 256, PG. 28, LOT 15

WEST CONSHOHOCKEN, PA 19428

LOT AREA	5.731 ACRES
EXISTING USE	VACANT
PROPOSED USE	K3 WAREHOUSE (PERMITTED BY RIGHT)
TOTAL NO. OF LOTS	1 (EXISTING)
PROPOSED WATER SUPPLY	PUBLIC
SANITARY SEWER SERVICE	PUBLIC

	AREA (AC)
GROSS SITE AREA DETERMINED BY ACTUAL ON-SITE SURVEY	7.071
EXISTING STREETS ULTIMATE RIGHTS-OF-WAY	0
EXISTING UTILITY ULTIMATE RIGHTS-OF-WAY OR EASEMENT	1.30*
EXISTING PRESERVATION EASEMENTS	0
LAND NOT CONTIGUOUS	0
LAND SHOWN ON PREVIOUS SUBDIVISION RESERVED FOR OPEN SPACE, PROTECTION, ECT	0
LAND IN A DIFFERENT ZONING DISTRICT FROM PRIMARY USE	0
100% PROTECTED NATURAL RESOURCES	0.04
BASE SITE AREA	5.731
*PORTIONS OF THE STORMWATER MANAGEMENT, DRIVEWAY AND ROAD RIGHT-OF-WAY EASEMENT OVE	•

ZONING DATA	10 - INDUSTRIAL OFFICE	REQUIRED	PROPOSED
MINIMUM LOT AREA		3 ACRES	5.731 ACRES
MINIMUM LOT WIDTH		200 FT.	556 FT.
MINIMUM LOT DEPTH		200 FT.	356 FT.
RONT BUILDING SETBACK		50 FT.	131 FT.
SIDE BUILDING SETBACK		25 FT.	100 FT.
REAR BUILDING SETBACK		50 FT.	62 FT.
MAXIMUM BUILDING HEIGHT		35 FT.	42 FT.*
MAXIMUM BUILDING COVERAGE		50%	35.41%
MAXIMUM IMPERVIOUS COVERAG	E	65%	63.82%

- VARIANCE GRANTED 04/21/22 ALLOWING PARKING AT LESS THAN ONE SPACE PER 500 SF

- 3. SUBTRACT LAND WHICH IS NOT CONTIGUOUS, I.E.: (A) A SEPARATE PARCEL WHICH DOES NOT ABUT OR ADJOIN, NOR SHARE
- 0.000 ACRES COMMON BOUNDARIES WITH, THE REST OF THE DEVELOPMENT; AND/OR (B) LAND WHICH IS CUT OFF FROM THE MAIN PARCEL BY A ROAD, RAILROAD, 0.000 ACRES EXISTING LAND USE, AND/OR MAJOR STREAM, SO AS TO SERVE AS A MAJOR BARRIER TO COMMON USE AND/OR SO THAT IT IS ISOLATED AND
- 0.000 ACRES
- 0.000 ACRES OR LOCATED IN A DIFFERENT ZONING DISTRICT THAN THE REST OF THE DEVELOPMENT

# NATURAL RESOURCE CALCULATIONS

NATURAL RESOURCES	PROTECTION RATIO	LAND IN RESOURCES (AC)	REQUIRED RESOURCE PROTECTION LAND (AC)	PROVIDED RESOURCE PROTECTION LAND (AC)
WATERCOURSES	1.0	0.00	0.00	0.00
RIPARIAN BUFFER	1.0	0.00	0.00	0.00
FLOODPLAIN	1.0	0.00	0.00	0.00
FLOODPLAIN (ALLUVIAL) SOILS	1.0	0.00	0.00	0.00
WETLANDS	1.0	0.04	0.04	0.04
LAKES OR PONDS	1.0	0.00	0.00	0.00
WETLANDS MARGINS	0.80	0.16	0.13	0.13
WOODLANDS	0.50	1.31	0.655	0.675
STEEP SLOPES 8-15%	0.60	0.00*	0.00*	0.00*
STEEP SLOPES 15-25%	0.70	0.00*	0.00*	0.00*
STEEP SLOPES 25% OR MORE	0.85	0.00*	0.00*	0.00*
TOTAL LAND WITH RESOURCE RES	STRICTIONS	1.51		

OPEN SPACE = THE TOTAL OF RESOURCE PROTECTION LAND WITH A 1.00 PROTECTION RATIO = 0.04

\* THERE ARE MANMADE SLOPES GREATER THAN 8% ON SITE BUT DUE TO THE SLOPES BEING MANMADE THEY ARE NOT

# ZONING – VARIANCE

1. SECTION 27-1802.a. - TO PERMIT THE PROPOSED BUILDING TO BE 42 FEET

GRANTED: PUBLIC HEARING ON APRIL 21, 2022; SEE CONDITIONS BELOW.

2. SECTION 27-2901.K. - TO PERMIT NO LESS THAN 53 OFF-STREET PARKING SPACES ON THE PROPERTY IN CONNECTION WITH A WAREHOUSE USE (K3) ONT

GRANTED: PUBLIC HEARING ON APRIL 21, 2022; SEE CONDITIONS BELOW. 3. SECTION 27-2904.q.5. - TO PERMIT THE PAVED AREAS OF THE FRONT PARKING LOT TO BE 9.3 FEET FROM EXTERIOR FRONT STRUCTURAL WALL OF THE

- GRANTED: PUBLIC HEARING ON APRIL 21, 2022; SEE CONDITIONS BELOW. THE RELIEF GRANTED ABOVE IS SUBJECT TO THE FOLLOWING CONDITIONS:
- AND APPEARANCE SHALL BE IN ACCORDANCE WITH AMENDED DEFINITIVE PLANS (EXHIBITS A-5 AND A-6), REPRESENTATIONS, EXHIBITS AND CREDIBLE TESTIMON MADE AND SUBMITTED AT THE HEARING.
- 2. THE APPLICANT SHALL PROVIDE A MINIMUM OF 53 OFF-STREET PARKING SPACE
- 3. THE PLAN FOR THE PROPOSED NON-RESIDENTIAL BUILDING SHALL BE DESIGNED SO AS TO COMPLY WITH ALL THE REASONABLE REQUIREMENTS OF THE NEW BRITAIN TOWNSHIP FIRE MARSHAL
- 4. THIS DECISION DOES NOT WAIVE ANY REQUIREMENTS OF ANY OTHER APPLICABLE NEW BRITAIN TOWNSHIP ORDINANCE(S); AND THE PROPOSED USE(S) AN/OR IMPROVEMENT(S) MUST MEET ALL OTHER APPLICABLE FEDERAL, STATE, COUNTY AND NEW BRITAIN TOWNSHIP REGULATIONS AND CODES.

# IMPERVIOUS SURFACE CALCULATION

BASE SITE AREA 5.731 ACRES

MULTIPLY BY MAXIMUM IMPERVIOUS SURFACE RATIO X 0.65

MAXIMUM PERMITTED IMPERVIOUS SURFACE = 3.725 ACRES (162,267 S.F.) PROPOSED IMPERVIOUS SURFACE=3.658 ACRES (159,379 S.F.)

BUILDING = 88,250 S.FSIDEWALK = 1,663 S.F.

LOADING DOCK AND DUMPSTER AREA = 15,890 S.F. PAVING = 53,576 S.F.

# TOTAL= 159,379 S.F. REQUESTED WAIVERS

- 1. SECTION 22-403 PRELIMINARY PLAN SUBMISSION AND REVIEW PROCEDURE a. RELIEF REQUESTED: WE REQUEST A WAIVER OF THIS SECTION TO ALLOW THE
- PROJECT TO BE REVIEWED AS A COMBINED PRELIMINARY/FINAL PLAN. 2. SECTION 22-502.1.D.10.A - CONTOUR LINES MEASURED AT VERTICAL INTERVALS OF TWO FEET. AS DETERMINED BY AN ON-SITE FIELD SURVEY. NOT INTERPRETATION OF UNITED STATES GEOLOGIC SERVICE (USGS) MAPS. THE PLANS SHALL INDICATE THE BENCHMARK ELEVATION AND THE LOCATION AND SHALL BE BASED ON THE CHALFONT-NEW BRITAIN
- TOWNSHIP JOINT SEWAGE AUTHORITY VERTICAL DATUM. a. RELIEF REQUESTED: WAIVER FROM THE REQUIREMENT TO USE THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE AUTHORITY VERTICAL DATUM. 3. SECTION 22-705.3.G - WHERE A LAND DEVELOPMENT ABUTS OR CONTAINS AN EXISTING
- STREET, THE APPLICANT SHALL BE REQUIRED TO MILL AND OVERLAY THE ENTIRE WIDTH OF THE ROADWAY A DEPTH OF 1 1/2 INCHES. a. RELIEF REQUESTED: WAIVER FROM THE REQUIREMENT TO MILL AND OVERLAY THE ENTIRE WIDTH OF THE ROADWAY TO A DEPTH OF 1 1/2 INCHES.
- 4. SECTION 22-505. COMMUNITY IMPACT ASSESSMENT REPORT. a. RELIEF REQUESTED: WAIVER FROM PROVIDING A COMMUNITY IMPACT ASSESSMENT 5. SECTION 22-716.2.D - REQUIRING CONCRETE MONUMENTS PLACED AT THE BEGINNING

AND END OF ALL EASEMENTS, INCLUDING CHANGES IN DIRECTION OF EASEMENT.

- a. RELIEF REQUESTED: WAIVER TO PROVIDE CONCRETE MONUMENTS AT ALL EASEMENTS. 6. SECTION 22-705.3.A- REQUIRING GRASS STRIP BETWEEN CURB AND SIDEWALK. a. RELIEF REQUESTED: WAIVER FROM PROVIDING 3-6-FOOT GRASS STRIP BETWEEN THE CURB AND SIDEWALK.
- RATIOS IN ACCORDANCE WITH CURRENT RECOMMENDED IESNA STANDARDS. NONRESIDENTIAL PARKING, LOADING FACILITIES AND DRIVES ASSOCIATED WITH INDUSTRIAL USES SHALL DEMONSTRATE MAINTAINED FOOTCANDLES OF 0.4 MINIMUM AND A 4:1 AVERAGE: MINIMUM RATIO.

7. SECTION 22-714.7 - ILLUMINATION LEVELS SHALL HAVE INTENSITIES AND UNIFORMITY

a. RELIEF REQUESTED: PARTIAL WAIVER TO ALLOW AN AVERAGE: MINIMUM RATIO EXCEEDING 4:1 IN THE TRUCK LOADING DOCK AREA LICT OF DDAWINGS RDED

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24 OF 25. . . . . . PCSM NOTES & DETAILS

