



NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

SUBDIVISION & LAND DEVELOPMENT APPLICATION

1.	Date of Application:	<u>8/23/22</u>	TOWNSHIP USE ONLY	
2.	Date of Plan or Revision:	<u>8/23/22</u>	Date Received:	_____
3.	Application for:	<u>Edward Mortimer</u>	Payment:	_____
4.	Name of Subdivision or Land Development:	<u>Mortimer 2-LOT Subdivis</u>	Check #:	_____
5.	Location:	<u>55 Curley Mill Road</u>	Receipt #:	_____
6.	Tax Map Parcel #: <u>26-001-092</u>	Total Acreage: Gross <u>9.731 ac</u>	Escrow Acc. #:	_____
7.	Net Buildable Site Area (from Section 2401): <u>8.723 ac</u>	Base Site Area <u>8.951 ac</u>		
8.	Zoning Requirements:			
	Zoning District <u>SR-2</u>	Minimum Lot Size <u>2.0 ac</u>	Maximum Density <u>n/a</u>	
	Front Yard <u>50 ft</u>	Side Yard <u>25 ft</u>	Rear Yard <u>75 ft</u>	
9.	Number of Lots or Dwelling Units:	<u>2</u>		
10.	Equitable Owner of Record of Land:	<u>Edward Mortimer</u>		
	Address:	<u>55 Curley Mill Road</u>		
		<u>Chalfont, PA 18914</u>		
	Phone: <u>(215) 768-2035</u>	E-mail: <u>ERMCustombuilders@gmail.com</u>		
11.	Applicant:	<u>same as owner</u>		
	Address:	_____		
	Phone: _____	E-mail: _____		
12.	Registered Engineer or Surveyor:	<u>Rachel Butch, P.E., R.L. Showalter & Assoc., Inc</u>		
	Address:	<u>116 East Butler Avenue</u>		
		<u>Chalfont, PA 18914</u>		
	Phone: <u>(215) 822-2990</u>	E-mail: <u>rbutch@rlshowalter.com</u>		
13.	Type of Water & Sewer:	<input type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Private Water	
		<input checked="" type="checkbox"/> Public Sewer	<input type="checkbox"/> Private Sewer	
14.	Proposed Use:	<u>B-1 Single Family Detached Dwelling</u>		

This is to certify that I have read Article V of the New Britain Township Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of that Article to the best of my knowledge.

Edward L. Mortimer
Signature of Applicant

Rachel L. Butch
Signature of Registered Engineer or Surveyor

SUBDIVISION & LAND DEVELOPMENT PLAN SUBMISSION CHECKLIST

Date of Application: 8/23/22

Subdivision/Land Development Name: Mortimer 2-Lot Subdivision

Address of Property: 55 Corley Mill Road, Chalfont, PA 18914

Owner(s) Name: Edward Mortimer

Applicant(s) Name: SAME AS OWNER

Tax Map Parcel Number: 26-001-092

Plan Sets for New Britain Township - Folded to 8 1/2 x 11: (9 Full Size, 5 11x17)

- | | |
|---|--|
| <input checked="" type="checkbox"/> NBT Board of Supervisors (Full Size) - 5 Copies | <input checked="" type="checkbox"/> NBT Planning Commission (11x17) - 2 Copies |
| <input checked="" type="checkbox"/> Township Engineer (Full Size) - 1 Copy | <input checked="" type="checkbox"/> NBT File (Full Size) - 2 Copies |
| <input checked="" type="checkbox"/> Fire Marshal (Full Size) - 1 Copy | <input checked="" type="checkbox"/> Digital Submission - Flash Drive or File Sharing Service |

Application Forms & Fees to be Submitted to the Township: *All applicants include these items or the application will be considered administratively incomplete and returned to the applicant.*

- New Britain Township Subdivision and Land Development Application (1 Signed Original)
- Filing Fee according to the most current Fee Schedule adopted by Resolution
- Escrow Fee according to the most current Fee Schedule adopted by Resolution
- Contract for Professional Services Agreement (3 Signed Originals)
- Proof of Submission to Bucks County Planning Commission
- Proof of Submission to Bucks County Conservation District - *will be provided under separate cover*
- Proof of Submission to Water Authority (North Penn/North Wales/Aqua), if applicable *n/a*
- Proof of Submission to Chalfont New Britain Joint Sewer Authority **OR** Buck County Department of Health - *separate cover*
- Stormwater Management Report (2 Copies) (Digital Acceptable)
- PADEP Sewage Facilities Planning Module Application/Mailer approved by Sewer Authority or SEO (Original & 2 Copies) *Separate cover*
- Traffic Impact Study, if applicable (2 Copies) (Digital Acceptable) *n/a*
- PADOT Highway Occupancy Permit Plan/Application, if applicable (2 Copies) *n/a*
- Community Impact Assessment Report, if applicable (4 Copies) *n/a*
- Affidavit of Mailing Notification, Mailing Content & Post Property of SLD Application (§ 22-401.8 General Procedures)
- Township Road Opening Permit, if applicable
- Water Resource Impact Study, if applicable (2 Copies) (Digital Acceptable)
- Waiver Request Letter with Justification

Reviewed By: _____
Township Representative

Date: _____

**All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.*

****The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.****



**NEW BRITAIN TOWNSHIP
90-DAY REVIEW PERIOD WAIVER**

I/We, the applicant, understand that the time necessary for adequate review of this application and plans for compliance with current Zoning and Subdivision & Land Development Ordinances, including reviews of any revised plans, may exceed the 90-day review period stipulated under the Municipalities Planning Code.

In recognition of the above, I/we hereby waive the 90-day review period, with the understanding that I/we may revoke this waiver at any time in the future, upon 30-day written notice to the New Britain Township Zoning Officer.

Name of Subdivision/Land Development: Mortimer 2-Lot Subdivision

Tax Map Parcel Number(s): 26-001 -092

Signature of Applicant: *Ed R. Mortimer* Date: 8/25/22

Signature of Applicant: _____ Date: _____



OWNER'S CERTIFICATION OF INTENT
EDWARD MORTIMER

COMMONWEALTH OF PENNSYLVANIA
SS. COUNTY OF BUCKS
ON THE _____ DAY OF _____, 20____, EDWARD MORTIMER, before me, the undersigned, a Notary Public, personally appeared _____, who acknowledged themselves to be the persons whose names are subscribed to the foregoing plan, and who acknowledged that (they) are the registered owners of the designated land, and that (he/she/they) desire that the foregoing plan be recorded according to law.
WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____
(SEAL)

I, EDWARD MORTIMER, HAVE LAID OUT UPON MY LAND, SITUATE IN THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, AND DESIRE THIS PLAN BE RECORDED.

NAME(S) OF OWNER(S)
BY: EDWARD MORTIMER, PROPERTY OWNER (DATE)

TOWNSHIP ENGINEER'S REVIEW
REVIEWED BY THE TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

SIGNATURE

LEGEND

---	BOUNDARY LINE
---	ADJ. BOUNDARY LINE
---	SETBACK LINE
---	EXISTING CONTOUR INTERVAL
---	EXISTING CONTOUR INDEX
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING SANITARY LATERAL
---	EXISTING UTILITY POLE
○	EXISTING TREE
●	EXISTING EVERGREEN TREE
▨	WETLAND MARGIN
---	CONSERVATION EASEMENT
---	PROPOSED SANITARY LATERAL
---	PROPOSED CONTOUR
---	PROPOSED SANITARY CLEANOUT
---	PROPOSED UTIL. POLE
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT

TOWNSHIP BOARD OF SUPERVISORS APPROVAL

APPROVED BY THE SUPERVISORS OF NEW BRITAIN TOWNSHIP, THIS _____ DAY OF _____, 20____.

BUCKS COUNTY PLANNING COMMISSION
B.C.P.C. FILE # _____
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE _____

RECORDER OF DEEDS NOTATION
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN BUCKS COUNTY, PENNSYLVANIA, IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____.

PROFESSIONAL LAND SURVEYOR CERTIFICATION

I, Robert L. Showalter, _____ SU-1117-A
(NAME OF PROFESSIONAL SURVEYOR) (REGISTRATION NUMBER)
DO HEREBY CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY SUPERVISION, THAT ALL PROPERTY CORNERS ARE EXISTING OR SET AS SHOWN HEREON, THAT ALL GEOMETRIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000 OR BETTER.

PROFESSIONAL ENGINEER CERTIFICATION
I, Robert L. Showalter, _____ PE-19566
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF NEW BRITAIN TOWNSHIP AS LAST AMENDED.

STORMWATER MANAGEMENT SITE PLAN PROFESSIONAL ENGINEER CERTIFICATION

I, Robert L. Showalter, _____ PE-19566
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
ON THIS DATE _____ DO HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE NEW BRITAIN TOWNSHIP NESHAMINY CREEK WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCE OR PLAN.

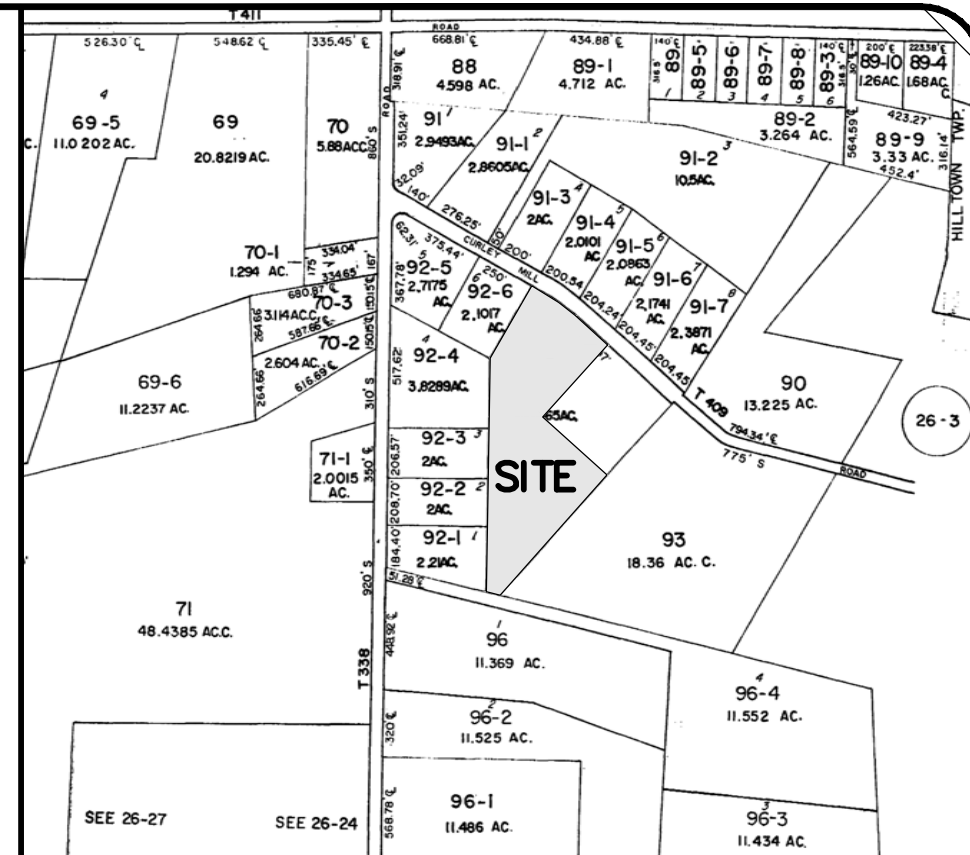
RESPONSIBLE PARTY CERTIFICATION

I, _____, ON THIS DATE _____, CERTIFY THE FOLLOWING:
1. ANY REVISION TO THE APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST BE APPROVED BY NEW BRITAIN TOWNSHIP AND A REVISED EROSION & SEDIMENTATION CONTROL PLAN MUST BE SUBMITTED TO THE BUCKS COUNTY CONSERVATION DISTRICT.
2. PERMANENT STABILIZATION UNDER 25 PA CODE §102.22(A)(2), OF THE EARTH DISTURBANCE ACTIVITIES HAS OCCURRED AND THE INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED PER §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL AND PCSM REQUIREMENTS) HAS OCCURRED.

TITLE _____
SIGNATURE _____ DATE _____

WETLAND CERTIFICATION

THE RELATED INFORMATION CONTAINED ON THIS PLAN IS TRUE AND CORRECT AND HAS BEEN DELINEATED IN ACCORDANCE WITH THE 1987 ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, EASTERN MOUNTAIN & PIEDMONT REGIONAL SUPPLEMENT, & PA DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES AND STANDARDS PER PA TITLE 25, CHAPTER 105.
MAUREEN MCDERMOTT, CERTIFIED WETLAND SCIENTIST DATE _____



SITE OWNER/APPLICANT
EDWARD MORTIMER
55 CURLEY MILL RD.
CHAFFONT, PA. 18914

SITE DATA
55 CURLEY MILL RD.
NEW BRITAIN TOWNSHIP
TMP# 26-001-092
DB 4134 PG 1619, PLAN BOOK 321, PG 34-35
INSTRUMENT #2007055347
CURLEY MILL ROAD - MINOR COLLECTOR (60' ULTIMATE RIGHT OF WAY), 40 MPH

ZONING
ZONING DISTRICT: SR-2 RESIDENTIAL
EXISTING & PROPOSED USE: BF SINGLE FAMILY DETACHED DWELLING (PERMITTED BY RIGHT)

EXISTING	LOT 1	LOT 2	TOTAL SITE
MIN. LOT SIZE:	2.0 AC	9.73 AC	7.42 AC
MIN. LOT WIDTH (AT BSBL):	200 FT.	386 FT.	323 FT.*
MIN. LOT DEPTH:	200 FT.	1303 FT.	764 FT.
-FRONT-			
MIN. FRONT:	50 FT.	141.7 FT.	100.0 FT.
MIN. SIDE:	25 FT.	64.4 FT.	112.0 FT.
MIN. REAR:	35 FT.	990.9 FT.	293.2 FT.
MAX. BUILDING HEIGHT:	35 FT.	<35 FT.	<35 FT.
MAX. BLDG. COVERAGE:	15%	5.7%	2.1%
MAX. IMPERVIOUS COVER (PER LOT BSA):	25%	5.4%	19.0%
(PER SITE)	20%		11.1%

*MIN. OVERALL LOT WIDTH IS 209 FT. MIN. LOT WIDTH AT BSBL IS 323 FT.

LOT AREA CALCULATIONS

	EXISTING	LOT 1	LOT 2	TOTALS	REQUIRED
GROSS	423,890 SF	100,864 SF	323,027 SF	423,890 SF	
	9.73 AC	2.32 AC	7.42 AC	9.73 AC	
-LESS ULTIMATE ROW	1,992 SF	1,745 SF	247.02 SF	1,992 SF	
-LESS LANE	0 SF	0 SF	15,701.2 SF	15,701 SF	
-LESS EASEMENTS (WETLANDS)*	31,979 SF	2,137 SF	30,535 SF	32,672 SF	
=BASE SITE AREA	389,919 SF	96,982 SF	276,543 SF	373,525 SF	87,120 SF
	8.95 AC	2.23 AC	6.35 AC	8.57 AC	2.00 AC

*NOTE: EXISTING WETLANDS ACREAGE DEFINED PER LOT 7 ON SUBDIVISION PLAN FOR PRIME PROPERTIES, INC LAST REVISED 07/21/2004, PLAN BOOK 321 PAGES 34-35.

IMPERVIOUS SURFACE SUMMARY

	EXISTING	LOT 1	LOT 2
EXISTING HOUSE	3,496 SF	3,496 SF	
EXISTING GARAGE	1,734 SF	1,734 SF	
EXISTING POOL/HOUSE	278 SF	278 SF	
EXISTING CONC./PAVERS	4,431 SF	4,431 SF	
EXISTING SHED AND TRACK	3,936 SF	0 SF	
EXISTING MADACAM	7,218 SF	6,482 SF	
PROPOSED HOUSE	0 SF	2,753 SF	
PROPOSED GARAGES	0 SF	787 SF	
PROPOSED CONCRETE/MACADAM	0 SF	13,173 SF	
PROPOSED POLE BARN	0 SF	2,400 SF	
PROPOSED FUTURE	0 SF	2,000 SF	
TOTAL PROPOSED IMPERVIOUS	21,093 SF	18,421 SF	24,113 SF
	0.484 AC	0.423 AC	0.554 AC

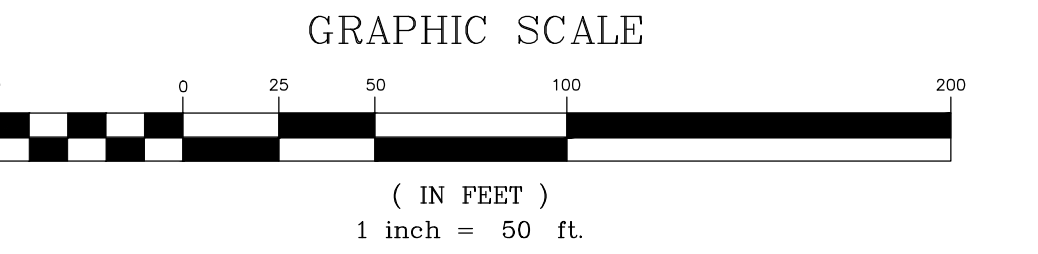
PER SETTLEMENT STIPULATION AND AGREEMENT (LAND USE APPEAL NO. 2020-06335)
1. THE PROPERTY OWNER MAY DEVELOP LOT 2 AS A FLAG LOT EVEN THOUGH TMP 26-001-092 DOES NOT COMPLY WITH THE PROVISIONS OF SECTION 27-2104 OF THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE.
2. THE WETLANDS SHALL BE PRESERVED AS OPEN SPACE WITH THE APPROPRIATE CONSERVATION EASEMENT CONVEYED TO THE TOWNSHIP.
3. LOT 2 SHALL BE SERVED BY PUBLIC SEWER AND THE CONNECTION TO PUBLIC SEWER SHALL NOT BE MADE THROUGH WETLAND, BUT RATHER, LOT 2 SHALL BE CONNECTED TO THE SEWER MAIN ON CURLEY MILL ROAD.
4. LOT 2 IS RESTRICTED FROM FURTHER SUBDIVISION.

CONSERVATION ESMT AREAS

LOT#	AREA (SF)	AREA (AC)
1	2,137	0.049
2 (PART A)	8,179	0.188
2 (PART B)	22,356	0.513
TOTALS:	32,672	0.750

SHEET INDEX

1	MINOR SUBDIVISION PLAN
2	EXISTING FEATURES & NATURAL RESOURCES PLAN
3	GRADING AND UTILITY PLAN
4	EROSION AND SEDIMENT CONTROL PLAN
5	EROSION AND SEDIMENT CONTROL NOTES & DETAILS
6	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
7	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS



- GENERAL NOTES:**
- PLAN SHEETS 1 - 7 OF 7 AS SHOWN IN THE SHEET INDEX SHALL BE CONSIDERED A PART OF THE APPROVED PLAN SET AS IF RECORDED WITH SAME.
 - THE ULTIMATE RIGHT-OF-WAY ALONG CURLEY MILL ROAD IS HEREBY OFFERED FOR DEDICATION TO NEW BRITAIN TOWNSHIP.
 - A BLANKET EASEMENT OVER THE PROPERTY IS HEREBY OFFERED TO THE TOWNSHIP FOR ACCESS, INSPECTION, AND MAINTENANCE OF THE ON-SITE STORMWATER FACILITIES. THE OWNER OF LOT 2 SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON LOT 2.
 - THE APPLICANT IS REQUIRED TO MAINTAIN AN AREA OF CLEAR SIGHT DISTANCE LOCATED 10 FT BACK FROM THE EDGE OF THE DRIVEWAY. THE TOWNSHIP HAS THE RIGHT TO ENTER AND PERFORM REQUIRED MAINTENANCE IN THE AREA IF DEEMED CRITICAL TO PUBLIC WELFARE. NO STRUCTURE, FENCE, PLANTING, OR OTHER OBSTRUCTION SHALL BE MAINTAINED BETWEEN A VERTICAL PLANE 2FT ABOVE CURB LEVEL AND A PLANE 7FT ABOVE CURB LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY AS SHOWN ON THIS PLAN. VEGETATION NOTED TO BE CLEARED SHALL BE REQUIRED TO BE REMOVED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR ANY LOT WITHIN THE SUBDIVISION.
 - ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND SIMILAR INSTALLATIONS SHALL BE PLACED UNDER GROUND.
 - ALL MONUMENTATION SHALL BE SET BY A PROFESSIONAL LAND SURVEYOR AND ARE TO BE SET PRIOR TO PLAN RECORDING UNLESS THE COST FOR THIS WORK IS INCLUDED IN A FINANCIAL SECURITY AGREEMENT.
 - INDIVIDUAL BUILDING PERMIT PLANS, STORMWATER DESIGN, AND EROSION AND SEDIMENT CONTROL PLANS SHALL BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO CONSTRUCTION.
 - IN THE OPINION OF THE TOWNSHIP ENGINEER'S REPRESENTATIVE, ANY TREES, SHRUBS, OR GROUND COVER DAMAGED, KILLED, OR DISTURBED DURING OR AS A RESULT OF CONSTRUCTION SHOULD BE REPLACED ON AN EQUIVALENT CALIPER BASIS AND GUARANTEED FOR ONE YEAR.
 - THIS PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN PER THE FOLLOWING FLOOD INSURANCE RATE MAPS (FIRM): BUCKS COUNTY, PENNSYLVANIA; MAP NUMBER: 42017C0286K, REVISED MARCH 21, 2017.
 - BITUMINOUS PAVING MIXTURES SHALL NOT BE INSTALLED BETWEEN OCTOBER 31 AND APRIL 1, UNLESS PERMITTED BY THE TOWNSHIP ENGINEER. BITUMINOUS PAVING MIXTURES SHALL NOT BE PLACED WHEN SURFACES ARE WET OR WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT.
 - INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE SANITARY SEWER LATERALS LOCATED OUTSIDE OF THE PUBLIC RIGHTS OF WAY AND WITHIN THE EASEMENT ON LOT 1. A 20 FT WIDE PRIVATE EASEMENT IS PROVIDED ON LOT 1 IN FAVOR OF LOT 2 FOR THE SANITARY LATERAL. MAINTENANCE RESPONSIBILITIES WILL BE IN ACCORDANCE WITH THE EASEMENT AGREEMENT BETWEEN THE INDIVIDUAL OWNERS OF LOTS 1 AND 2.
 - EXISTING RESIDENCE ON LOT 1 IS SERVED BY ON-LOT WATER (EXISTING WELL) AND PUBLIC SEWER.
 - LOT 2 IS PROPOSED TO BE SERVED BY A NEW WELL AND PUBLIC SEWER. THE PROPOSED WELL SHALL BE SUBJECT TO THE PROVISIONS OF THE WELL CONSTRUCTION STANDARDS, WHICH INCLUDES REQUIREMENTS FOR WELL PERMITTING, WATER QUALITY TESTING AND WELL PRODUCTION CERTIFICATION.