25 OF 25. . . . . . PCSM DETAILS

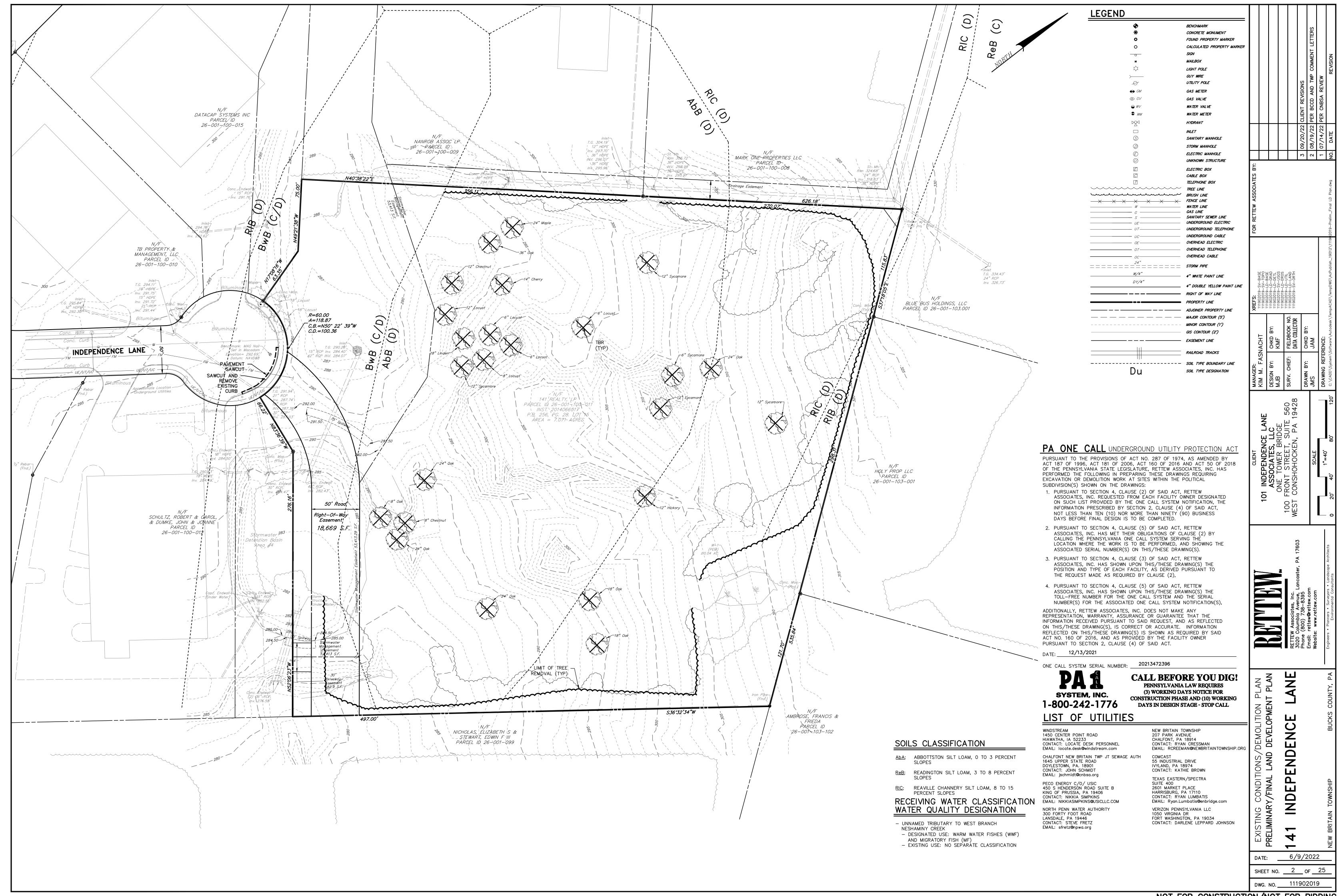
LOCATION MAP

1. THE PROPERTY'S AND THE PROPOSED BUILDING'S DIMENSIONS, SIZE, LOCATION

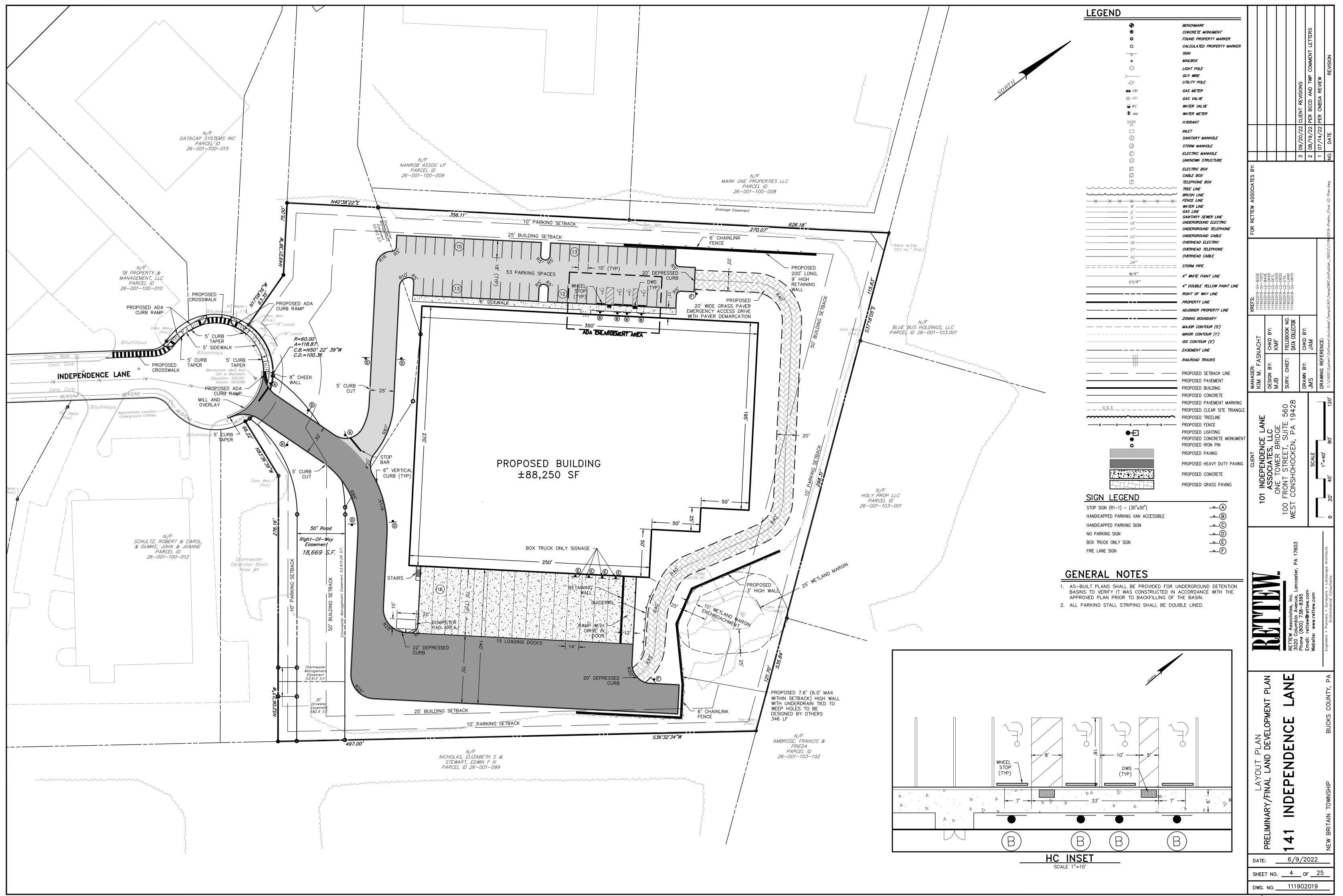
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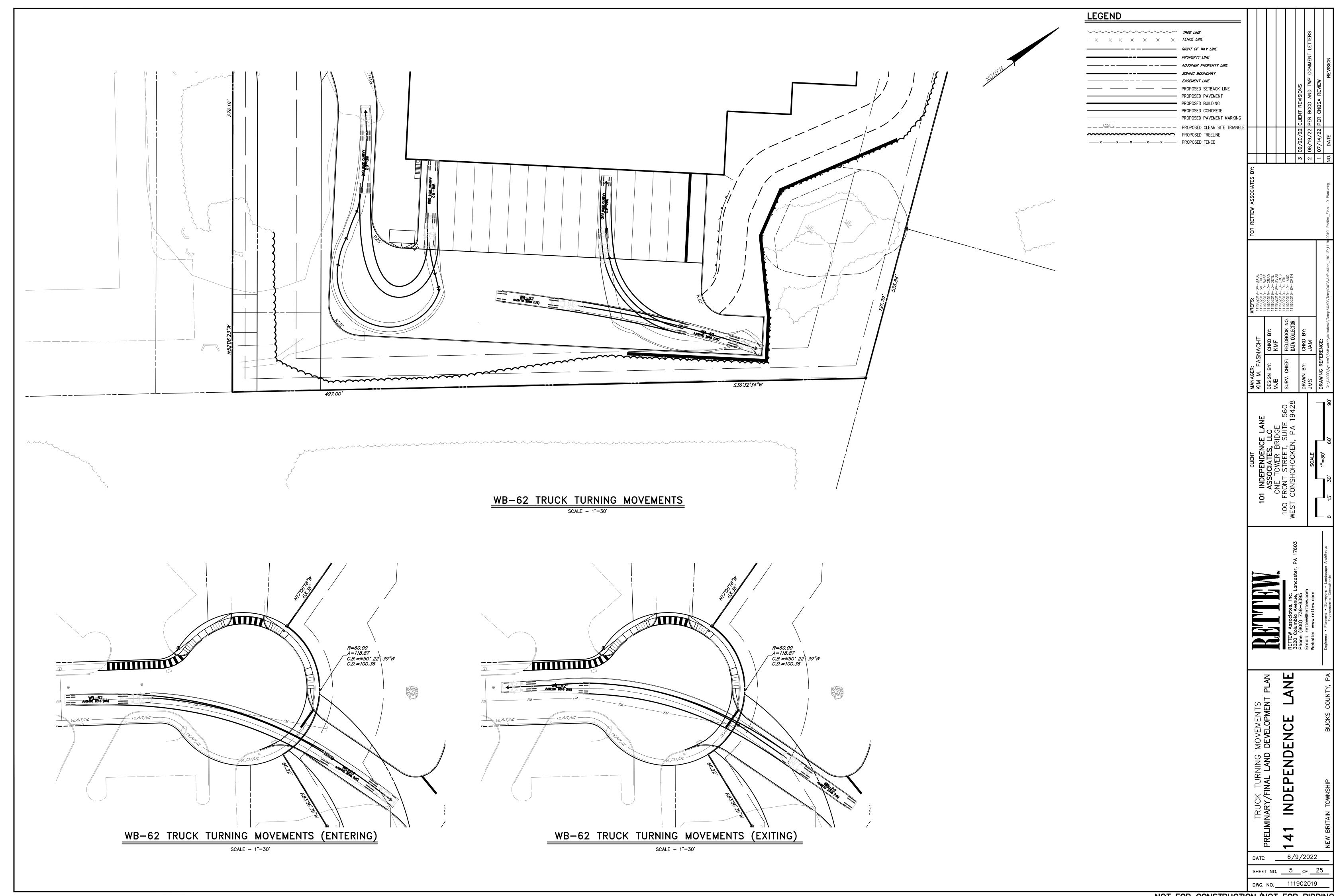
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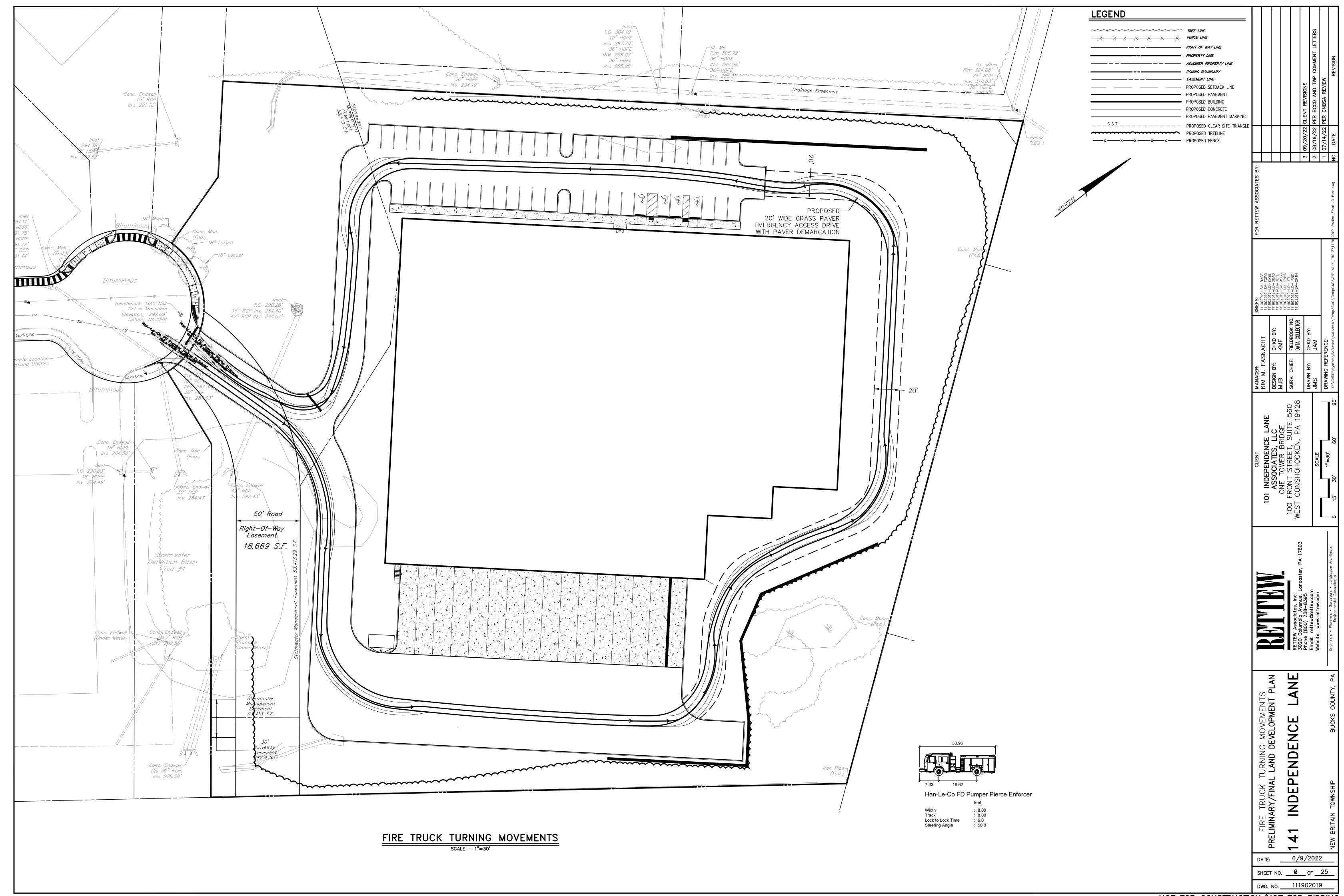
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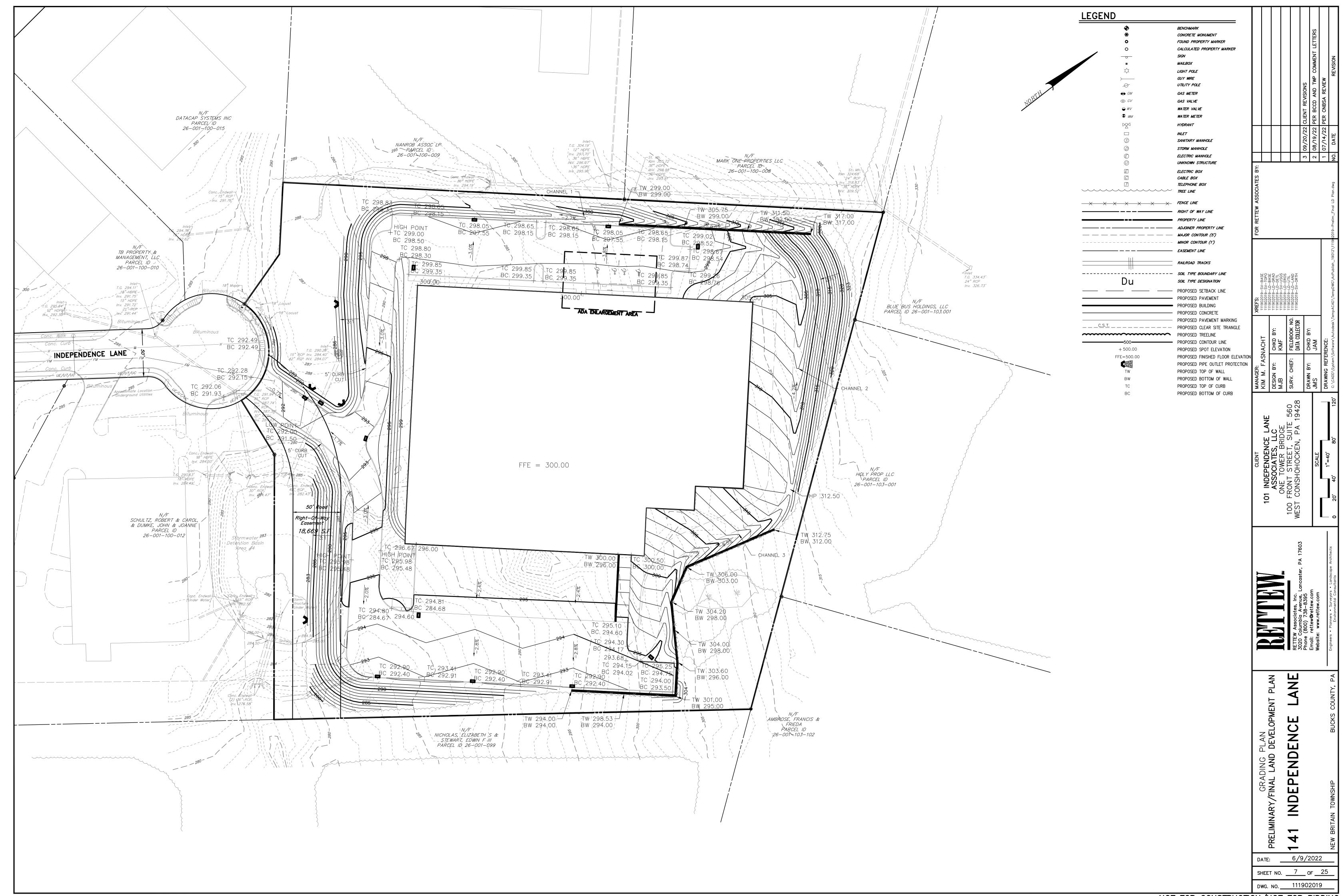


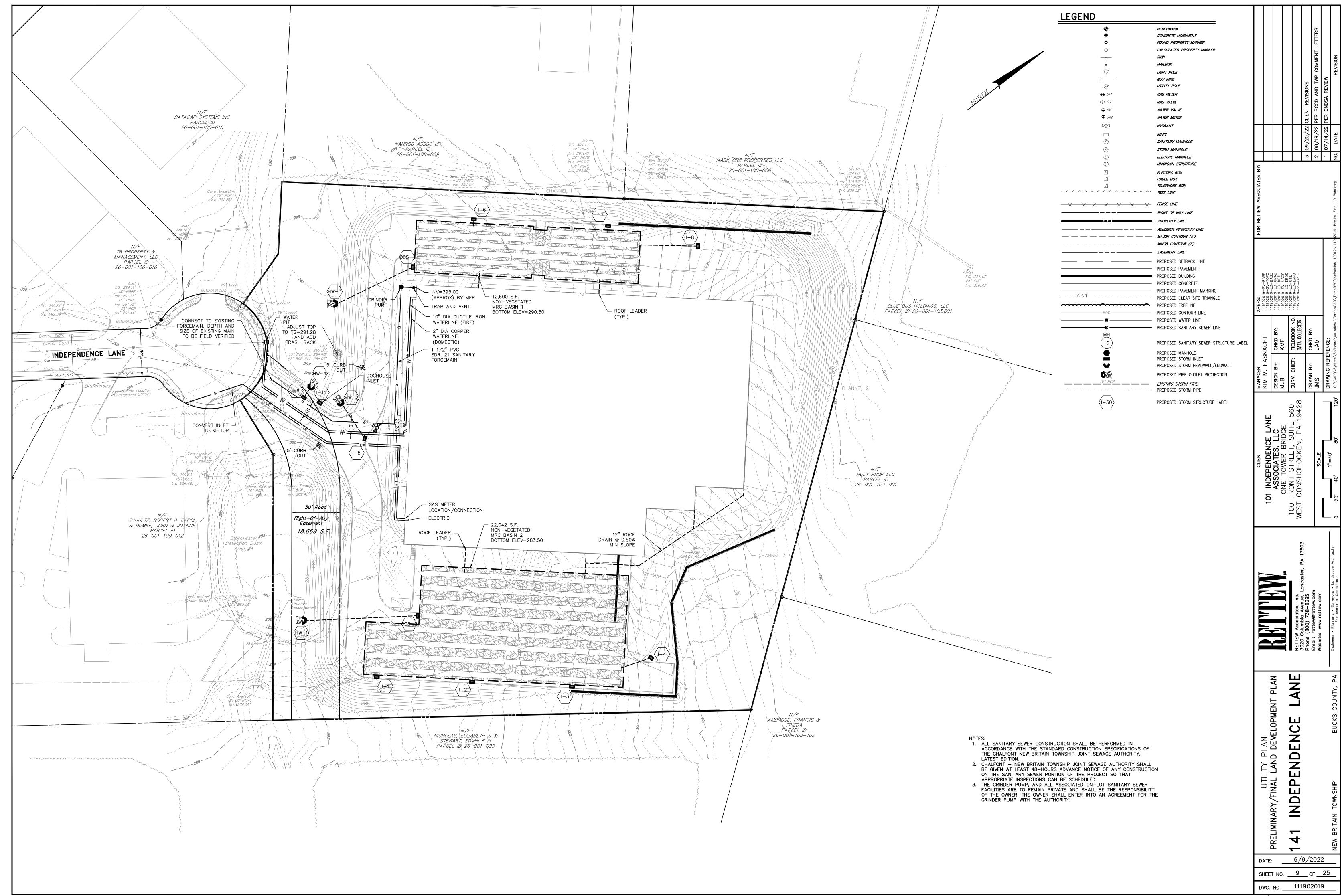


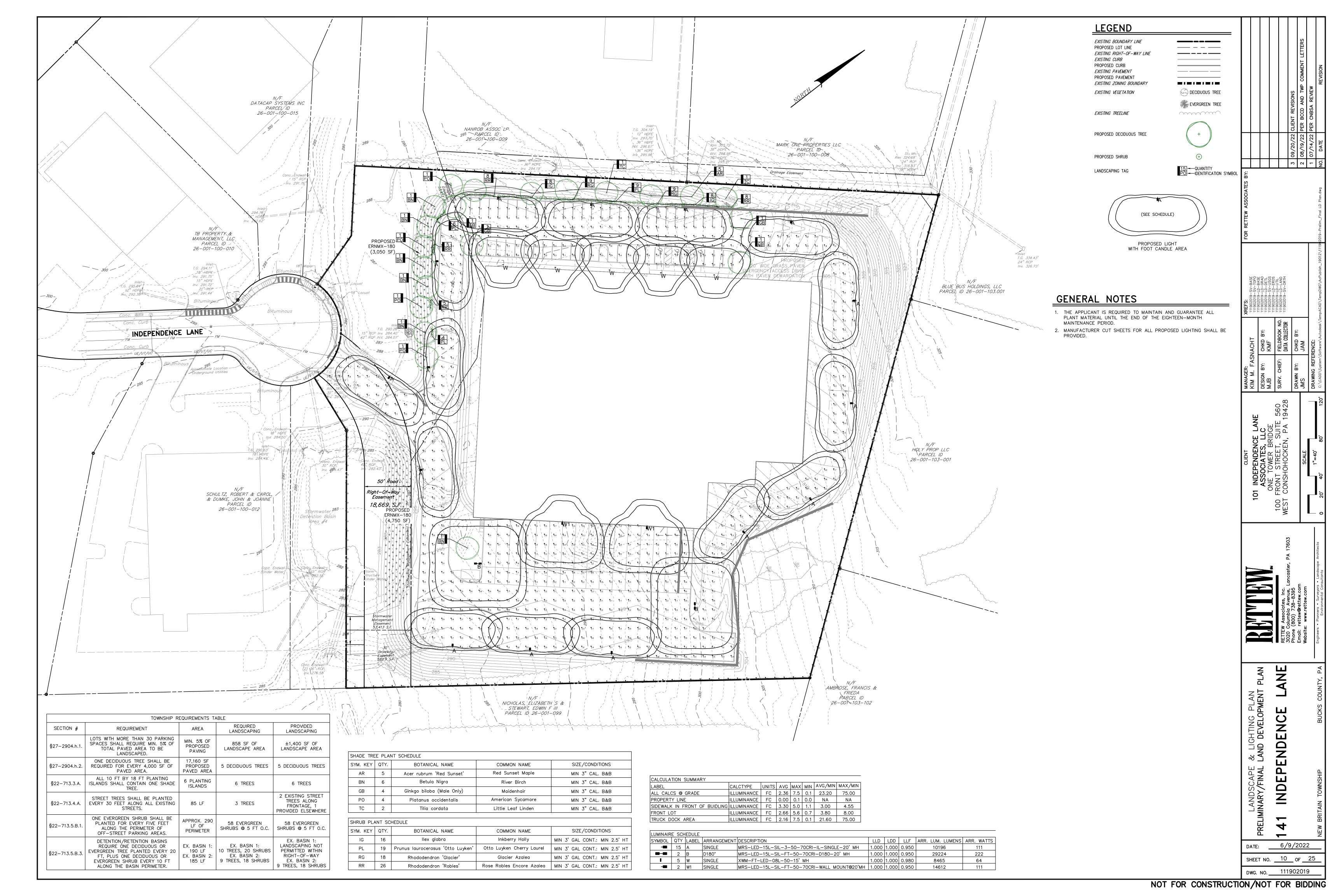


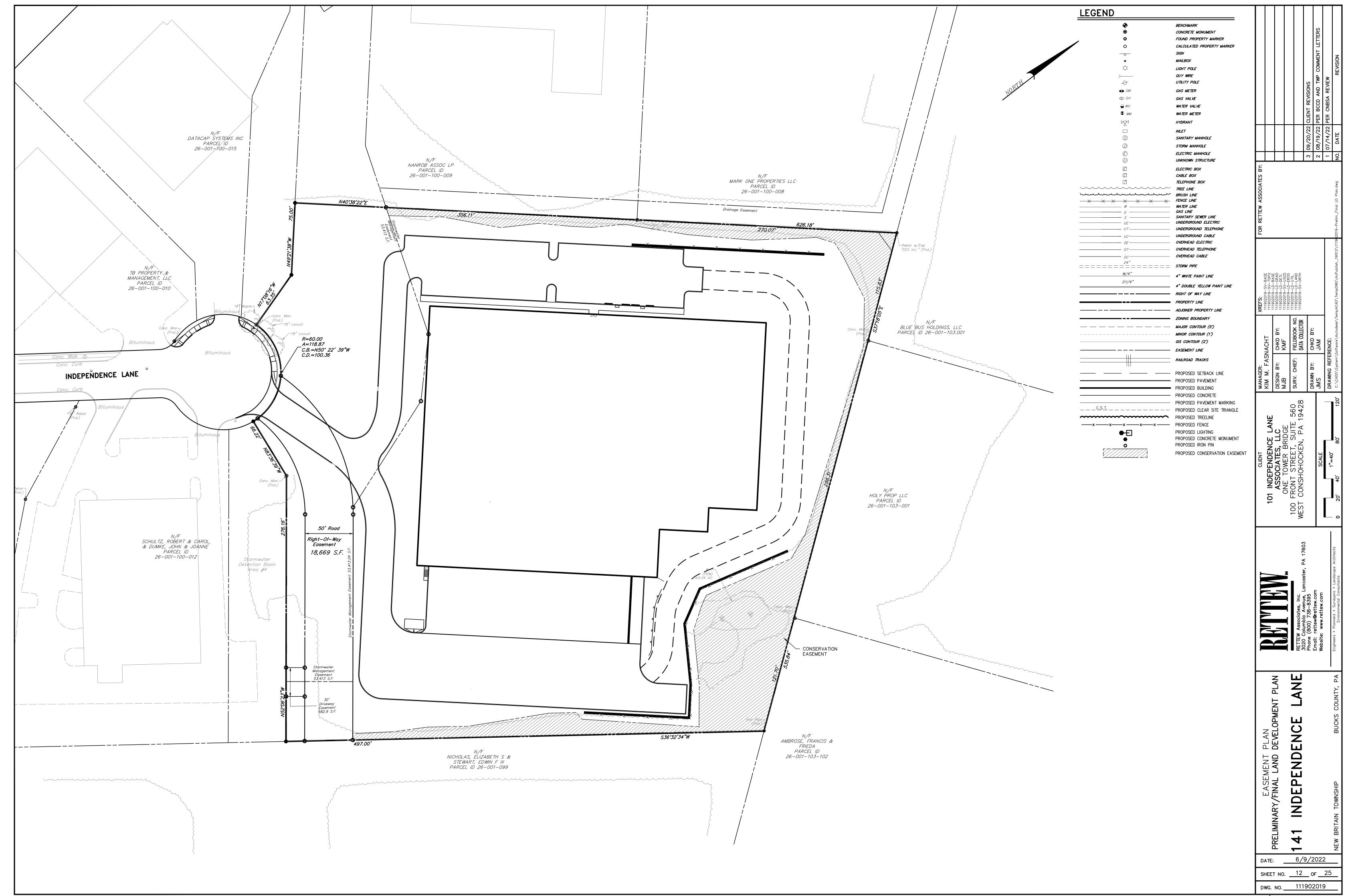


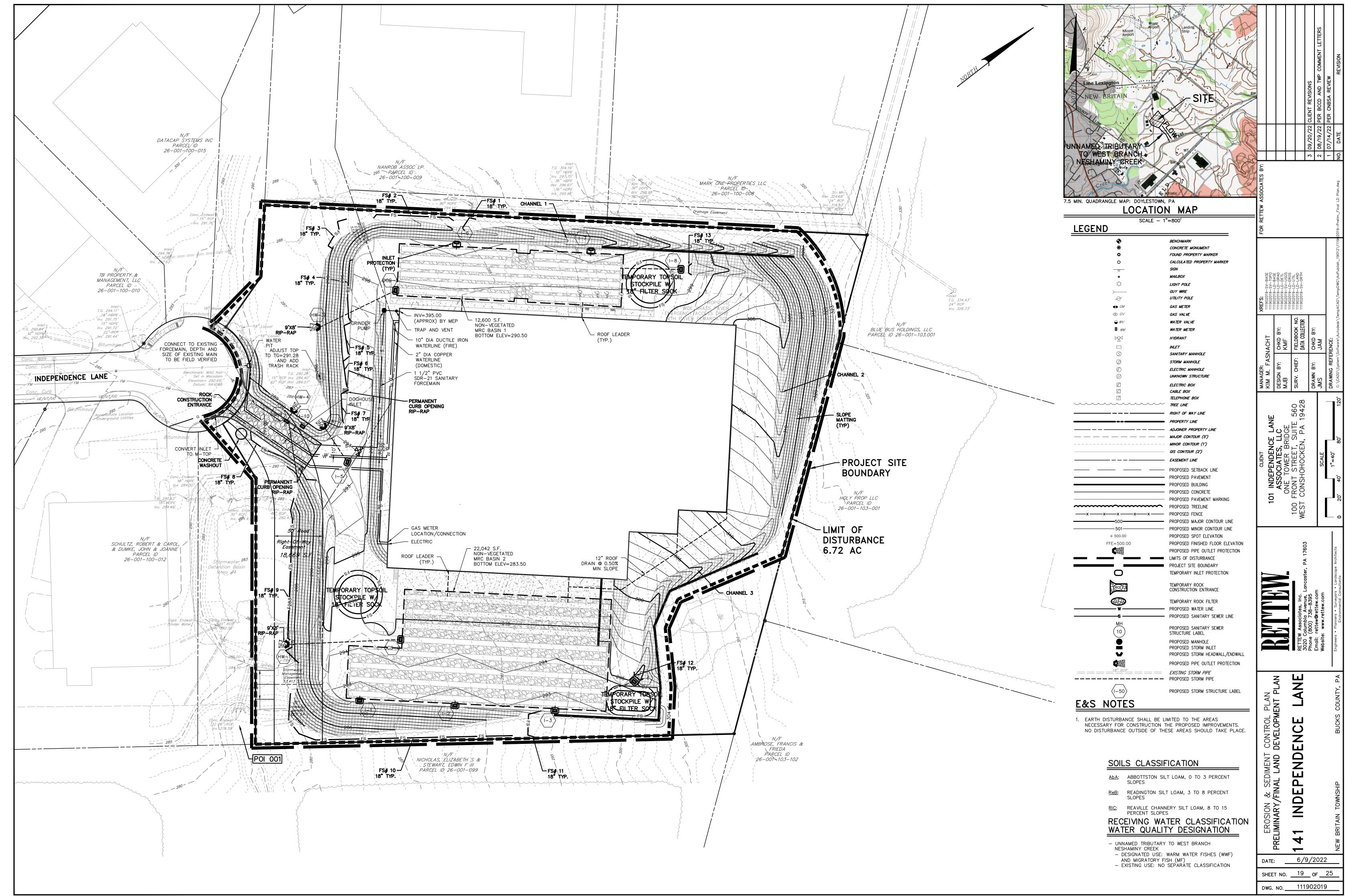


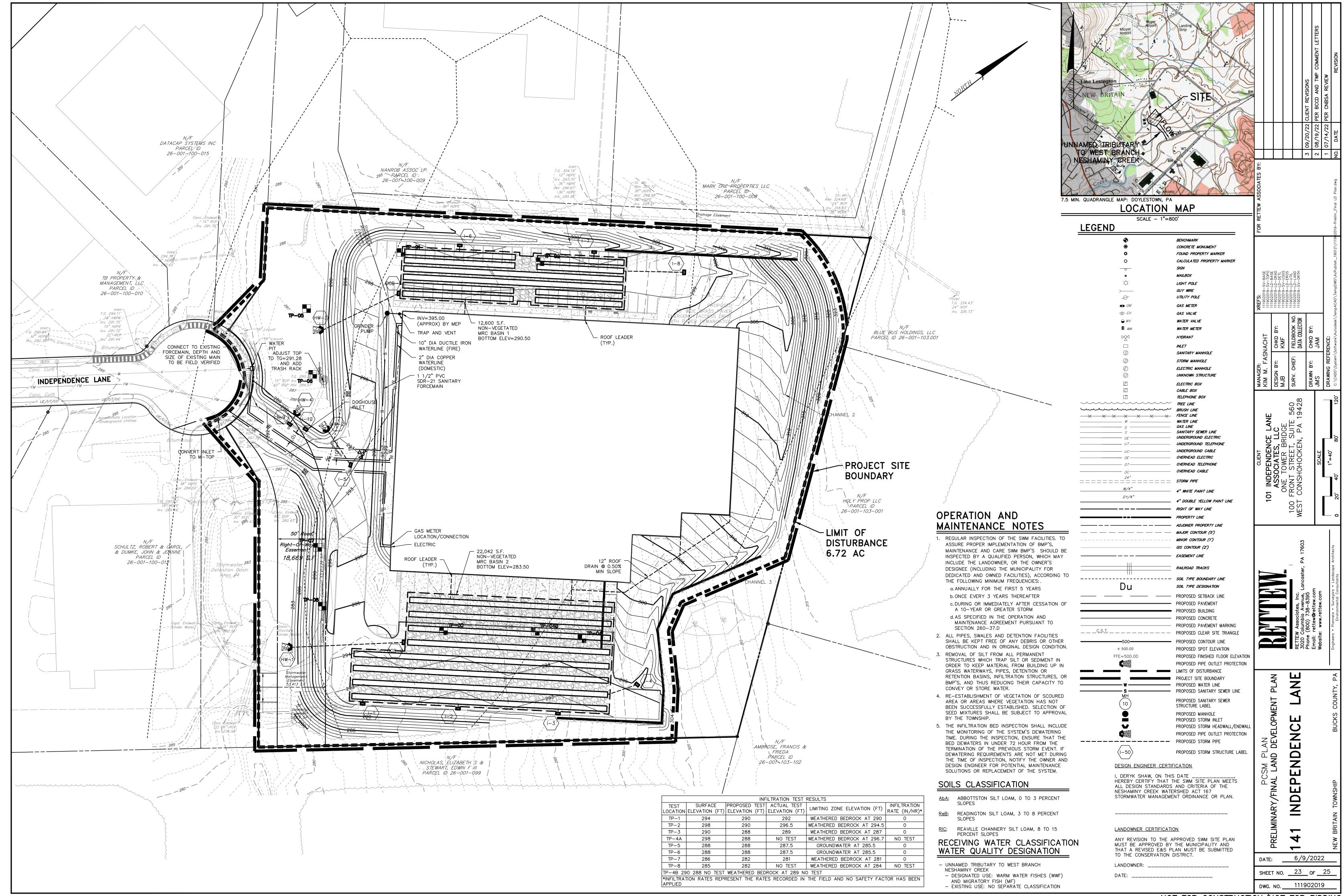














ENGINEERING & CONSULTING SERVICES

September 21, 2022

File No. 22-01173

Matt West, Township Manager New Britain Township 207 Park Avenue Chalfont, PA 18914

Reference: 141 Independence Lane, Preliminary LD Plan Review 2

TMP# 26-001-100-011

Dear Matt:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the Land Development Plan for the above-referenced project. Upon review by our office, we offer the following comments for consideration:

#### I. Submission

- A. Preliminary/ Final Land Development Plan for 141 Independence Lane, prepared by Rettew Associates, Inc., dated June 9, 2022, last revised August 19, 2022, twenty-five (25) sheets.
- B. Post Construction Stormwater Management Report prepared for 101 Independence Lane, prepared by Rettew Associates, Inc., dated June 2022, last revised August 2022.
- C. Traffic Impact Assessment for 101 Independence Lane Warehouse, prepared by Traffic Planning and Design, Inc., dated August 10, 2022.
- D. Waiver letter for 141 Independence Lane, by Rettew Associates, Inc., dated August 19, 2022.
- E. Response Letter, prepared by Rettew Associates, dated August 19, 2022.
- F. Probable Construction Cost Opinion (Tree Replacement FILO) prepared by Rettew Associates, dated August 10, 2022.
- G. Permanent Utility and Access Easement Agreement over Parcel 26-001-100-011 from the Bucks County Recorder of Deeds, recorded on June 3, 2013.

#### II. Reference Documentation

- A. New Britain Township Zoning Hearing Board Decision dated May 16, 2022.
- B. Final Plan Altomare/ Corkery Partnership Lot #16-B, as prepared by Showalter & Associates, dated February 16, 2001, last revised October 3, 2001, Sheet 2 of 10 and Adjudication of the NBT BOS concerning the New Britain Corporation's conditional use application dated May 16, 2001.