PLAN NOTATION - THESE DOCUMENTS ARE ESPECIALLY PREPARED FOR THIS PROJECT AND ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE ON ANY EXTENSION OR MODIFICATION OF THIS PROJECT OR FOR ANY OTHER PROJECT. R. L. SHOWALTER & ASSOCIATES, INC. SHALL ONLY CERTIFY THOSE DOCUMENTS THAT CONTAIN A SEAL AND SIGNATURE. ANY REUSE OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF R. L. SHOWALTER & ASSOCIATES, INC. OR THEIR USE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY WERE PREPARED IS STRICTLY PROHIBITED. IF USED FOR OTHER THAN THIS PROJECT OR OTHER THAN FOR THE PURPOSE FOR WHICH THEY WERE PREPARED, SUCH USE SHALL CONSTITUTE AN AGREEMENT BY THE PARTY USING THE DOCUMENTS AND THE CLIENT TO INDEMNIFY AND HOLD R. L. SHOWALTER & ASSOCIATES, INC. AND ITS SHAREHOLDERS, OFFICERS, DIRECTORS, PRINCIPALS AND EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS) ARISING AS THE RESULT OF SUCH USE, EXCEPTING ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF R. L. SHOWALTER & ASSOCIATES, INC.
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R. L. SHOWALTER AND ASSOCIATES, INC. ALL RIGHTS RESERVED.

NO.	DATE	REVISIONS

TMP:26-001-092

MINOR SUBDIVISION & PRELIMINARY/FINAL PLAN

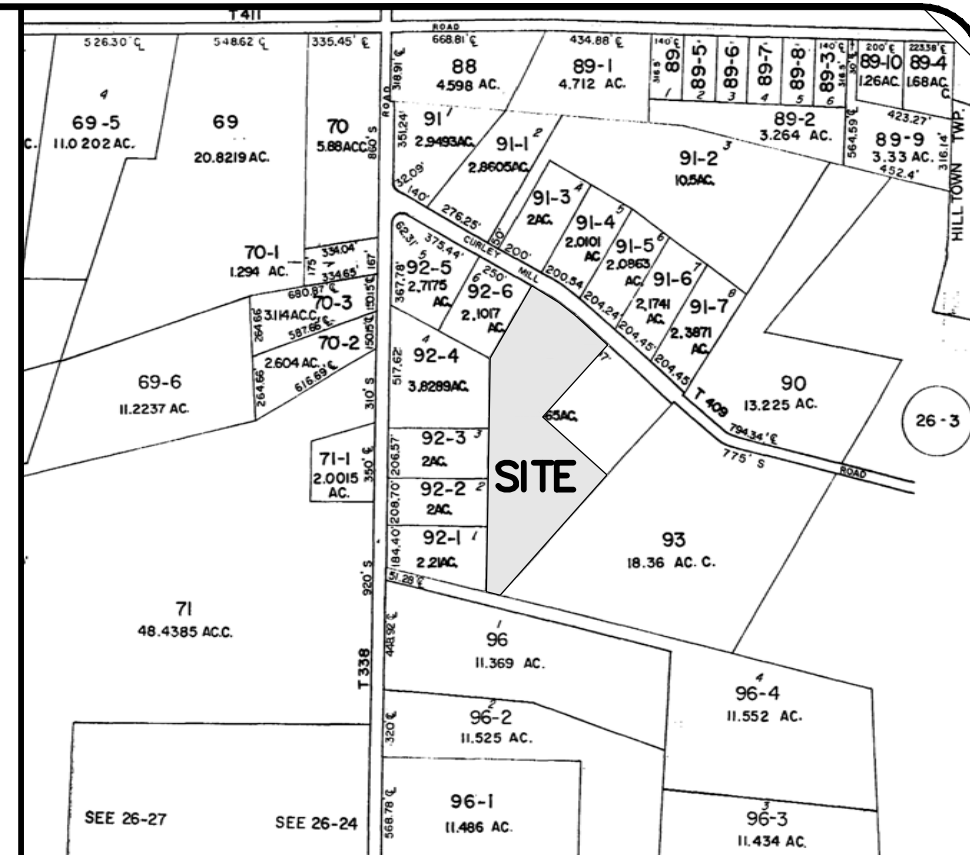
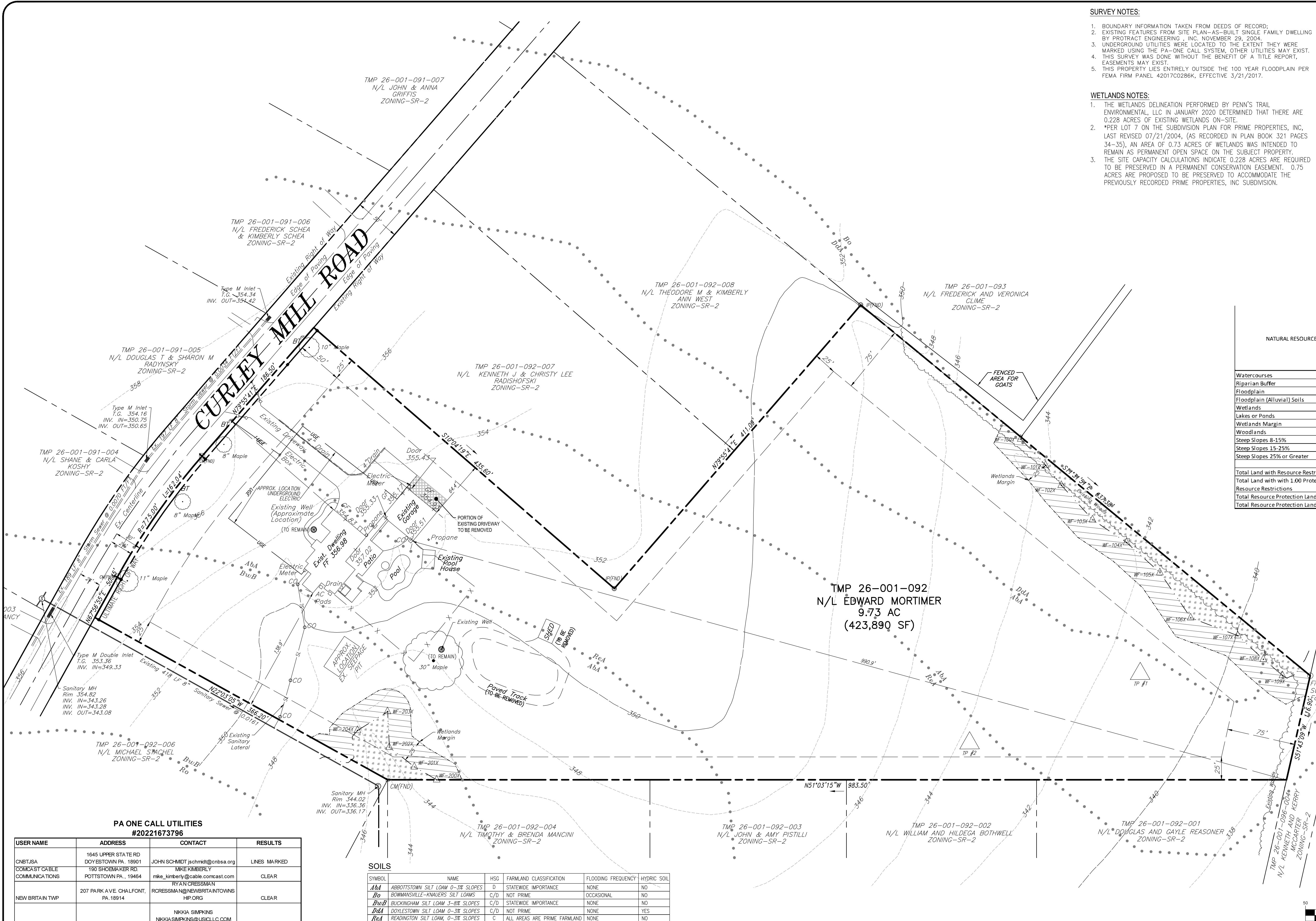
R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chaffont, PA 18914
(215) 822-2990
FAX (215) 822-5684
showalterassociates@ishshowalter.com

SCALE: 1"=50'
DATE: 08/23/2022
JOB NO.: 2019-071
DRAWN BY: LAZ
CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA.
PREPARED FOR:
EDWARD MORTIMER
55 CURLEY MILL ROAD
CHAFFONT, PA. 18914

SHEET
1 of 7

Printed: 09/01/22 - 2:13 PM, By: chutch
 File: F:\DWG\2019\2019-071 - Mortimer - New Britain Twp Engineering\2019-071 - PLAN.dwg-02-EXIST FEAT
 © 2018 R.L. SHOWALTER & ASSOCIATES, INC.



LOCATION MAP
SCALE 1" = 800'

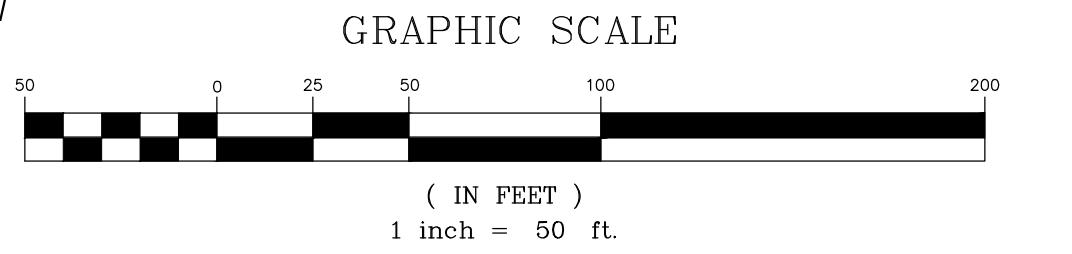
SITE CAPACITY CALCULATIONS (§27-2402)

A. GROSS SITE AREA (GSA) 9.731 AC.
 B. BASE SITE AREA LESS ULTIMATE RIGHT-OF-WAY AREA = 0.046 AC.
 LESS EXISTING EASEMENTS (WETLANDS)* = 0.734 AC.
 BASE SITE AREA = 8.951 AC.

C. LAND WITH RESOURCE RESTRICTIONS AND RESOURCE PROTECTION LAND.

NATURAL RESOURCES	Protection Ratio	NO RESOURCE OVERLAP		ACTUAL RESOURCE AREA		
		Area of Land in Resources (AC)	Resource Protection Land (Acres x Protection Ratio)	Area of Land in Resources (AC)	Maximum Allowable Disturbance	Acres of Land to be Disturbed (AC)
Watercourses	1.000	0.000	0.000	0.000	0.000	0.000
Riparian Buffer	1.000	0.000	0.000	0.000	0.000	0.000
Floodplain	1.000	0.000	0.000	0.000	0.000	0.000
Floodplain (Alluvial) Soils	1.000	0.000	0.000	0.000	0.000	0.000
Wetlands	1.000	0.228	0.228	0.228	0.000	0.023
Lakes or Ponds	1.000	0.000	0.000	0.000	0.000	0.000
Wetlands Margin	0.800	0.387	0.309	0.387	0.077	0.018
Woodlands	0.800	0.061	0.049	0.181	0.036	0.000
Steep Slopes 8-15%	0.600	0.000	0.000	0.000	0.000	0.000
Steep Slopes 15-25%	0.700	0.000	0.000	0.000	0.000	0.000
Steep Slopes 25% or Greater	0.850	0.000	0.000	0.000	0.000	0.000
Total Land with Resource Restrictions				0.676		
Total Land with with 1.00 Protection Ratio Resource Restrictions				0.228		
Total Resource Protection Land Required				0.587		
Total Resource Protection Land Provided				0.734		

- D. MINIMUM OPEN SPACE
 BASE SITE AREA 8.951 AC
 MULTIPLY BY MIN. OPEN SPACE RATIO N/A
 STANDARD MIN. OPEN SPACE N/A
- E. DETERMINE REQUIRED OPEN SPACE
 THE REQUIRED OPEN SPACE IS THE TOTAL OF THE RESOURCE PROTECTION LAND WITH A 1.00 PROTECTION RATIO OR THE MINIMUM OPEN SPACE, WHICHEVER IS GREATER 0.228 AC.
- F. NET BUILDABLE SITE AREA
 BASE SITE AREA 8.951 AC
 SUBTRACT REQUIRED OPEN SPACE -0.228 AC
 NET BUILDABLE SITE AREA (NSA) 8.723 AC
- G. NUMBER OF DWELLING UNITS/LOTS
 NET BUILDABLE SITE AREA N/A
 MULTIPLY BY MAX. DENSITY N/A UNITS/LOTS
 NUMBER OF DWELLING UNITS PERMITTED =
- H. IMPERVIOUS SURFACES
 RATIO BASE SITE AREA 8.723 AC
 MULTIPLY BY MAX. IMPERVIOUS SURFACE RATIO X 20
 MAXIMUM PERMITTED IMPERVIOUS SURFACE 1.745 AC
 PROPOSED IMPERVIOUS SURFACE 0.886 AC



PA ONE CALL UTILITIES #20221673796

USER NAME	ADDRESS	CONTACT	RESULTS
CH21USA	1645 UPPER STATE RD DOYESTOWN PA, 18901	JOHN SCHMIDT [schmidt]@cbsa.org	LINES MARKED
COMCAST CABLE COMMUNICATIONS	180 SPOCKENKAMER RD POTTSVILLE PA, 19464	mike_kimberly@cable.comcast.com	CLEAR
NEW BRITAIN TWP	207 PARK AVE. CHALFONT, PA 18914	RYAN CRESSMAN RCRSSMAN@NEWBRITAIN.TOWNSHIP.ORG	CLEAR
PECO AN EXELON COMPNY CO USIC	450 S. HENDERSON RD KING OF PRUSSIA, PA, 19406	NIKKIA SIMPKINS NIKKIASIMPKINS@USIC.LLC.COM 484-681-5720	PLAN RECEIVED
VERIZON PA	1050 VIRGINIA DR FORT WASHINGTON, PA, 19034	DA RILENE LEPPERD JOHNSON 215-283-0690	

SOILS

SYMBOL	NAME	HSG	FARMLAND CLASSIFICATION	FLOODING FREQUENCY	HYDRIC SOIL
A&A	ABBOTTSTOWN SILT LOAM 0-3% SLOPES	D	STATEWIDE IMPORTANCE	NONE	NO
Bo	BOWMANVILLE-KNAVERS SILT LOAMS	C/D	NOT PRIME	OCCASIONAL	NO
BuB	BUCKINGHAM SILT LOAM 3-8% SLOPES	C/D	STATEWIDE IMPORTANCE	NONE	NO
Dd	DOYLESTOWN SILT LOAM 0-3% SLOPES	C/D	NOT PRIME	NONE	YES
Rd	READINGTON SILT LOAM, 0-3% SLOPES	C	ALL AREAS ARE PRIME FARMLAND	NONE	NO

SOIL INFORMATION BASED ON USDA-NRCS WEB SOIL SURVEY - SOIL SURVEY AREA OF BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 16, SEPTEMBER 16, 2019.

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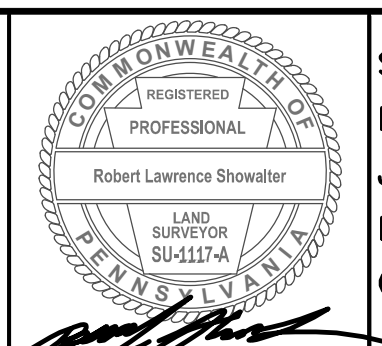
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NO.	DATE	COMMENT
REVISIONS		

TMP:26-001-092

EXISTING FEATURES PLAN

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 showalterassociates@rlshowalter.com



SCALE: 1"=50'
 DATE: 08/23/2022
 JOB NO.: 2019-071
 DRAWN BY: LAZ
 CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PA.
 PREPARED FOR:
EDWARD MORTIMER
 55 CURLEY MILL ROAD
 CHALFONT, PA. 18914

SHEET
2 OF 7

GRADING NOTES:

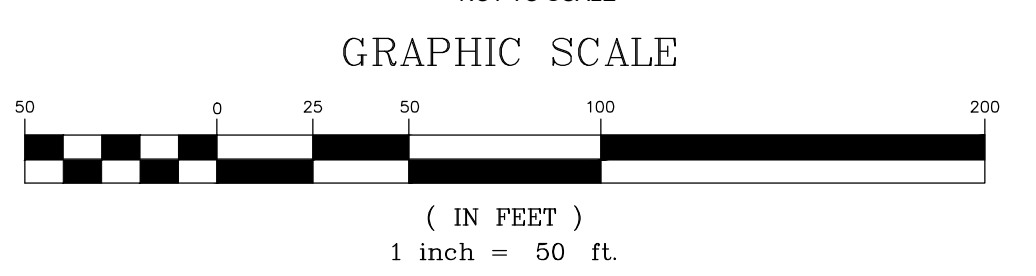
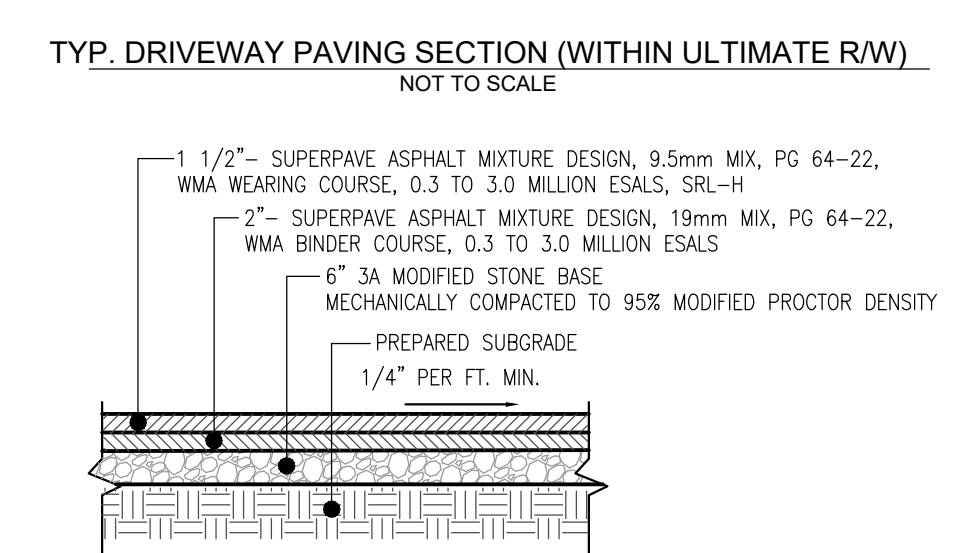
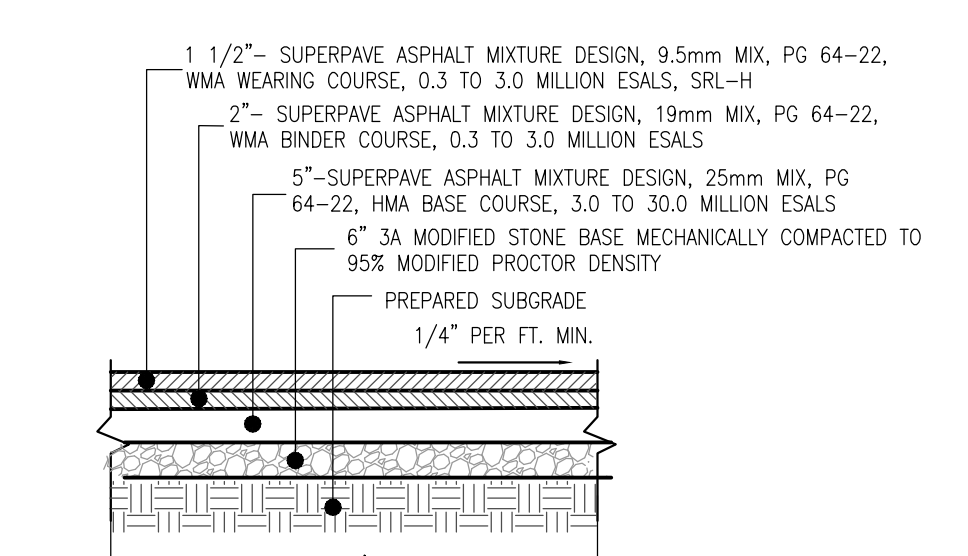
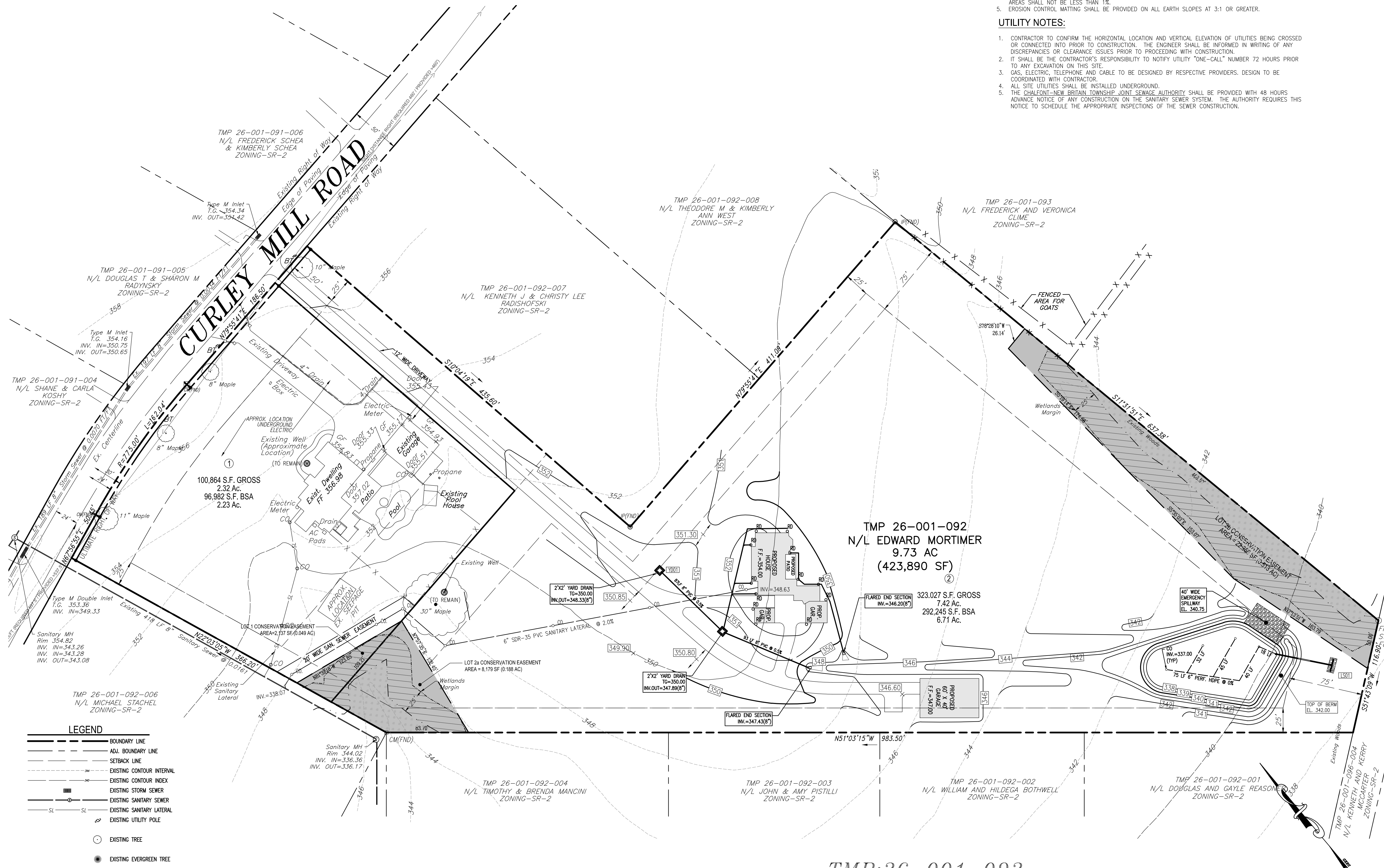
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
3. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
4. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1%.
5. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL EARTH SLOPES AT 3:1 OR GREATER.

UTILITY NOTES:

1. CONTRACTOR TO CONFIRM THE HORIZONTAL LOCATION AND VERTICAL ELEVATION OF UTILITIES BEING CROSSED OR CONNECTED INTO PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE INFORMED IN WRITING OF ANY DISCREPANCIES OR CLEARANCE ISSUES PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
3. GAS, ELECTRIC, TELEPHONE AND CABLE TO BE DESIGNED BY RESPECTIVE PROVIDERS. DESIGN TO BE COORDINATED WITH CONTRACTOR.
4. ALL SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
5. THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE AUTHORITY SHALL BE PROVIDED WITH 48 HOURS ADVANCE NOTICE OF ANY CONSTRUCTION ON THE SANITARY SEWER SYSTEM. THE AUTHORITY REQUIRES THIS NOTICE TO SCHEDULE THE APPROPRIATE INSPECTIONS OF THE SEWER CONSTRUCTION.

LANDSCAPING NOTES:

1. TOPSOIL SHALL BE A NATURAL, FRABLE, FERTILE, FINE SANDY LOAM POSSESSING THE CHARACTERISTICS OF REPRESENTATIVE TOPSOILS IN THE VICINITY. THE TOPSOIL SHALL BE FREE FROM SUBSOIL, NOXIOUS WEEDS, STONES LARGER THAN 1" IN DIAMETER, LIME, CEMENT, ASHES, SLAG, OR OTHER DELETERIOUS MATTER.
2. THE SUBGRADE SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF AT LEAST THREE (3) INCHES BEFORE TOPSOIL IS SPREAD. TOPSOIL PREVIOUSLY STOCKPILED SHALL BE SPREAD OVER THE ENTIRE WORK AREA TO A DEPTH OF AT LEAST SIX (6) INCHES AFTER COMPACTED TO A SMOOTH FIRM SETBEDD PRIOR TO SEEDING. ADDITIONAL TOPSOIL SHALL BE PROVIDED WHERE ADJUSTMENTS ARE NECESSARY TO ATTAIN FINAL TRUE EVEN GRADES SHOWN ON THE DRAWINGS. TOPSOIL MAY BE SPREAD DURING ANY SEASON, EXCEPT THAT NO TOPSOIL SHALL BE SPREAD IN A FROZEN OR MUDDY CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGE OR LOSS TO THE GRADE SURFACE CAUSED BY EROSION BEFORE PLANTING TAKES PLACE.
3. REFER TO EROSION CONTROL PLANS FOR TEMPORARY AND PERMANENT SEEDING AND FERTILIZATION SPECIFICATIONS.



LEGEND

- BOUNDARY LINE
- ADJ. BOUNDARY LINE
- SETBACK LINE
- - - EXISTING CONTOUR INTERNAL
- - - EXISTING CONTOUR INDEX
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING SANITARY LATERAL
- EXISTING UTILITY POLE
- EXISTING TREE
- EXISTING EVERGREEN TREE
- ▨ WETLAND MARGIN
- CONSERVATION EASEMENT
- PROPOSED SANITARY LATERAL
- PROPOSED CONTOUR
- PROPOSED SANITARY CLEANOUT
- PROPOSED UTIL. POLE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT

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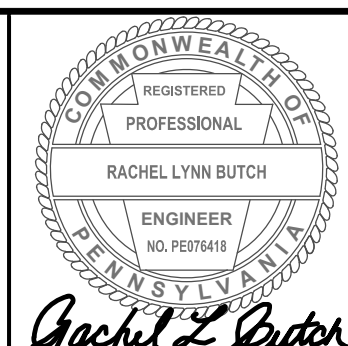
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NO.	DATE	REVISIONS	COMMENT

TMP:26-001-092

GRADING & UTILITY PLAN

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SCALE: 1"=50'
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SITUATE: NEW BRITAIN TOWNSHIP
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 PREPARED FOR:
EDWARD MORTIMER
 55 CURLEY MILL ROAD
 CHALFONT, PA. 18914

SHEET
 3 of 7

SECTION 102.2(a) - SCOPE AND PURPOSE

1. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PREPARED AND COMPLETELY IMPLEMENTED. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO LOCAL COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADEING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
2. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
3. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL COUNTY CONSERVATION DISTRICT.
4. OFF-SITE WASTE AND BORROW: THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES AND REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
5. ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
6. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
7. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE SITE AT ALL TIMES.
8. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

UTILITY LINE TRENCH EXCAVATION NOTES:

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
7. SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

1. E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
2. ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEED WITH PERMANENT SEED MIX AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE. A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20. A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) TEMPORARY SEED MIXTURE. ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.
ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (4) MULCH. ALL AREAS THAT ARE SEED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

SECTION 102.22(a) - PERMANENT SITE STABILIZATION

1. E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
3. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT P254 BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
4. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
5. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O&P SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
7. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
8. NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE. A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 20 - 20. A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)
 - (3) PERMANENT SEED MIXTURE. IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102.
(A) ANNUAL RYEGRASS IS TO BE SEED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
(B) TURF LAWN AND MOWED AREAS (SUNNY):
60% KENTUCKY BLUEGRASS
20% CHEWINGS FESUQUE
20% PERENNIAL RYEGRASS
SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)
PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15
(C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIME SEED 100% (PLS 100%)
EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:
CALCULATE PLS% FOR 85% PURE SEED WITH 72% GERMINATION: 85 x 72 / 100 = 61% PLS
DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63
THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
 - (4) MULCH. ALL AREAS THAT ARE SEED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION WITH POLYMERIC OR GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. MULCH ON SLOPES OF 8% OR GREATER SHOULD BE HELD IN PLACE WITH NETTING OR EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
 - (5) EROSION CONTROL BLANKET. ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.



LOCATION MAP
SCALE 1" = 800'

SITE OWNER/APPLICANT

EDWARD MORTIMER
55 CURLEY MILL RD.
CHALFONT, PA. 18914

SECTION 102.4(b)(5)(v) - SURFACE WATER CLASSIFICATION

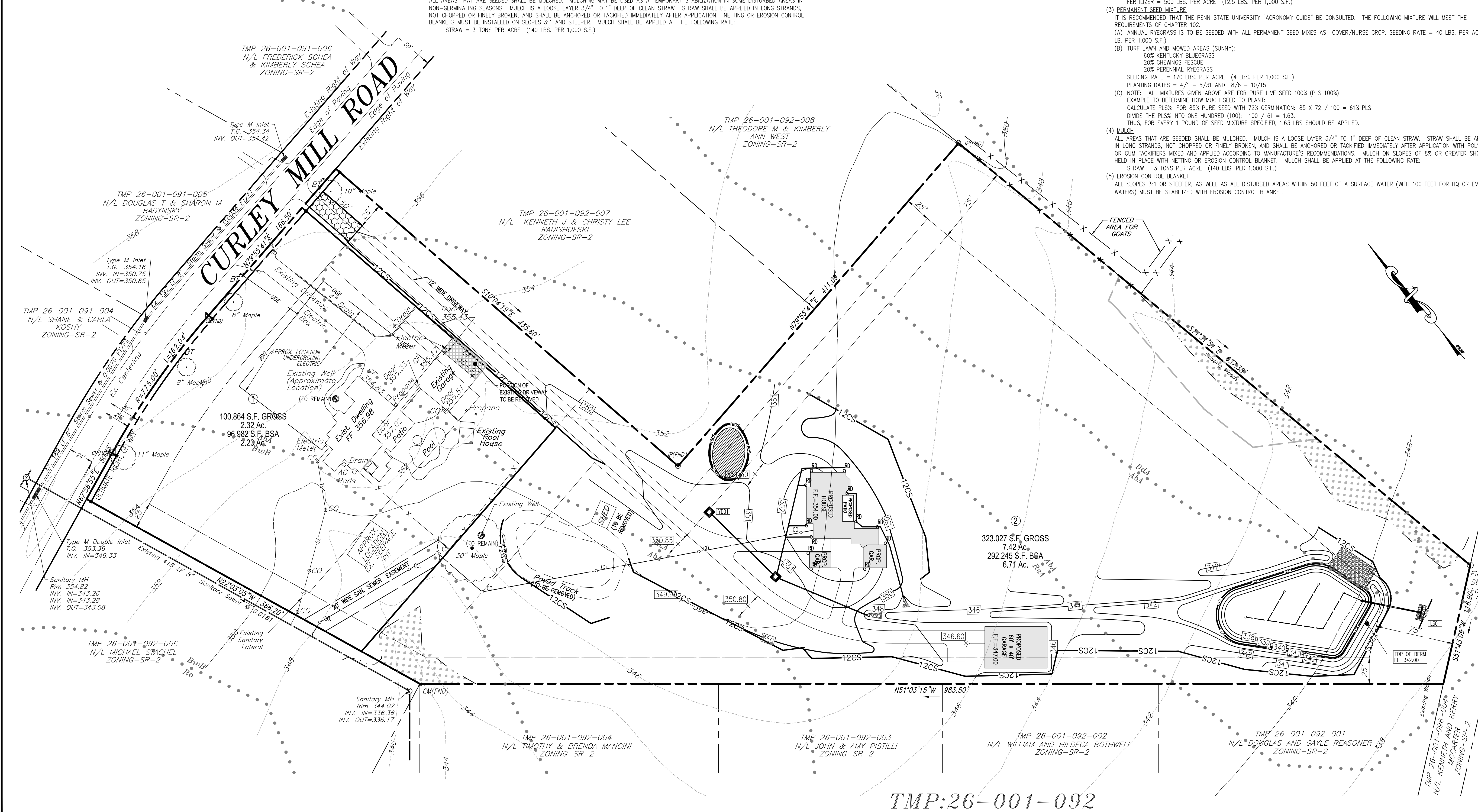
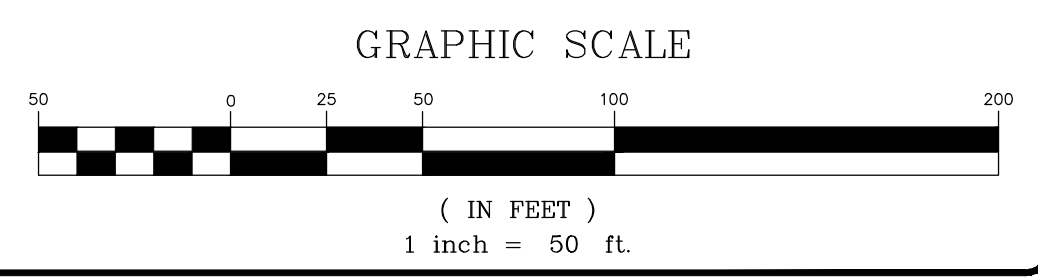
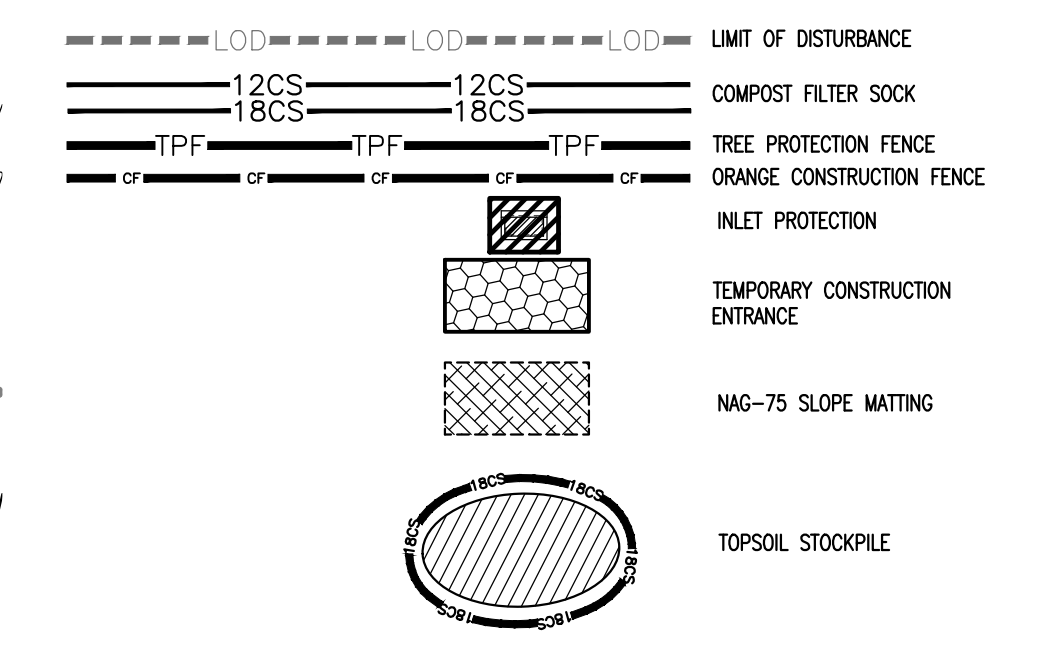
THE SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED. THE PROJECT'S RECEIVING WATERCOURSE IS AN UNNAMED TRIBUTARY TO THE READING CREEK. PER THE PENNSYLVANIA CODE, TITLE 25, CHAPTER 93 WATER QUALITY STANDARDS, THE RECEIVING WATERCOURSE HAS THE FOLLOWING STREAM DESIGNATION:
WF - WARM WATER FISHES
MF - MIGRATORY FISHES

SECTION 102.4(b)(5)(vii) - CONSTRUCTION SEQUENCE

1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL BE FOUR OR MORE DAYS, ALL BARE SOIL AREAS SHALL BE IMMEDIATELY STABILIZED IN THE FORM OF 3 TON/ACRE STRAW MULCH OR EQUIVALENT, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
2. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.
3. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.

THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE

1. THE CONTRACTOR SHALL NOTIFY NEW BRITAIN TOWNSHIP, THE TOWNSHIP ENGINEER, DESIGN ENGINEER AND BCDD AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
2. STAKE OUT LIMIT OF DISTURBANCE TO DELINEATE AREA WHERE WORK IS PERMITTED PRIOR TO ANY E&S MEASURES BEING INSTALLED. IF AT ANY TIME DURING CONSTRUCTION THE LIMIT OF DISTURBANCE EXCEEDS 1 ACRE, AN NPDES PERMIT WILL BE REQUIRED.
3. INSTALL CONSTRUCTION FENCE AROUND THE UNDERGROUND INFILTRATION AREA.
4. INSTALL COMPOST FILTER SOCK/TREE PROTECTION/CONSTRUCTION ENTRANCE WHERE INDICATED ON THE PLAN.
5. STRIP TOPSOIL FROM AREA OF PROPOSED CONSTRUCTION.
6. ROUGH GRADE SITE AS INDICATED ON PLAN.
7. INSTALL STONE BASE FOR PROPOSED DRIVEWAY.
- ** PRIOR TO VERTICAL CONSTRUCTION, A STABLE BASE WILL BE ESTABLISHED.**
8. INSTALL NEW BUILDING FOUNDATIONS AND PROPOSED HOUSES.
9. INSTALL UNDERGROUND UTILITIES.
11. INSTALL UNDERGROUND INFILTRATION BASIN AND ROOF DRAIN SYSTEM. BLOCK INLETS UNTIL FINAL STABILIZATION HAS OCCURRED. BASIN BOTTOM ELEVATIONS SHALL BE AS-BUILT PRIOR TO BACKFILLING WITH STONE.
12. COMPLETE FINAL GRADING OF SITE.
13. TEMPORARILY SEED ALL BARE EARTH AREAS. ADDITIONAL TOPSOIL TO BE ADDED IF REQUIRED.
14. REMOVE COMPOST FILTER SOCK/TREE PROTECTION FENCE AFTER APPROVAL BY BCDD AND UPSTREAM AREAS HAVE ACHIEVED 70% UNIFORM STABILIZATION.
15. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.