#### III. General Information

The 7-acre property is located at the cul-de-sac end of Independence Lane on Lot 15 of the New Britain Business Park (NBBP), in the IO Industrial/Office Zoning District. The lot is vacant and noted to contain woodlands, steep slopes, wetlands, and two existing stormwater facilities. The Applicant is proposing to construct an 88,250-SF Warehouse building, Use K3, which is permitted by right within the IO District. The proposed improvements also include parking and loading areas and an emergency access drive around the perimeter of the building. Stormwater management will be provided through two underground basins that discharge into the two existing detention basins. The building will be serviced by public water and sewer.

#### IV. Review Comments

#### A. Zoning Hearing Board Decision

On May 16, 2022, the Township Zoning Hearing Board granted the Applicant's request for relief from the following Zoning Ordinance requirements subject to the non-residential building being in compliance with all reasonable requirements of the New Britain Township Fire Marshal:

- 1. §27-1802.a. To permit the proposed building to be 42 feet high.
- 2. §27-2901.K. To permit no less than 53 off-street parking spaces on the Property in connection with a warehouse use (use K3) on the Property.
- 3. §27-2904.g.5 To permit the paved areas on the front parking lot to be 9.3 feet from exterior front structural wall of the proposed building.

#### B. Zoning Ordinance

- §27-2400.f.2 No more than 50% of woodlands located upon a lot or site may be altered, regraded, cleared, or built upon. The Natural Resource Calculations table notes a total woodlands disturbance area of 0.635 acres. This is not consistent with the tree lines shown on the Existing Conditions/ Demolition Plan which appears to show a disturbance area of 0.78 acres (59%) which would exceed the 50% maximum. The total woodlands and proposed disturbance shall be verified and revised to be consistent with the tree line shown on the plan not to exceed 50% or otherwise clarified.
- 2. §27-2400.f.2.(a) & (c) Where more than 20% of the woodlands are being disturbed, all disturbed woodlands exceeding 20% shall be replaced on an acre-for-acre basis through the planting of replacement trees. The actual number of replacement trees shall be calculated by multiplying the acreage of disturbance exceeding 20% by 200 trees per acre. The Applicant has requested to provide a fee-in-lieu of replacement trees due to a lack of available planting space onsite. The submitted Probable Construction Cost Opinion lists a total of 80 replacement trees. This appears inconsistent with the 0.78 acres of woodlands disturbance listed in the previous comment. The total woodlands disturbance should be clarified prior to the Township accepting a fee-in-lieu for the required replacement trees.
- 3. <u>§27-2401.c</u> Conservation easements shall be provided for the protection of the resource areas in accordance with the provisions of this Part. A Declaration of Easements shall be prepared by the Township Solicitor and executed by the owner. Metes and bounds shall be provided for the conservation easement on Sheet 12. In addition, the area of the easement shall be noted on the plan and a legal description provided once finalized.

#### C. Subdivision and Land Development Ordinance Waivers

The following waivers from the Subdivision and Land Development Ordinance have been formally requested by the Applicant in a letter dated August 19, 2022:

- 1. §22-403 From the requirement to provide separate preliminary and final plan submissions. The Applicant is requesting a single preliminary/final plan submission.
- 2. §22-502.1.D.10.a From the requirement that contour data be based on the New Britain Township Joint Sewage Authority vertical datum. The Applicant is proposing to use a benchmark elevation based on NAVD88, which we support.
- 3. §22-505 From the requirement to provide a Community Impact Assessment Report. Based on the development being within a developed business park and upon review of the Traffic Impact Assessment, we support this waiver.
- 4. §22-705.3.A. From the requirement to provide a 3-to-6-foot grass strip between the curb and sidewalk. Due to the existing grading in this area and the location of existing trees which would need to be removed, we support this waiver.

- 5. §22-705.3.G. From the requirement to mill and overlay the entire existing roadway width adjacent to development to a depth of 1-½ inches. As discussed at the Planning Commission meeting on July 26, 2022 and with the Public Works Director, we recommend a waiver from this section conditioned on a 50% fee in-lieu-of improvements being contributed to the Township's Highway Capital Improvement Fund. Photos shall be taken of the existing road conditions prior to construction.
- 6. §22-714.7 From the requirement that illumination levels have intensities and uniformity ratios in accordance with current recommended IESNA standards with nonresidential parking, loading facilities and drives associated with industrial uses providing a minimum of 0.4 footcandles and a 4:1 average to minimum ratio. The Applicant is proposing to exceed the 4:1 ratio to meet the minimum illumination requirement without raising the light poles in the truck loading area, which we support.
- 7. §22-716.2.D From the requirement that concrete monuments be placed along all existing and proposed easements where markers do not currently exist. The Applicant is proposing to install iron pins at the changes in direction along the existing easements. Iron pins shall also be at certain points along the proposed Conservation Easement, as approved by our office.
- 8. If public improvement waivers are granted, Township Resolution 2007-12 requires a contribution towards future improvements based on 50% of the total estimated construction cost. An estimated cost of construction of any waived improvements shall be provided. The Board may adjust the amount based on onsite and offsite improvements not required by Ordinance at their sole discretion.

#### D. <u>Subdivision and Land Development Ordinance</u>

We offer the following comments with respect to the current New Britain Township Subdivision and Land Development Ordinance:

- §22-406.1 The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC, BCCD, PADEP, Fire Marshal, Chalfont New Britain Sewer Authority, North Penn Water Authority, Township Road Opening Permit, Well Construction Permit, etc.) as applicable.
- 2. §22-706.3.B The following comments related to compliance with the Americans with Disability Act shall be addressed:
  - a. A curb ramp shall be provided on the south side of the driveway at the cul-de-sac, allowing ADA access and a future connection.
  - b. Sheet 4 indicates an 8" cheek wall along the accessible ramp. Top and bottom of wall elevations along the cheek wall should be provided to clarify the grading along this ramp.
  - c. Slopes for the triangular areas at the curb ramps around the perimeter of the cul-de-sac shall be provided to demonstrate they shall not exceed 2%.
- 3. §22-708.4.A A turning template shall be provided for a garbage truck accessing the proposed dumpster area.
- 4. §22-710.3.D Fire lanes shall be designed to have adequate width, radii, and material strength to accommodate and support emergency vehicles. The Han-Le-Co FD Pumper Pierce Enforcer fire truck used to model the circulation path has a total length of 33.96 feet. The New Britain Fire Truck Standards has a specified truck length of 41.92 feet. The Fire Truck Turning Movements plan should be revised to model the specified New Britain Fire Truck.
- 5. §22-711.2. Inlet protection shall be provided at the outlet structures of the existing basins. We note that trash racks have been provided, however, measures shall be installed to prevent sediment from entering the outlet structure and leaving the site during construction.

- 6. §22-715.2.C.(2). The amount of land to be dedicated for park and recreational areas for nonresidential land developments shall be 2,500 square feet per 4,000 square feet of building area. Based on a building area of 88,250 square feet, 55,156 SF of park and recreation area is required. The Applicant has requested to pay a fee-in-lieu of the required park and recreation land which is calculated to be \$55,156.25.
- 7. §22-718 We defer to the North Penn Water Authority (NPWA) for review of the water service connection from the existing main on Independence Lane. A copy of the approved agreement shall be submitted to the Township and our office prior to plan recording.
- 8. §22-720 We note that DEP provided comments on the Sewage Planning Module Application Mailer on September 7, 2022. The comments shall be addressed, and Sewage Facilities Planning Module approved by the Township, Authority, and PADEP prior to final plan approval by the Township.
- 9. §22-720 We defer to the Chalfont-New Britain Township Joint Sewer Authority (CNBJSA) for review of the connection to the force main from Independence Lane. A copy of the approved agreement shall be submitted to the Township and our office prior to plan recording.
- 10. §22-502.1.J The following minor plan comments should be addressed:
  - a. The Township Pavement Restoration detail shown on Sheet 13 should be revised to specify 3 < 30 million ESALs.
  - b. The curb radius for the access driveway at the cul-de-sac and at the first internal driveway should be noted on the plan.
  - c. The plan proposes required shrubs along the perimeter of the parking area, however, two of the proposed species (Glacier Azalea and Rose Robles Encore Azalea) are not suitable adjacent to parking areas as they require shade and milder temperatures. Alternate shrubs shall be selected for this location.

#### E. Stormwater Management Comments

- §22-712.4.I The revised stormwater design includes a doghouse inlet over the discharge pipe from Modified Detention Basin 1 to Modified Detention Basin 2. However, a grate elevation shall be provided, and the inlet shall be modeled in the stormwater report to demonstrate adequate storage for the 100-year storm and a minimum freeboard of 1 foot.
- 2. §22-712.4.S.(5) An emergency overflow weir shall be provided for outlet structures in order to convey basin inflow in excess of design flows or in the event the outlet structure becomes blocked and is unable to convey the design flow. The minimum capacity of the emergency overflow weir shall be equivalent to the 100-year peak inflow rate for the post-development design storm. The bypass orifice in the MRC Basins shall be modeled with the other orifices blocked to demonstrate they has the capacity to convey the 100-year storm.
- 3. §22-712.13.C When an applicant retains ownership of any stormwater management facility, such entity shall be responsible for repair and maintenance of the facility. The existing stormwater facilities shall be reviewed to determine if the facilities are functioning properly, in need of maintenance or repair, and being regularly maintained in accordance with the PA BMP Manual.
- 4. §26-123 The proposed design utilizes the Managed Release Concept (MRC) developed by PADEP to meet the volume control requirement which is permitted for situations where infiltration is infeasible. We note that the proposed managed release concept is subject to PADEP approval. However, the PADEP guidance for MRC basins states that a composite Curve Number is inadequate for modeling the 1.2 inch/2-hour storm due to the error associated with averaging of initial abstractions for storms less than or equal to the 2-year/24-hour storm. The stormwater report uses a weighted curve number for the flows to MRC Basins 1 and 2. Separate hydrographs for the pervious and impervious flows to these basins shall be provided to verify they meet the release rate requirement.

- 5. §26-123.2.C.(5)(c) All open-air infiltration facilities shall be designed to completely infiltrate runoff volume within three days (72 hours) from the start of the design storm. The infiltration results for Existing Basin 1 reported a 0.00 in/hr infiltration rate. Similarly, this is the case for Existing Basin 2. The Applicant has indicated the existing basins will be cleared of overgrowth and inspected to determine if they are infiltrating. Results of the basin analysis should be provided to the Township and the basin design should be revised as necessary to meet the dewatering requirement.
- 6. §26-125.9 The following issues related to the modeling of the design in the stormwater management report shall be addressed:
  - a. The inlet label for the outlet structure in Existing basin 1 lists a 15" RCP at 284.40. The response letter has indicated this is a connection from an upstream inlet. The location of this existing pie and inlet should be shown on the plan.
  - b. Existing Basin 2 models two outlet structure grates at an elevation of 283.00. The Existing Conditions/ Demolition Plan notes that this outlet structure is under water, and no grate or orifice openings are provided. It is our understanding that the basin was drained, and additional survey is being conducted to obtain the size and elevation of all openings in the outlet structure. In addition, the outlet structure should be inspected to determine why Basin 2 is not draining and outlet structure is submerged.
  - c. The MRC Basins in the stormwater report are modeled with the weir orifice and bypass orifice connected to the storage volume in the basin. However, the Outlet Structure detail on Sheet 15 appears to show the underdrain as the only outflow from the basin into the outlet structure. This will limit the flows out of the basin to the maximum flow through the underdrain and is not consistent with how the basin outflow is modeled. The basin outlet structure should have direct access from the basin or the basin remodeled per the details.
  - d. The MRC Basins in the stormwater report also model the underdrain with direct discharge to the primary outflow pipe. This is not consistent with the Outlet Structure and basin details which would not begin to discharge until the flows reach the weir orifice elevation. It appears the underdrain should extend into the 18" halfpipe within the structure.
  - e. The MRC basins both model a 36"x12" vertical bypass orifice. However, the Outlet Structure detail proposes a half cut 18" diameter HDPE pipe which would provide a maximum weir length of 2.35 feet. We note that this design will function as a weir and should not be modeled as an orifice. The detail and basin model should be revised as necessary to clarify the bypass orifice.
- 7. §26-132 The following discrepancies between the design and plans shall be addressed:
  - a. The 36"x12" bypass orifice at an elevation of 295.00 for MRC Basin 1 shall be verified and coordinated with the details on Sheet 13 that note an elevation of 294.50.
  - b. The location of the two roof drain connections to MRC Basin 1 shown on the Utility Plan should be added to the Overview of Non-Vegetated MRC Basin 1 detail on Sheet 13.
  - c. A detail for the doghouse manhole over the existing 42" RCP between Basins 1 and 2 should be provided on the plans.
  - d. Based on the pipe slopes listed on the profiles for the connections to the MRC basins, the pipe connections enter the system at the bottom of the stone envelope. However, the basin details on Sheet 15 appear to show the pipes connecting to the chambers that are 1 foot above the bottom of stone elevation. The profiles and details should be revised as necessary to clarify the connection to the chambers.
- 8. §26-164.1 The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with the transfer of ownership and shall be prepared by the Township Solicitor.