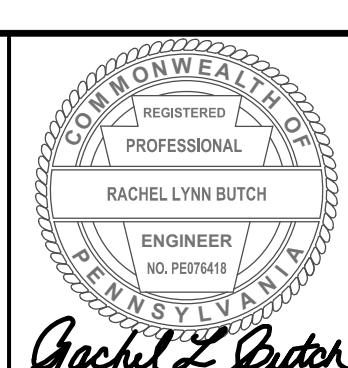
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EROSION & SEDIMENT CONTROL PLAN

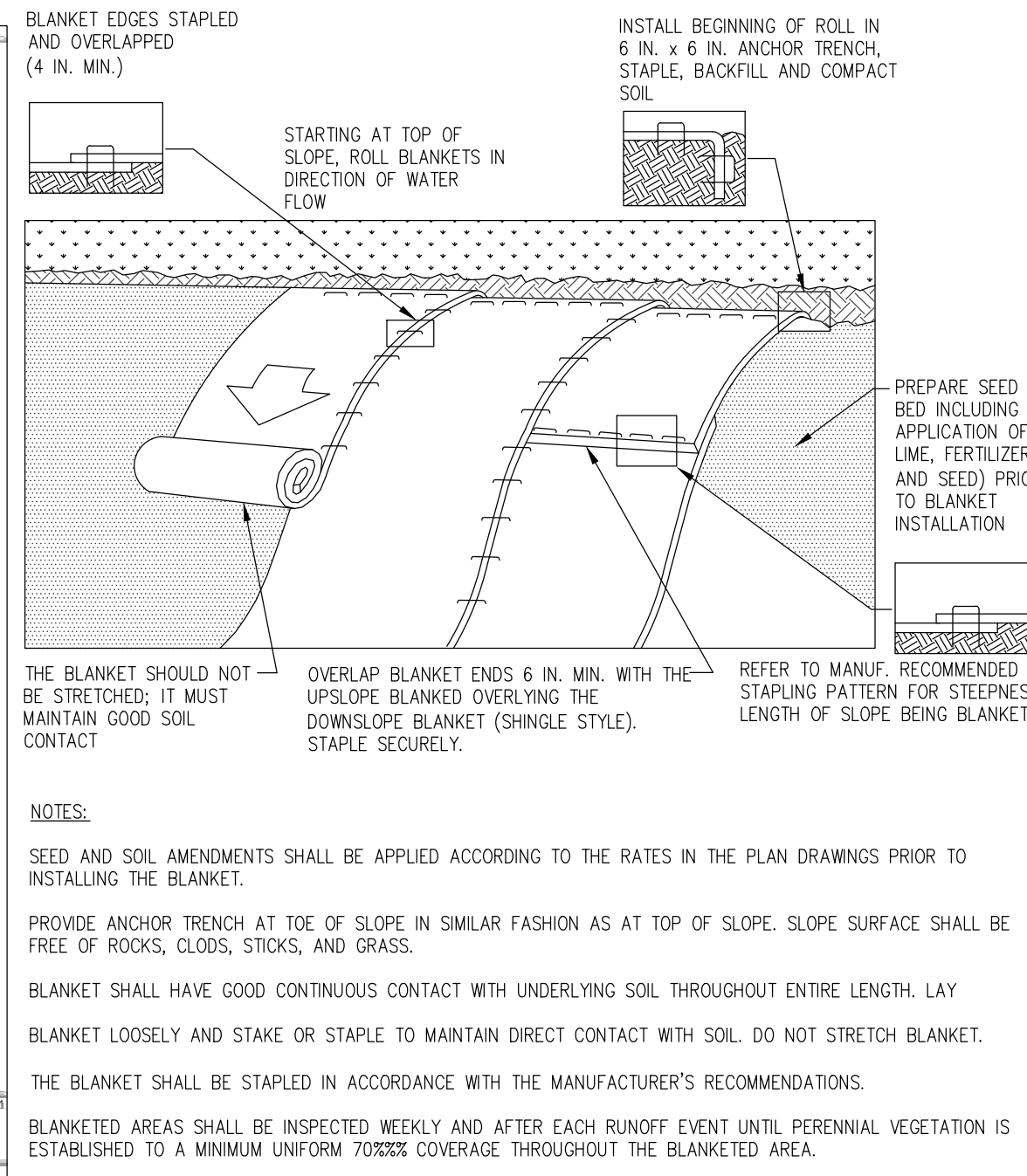
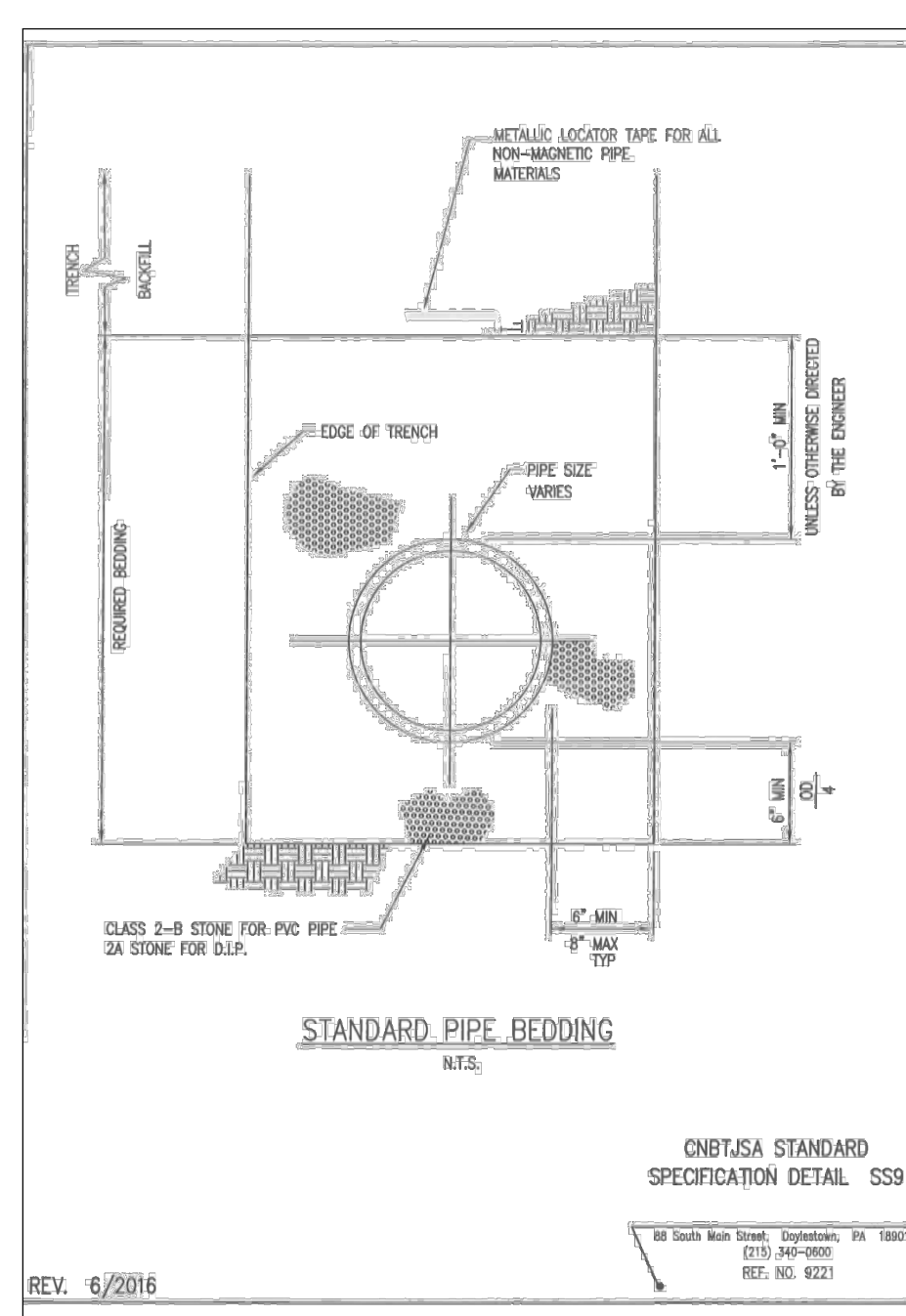
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 showalterassociates@rshowalter.com



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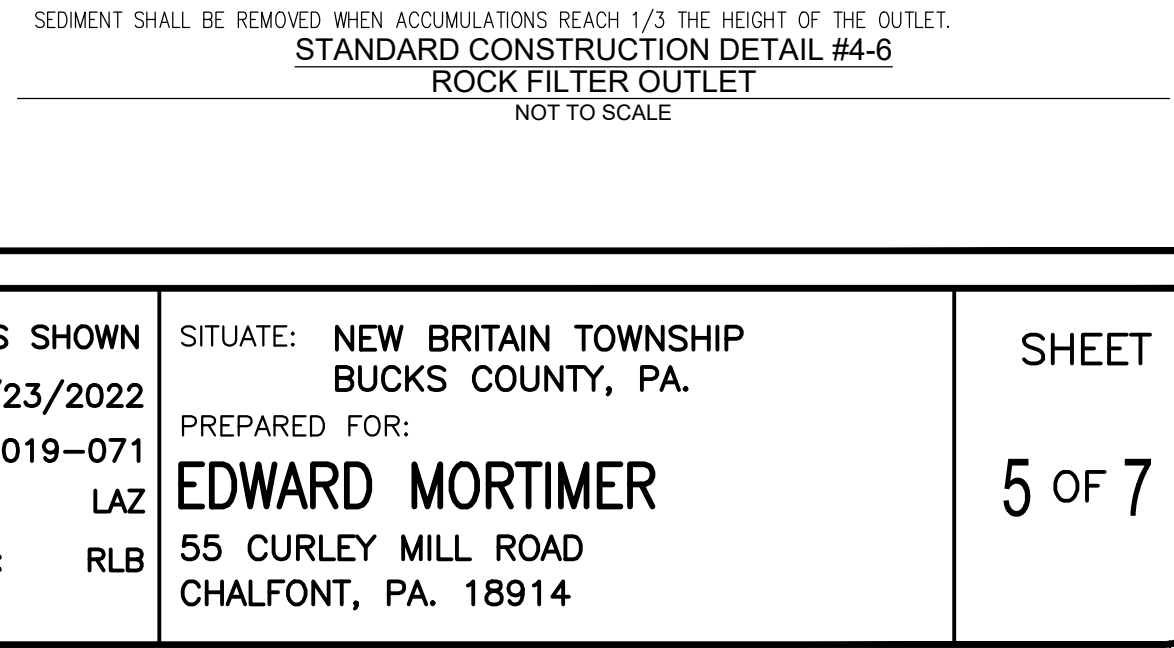
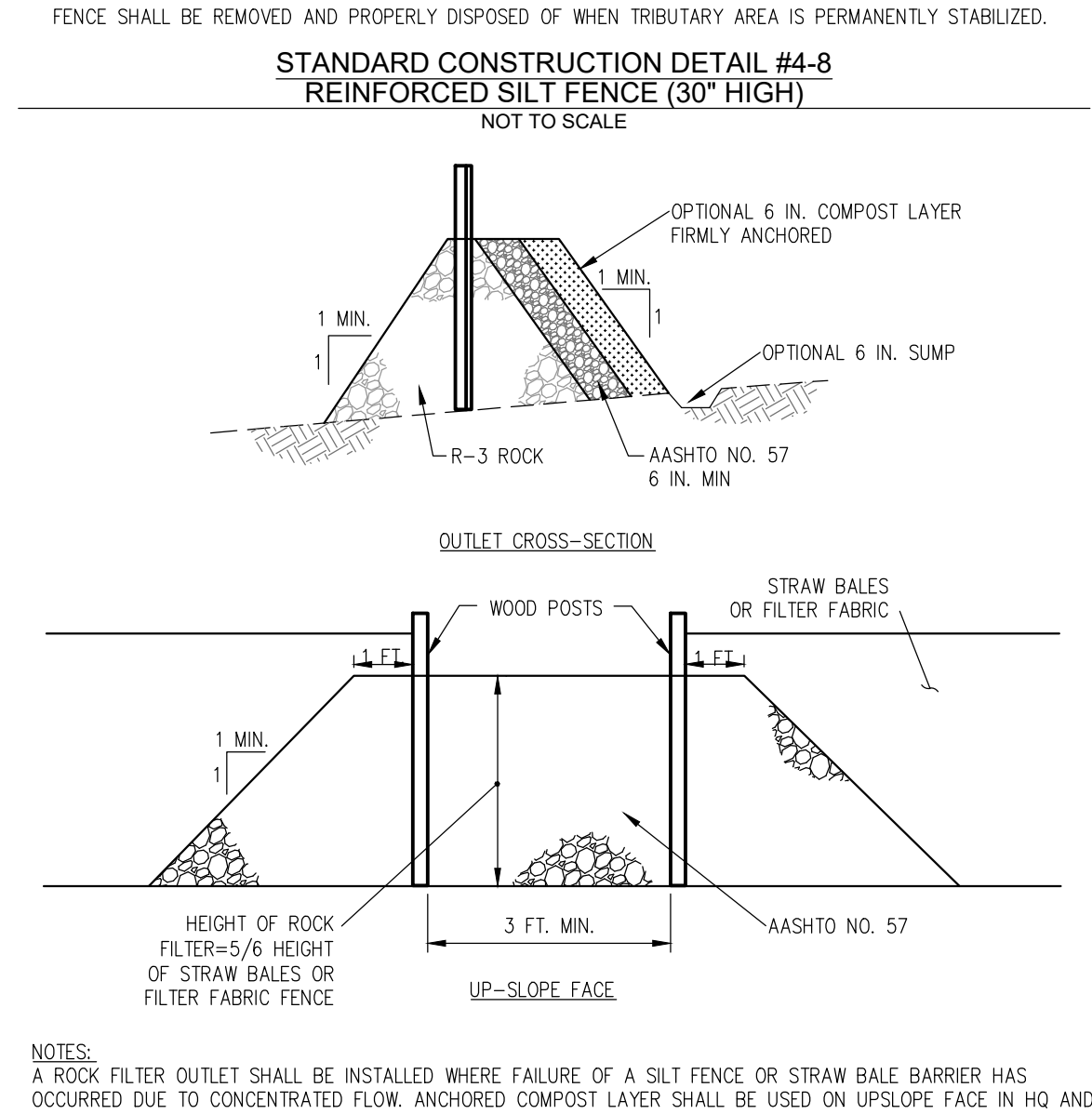
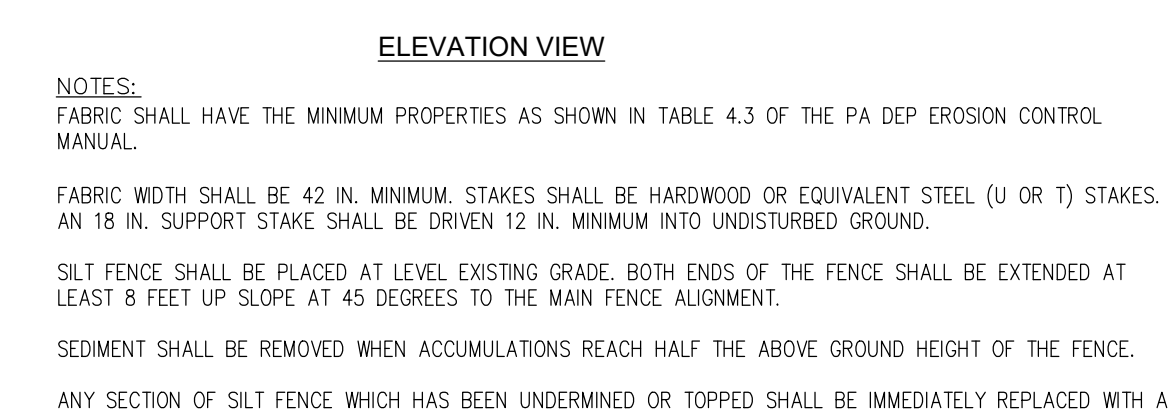
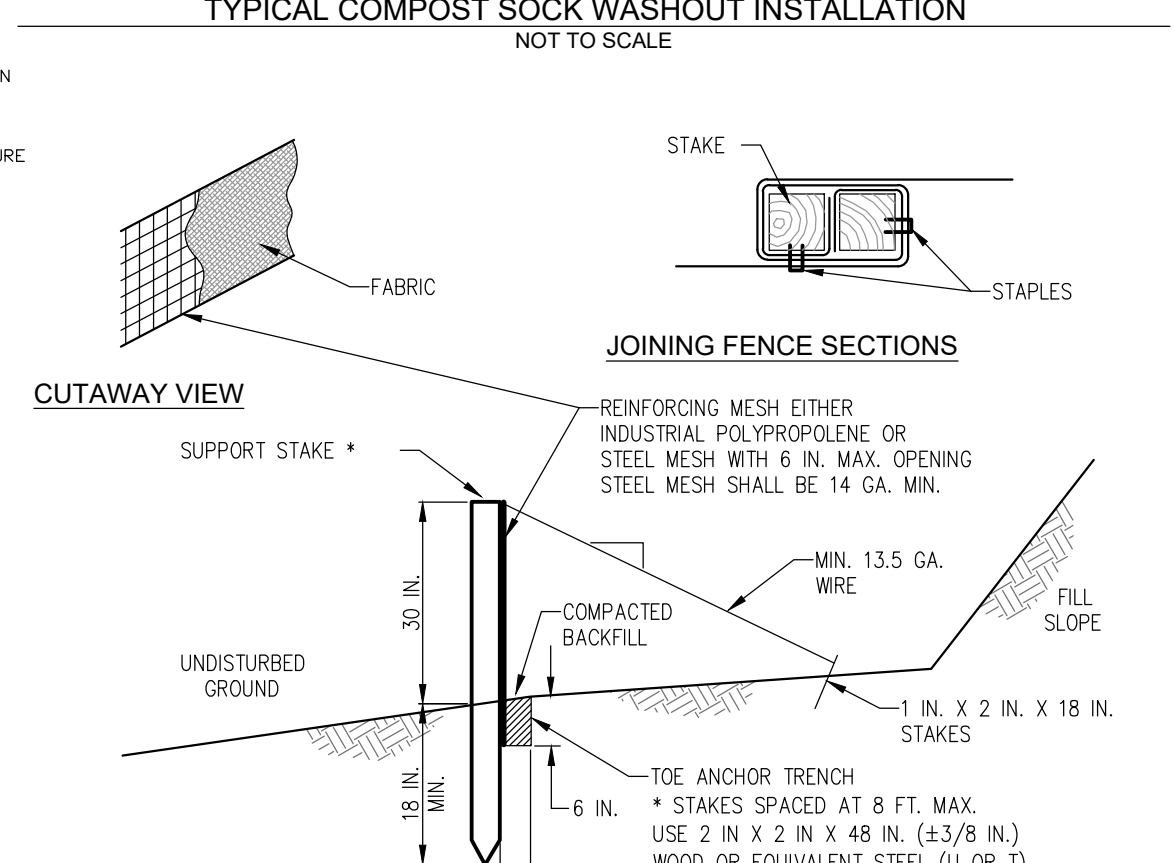
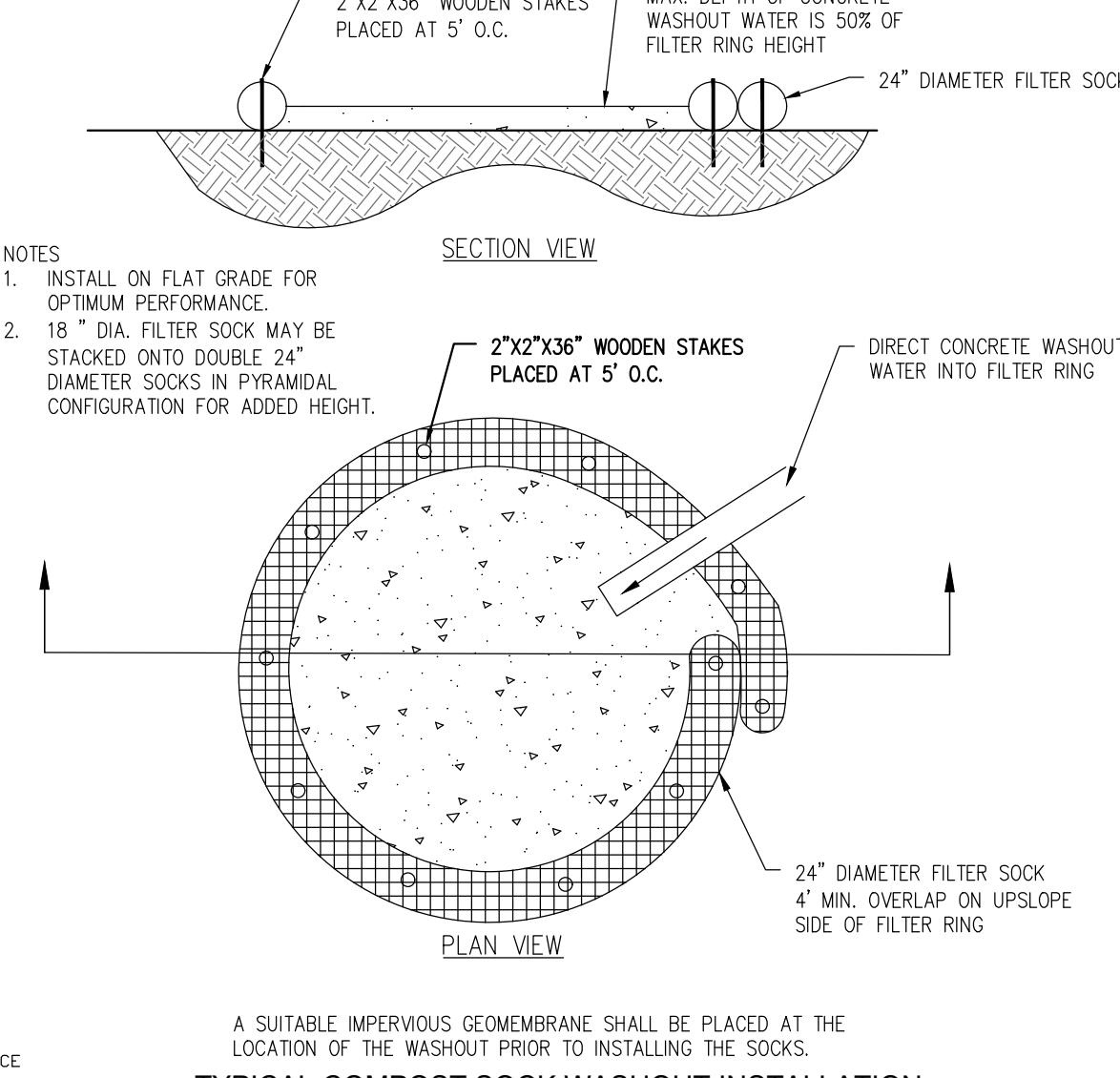
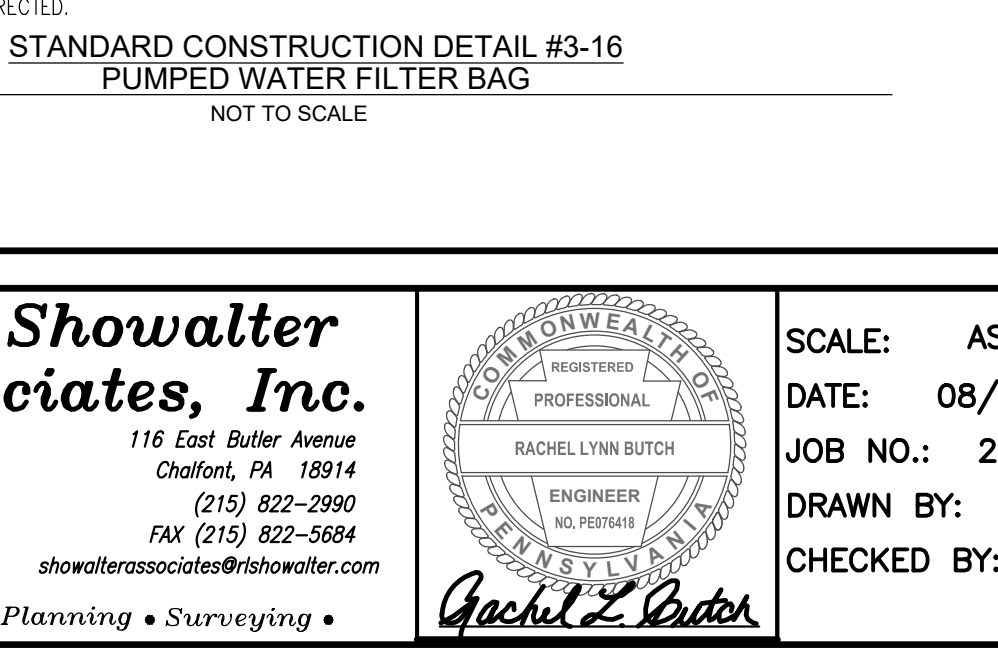
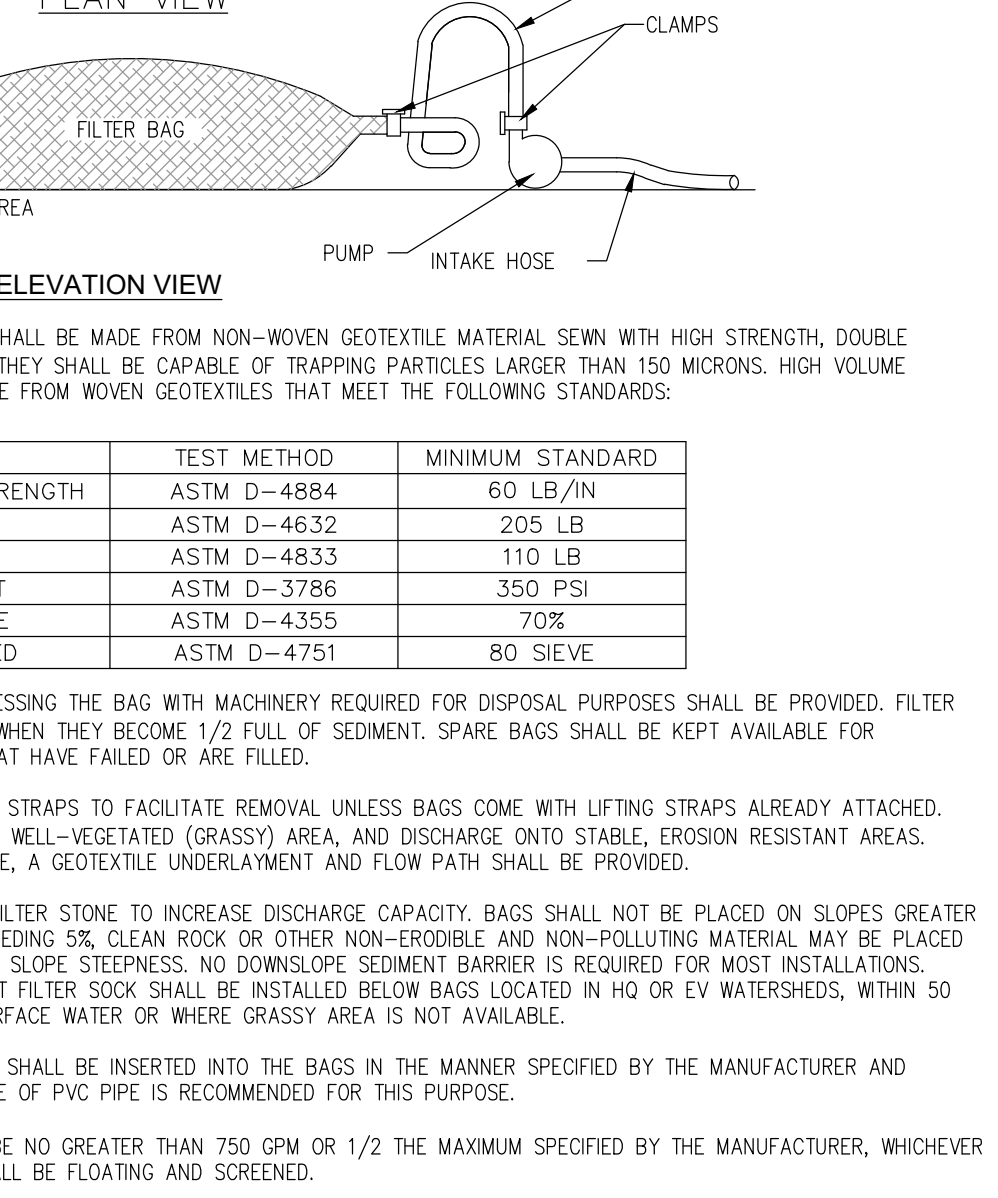
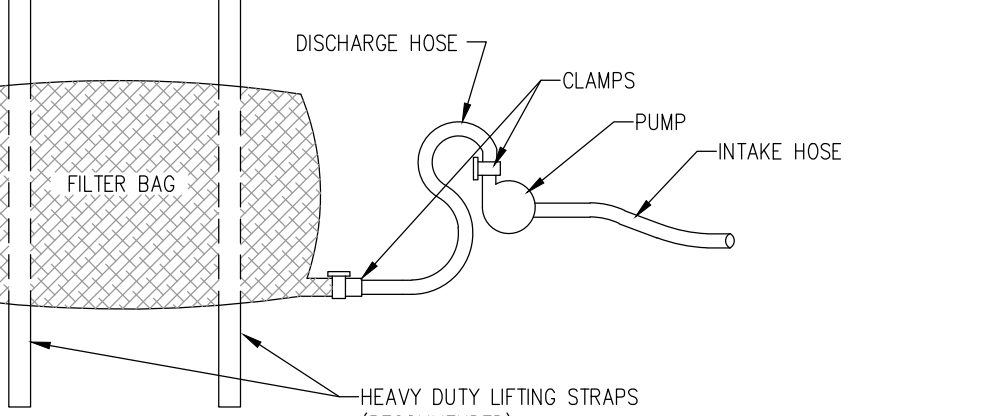
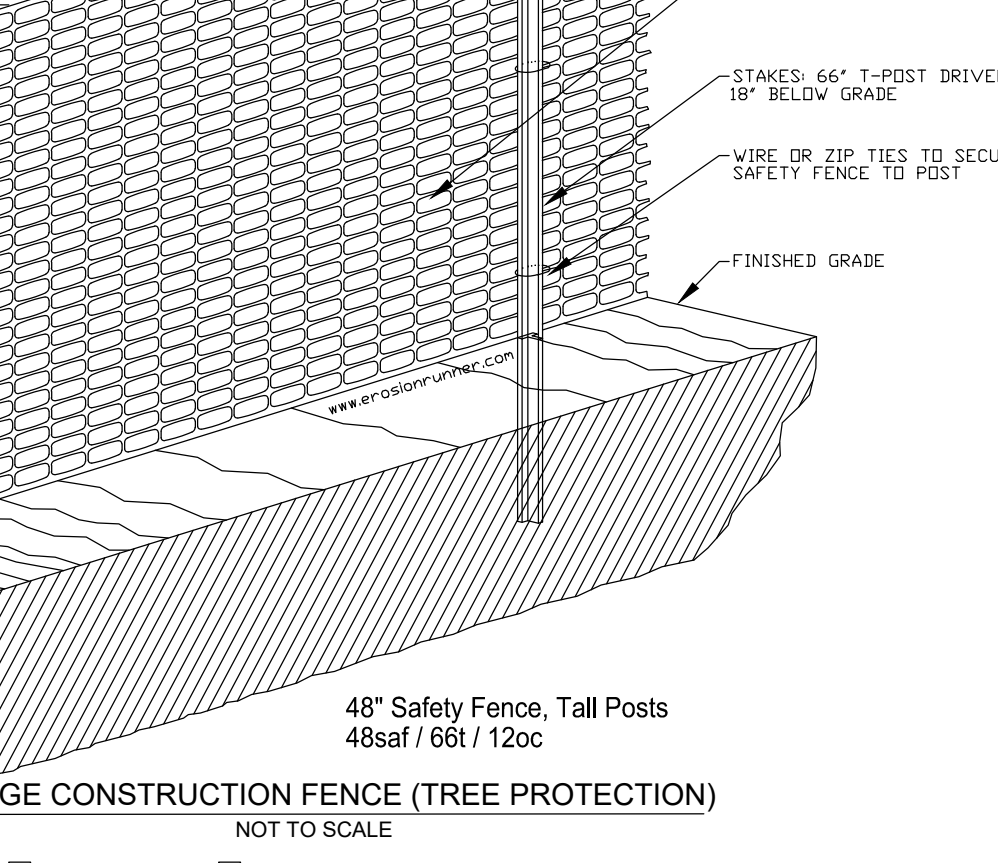
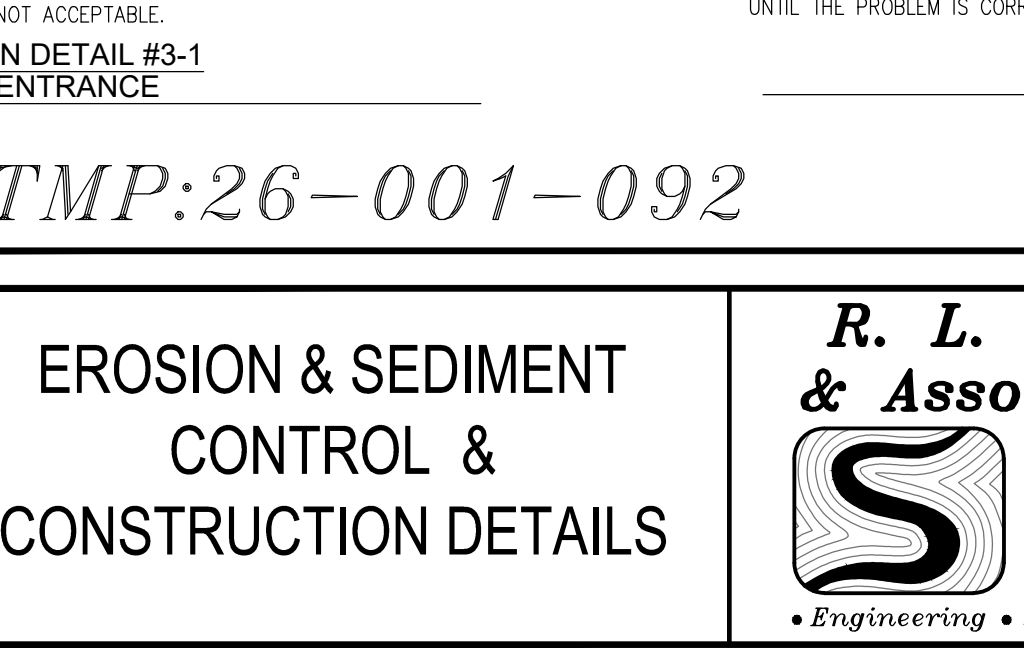
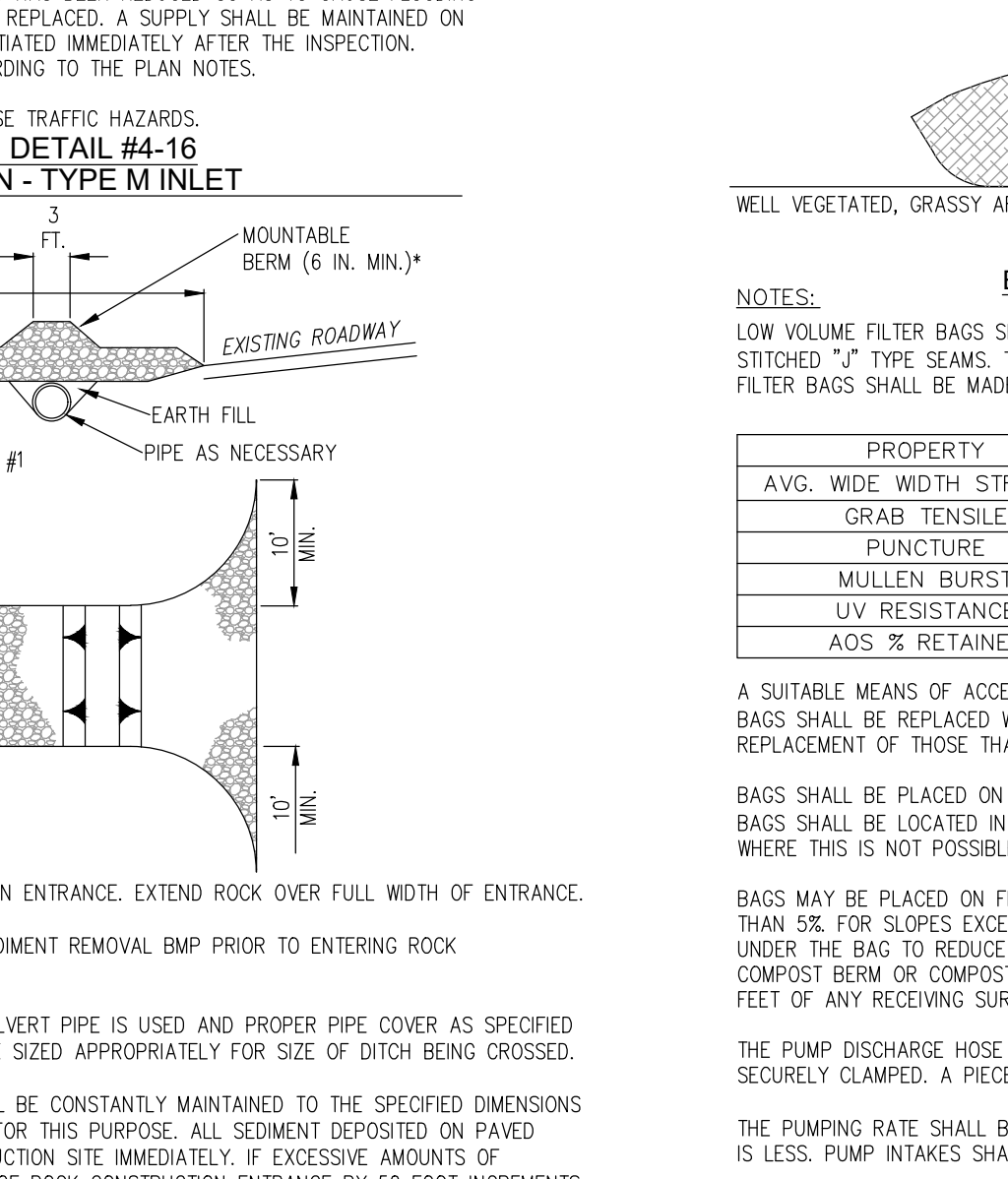
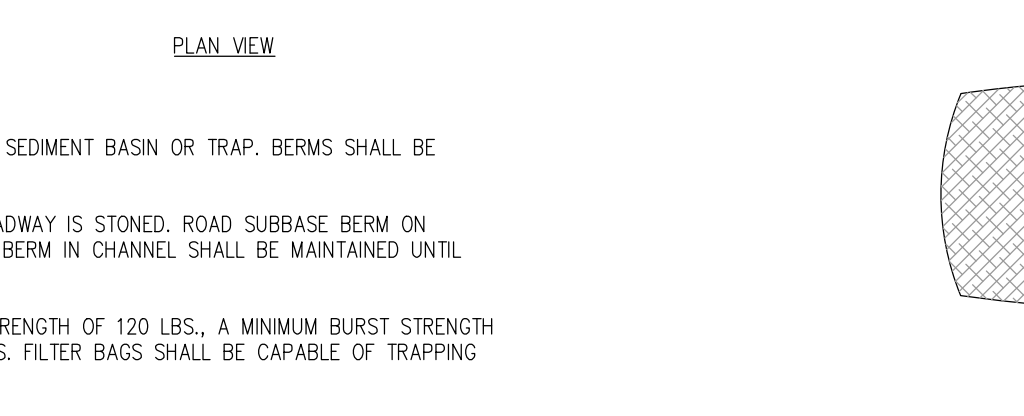