9. <u>Township Resolution #2022-02</u> – The Applicant will be required to pay a fee for the proposed onsite BMPs to provide a financial guarantee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMPs. The Applicant's professional shall submit a cost estimate once the design is finalized.

In order to help expedite the review process of the resubmission of the plan, the Applicant shall submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments shall also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,

Janene Marchand, P.E. Gilmore & Associates, Inc. Township Engineers

Sanura Marchand

JM/tw

cc: Michael Walsh, Assistant Manager
Ryan Gehman, Assistant Planning and Zoning Officer
Jeffrey P. Garton, Esq., Begley, Carlin, & Mandio
Kim Fasnacht, Rettew Associates, Inc.
Andy Miller, 101 Independence Lane Associates, LLC
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.



The Almshouse Neshaminy Manor Center 1260 Almshouse Road Doylestown, Pennsylvania 18901 215.345.3400 FAX 215.345.3886

E-mail: planningcommission@buckscounty.org

Tom Tosti, *Chairman*Richard Donovan, *Vice Chairman*Thomas J. Jennings, Esq., *Secretary* 

James J. Keenan James E. Miller, Jr. David R. Nyman Judith J. Reiss Edward J. Tokmajian Walter S. Wydro

Evan J. Stone Executive Director

#### **MEMORANDUM**

To: New Britain Township Board of Supervisors

**New Britain Township Planning Commission** 

From: Staff of the Bucks County Planning Commission

Date: July 19, 2022

Subject: BCPC #12761

Preliminary Plan of Land Development for 101 Independence Lane

TMP #26-1-100-11

Applicant: 101 Independence Lane Associates, LLC

Owner: Same

Plan Dated: June 9, 2022 Date Received: June 17, 2022

This proposal has been reviewed by the Bucks County Planning Commission professional staff, which prepared the following comments in accordance with the Pennsylvania Municipalities Planning Code (Section 502).

#### **GENERAL INFORMATION**

Proposal: Construct an 88,250-square-foot warehouse on a 7.07-acre lot. The site is to be served by public water and sewer facilities.

Location: At the terminus of the Independence Lane cul-de-sac, approximately 500 feet northeast of its intersection with New Britain Boulevard.

Zoning: The IO Industrial Office District permits Use K3 Wholesale Business, Wholesale Storage and Warehousing by right on a minimum lot size of 3 acres with a minimum lot width of 200 feet. Minimum front, side, and rear yard requirements are 50, 25, and 50 feet, respectively.

The plan indicates that on April 21, 2022, the zoning hearing board granted relief from the following zoning ordinance provisions:

#### Section 27-1802.c.

to permit the proposed building to be 42 feet high

#### Section 27-2901.K.

to permit no less than 53 off-street parking spaces on the property in connection with the proposed K3 Wholesale Business, Wholesale Storage and Warehousing use on the property

#### Section 27-2904.g.5.

to permit the paved areas of the front parking lot to be 9.3 feet from the exterior front structural wall of the proposed building



Present Use: Vacant

#### **COMMENTS**

1. **Requested waivers**—The plan indicates that the applicant is requesting waivers from the following requirements of the subdivision and land development ordinance (SALDO):

#### Section 22-502.1.D.(10)(a)

to use the Chalfont-New Britain Township Joint Sewage Authority Vertical Datum, whereas contour lines are required to be measured at vertical intervals of 2 feet, as determined by an on-site field survey

#### Section 22-705.3.G.

from the requirement to mill and overlay the entire width of the roadway to a depth of 1.5 inches

#### Sections 22-706.1.B. & 2.B.

from constructing a sidewalk along the public right-of-way

#### Section 22-505

from the requirement to provide a community impact assessment report

The applicant has not provided the reasons for the waiver requests or the proposed changes in lieu of each requirement. Section 512.1.(b) of the Pennsylvania Municipalities Planning Code requires applicants to state in full the grounds and facts of unreasonableness or hardship on which the request for each waiver is based and the minimum modification necessary. The final plan should note all granted waivers.

- 2. **Wetlands mapping**—The plan indicates a small area of wetlands onsite along the northeastern property boundary. Note 26 on Sheet 1 of the plan references a wetlands investigation conducted on September 14, 2021. Per Section 22-502.1.B.(21) of the SALDO, the plan should be revised to provide a notation identifying the source of wetlands mapping so that compliance with the requirement in Section 27-2400.d. of the zoning ordinance can be verified.
- 3. Watercourse—Note 26 on Sheet 1 indicates that no streams were found on the site as a part of a wetlands investigation conducted on September 14, 2021. According to our records, it is possible that a tributary to West Branch Neshaminy Creek runs through the site along the boundary adjacent to the Independence Lane cul-de-sac bulb. Should this watercourse be present on the site, the plan should be revised to include it along with corresponding natural resource protection standards on Sheet 1. Section 27-2400.i. of the zoning ordinance outlines the requirements for providing a riparian buffer along this potential watercourse. A vegetative buffer around the watercourse will prevent runoff from more quickly entering the stream, which exacerbates streambank erosion and increases floodwaters during the flood cycle. In addition, absent a vegetative buffer, pesticides and herbicides will be able to flow directly into the stream's surface waters when it rains. Overall, this riparian buffer area would help maintain the future integrity of the stream channel and shoreline and reduce the impact of upland sources of pollution. The township should confirm the existence (or lack thereof) of this watercourse prior to plan approval. Should it be found to be present on the site, the relevant natural resource protection standards should also be met.
- 4. **Steep slopes**—Sheet 1 indicates that the steep slopes present on the site are not to be counted toward the natural resource protection standards as the slopes are "manmade." We note that the

site is vacant, and the steep slopes are a part of the site's natural, undisturbed condition. For this reason, we recommend the standards be upheld and met prior to plan approval.

- 5. **Tree protection**—The plan should identify the tree protection zone, indicate the location of tree protection fencing, and include tree protection details in compliance with Sections 27-201 of the zoning ordinance and Sections 22-713.2., 22-502.1.G.(3), and 22-502.1.G.(5) of the SALDO.
- 6. **Tree replacement**—Section 27-2400.f.2.(a) of the zoning ordinance provides that where more than 20 percent of the woodlands are being disturbed, all disturbed woodlands exceeding the 20 percent limit shall be replaced on an acre-for-acre basis through the planting of replacement trees. This plan surpasses this 20 percent threshold and is subject to the tree replacement provisions referenced above.
- 7. **Energy conservation**—Given the size of the project, we strongly encourage the use of alternative forms of energy generation and conservation. This may include green roofs, solar panels, geothermal systems, or a requirement that buildings meet a certified efficiency standard. The Bucks County Planning Commission recently completed a model alternative energy ordinance<sup>1</sup> to provide examples of various incentives which could be included to encourage the use and incorporation of alternative energy systems at the beginning of a residential or nonresidential development proposal.
- 8. **Stormwater management maintenance**—The applicant proposes stormwater basins, swales, storm piping, and appurtenances as a part of its stormwater BMPs on the site. We recommend the applicant provide a manual to the township and to the property owner detailing all required maintenance for the stormwater management facilities. This will help to ensure the long-term maintenance and performance of the stormwater facilities and make the property owner aware of their responsibilities for regular maintenance and repair of the facilities.
- 9. **Registered landscape architect**—We recommend that the landscape plan be prepared, signed, and sealed by a registered landscape architect licensed in the state of Pennsylvania.

This review will be included in the Bucks County Planning Commission board materials for the August 3, 2022, meeting. It is not necessary for you to attend this meeting, but you are welcome to do so and to offer comments on the proposal to the BCPC board and staff.

In order that we may be more aware of your concerns, please send us a copy of all municipal decisions sent to this applicant.

#### JWS:emh

cc: 101 Independence Lane Associates, LLC (via email)
Kim Fasnacht, PMP, LEED AP, Rettew Associates, Inc. (via email)
Janene Marchand, PE, Gilmore & Associates, Township Engineer (via email)
Matt West, Township Manager (via email)

<sup>&</sup>lt;sup>1</sup> https://communityplanning-bucksgis.opendata.arcgis.com/pages/model-ordinances



Office of Fire Marshal

9/14/2022

RE: Fire Marshal review of 141 Independence Lane Parcel # 26-001-100-011 Review By: Randal J. Teschner Fire Marshal

#### The following is a list of items to be addressed:

- 1. Due to the width of the Drives, there should be no parking on both sides of driveways (signs still needed on drive going across front of building) (Signs have been supplied on plans)
- 2. Supply one Hydrant at the split in driveways ( Hydrant has been supplied on plans )
- 3. Fire lane appears to meet all requirements
- 4. Note Water details show North Wales Water. Water company is North Penn



# **NEW BRITAIN TOWNSHIP**

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

# **SUBDIVISION & LAND DEVELOPMENT APPLICATION**

1.	Date of Application:	July 1	1, 2022		TOWNSHIP	USE ONLY
2.	Date of Plan or Revision:				Date Recieved:	7/11/22 CC
3.	Application for:	Sket	ch Plar	n Review	Payment: _ Check #: _	\$250 1721
4.	Name of Subdivision or Land Development:	Dunl	kin/Pap	a John's	Receipt #: _ Escrow Acc. #:	13028
5.	Location:					
6.	Tax Map Parcel #: 26-006-101-001	Total Ac	reage:	Gross .66/ac	Base Site	Area TBD
7.	Net Buildable Site Area (from Section 2401):					
8.		imum Lot	: Síze	1 ac	Maximum Density	West of the second seco
	Front Yard 40 Side	e Yard		15	Rear Yard	30
9.	Number of Lots or Dwelling Units:	1				
10.	Equitable Owner of Record of Land:	***************************************	ao Grou	1	·····	
	Address:	30	70 Bristo	l Pike, #2-23	1	
		Be	nsalem	i, PA 1902	0	
	Phone: 267 934-0658 E-r	mail: kru	nal@rac	groupinc.cor	<u>n</u>	
11.	Applicant:	Sa	me as Eq	uittable Owne	er	
	Address:					
	Phone: E-r	mail:			·····	
12.	Registered Engineer or Surveyor:	Va	n Cleef	Engineerin	<u>g</u>	
	Address:	50	1 North	Main Stree	et	
		Do	ylestow	n, PA 1890	1	
	Phone: 215-345-1876 E-n	<sub>nail:</sub> sn	nill@vc	ea.com	***************************************	
13.	Type of Water & Sewer:  Public Water Public Sewe		☐ Private ☐ Private			
14.	Proposed Use:	Du	nkin/Pap	a Johns Piz	za	
	to certify that I have read Article V of the New accompanying plan meets the requirements of Signature of Applicant		ticle to the	best of my know		

			SION & LAND SUBMISSION		EVELOPMENT HECKLIST	
Date of	Application:	1 12/114	CODIMICOION	<b>.</b>		
	sion/Land Devel	lopment Name:	Dunkin/Papa Johr	าร		
	s of Property:		Corner of County		Rd/Butler Pike	
	s) Name:					
Applica	nt(s) Name:		Rao Group, Inc			
Тах Ма	p Parcel Numbe	er:	26-006-101-001			
Plan S	ets for New B	ritain Township - Fold	ded to 8 1/2 x 11:	(9 F	Full Size, 5 11x17)	
		pervisors (Full Size) - 5 Cop			NBT Planning Commission (11x17) - 2 Copies	
_		eer (Full Size) - 1 Copy			NBT File (Full Size) - 2 Copies	
	Fire Marshal (Ful	• • • • • • • • • • • • • • • • • • • •			Digital Submission - Flash Drive or File Sharing Service	
_	,	,				
					All applicants include these items or the	
applica	tion will be consi	idered administratively ind	complete and return	ed to	o the applicant.	
<b>V</b>	New Britain Town	nship Subdivision and Land	Development Applicat	tion (	1 Signed Original)	
<b>V</b>	Filing Fee accord	ling to the most current Fee	Schedule adopted by	Res	plution	
	Escrow Fee acco	ording to the most current Fe	e Schedule adopted b	ру Ке	esolution	
<b>/</b>	Contract for Profe	essional Services Agreemer	it (3 Signed Originals)			
	Proof of Submiss	ion to Bucks County Plannir	ng Commission			
	Proof of Submiss	ion to Bucks County Conse	vation District			
	Proof of Submiss	ion to Water Authority (Nort	n Penn/North Wales/A	(qua	, if applicable	
	Proof of Submiss	ion to Chalfont New Britain	Joint Sewer Authority	OR E	Buck County Department of Health	
	Stomwater Mana	gement Report (2 Copies) (I	Digital Acceptable)			
	PADEP Sewage	Facilities Planning Module A	pplication/Mailer app	rove	by Sewer Authority or SEO (Original & 2 Copies)	
	Traffic Impact Stu	udy, if applicable (2 Copies)	(Digital Acceptable)			
	PADOT Highway	Occupancy Permit Plan/Ap	plication, if applicable	(2 C	opies)	
	Community Impa	ct Assessment Report, if ap	plicable (4 Copies)			
	Affidavit of Mailin	g Notification, Mailing Conte	nt & Post Property of	SLD	Application (§ 22-401.8 General Procedures)	
	Township Road C	Opening Permit, if applicable				
	Water Resource	Impact Study, if applicable (	2 Copies) (Digital Acc	eptal	pie)	
	Waiver Request L	_etter with Justification				
Reviev	wed By:	Township Representative			Date:	
*All fees	or contributions in		lew Britain Townshin	All r	olan sets, applications and forms shall be submitted directl	v

<sup>\*\*</sup>The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.\*\*



<sup>\*</sup>All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.