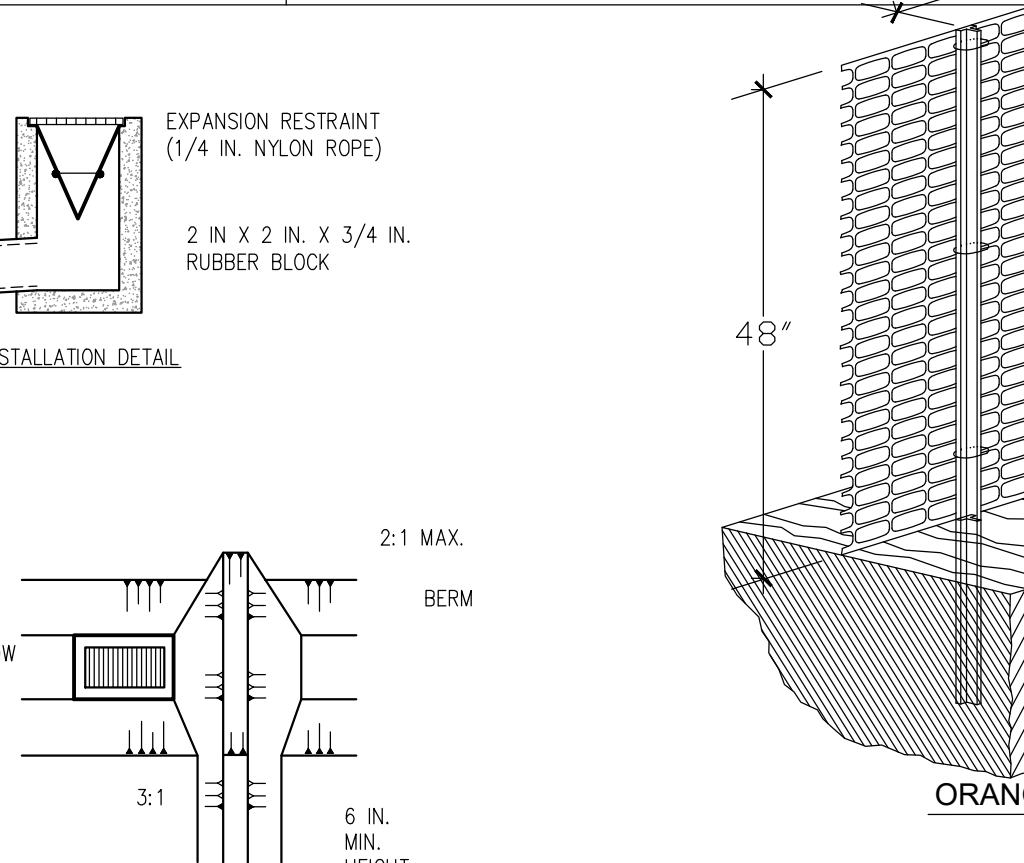
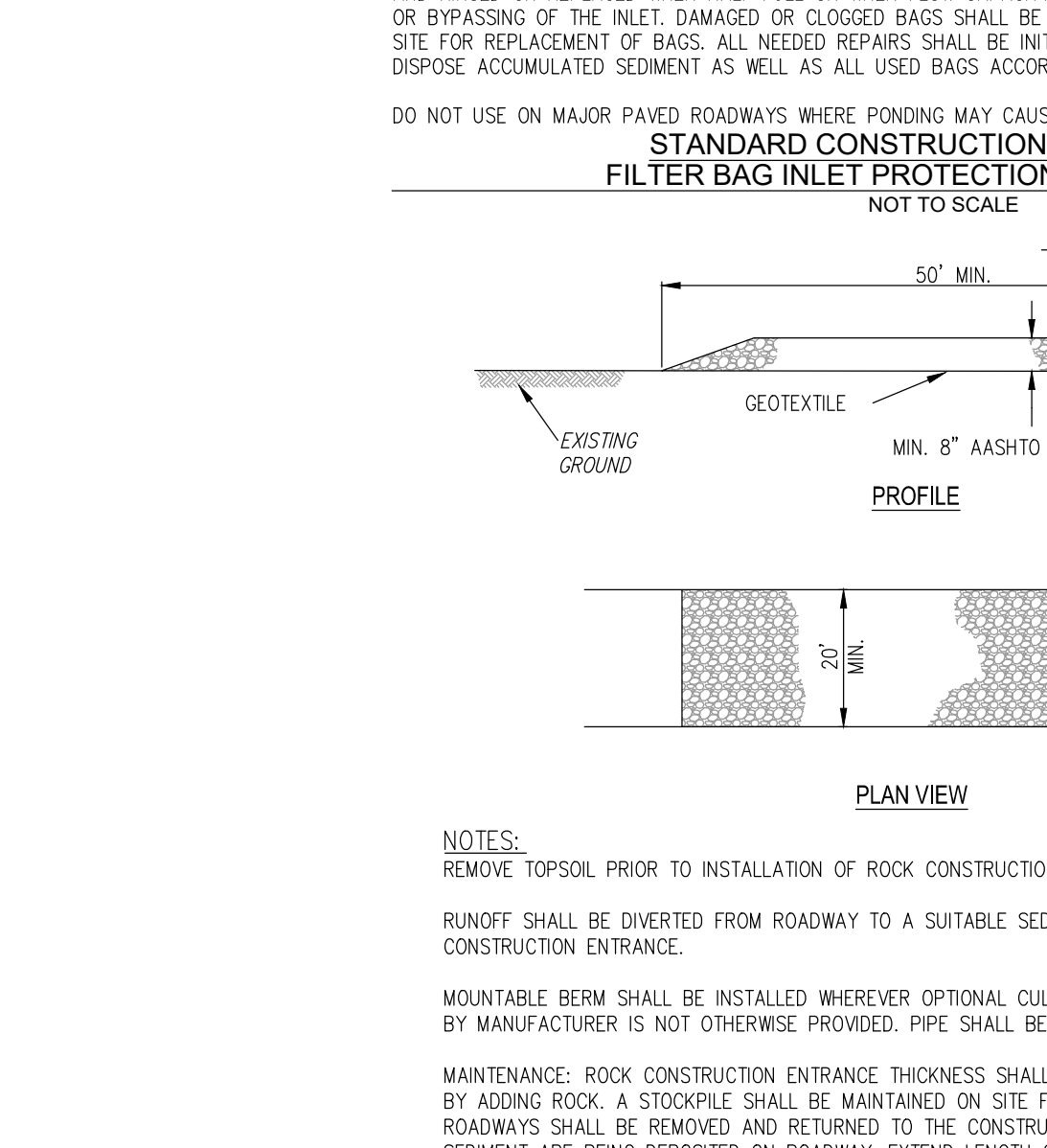
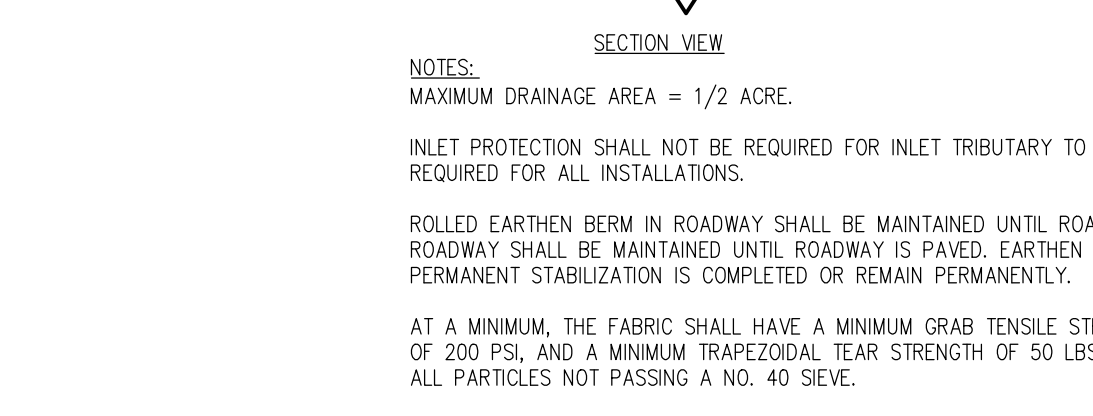
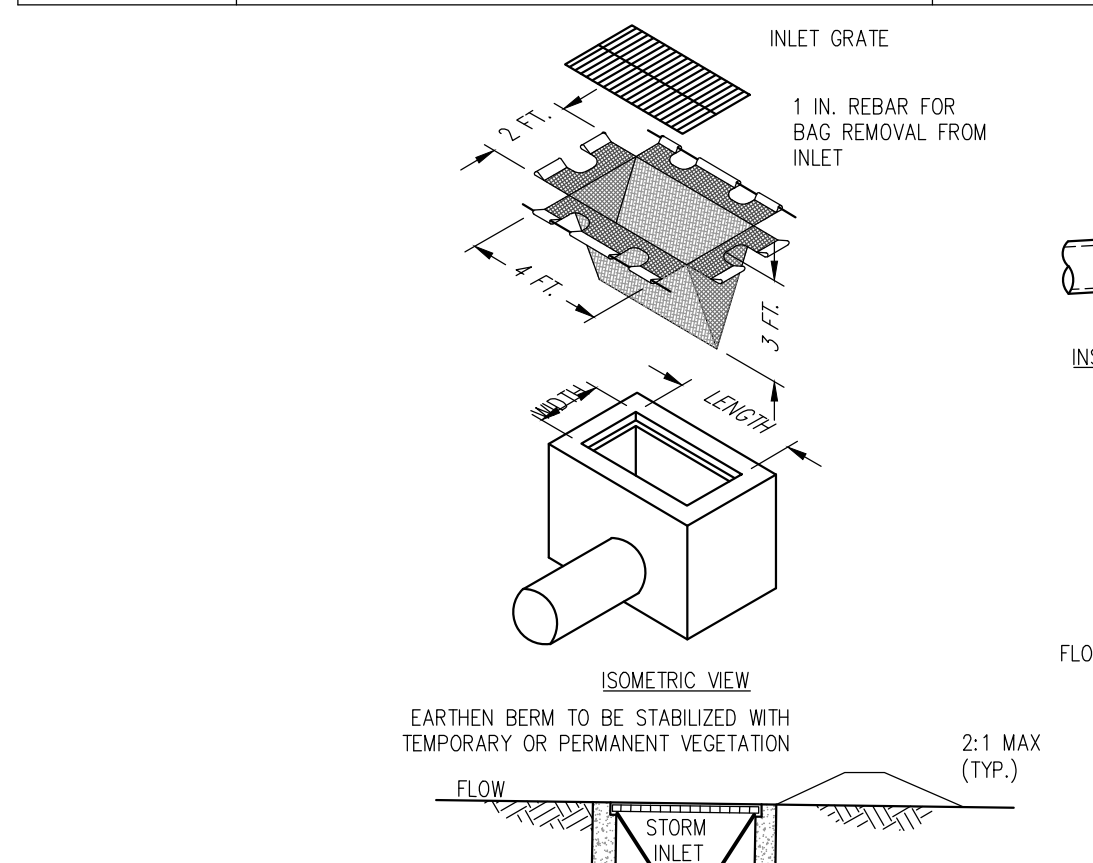
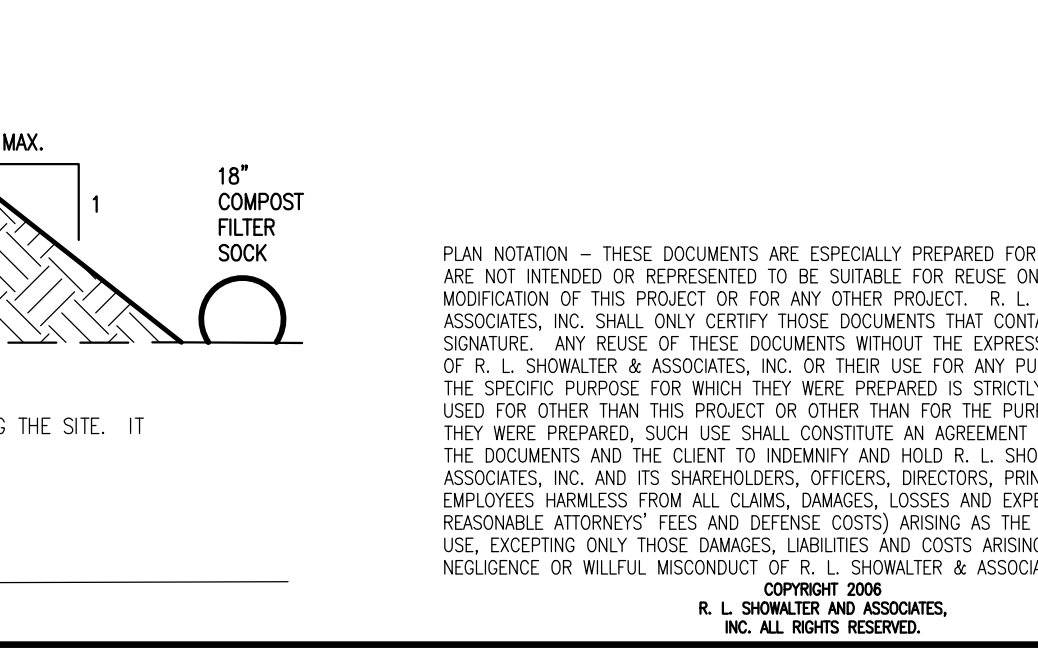
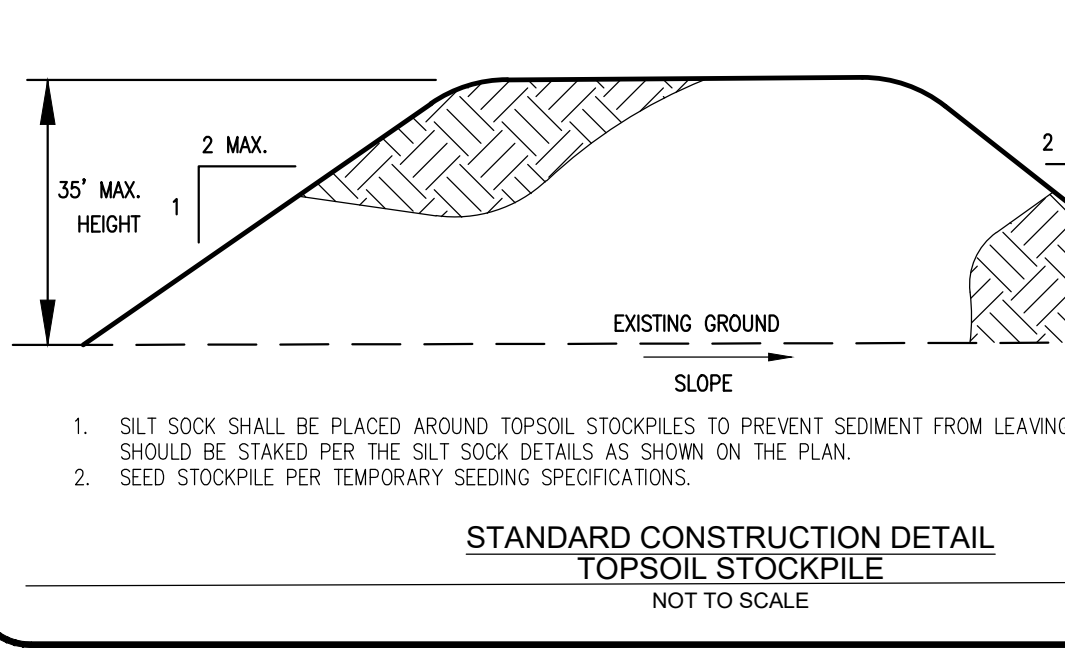
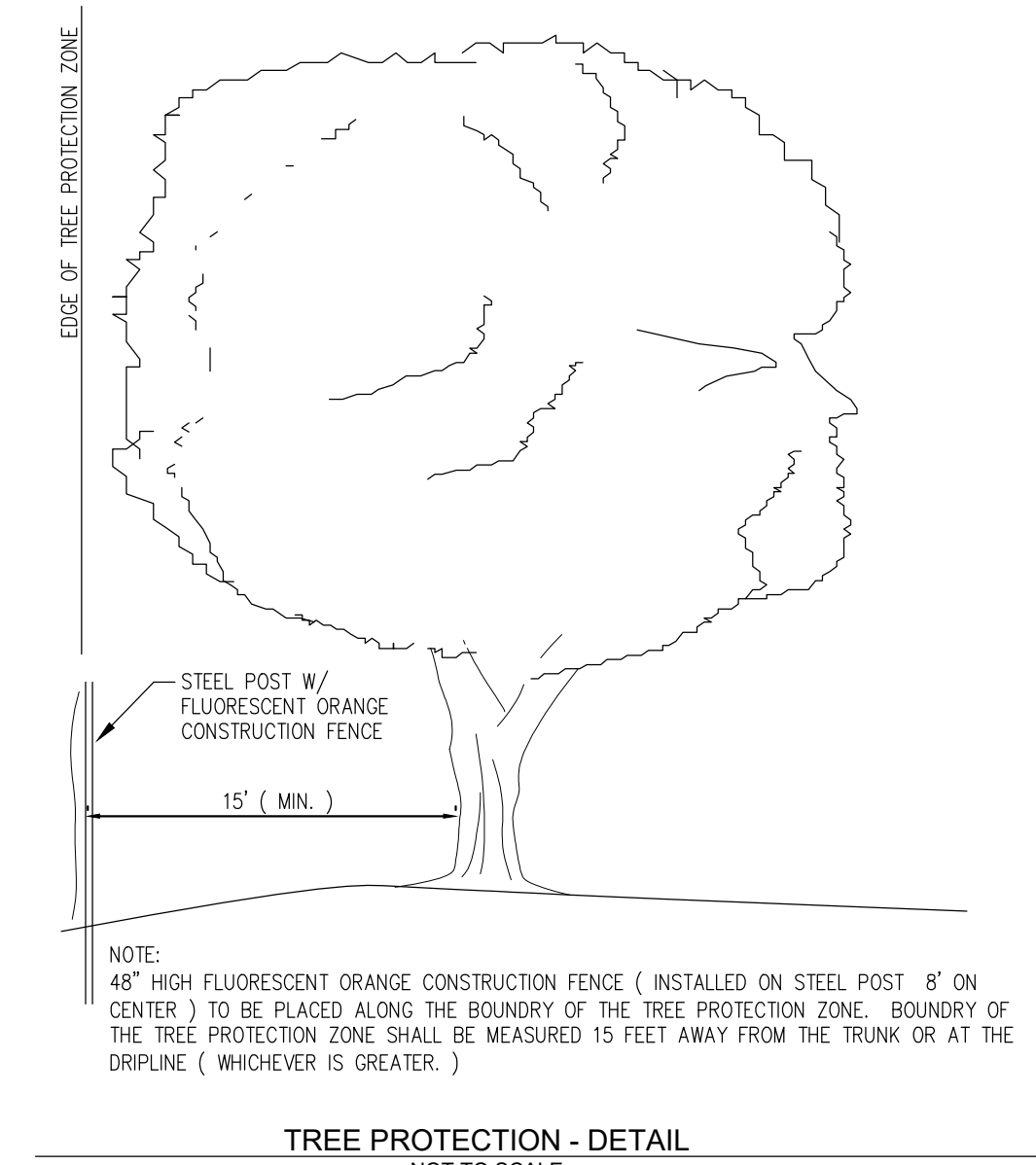
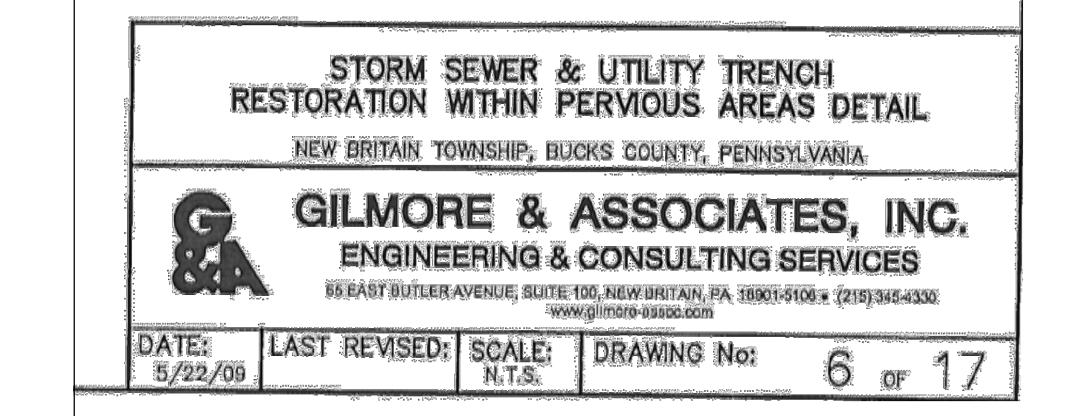
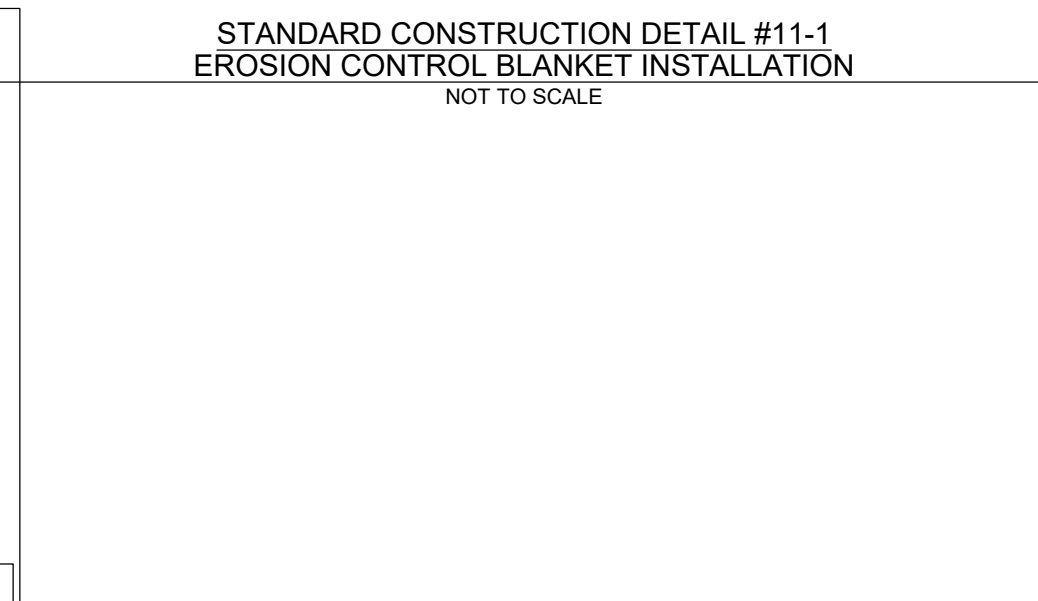
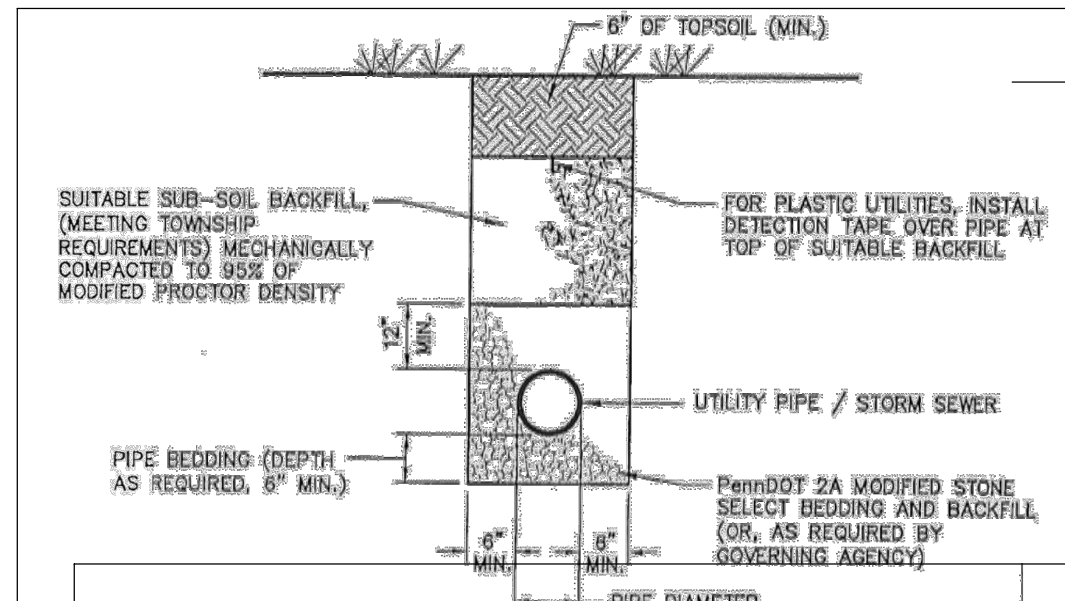
SITUATE: NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PA.
 PREPARED FOR:
EDWARD MORTIMER
 55 CURLEY MILL ROAD
 CHALFONT, PA. 18914