## NEW BRITAIN TOWNSHIP 90-DAY REVIEW PERIOD WAIVER

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

Name of Subdivision/Land Development:	Dunkin/Papa Johns
Tax Map Parcel Number(s):	26-006-101-001
Tax Map Parcel Number(s): Signature of Applicant:	Date: 7/11/22
Signature of Applicant:	Date:





ZONING DATA ZONED: C1 - COMMERC

14% 9% 73%(2) 73% 73%

BUTLER AVENUE CORRIDOR OVERLAY REQUIREMENTS:

MIN. BLDG SETBACK FROM STREETS 50 FT. 56 FT.± 88 FT. ALONG DUTLER AVE. 45 FT. ALONG CHTYLINE RD.(1 MIN. PARKING AND DRIVEWAY SETBACK FROM BUTLER AVE MAX. BLDG. COVERAGE MAX. IMPERV. COVERAGE 25 FT. 19 FT.±<sup>(2)</sup> 19 FT.±<sup>(2)</sup> 40% 14% 9% 65% 74%<sup>(2)</sup> 73%<sup>(2)</sup>

SITE IMPERVIOUS SURFACE CALCULATIONS:

0.66 AC. x 0.70 = 0.46 AC.

0.49 AC./0.66 AC. = 74%

0.48 AC./0.66 AC. = 73%

0.09 AC. 0.04 AC. 0.36 AC. 0.49 AC.

**BUILDING COVERAGE** 

CALCULATIONS:

PERMITTED: 40%

0.66 AC. x 0.40 = 0.26 AC. 0.09 AC. 0.09 AC./0.66 AC. = 14%

PROPOSED: 0.06 AC. 0.06 AC./0.66 AC. = 9%

PARKING CALCULATIONS REQUIRED: ONE (1) SPACE PER 50 SF OR ONE (1) SPACE PER 3 SEATS, WHICHEVER IS GREATER.

2,500 SF / 50 SF = 50 SPACES OR
O SEATS / 3 SEATS = 0 SPACES 50 SPACES REQUIRED

(2) EXISTING NON-CONFORMITY

(3)BOTH COUNTY LINE ROAD AND BUTLER AVENUE ARE ARTERIAL STREETS. (4)WAIVER IS REQUIRED (S)VARIANCE IS REQUIRED (IT IS ANTICIPATED THAT THERE WILL BE A TOTAL OF 6-8 EMPLOYEES DURING THE LARGEST SHIFT AND THERE WILL NOT BE CUSTOMER SEATING AVAILABLE)

ANTICIPATED ZONING RELIEF:

ANTICIPATED SALDO RELIEF:

1. §22-722.4.C.(2) REQUIRING A BUILDING SETBACK FROM COUNTY LINE ROAD OF 50 FEET. 45 FEET IS PROPOSED.

GENERAL NOTES:

1. THIS MAP REPRESENTS A BOUNDARY TAKEN FROM DEEDS AND PLANS OF RECORD.

- CONTOURS MERE DERIVED FROM A BARE-EARTH DIGITAL ELEVATION MODEL CONSTRUCTED FROM PAMAP LOJAR (LIDHT DETECTION AND RANGING) ELEVATION POINTS, PREPARED BY PAMAP PROCRAM, PA DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES, BUREAU OF TOPOCRAPHIC AND GEOLOGIC SURVEY.
- SITE FEATURES SHOWN HEREON ARE BASED ON AERIAL PHOTOGRAPHY FROM NEARMAP ORTHOMAGERY, TAKEN MARCH 16, 2022.
- THIS PLAN DOES NOT CONSTITUTE A SURVEYED BOUNDARY OR TOPOGRAPHY NOR TITLE SEARCH BY VAN CLEEF ENGINEERING ASSOCIATES.
- THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIGE 500—THAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), MAP NUMBER 42017C0288K, HAWING AN EFFECTIVE DATE OF MARCH 21, 2017.
- SOILS TAKEN FROM NRCS WEBSITE.
- PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS. ALSO, PURSUANT TO THE NECS SOIL SURVEY, THE SITE DOES NOT CONTAIN FLOODELAN SOILS. PER NINCS MAPPING, THE ENTIRE SITE IS COMPRISED OF URBAN SOILS.











SKETCH PLAN OF DUNKIN DONUTS/PAPA JOHN'S

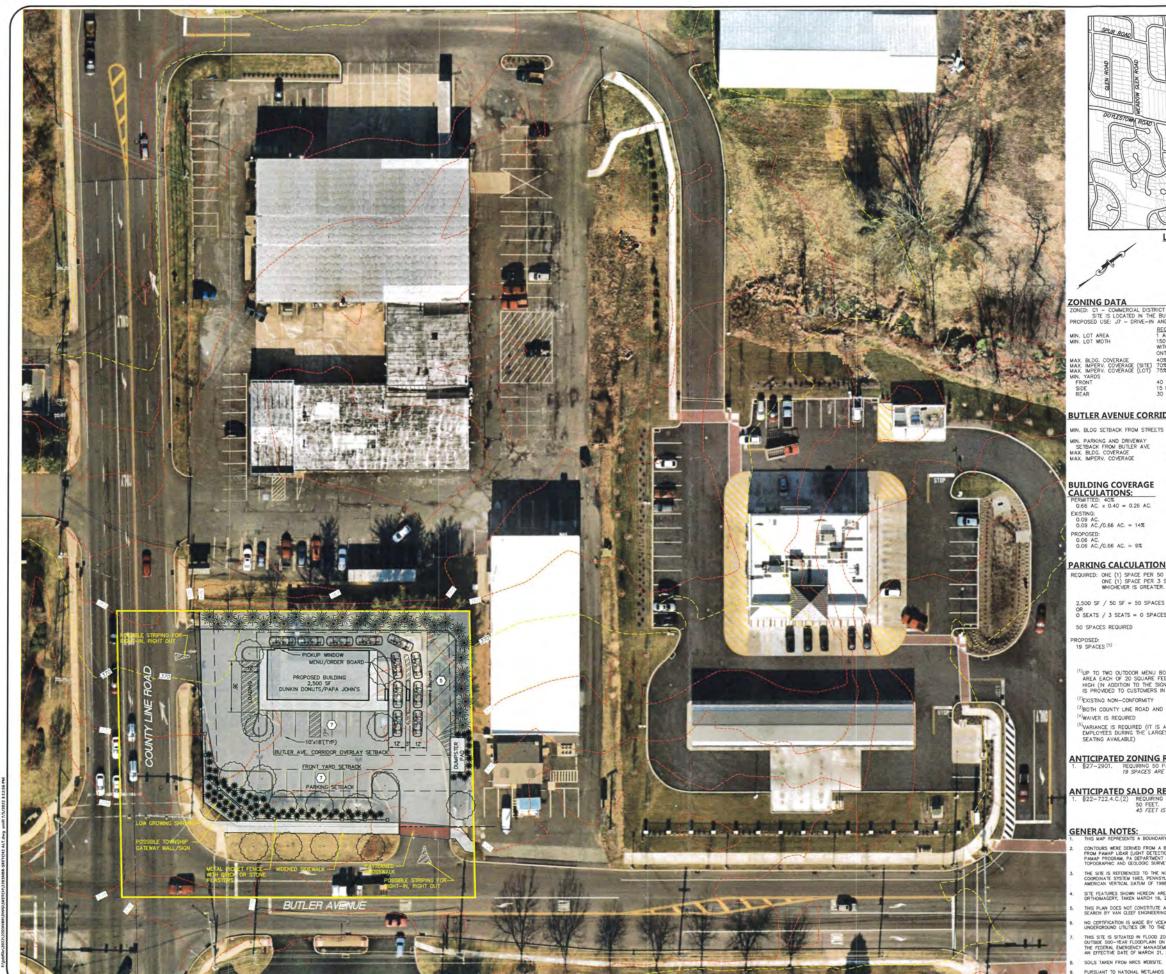
### **RAO GROUP**

DATE:	JULY 5, 2022
SCALE:	1"=30"
DESIGNED BY:	LSM
DRAWN BY:	LSM
CHECKED BY:	SDC
IOB NUMBER:	22-03-NBR

TMP: 26-006-101-001

NEW BRITAIN TOWNSHIP BUCKS COUNTY, PENNSYLVANIA

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LOCATION MAP SCALE: 1"=1000"

14% 9% 74%<sup>(2)</sup> 70% 74% 70%

#### BUTLER AVENUE CORRIDOR OVERLAY REQUIREMENTS:

REQUIRED EXSITING PROPOSED

MIN. BLDG SETBACK FROM STREETS 50 FT. 56 FT.± 88 FT. ALONG BUTLER AVE. 45 FT. ALONG CNITYLINE RD(\*\* 45 FT. ALONG CNITYLINE RD(\*\*) MIN. PARKING AND DRIVEWAY SETBACK FROM BUTLER AVE MAX. BLDG. COVERAGE MAX. IMPERV. COVERAGE

SITE IMPERVIOUS SURFACE CALCULATIONS:

ERMITTED: 70% 0.66 AC. x 0.70 = 0.46 AC.

0.49 AC./0.66 AC. = 74%

0.09 AC. 0.04 AC. 0.36 AC. 0.49 AC.

### **BUILDING COVERAGE**

CALCULATIONS:

PERMITTED: 40%

0.66 AC. × 0.40 = 0.26 AC. 0.09 AC. 0.09 AC./0.66 AC. = 14%

PROPOSED: 0.06 AC. 0.06 AC./0.66 AC. = 9%

# PARKING CALCULATIONS

REQUIRED: ONE (1) SPACE PER 50 SF OR ONE (1) SPACE PER 3 SEATS, WHICHEVER IS GREATER.

2,500 SF / 50 SF = 50 SPACES OR
O SEATS / 3 SEATS = 0 SPACES 50 SPACES REQUIRED

(2) EXISTING NON-CONFORMITY (3)BOTH COUNTY LINE ROAD AND BUTLER AVENUE ARE ARTERIAL STREETS.

(4)WAIVER IS REQUIRED <sup>5</sup>VARIANCE IS REQUIRED (IT IS ANTICIPATED THAT THERE WILL BE A TOTAL OF 6-8 EMPLOYEES DURING THE LARGEST SHIFT AND THERE WILL NOT BE CUSTOMER SEATING AVAILABLE)

ANTICIPATED ZONING RELIEF:

1. §27-2901. REQUIRING 50 PARKING SPACES
19 SPACES ARE PROPOSED.

ANTICIPATED SALDO RELIEF:

1. §22-722.4.C.(2) REQUIRING A BUILDING SETBACK FROM COUNTY LINE ROAD OF 50 FEET.
45 FEET IS PROPOSED.

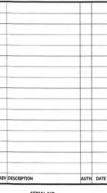
GENERAL NOTES:

1. THIS MAP REPRESENTS A BOUNDARY TAKEN FROM DEEDS AND PLANS OF RECORD.

- SITE FEATURES SHOWN HEREON ARE BASED ON AERIAL PHOTOGRAPHY FROM NEARMAP ORTHOMAGERY, TAKEN MARCH 16, 2022.

- PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS. ALSO, PURSUANT TO THE NICS SOIL SURVEY, THE SITE DOES NOT CONTAIN PLOODELAIN SOILS. PER NICS MAPPING, THE ENTIRE SITE IS COMPOSED OF URBAIN SOIL









ALTERNATE SKETCH PLAN OF DUNKIN DONUTS/PAPA JOHN'S

### **RAO GROUP**

SIGNED BY: LAWN BY:	LSM
ECKED BY:	SDC
B NUMBER:	22-03-NBR

TMP: 26-006-101-001

NEW BRITAIN TOWNSHIP BUCKS COUNTY, PENNSYLVANIA

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ENGINEERING & CONSULTING SERVICES

September 21, 2022

File No. 22-07052

Matt West, Township Manager New Britain Township 207 Park Avenue Chalfont, PA 18914

Reference: 545 W. Butler Avenue (Rao Group) – Sketch Plan Review 1

TMP #26-006-101-001

Dear Matt:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the two Sketch Plans for the above-referenced project to identify any zoning, engineering, or planning issues that may have an impact on the proposed development. Accordingly, we offer the following comments for consideration by the Applicant, New Britain Township Planning Commission, and Board of Supervisors:

#### I. Submission

- Sketch Plan of Dunkin Donuts/ Papa John's for Rao Group, Sheet 1 of 2, prepared by Van Cleef Engineering Associates, LLC, dated July 5, 2022.
- Alternate Sketch Plan of Dunkin Donuts/ Papa John's for Rao Group, Sheet 2 of 2, prepared by Van Cleef Engineering Associates, LLC, dated July 5, 2022.

#### II. General

The 0.66-acre parcel is located at the intersection of West Butler Avenue (S.R. 4202) and County Line Road (S.R. 2038) within New Britain Township's C-1 Commercial Zoning District and the Butler Corridor Overlay District. The site previously contained the legacy Wawa and is now vacant with a 24-space parking lot and full access from both West Butler Avenue and County Line Road. The site is currently at 74% impervious where 70% is the maximum permitted for the C1 District.

The Applicant, Rao Group, submitted a Sketch and Alternate Sketch of the subject property for Dunkin Donuts/ Papa John's building listed as a J7 "Drive In and other Eating Place" Use. The two Sketch Plans propose the same 2,500-SF building to replace the 3,300-SF building with drive-through. The first sketch proposes a total of 23 parking spaces (73% impervious) and the alternate plan proposes 19 parking spaces (70% impervious). Both plans show a proposed gateway sign, black metal fencing with stone pilasters, and landscaping with more low-lying shrubs on the alternate sketch. Both plans suggest possible right-in right out control at both entrances. Public water and sewer exist onsite.

#### III. Review Comments

#### A. Zoning Ordinance

We offer the following comments with respect to the current New Britain Township Zoning Ordinance:

1. §27-1202.a&b – The height of the proposed building and lot depth shall be noted on the plans.

- 2. §27-2102.b The Ordinance allows certain exceptions to meeting the minimum lot areas, however, a nonconforming lot located in a nonresidential zoning district must obtain the necessary variances to be developed. The site has an area of 0.66 acres where the minimum lot area in the C1 Commercial District is 1 acre per §27-1202.b.
- 3. §27-2500.b A traffic study will be required to assess the impact of a proposed development on highways and public transportation. Its purpose is to identify any traffic problems and to delineate solutions. The traffic study shall follow §27-2501 and shall address the following:
  - a. The driveway configurations are subject to any roadway improvements required by PennDOT. Options for full or restricted access at both PennDOT streets shall be discussed with the Township Board of Supervisors and PennDOT. Both Sketch Plans currently show possible turning restrictions (right-in, right-out) at the two driveways. If access is restricted, channelized, concrete islands shall be provided in accordance with PennDOT standards.
  - b. Queuing for the driveway shall be evaluated. Queues from the menu board may impact the operation of the driveway. We recommend moving the menu board closer to the pickup window to allow adequate queuing for vehicles waiting to place orders. Both plans depict 11 vehicles in the queue. A standard queue length of 25 feet per vehicle should be used to account for the vehicle and adequate spacing between vehicles.
- 4. §27-2600 We defer review of the location, size and general construction of any proposed signage to the Township.
- 5. §27-2901 The proposed J7 use requires 1 parking space per 50 square feet of public area. Based on a building area of 2,500 square feet, 50 parking spaces are required. The Applicant has indicated they will request a variance to provide less than the required number of spaces. Sheet 1 proposes a total of 23 parking spaces and the Alternate Sketch Plan, Sheet 2, proposes a total of 19 spaces.
- 6. §27-2904.a.2 Every parking area shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring the moving of any other vehicle. The proposed employee parking spaces for both sketches are located adjacent to the drive-through lane where the queues are in conflict with access to the spaces. The employee parking spaces should be relocated to a location where they can be freely accessed.
- 7. §27-2904.b.1 Angled parking shall have a minimum width of 10 feet and a minimum length of 18 feet. The last parking space at the northwestern end of the employee parking only appears to provide a length of 16 feet. These spaces shall be dimensioned and the parking space length revised as necessary to provide the minimum 18-foot length.
- 8. §27-2904.c.1 For one-way traffic only, 45° parking spaces shall have a minimum aisle width of 18 feet. The drive-through lane adjacent to the angled employee parking spaces is only 12 feet in width.
- 9. §27-2904.g.5 All paved areas, except curbs or concrete sidewalks, shall be set back a minimum of 20 feet from the exterior structural walls of any commercial building. The drive-through lane is approximately 2 feet from the northwestern side of the building.
- B. Subdivision and Land Development and Stormwater Management Ordinance

Upon submission of a preliminary application, this project will be subject to Subdivision and Land Development Ordinance and Stormwater Ordinance reviews. We anticipate additional review comments once preliminary plans, and all associated reports and studies are submitted to the Township. Any requests for modifications from the requirements set forth in the Ordinance shall be submitted in writing, including the grounds and facts of unreasonableness or hardship on which it is based and the minimum modification necessary.

1. §22-4001.8 – Neighbor notifications are required with the submission of a preliminary plan.

- 2. §22-705.1.G All plans that require access to a street or highway under the jurisdiction of PennDOT shall either require a highway occupancy permit (HOP) prior to recording of final plans or an acknowledgement on the site plan of the requirement to obtain a HOP prior to the issuance of a U&O permit.
- 3. §22-705.3.A West Butler Avenue (S.R. 4202) and County Line Road (S.R. 2038) are arterial streets which require a minimum 100 foot ultimate right-of-way. The Preliminary Plans should clearly show and dimension both the legal and ultimate rights-of-way.
- 4. §22-705.3.B The Board or PennDOT may require additional right-of-way widths, cartway widths and/or parking restrictions in order to lessen traffic congestion, improve safety or, to facilitate the adequate provision for transportation and utility improvements. The locations of the existing and proposed legal and ultimate rights-of-way shall be verified and any road improvements discussed.
- 5. §22-705.3.G Where a subdivision and/or land development abuts or contains an existing street, the applicant shall be required to mill and overlay the entire width of the roadway a depth of 1 1/2 inches. Mill and overlay of West Butler Avenue (S.R. 4202) and County Line Road (S.R. 2038) are subject to pavement improvements required by PennDOT.
- 6. §22-705.4.C. & 13.H At each point where a private accessway intersects a public street, a clear-sight triangle of 50 feet measured from the point of intersection of the street line and the edge of the accessway, shall be maintained, within which vegetation and other visual obstructions shall be limited to a height of not more than two feet above the street grade.
- 7. §22-705.15.D Crosswalks shall consist of brick red thermoplastic street imprint with herringbone pattern and six inch white stripes, unless otherwise approved by the Board of Supervisors. A crosswalk should be provided at the driveway access along County Line Road and shall be maintained by the owner.
- 8. §22-708.5 Truck-turning diagrams shall be provided with the preliminary plans to confirm that the proposed design provides adequate maneuvering space for the largest anticipated vehicle accessing the site and emergency vehicles. We have concerns regarding the location of the proposed dumpster and its impact on the operation of the driveway and drive-through. The operations of the trash pickup should be discussed to verify it will not interfere with regular business hours.
- 9. §22-713 The plans show street trees, buffer trees, parking area landscaping, etc. The Preliminary Plans should include a landscape compliance chart listing the applicable landscape requirements and the proposed landscaping provided to meet those requirements. We recommend the Applicant provide a rendering of a potential gateway sign and associated landscaping to discuss with the Board and Planning Commission members during the preliminary plan review.
- 10. §22-714.2 Lighting shall be required for all public streets, parking areas, loading facilities, access drives, nonresidential buildings, recreational facilities, other public facilities and at any other locations deemed necessary by the Board.
- 11. §22-715.2.C.(1)&G(2) The amount of land dedicated for park and recreation areas for nonresidential subdivisions shall be 2,500 square feet per 4,000 square feet of building area. Based on a proposed building area of 2,500 square feet, 1,563 square feet of park and recreation land would be required or a \$1,563.00 contribution.
- 12. §22-716.2 Concrete monuments should be provided at all changes of direction along the property line and Ultimate right-of-way line at locations where they do not currently exist.
- 13. §22-718 & 720 Will-serve letters will be required from the Water and Sewer Authorities and a PADEP Sewage Facilities Planning Module shall be completed with the preliminary application.

- 14. §22-722.2 The subject property is within the Butler Avenue Corridor Overlay District (COD) per the Township's Zoning Map. The purpose of the COD is to enhance the appearance and design of the Butler Avenue Corridor, which serves as a gateway to Bucks County and the Township; to develop a process for review and approval of development that maintains a high standard of architectural and site development design; to ensure that facilities for parking and vehicular and pedestrian circulation can be safely and adequately provided; to provide for landscaping, street trees, and public spaces; and to make sure that new development reflects and enhances the visual, historic, and cultural character of New Britain Township. This definition shall be considered during the planning process for the development. We offer the following comments for the COD:
  - a. §22-722.4.B The proposed building shall meet the building design standards. Architectural drawings of proposed building showing all sides of the proposed building, with information on building materials and colors shall be provided for review.
  - b. §22-722.4.C.(2) Setbacks from all street lines shall be 50 feet. A waiver is anticipated to construct the proposed building within the 50-foot setback of County Line Road.
  - c. §22-722.4.C.(5) The maximum impervious surface ratio is 65%. We note that the proposed improvements result in an impervious coverage ratio of 73% or 70%, which is less than the existing impervious surface ratio of 74%.
  - d. §22-722.D.(1) Parking lots shall be designed so that all parking spaces are located to the side and the rear of the building, with the front of the building assumed to be facing Butler Avenue.
  - e. §22-722.D.(3) When a site has access to a side street, all entrances to parking areas shall be from that side street and not Butler Avenue. The site has an existing access drive to County Line Road and Butler Avenue.
  - f. §22-722.D.(6) Three bicycle parking spaces are required which is 5% of the minimum required off-street parking for vehicles.
  - g. §22-722.D.(7)(a)3) Evergreen hedge plants shall be installed and maintained between the fencing and the street. The plan shows evergreen shrubs between the fence and the parking area. Shrubs shall be relocated to the opposite side of the fence.
  - h. §22-722.4.E&F.(3&4) Street lights, public benches, trash receptacles crosswalks, etc. shall be provided in accordance with these sections.
  - i. §22-722.F.(2) Continuous pedestrian walkways, no less than five feet in width, shall be provided from the public sidewalk to the principal customer entrance of nonresidential establishments. Pedestrian access to the building shall be provided from the sidewalk along Butler Avenue.
  - j. §22-722.4.G. A minimum of 15% of a site shall be designed, built and maintained as green space in the form of a plaza, pocket park, or other well-landscaped outdoor gathering area. The required green space shall be designated on the plans.
- 15. §26-106 The plans indicate the proposed improvements will result in a decrease in impervious coverage. While regulated activities that result in a decrease in impervious coverage are exempt from the peak rate and volume control requirements of the stormwater ordinance, we note that there are no legacy stormwater management facilities on this property. Furthermore, the maximum impervious area are exceeded for the Zoning District and/or COD. We recommend a stormwater management system be considered for the site to offset the impacts of the impervious on the PennDOT MS4 storm sewer system and downslope properties receiving stormwater from the site.
- 16. Township Resolution 2007-12 established a policy where the Township may consider modifying the required public improvements and/or consider a contribution to the Township's Highway Capital Improvement Fund in lieu of having the improvements constructed at the time of development.

If you have any questions regarding the above, please contact this office.

Sincerely,

Januar Anchand

Janene Marchand, P.E. Gilmore & Associates, Inc. Township Engineers

JM/tw

cc: Michael Walsh, Assistant Manager
Ryan Gehman, Assistant Planning and Zoning Officer
Jeffrey P. Garton, Esq., Township Solicitor
Rao Group, Inc., Owner/ Applicant
L. Scott Mill, R.L.A., Van Cleef Engineering
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.



Office of Fire Marshal

September 8, 2022

RE: Fire Marshal review of Dunkin Donuts/Papa John's Parcel # 26-006-101-001 Review By: Randal J. Teschner Fire Marshal

#### The following is a list of items to be addressed:

- 1. Road access to building appears to be fine
- 2. Note that Building is required to have a fire sprinkler system