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4 of 7



SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

E&S BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE	ADDITIONAL SPECIFICATIONS
ROCK CONSTRUCTION ENTRANCE	<ul style="list-style-type: none"> MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS REMOVE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS/SIDEWALKS IMMEDIATELY UPON DISCOVERY, RESEEDING, AND MULCHING. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 	<ul style="list-style-type: none"> INSPECT DAILY 	<ul style="list-style-type: none"> IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLICK CONDITIONS ON TRAVELED ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATISFACTION OF THE TOWNSHIP. ALL SEDIMENT LAZED WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN ADEQUATE FILTER CONTROL, SUCH AS A WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER COURSE. REMOVAL OF MUD OR DEBRIS FROM THE HIGHWAY SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR AND/OR DEVELOPER. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED. TO BE INSTALLED UPON FAILURE OF SILT FENCE DUE TO CONCENTRATED FLOW
PUMPED WATER FILTER BAG	<ul style="list-style-type: none"> REPLACE BAGS WHEN THEY BECOME 1/2 FULL OF SEDIMENT 	<ul style="list-style-type: none"> INSPECT BAGS DAILY 	<ul style="list-style-type: none"> IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.
ROCK FILTER OUTLET	<ul style="list-style-type: none"> SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET. 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT 	<ul style="list-style-type: none"> ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. ADHERE TO ALL MANUFACTURERS' RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING. ANY SECTION OF FILTER FABRIC FENCE THAT HAS BEEN UNDERMINED OR TOPPLED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
SILT FENCE	<ul style="list-style-type: none"> SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP FENCE FUNCTIONAL AND WHEN SEDIMENT ACCUMULATIONS REACH ONE-HALF (1/2) THE ABOVE GROUND HEIGHT OF THE FENCE. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR SHALL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIAL. 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT 	<ul style="list-style-type: none"> REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS
SEEDING AND MULCHING	<ul style="list-style-type: none"> SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND RESEED AS NECESSARY, RESEED, AND MULCHED. PROMPTLY REAPPLY MULCH MATERIALS, WHICH BECOME DISLODGED OR LOST, DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES, AS DIRECTED. 	<ul style="list-style-type: none"> PROPERLY MAINTAIN SEEDING AND MULCHING AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. REFER TO TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS FOR ADDITIONAL DETAIL. 	<ul style="list-style-type: none"> REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS
EROSION CONTROL BLANKET	<ul style="list-style-type: none"> DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS. 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. 	<ul style="list-style-type: none"> AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED.



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NO.	DATE	COMMENT
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TMP:26-001-092

EROSION & SEDIMENT CONTROL & CONSTRUCTION DETAILS
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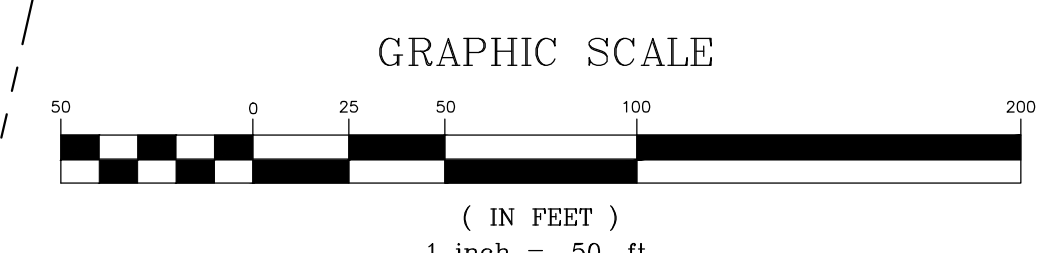
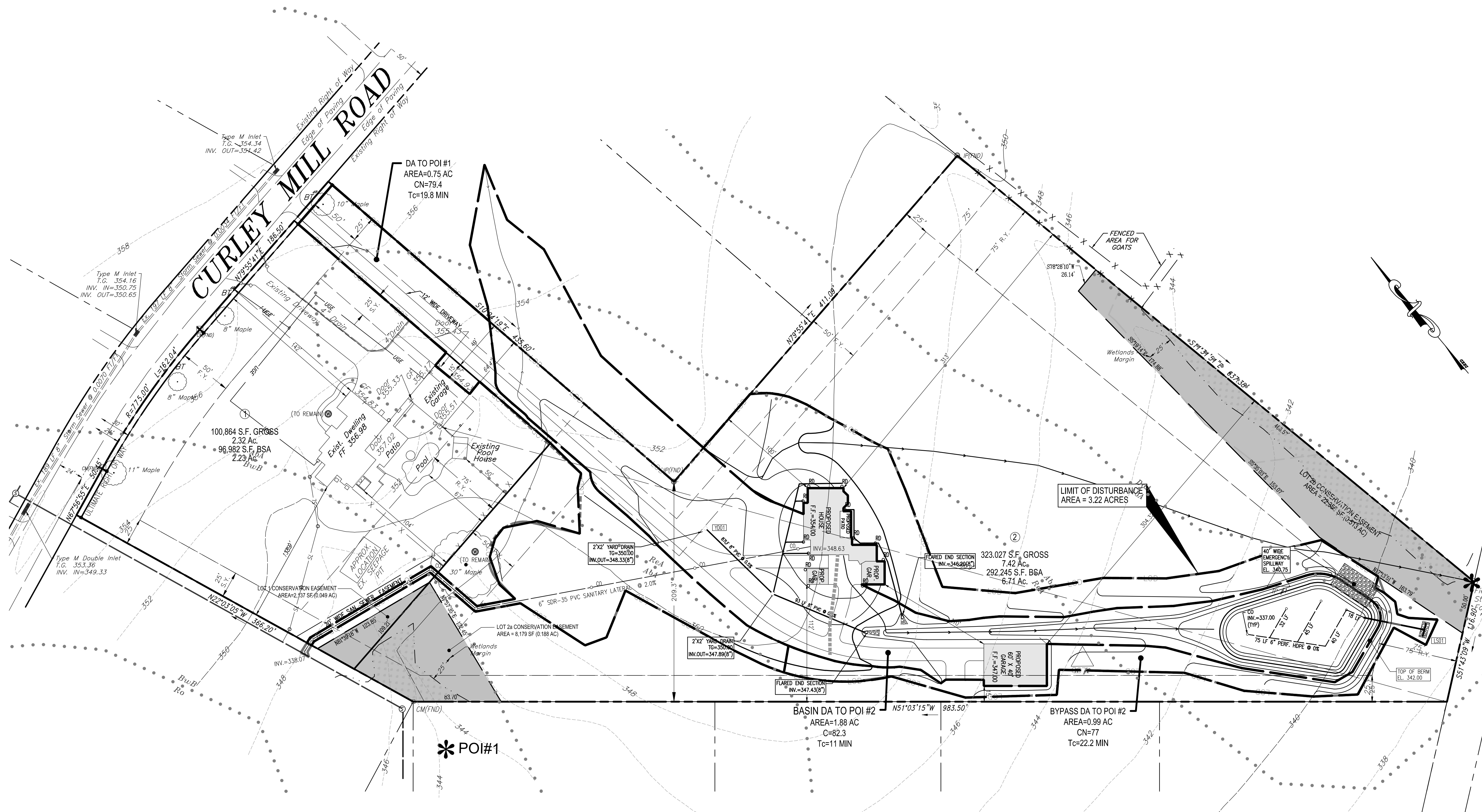
SITUATE: NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PA.
 PREPARED FOR:
EDWARD MORTIMER
 55 CURLEY MILL ROAD
 CHALFONT, PA. 18914

SHEET
5 of 7



LOCATION MAP
SCALE 1" = 800'

SITE OWNER/APPLICANT
EDWARD MORTIMER
55 CURLEY MILL RD.
CHALFONT, PA. 18914



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POST CONSTRUCTION
STORMWATER
MANAGEMENT PLAN

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SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA.
PREPARED FOR:
EDWARD MORTIMER
55 CURLEY MILL ROAD
CHALFONT, PA. 18914

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6 OF 7

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PERMANENT CONTROL MEASURES FOR LONG TERM PROTECTION DURING EARTHMOVING:

- A. PERMANENT SEEDING - AREAS NOT PAVED SHALL BE SEEDDED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS: 1. LIME - AGRICULTURAL GRADE LIMESTONE. A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE: LIME = 6 TONS PER ACRE, 275 LBS. PER 1,000 S.F.

- B. MULCH - STRAW ALL AREAS THAT ARE SEEDDED SHOULD BE MULCHED. MULCH IS A LOOSE LAYER THREE FOURTHS OF AN INCH TO ONE INCH (3/4" TO 1") DEEP OF CLEAN STRAW. MULCH REDUCES SOIL EROSION, AID'S GERMINATION, AND CONSERVES MOISTURE. STRAW SHOULD NOT BE CHOPPED OR FINELY BROKEN DURING APPLICATION. MULCH SHOULD BE APPLIED AS FOLLOWS: MULCH - 3 TONS PER ACRE, 140 LBS. PER 1,000 S.F.

- C. VEGETATIVE SURFACE STABILIZATION: 1. REFER TO THE ACCOMPANYING PLAN(S) AND SPECIFICATIONS PERTAINING TO PERMANENT SEEDING. 2. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS POSSIBLE AFTER FINAL GRADES HAVE BEEN ESTABLISHED. 3. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES.

SECTION 102.8(f)(11) - PCSM RECYCLING AND DISPOSAL OF MATERIALS

- 1. THE ANTICIPATED POST-CONSTRUCTION WASTES FROM THE PCSM BMPs INCLUDE BUT ARE NOT LIMITED TO: EXCESS SOIL AND SEDIMENT, LITTER, TRASH, ORGANIC DEBRIS INCLUDING LEAVES, GRASS CLIPPINGS, BRANCHES, VEGETATION, STONE, FILTER FABRIC, AND PIPING MATERIALS CONSISTING OF PLASTIC, CONCRETE, OR METAL.

CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE

- 1. IF FILL IS REQUIRED, THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. APPLICANTS AND/OR OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL," DOCUMENT NUMBER 258-2182-773.

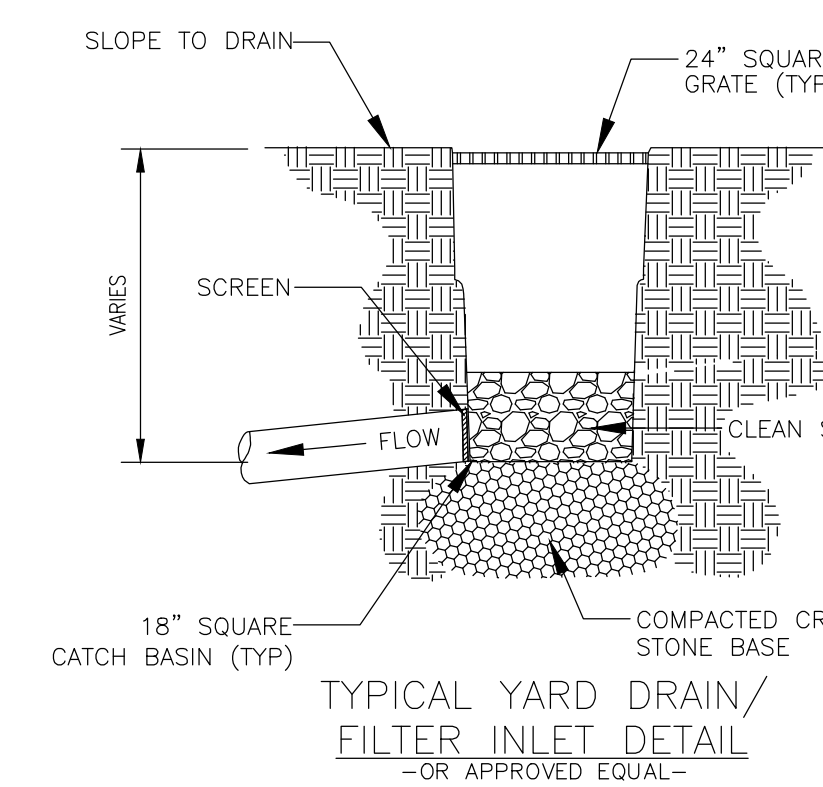
CONSTRUCTION SEQUENCE FOR REVEGETATE/REFOREST DISTURBED AREAS (BMP 5.6.3):

- 1. ALL PLANTINGS SHOULD BE INSTALLED DURING THE FINAL CONSTRUCTION PHASE OF THE PROJECT. 2. PLANTING TIME: PLANT OR INSTALL MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF LANDSCAPE WORK REQUIRED. 3. COORDINATION WITH LAWNS: PLANT TREES AND SHRUBS AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWNS, UNLESS OTHERWISE ACCEPTABLE.

SECTION 102.8(f)(10) - PCSM BMP LONG-TERM OPERATION, MAINTENANCE, AND INSPECTION SCHEDULE

- 1. STORMWATER MANAGEMENT MAINTENANCE RESPONSIBILITY - THE STORMWATER MANAGEMENT FACILITIES WITHIN PRIVATE RIGHTS-OF-WAY SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION, OR EQUIVALENT, AND ARE ULTIMATELY THE RESPONSIBILITY OF THE PROPERTY OWNER.

Table with 5 columns: PCSM BMP, MAINTENANCE ACTIVITY, INSPECTION SCHEDULE, ADDITIONAL SPECIFICATIONS, BMP FAILURE INDICATIONS & RESTORATIVE PROCEDURES. Rows include Bioretention Basin, Storm Sewer Inlets, Storm Sewer Pipes, Seeding and Mulching, and Landscaping.



CONSTRUCTION SEQUENCE & INSTALLATION NOTES FOR BIORETENTION BASIN WITH AMENDED SOILS (BMP 6.4.5):

- 1. STAKE OUT LIMITS OF BASIN CONSTRUCTION. BEGIN CONSTRUCTION ONLY WHEN UPGRADIENT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. 2. INSTALL AND MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROL BMPs (I.E. SILT FENCE OR COMPOST FILTER SOCKS AS INDICATED ON THE PLAN) DOWNSTREAM OF PROPOSED CONSTRUCTION ACTIVITIES PRIOR TO EXCAVATION.

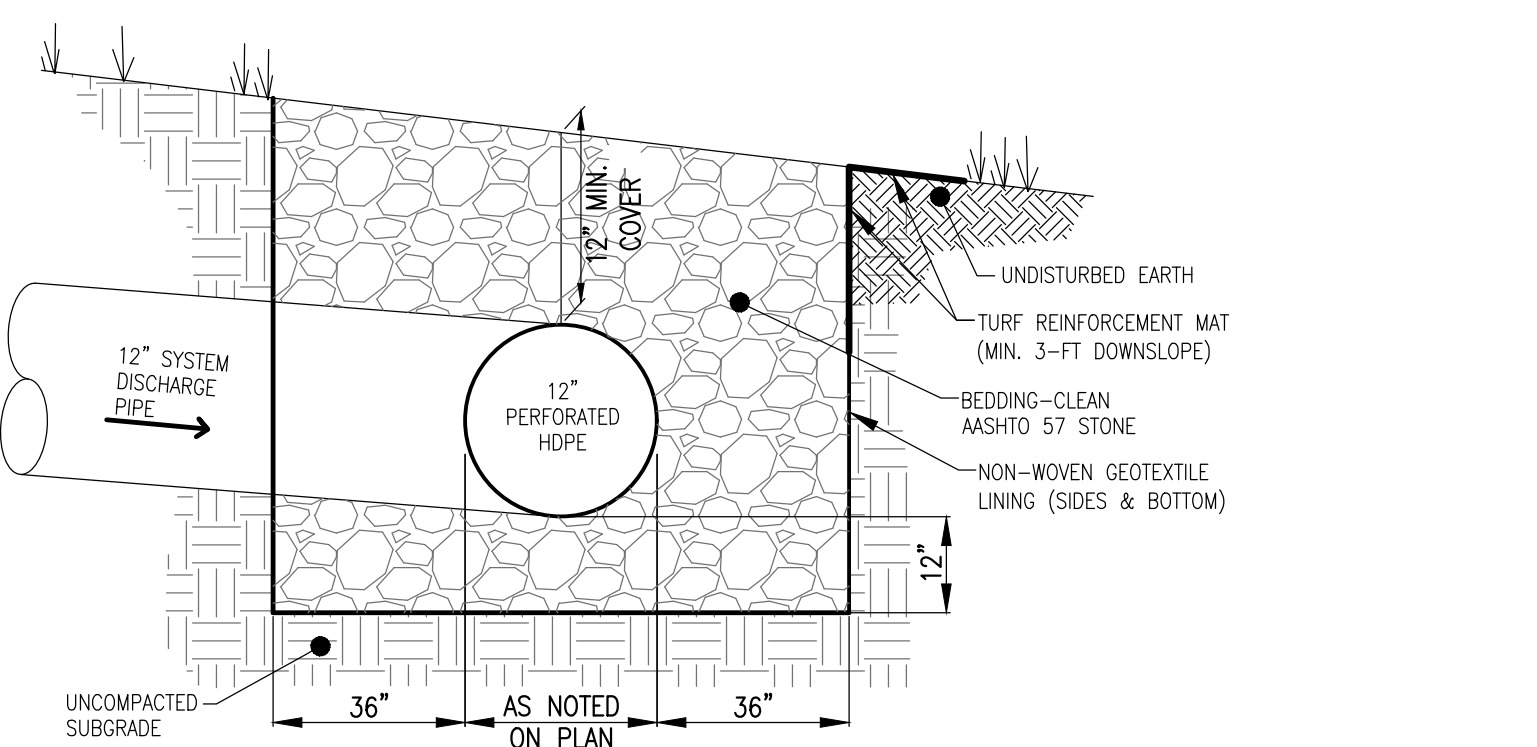


Table with 5 columns: DISCHARGE POINT, STONE WEIR LENGTH (FT), 12" PIPE INVERT (FT), TOP OF STONE ELEV. (FT), BOTTOM OF STONE ELEV. (FT). Values for LSO1: 1.3', 3.37, 3.39, 3.36.

SPECIFICATIONS FOR LEVEL SPREADERS:

- 1. STONE FOR TRENCH OR BE 1 1/2" CLEAN WASHED STONE, UNIFORMLY GRADED, AND SHALL HAVE 40% VOIDS AS MEASURED BY ASTM-C69. 2. NON-WOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:

TYPICAL LEVEL SPREADER DETAIL NOT TO SCALE

THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE:

- 1. THE CONTRACTOR SHALL NOTIFY BUCKS COUNTY CONSERVATION DISTRICT AT LEAST 3 DAYS BEFORE THE START OF CONSTRUCTION. 2. STAKE OUT LIMITS OF DISTURBANCE. 3. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE ON CURLY MILL ROAD.

*CRITICAL STAGE: A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE AND OBSERVE DURING THIS STAGE.

PLAN NOTATION table with columns: NO., DATE, COMMENT. Includes revision notes and a signature line for R. L. Showalter & Associates, Inc.

TMP:26-001-092 POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

R. L. Showalter & Associates, Inc. logo and contact information: 116 East Butler Avenue, Chalfont, PA 18914. Phone: (215) 822-2990. Fax: (215) 822-5684.

Professional Engineer seal for Rachel Lynn Butch, State of Pennsylvania, License No. 0013819.

SCALE: AS SHOWN DATE: 08/23/2022 JOB NO.: 2019-071 DRAWN BY: LAZ CHECKED BY: RLB SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA. PREPARED FOR: EDWARD MORTIMER 55 CURLY MILL ROAD CHALFONT, PA. 18914



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

October 14, 2022

File No. 20-03068

Matt West, Township Manager
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Reference: Mortimer Subdivision Plan – Preliminary Plan Review 1
55 Curley Mill Road, TMP #26-001-092

Dear Matt:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the Preliminary Plan for the above-referenced project. Upon review by our office, we offer the following comments for consideration:

I. Submission

- A. Minor Subdivision and Preliminary/ Final Plan for Edward Mortimer, as prepared by R.L. Showalter & Associates, Inc., consisting of seven (7) Sheets, dated August 23, 2022.
- B. Post Construction Stormwater Management Report for Mortimer Residential Subdivision, as prepared by R.L. Showalter & Associates, Inc., dated September 1, 2022.
- C. Waiver Request Letter for Mortimer – 2 Lot Minor Subdivision, as prepared by R.L. Showalter & Associates, Inc., dated September 1, 2022.

II. Reference Documentation

- A. Settlement Stipulation and Agreement between New Briatin Township Board of Supervisors and Edward Mortimer, Land Use Appeal Docket No. 2020-06335 dated May 24, 2022.

III. General Information

The subject tract is located at 55 Curley Mill Road (T-342), north of Sellersville Road which contains one existing single-family dwelling and was created by the Borden Farm Subdivision in 2004. Existing natural resources include wetlands, wetlands margin, and woodlands. The Applicant proposes to subdivide the property into two total lots for one new single-family detached lane lot, use B1, which is permitted by right within the SR-2 Zoning District. Lot 1 is proposed to be 2.32 acres, while Lot 2 is proposed to be a 7.42-acre lane lot. Lot 2 proposes a connection to public sewer through an easement on Lot 1 to an existing sanitary sewer main on the adjacent property. No proposed water service is shown on the plans, however, the plan notes that Lot 2 is to be served by a new well. No road frontage improvements are proposed along Curley Mill Road.

New Britain Township Board of Supervisors and Edward Mortimer entered into a Settlement Stipulation and Agreement which permitted the subdivision of Parcel No. 26-001-092 as a lane lot even though the parcel does not comply with the lane lot requirements of §27-2104.

III. Review Comments

A. Stipulated Agreement

The Stipulated Agreement was based on the “2-Lot Minor Subdivision Plan”, prepared by R.L. Showalter & Associates, Inc., dated February 17, 2020, Exhibit B (A2), hereafter referenced as the “Settlement Plan”. We offer the following comments below related to the Stipulated Agreement and Settlement Plan where the numbers referenced are as noted within the filed Stipulated Agreement:

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

1. Stipulated Agreement #3 – The Settlement Plan shall be the general configuration of the proposed two (2) residential lots to be created from TMP 26-001-092. We note that the submitted plan deviates from the Settlement plan. The Township shall discuss the following deviations and determine if there are any issues with the proposed plan:
 - a. The Settlement Plan depicted a lane width of 25 feet, while the current Minor Subdivision Plan now proposes a lane width of 49 feet.
 - b. The Settlement Plan depicted a generic footprint of the proposed dwelling. The Minor Subdivision Plan shows a revised dwelling footprint, in a different location, with two detached garages now shown.
 - c. Per our comment below, the sewer was relocated to a different location that what was shown on the Settlement Plan and as discussed in Stipulated Agreement #4.
2. Stipulated Agreement #4 – Lot 2 on the attached Plan shall be served by public sewer and the connection to public sewer shall not be made through wetland, but rather, Lot 2 shall be connected to the sewer main on Curley Mill Road. The Grading and Utility Plan shows a 20' Wide Sanitary Sewer Easement adjacent to the wetlands and through Lot 1 to connect to the sanitary sewer main on TMP 26-001-092-006. The proposed sewer connection shall be revised to connect to the sewer main on Curley Mill Road.
3. Stipulated Agreement #5 – The wetlands shall be preserved as open space with appropriate conservation easement conveyed to the Township in order to guarantee the integrity and preservation of the wetlands. Two conservation easements are currently shown on the plan. Legal descriptions for each easement shall be provided for review against the Record Plan. In addition, the limits of the conservation easements shall be designated with monuments and a Declaration of Covenants, Restrictions, Easements, and Conditions shall be prepared by the Township Solicitor.

B. Zoning Ordinance

We have no comments related to the Township's Zoning Ordinance.

C. Subdivision and Land Development Ordinance Waivers

The following waivers from the Subdivision and Land Development Ordinance have been formally requested by the Applicant in a letter dated September 1, 2022:

1. §22-705.3.A, C & G – From the requirement to provide road widening and to mill and overlay Curley Mill Road along the property frontage. The street currently has a 50-foot Ultimate Right-of-Way where a 60-foot Ultimate Right-of-Way is required and a 24-foot cartway where a 36-foot cartway is required, or 6 feet of widening.
2. §22-706 – From the requirement to provide curb and sidewalk along the property frontage.
3. §22-713 – From the requirement to provide street trees due to the location of overhead utilities. Based on 399 feet of frontage, 14 street trees would be required where 4 trees currently exist. We recommend the 10 deficient street trees be installed in line with the existing trees or informally along the frontage. This waiver request for street trees shall be revised to specify §22-713.4.A.
4. §22-716.2 – From the requirement to provide monumentation at the proposed property corners and along the sanitary sewer easement.
5. If public improvement waivers are granted, Township Resolution 2007-12 requires a contribution towards future improvements based on 50% of the total estimated construction cost. An estimated cost of construction of any waived improvements shall be provided. The Board may adjust the amount based on onsite and offsite improvements not required by Ordinance at their discretion.

D. Subdivision and Land Development Ordinance

We offer the following comments with respect to the current New Britain Township Subdivision and Land Development Ordinance:

1. §22-401.6 & 403 – The plans imply the Applicant is seeking preliminary/final approval. A waiver is required to approve the plan as preliminary/final.
2. §22-502.1.A.(4) – Legal descriptions shall be submitted for the proposed lots, the conservation easements, and the proposed sanitary sewer easement.
3. §22-502.1.B – The following issues related to the Site Plan should be addressed:
 - a. The existing building coverage calculations for the existing tract and proposed building coverage for Lot 1 shall be verified and revised as applicable.
 - b. The bearing and distance of the ultimate right-of-way line at the eastern corner of Lot 1 shall be noted on the plan.
 - c. The distance of 397.94' for the ultimate right-of-way line along the Lot 1 frontage shall be verified and revised.
 - d. Parking requirements for Lots 1 and 2 shall be noted on the plan.
4. §22-502.1.C – An Aerial Photograph Plan shall be provided at a scale not exceeding one inch equals 400 feet, which shows the overall tract outlined, as well as all features up to 1,600 feet from the tract boundary.
5. §22-502.1.D – Existing features within 100 feet of the tract boundary shall be shown on the plans. Due to the location of the proposed level spreader in relation to the McCarter's driveway, and detached garage proposed 15 feet from the property line, the existing features shall be provided.
6. §22-704 – If a sanitary sewer connection is approved on TMP 26-001-092-006, documentation shall be provided to verify an easement exists. In addition, the easement agreement should be reviewed to determine if additional access or any maintenance responsibilities shall be addressed as part of this project.
7. §22-705.5 & 6 – The clear sight triangles and minimum sight distances for the proposed driveway shall be shown on the plan. Any obstructions shall be removed or the driveway relocated.
8. §22-705.13.C – All access drives and driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 3%, measured from the edge of cartway. The proposed grade for the Lot 2 driveway shall be provided on the plan.
9. §22-705.13.F – A minimum distance of five feet shall be maintained between any access drive or driveway and any side or rear lot line. The distance between the driveway and the lane lot line shall be dimensioned on the plan.
10. §22-711.2 – The following comments related to erosion controls shall be addressed:
 - a. A sequence of construction is provided on both Sheets 4 and 7 which are inconsistent. The sequences of construction shall be reviewed and revised as necessary.
 - b. Compost filter sock or some other form of erosion control shall be provided downslope of the sanitary sewer lateral installation.
 - c. Erosion control matting and any channel lining shall be shown on the E&S Plan.
 - d. The limits of disturbance and acreage shall be shown and noted on the E&S Plan.
 - e. A detail shall be provided for the riprap aprons listing the dimensions and type of stone.
 - f. A water-tolerant seed mix shall be specified for the bottom of the basin.
11. §22-711.3 – The following issues related to grading shall be addressed:
 - a. Spot elevations shall be provided at the following locations to demonstrate adequate drainage:
 - 1.) the corners of the dwelling
 - 2.) in the driveway area between the two smaller garages
 - 3.) around the corners of the 2,400-sf detached garage
 - 4.) along the propertyline downgrade of the driveway and 2,400-sf detached garage

- b. The floor elevations for the attached and detached garage nearest the proposed dwelling shall be noted on the plan.
 - c. The location of the roof drains for the proposed 2,400-SF detached garage along the southern property line shall be provided to demonstrate the entire garage shall drain to the rain garden.
 - d. The flared end section notes an 8-inch pipe with an invert of 347.43. Based on the proposed contours, this will result in pipe being exposed above finished grade. The pipe slope and grading shall be revised as necessary to provide a minimum 1 foot of cover over this pipe.
 - e. The proposed contours shall be labeled on the PCSM Plan.
12. §22-711.4 – The Existing Features Plan shows the existing shed, paved track, and a portion of the existing driveway on Lot 1 to be removed. Any area where existing impervious surface is removed shall be restored to a minimum depth of 12 inches of topsoil and permanent vegetation with the intent to restore compacted areas to pervious surfaces.
 13. §22-715.2.G(2) – The Applicant is required to pay a fee-in-lieu of dedication of park and recreation land within the Township, based on \$2,500.00 per each proposed dwelling unit, or \$2,500.00.
 14. §22-719 – The plan notes that water service to Lot 2 will be provided via a new well. The location of the proposed well shall be shown on the plan. As noted on the plans, wells are subject to the regulations set forth in §26-404 & 405 regarding well construction standards, well permitting, water quality testing and well production certification. We recommend the Applicant obtain a well construction permit from the Township.
 15. §22-720 – The planning module mailer was submitted to the Township on October 12, 2022. A completed PADEP Sewage Facilities Planning Module shall accompany all preliminary plan applications submitted for subdivision and/or land development that propose connection to a public sewer system. Prior to submitting the planning module to the Township for approval, the planning module shall have been approved and executed by the applicant, responsible professional engineer, Chalfont-New Britain Township Joint Sewage Authority, Bucks County Department of Health and Bucks County Planning Commission.
 16. The Applicant is responsible for any other required approvals, permits, etc. (i.e., BCPC Review, BCCD adequacy, PADEP NPDES & Planning Module, CNBJSA, Fire Marshal, Township Road Opening Permit, etc.) as applicable. Copies of these permits and approvals shall be submitted to the Township.

E. Stormwater Management Ordinance

1. §22-712.2.J - All as-constructed stormwater management facilities shall be surveyed by a professional land surveyor licensed in the commonwealth, to verify compliance with the stormwater management facilities as depicted on the approved final plan. As-constructed plans shall be submitted to the Township for review and approval upon completion of all facilities. A note stating this requirement shall be provided on the plans.
2. §22-712.3.G – The time of concentration path to POI #1 appears to start in the drainage area to the Basin in POI #2. The time of concentration path shall be revised and the time revised as necessary based on a location within the drainage area to POI #1.
3. §22-712.4. – The proposed stormwater facility is proposed to meet the Township's peak rate requirements and is therefore considered a detention basin. Stormwater detention basins are required to meet the standards of this section and it's unclear if any waivers are intended to be requested:
 - a. G – All basin outlet pipes shall be watertight reinforced concrete having "O-Ring" joints, with a minimum size of 18 inches.
 - b. H – Emergency spillways shall be constructed with a suitable liner.
 - c. J – All portions of the detention basin bottom shall be sloped towards the outlet structure at a minimum slope of 2%.

- d. K – The minimum basin berm width at the design elevation is required to be 10 feet. A cutoff trench (keyway) of impervious material is required under all fill embankments.
 - e. L – For all detention basins, the permanent outlet control structure shall be a Type "M" inlet grate and box. The inlet grate shall only be used as an emergency outflow and the grate elevation shall be equal to or higher than the 100-year water surface elevation, but at least six inches below the emergency spillway elevation. The plan currently proposes a 6-inch diameter or 12" diameter riser pipe as the primary outlet structure which shall be clarified in the Rain Garden Cross Section Detail once the design is finalized.
 - f. M – Two anti-seep collars shall be installed around the basin outlet pipe and shall be centered within the normal saturation zone of the berm.
 - g. Q – Basins shall be screened and landscaped at a rate of one deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement.
4. §22-712.5 – All storm sewer systems shall provide the required capacity for the 100-hundred-year design storm based on the Rational Method. Pipe capacity calculations shall be provided for the roof drain pipes and storm sewer pipes on Lot 2.
 5. §§22-712.6 & 8 – The following comments related to the storm structures shall be addressed:
 - a. Note on the grading plan that the proposed driveway on Lot 2 shall drain towards the storm inlets and conveyance swale.
 - b. If the land is currently agricultural land and the intent is to convert the area to lawn, this shall be identified on the plan.
 - c. A detail shall be provided for the basin outlet structure which clearly shows a valve for the underdrain and the elevation of the outlet pipe.
 - d. A second cleanout shall be provided at the opposite end of the level spreader to remove any debris being washed out.
 - e. The size and minimum slope of the roof drain pipes shall be specified on the plan. In addition, an emergency overflow detail shall be provided for the roof drains.
 - f. A specification for the turf reinforcement matting downslope of the level spreader shall be provided.
 6. §22-712.13.D – The storm sewer fee based on \$2.50 per linear foot of existing and proposed streets is \$1,000.00.
 7. §26-123.2.C.(5)(a) – A minimum soil depth of 24 inches is required between the bottom of the infiltration BMPs and the top of bedrock or seasonally high water table. The summary for Test Pit #1 indicates that groundwater was encountered 1.2 feet below the bottom of the amended soils elevation of 336.50. The basin design should be revised to provide a minimum of 2 feet below the amended soils layer or the storage volume from the amended soils shall be excluded in the modeling of the basin in the volume control calculation.
 8. §26-123.2.C.(5)(b) & (6)(b) – Field tests are required the level of the proposed infiltration surface to determine the appropriate hydraulic conductivity rate. A minimum of 1/4 inches/hour shall be utilized. The infiltration test at Test Pit #1 was performed 3.5 feet above the bottom elevation of the basin and 5 feet above the bottom elevation of the amended soils and an infiltration rate of 0.22 inches per hour was noted for Test Pit #1. Additional infiltration testing shall be conducted at the bottom of the amended soils elevation or else the stormwater calculations revised to assume 0 inches per hour.

9. §26-124.1.A – The Proposed Permanent BMP Calculations section of the stormwater report on page 7 indicates that an additional 5,000 square feet of future impervious has been included in the design for the proposed lot. This additional 5,000 square feet has been included in the drainage area to the basin, however, the entire area behind the dwelling is graded to bypass the basin. Notes should be added to the Subdivision Plan and the Post Construction Stormwater Management Plan specifying that any additional impervious area drain to the basin.
10. §26-162 – The PCSM BMP Long Term Operation, Maintenance and Inspection Schedule notes that an HOA will be responsible for the stormwater management facilities and shall be revised to specify the homeowner of Lot 2.
11. §26-164.1 – The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater and storm sewer facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with transfer of ownership and shall be prepared by the Township Solicitor.
12. Township Resolution #2022-03 – The Applicant will be required to pay a fee for the proposed onsite BMP to provide a financial guarantee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMP. The Applicant's professional shall submit a cost estimate once the design is finalized.

F. General Comments

1. The Township does not have any record of a Zoning Permit for the existing pool house on Lot 1. The owner shall obtain a permit retroactively for the Township's files.
2. The referenced 2004 Subdivision Plan shows an area on proposed Lot 2 noted as a "filled pit with soil and concrete debris from former dairy farm barn and outbuildings." We recommend soil testing be performed and this area identified on the plan so that any prospective buyer is aware of the soil conditions prior to development.

If you have any questions regarding the above, please contact this office.

Sincerely,



Janene Marchand, P.E.,
Gilmore & Associates, Inc.

JM/tw/

cc: Michael Walsh, Assistant Manager
Ryan Gehman, Assistant Planning and Zoning Officer
Randy Teschner, Fire Marshall
Jeffrey P. Garton, Esq., Begley, Carlin, & Mandio
Ryan Cressman, Superintendent of Public Works
Edward Mortimer, Owner/ Applicant
Rachel Butch, P.E., R.L. Showalter & Associates, Inc.
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.



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Executive Director

MEMORANDUM

To: New Britain Township Board of Supervisors
New Britain Township Planning Commission

From: Staff of the Bucks County Planning Commission

Date: October 6, 2022

Subject: BCPC #12508
Preliminary Plan of Subdivision for Mortimer Project
TMP #26-1-92
Applicant: Edward Mortimer
Owner: Same
Plan Dated: August 23, 2022
Date Received: September 9, 2022

This proposal has been reviewed by the Bucks County Planning Commission professional staff, which prepared the following comments in accordance with the Pennsylvania Municipalities Planning Code (Section 502).

GENERAL INFORMATION

Proposal: Subdivide a 9.73-acre lot into two single-family detached residential lots. Lot 1 (2.32 acres) contains an existing dwelling, proposed to remain, while a new dwelling is proposed on Lot 2 (7.42 acres). Two conservation easements are proposed, the first of which straddles Lots 1 and 2 and comprises of 0.05 acres on Lot 1 and 0.19 acres on Lot 2. The second conservation easement is located on Lot 2 and comprises 0.51 acres. Both conservation easements are proposed with respect to wetland and wetlands margin located on the site. Lot 2 is proposed to be served by on-lot water through a newly proposed well and public sewerage.

Location: Along the south side of Curley Mill Road, approximately 725 feet east of its intersection with Sellersville Road.

Zoning: The SR-2 Suburban Residential District permits Use B1 Single-family detached dwellings on lots of at least 2 acres in size with minimum lot widths of 200 feet. Minimum front, side, and rear yard requirements are 50, 25, and 75 feet, respectively.

The site is subject to a Settlement Stipulation and Agreement (Land Use Appeal No.2020-06335). The agreement includes flag lot land development terms and conditions pertaining to wetland preservation, routing of public sewerage, and restriction from further subdivision.

Present Use: Residential



COMMENTS

1. **Requested waivers**—The plan indicates that the applicant is requesting waivers from the following requirements of the subdivision and land development ordinance (SALDO):

Section 22-705-3.A., C. and G.

from making roadway improvements along Curley Mill Road due to the rural nature of the existing roadway

Section 22-706

from installing sidewalks and curbing along Curley Mill Road to maintain the look of the roadway as no adjacent sidewalks are present

Sections 22-713

from providing street trees along Curley Mill Road due to the location of overhead utilities

Section 22-716.2

from the requirement to provide concrete monuments along the sanitary easement and along the property lines and instead provide iron pins as an alternative

The applicant has not provided the reason for the waiver request from Section 22-716.2 of the SALDO. Section 512.1.(b) of the Pennsylvania Municipalities Planning Code requires applicants to state in full the grounds and facts of unreasonableness or hardship on which the request for the waiver is based and the minimum modification necessary. The final plan should note all granted waivers.

2. **Park and recreation land**—Section 22-715.2.C.(1) of the SALDO requires that 2,500 square feet of land per new dwelling unit be dedicated to the township for park and recreation uses in all subdivisions. The plan does not indicate whether this provision has been satisfied either through direct dedication or fee-in-lieu.
3. **Stormwater management maintenance**—The applicant proposes a bioretention basin on Lot 2. We recommend the applicant provide a manual to the township and to the relevant property owner detailing all required maintenance for the stormwater management facility. This will help to ensure the long-term maintenance and performance of the stormwater facility and make the homeowner aware of their responsibilities for regular maintenance and repair of the facilities.
4. **Sewage facilities**—The applicant must submit a Sewage Facilities Planning Module Application Mailer to the Pennsylvania Department of Environmental Protection (PaDEP) to determine if an Act 537 Planning Module must be submitted for this proposed subdivision and land development.

This review will be included in the Bucks County Planning Commission board materials for the November 2, 2022, meeting. It is not necessary for you to attend this meeting, but you are welcome to do so and to offer comments on the proposal to the BCPC board and staff.

In order that we may be more aware of your concerns, please send us a copy of all municipal decisions sent to this applicant.

JWS:emh

cc: Edward Mortimer (via email)
Robert L. Showalter, PE, R.L. Showalter & Associates, Inc. (via email)
Janene Marchand, PE, Gilmore & Associates, Township Engineer (via email)
Matt West, Township Manager (via email)