



NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

SUBDIVISION & LAND DEVELOPMENT APPLICATION

TOWNSHIP USE ONLY

Date Received: 12-9-21; KB
 Payment: _____
 Check #: _____
 Receipt #: _____
 Escrow Acc. #: _____

1. Date of Application: 12/9/21
2. Date of Plan or Revision: 11/30/21
3. Application for: Butler Ave Mixed Use
4. Name of Subdivision or Land Development: Butler Ave Mixed Use
5. Location: 409 W. Butler Ave
6. Tax Map Parcel #: 26-005-023 Total Acreage: Gross 7.3 Net 6.6
7. Net Buildable Site Area (from Section 2401): 6.6 acres
8. Zoning Requirements:

Zoning District <u>C-1</u>	Minimum Lot Size _____	Maximum Density _____
Front Yard _____	Side Yard _____	Rear Yard _____
9. Number of Lots or Dwelling Units: 70
10. Equitable Owner of Record of Land: Butler Pike Properties LP
 Address: 76 Griffith Miles Circle
Warminster, PA 18974
 Phone: 215-675-3141 E-mail: kevin@countybuildersinc.com
11. Applicant: Butler Pike Properties LP
 Address: 76 Griffith Miles Circle
Warminster, PA 18974
 Phone: 215-675-3141 E-mail: kevin@countybuilderinc.com
12. Registered Engineer or Surveyor: Holmes Cunningham Engineering
 Address: 409 E. Butler Avenue, Unit 5
Doylestown, PA 18901
 Phone: 215-586-3330 E-mail: rob@hcengineering.net

This is to certify that I have read Article V of the New Britain Township Subdivision and Land Development Ordinance and that the accompanying plan meets the requirements of that Article to the best of my knowledge.

Kevin Kelly
Signature of Applicant

Roy Lee
Signature of Registered Engineer or Surveyor

SUBDIVISION & LAND DEVELOPMENT PLAN SUBMISSION CHECKLIST

Date of Application: 12/9/21

Subdivision/Land Development Name: Butler Avenue Mixed Use

Address of Property: 409 W. Butler Avenue

Owner(s) Name: Butler Pike Properties LP

Applicant(s) Name: Butler Pike Properties LP

Tax Map Parcel Number: 26-005-023

Plan Sets for New Britain Township - Folded to 8 1/2 x 11: (18 Total)

- | | |
|---|--|
| <input checked="" type="checkbox"/> NBT Board of Supervisors (11x17) - 5 Copies | <input checked="" type="checkbox"/> NBT Planning Commission (11x17) - 7 Copies |
| <input checked="" type="checkbox"/> Township Engineer (Full Size) - 2 Copies | <input checked="" type="checkbox"/> NBT File (Full Size) - 3 Copies |
| <input checked="" type="checkbox"/> Fire Marshal (Full Size) - 1 Copy | |

Plan Sets for Outside Agencies - Folded to 8 1/2 x 11: The applicant must show proof of submission to the outside agencies listed below (stamped copy or cover letter and copy of application form). The following plan sets are subject to the requirements of the outside agency and must be submitted to the outside agency by the applicant.

- Bucks County Planning Commission - 1 Copy
- Bucks County Conservation District - 1 Copy
- Water Authority (North Penn/North Wales/Aqua) - 1 Copy
- Chalfont New Britain Joint Sewer Authority - 3 Copies

OR

- Bucks County Department of Health - 1 Copy

Application Forms & Fees to be Submitted to the Township: All applicants include these items or the application will be considered administratively incomplete and returned to the applicant.

- New Britain Township Subdivision and Land Development Application (1 Signed Original)
- Filing Fee according to the most current Fee Schedule adopted by Resolution
- Escrow Fee according to the most current Fee Schedule adopted by Resolution
- Contract for Professional Services Agreement (3 Signed Originals)
- Application to Bucks County Planning Commission (Provide Proof of Submission)
- Application to Bucks County Conservation District (Provide Proof of Submission)
- Applicant Plan Submission Checklist (Should be completed by the applicant's professional engineer or land surveyor)
- Stormwater Management Report (2 Copies)
- PADEP Sewage Facilities Planning Module Application/Mailer (Original & 2 Copies)
- Traffic Impact Study, if applicable (2 Copies)
- PADOT Highway Occupancy Permit Plan/Application, if applicable (2 Copies)

NA Community Impact Assessment Report, if applicable (4 Copies)

Reviewed By: _____
Township Representative

Date: _____

**All fees or contributions in lieu of shall be payable to New Britain Township. All plan sets, applications and forms shall be submitted directly to New Britain Township.*

****The attached checklist is provided for the applicant as a guideline to assist in the submission process. All applicants must include these items or the application will be considered administratively incomplete and returned to the applicant.****



APPLICANT'S CHECKLIST AND SUBMISSION PROCEDURES

IMPORTANT: *It is recommended that this item be completed by the applicant's professional engineer or land surveyor.*

Please use the following checklist as a guideline for application submission. If applicable, the Township and Township Engineer will look for these items in your application. Failure to provide an applicable item may delay acceptance of the application and plan approval. Please be advised that final approval will not be granted by the Township unless final approvals are granted by the appropriate water and sewer authorities.

Note: Maximum Record Plan Sheet Size 24" x 36"

Item	Code*	Applicant Comments
<input checked="" type="checkbox"/> Type of Water Supply <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	_____	_____
<input checked="" type="checkbox"/> Type of Sewage Disposal Facilities <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	_____	_____
<input checked="" type="checkbox"/> PADEP Sewage Facilities Planning Module Application/Mailer	_____	_____
<input checked="" type="checkbox"/> List of Waivers/Variations/Special Exceptions on Record Plan	_____	_____
<input checked="" type="checkbox"/> Letter of Requested Waivers with Justification	_____	_____
<input checked="" type="checkbox"/> Provide 5 Signature Lines on the Record Plan for the Board of Supervisors	_____	_____
<input checked="" type="checkbox"/> Indicate Zoning Data Chart on Record Plan (required and proposed dimensions)	_____	_____
<input checked="" type="checkbox"/> Indicate Parking Requirements on Record Plan (required and proposed spaces)	_____	_____
<input checked="" type="checkbox"/> Indicate proposed Use Designation on Record Plan	_____	_____
<input checked="" type="checkbox"/> Indicate Site Capacity Calculations on Record Plan	_____	_____
<input checked="" type="checkbox"/> Adjoining Property Owner Names and Tax Map Parcel Numbers	_____	_____
<input checked="" type="checkbox"/> Soil Erosion and Sediment Control Plan	_____	_____
<input checked="" type="checkbox"/> Utility Plan	_____	_____
<input checked="" type="checkbox"/> Landscape and Lighting Plan (show street trees, buffer plantings, lighting locations, isolux lines)	_____	_____
<input checked="" type="checkbox"/> Stormwater Management Plan	_____	_____
<input checked="" type="checkbox"/> Wetlands Certification on Record Plan	_____	_____
<input checked="" type="checkbox"/> PADOT Permit Application/Plan	_____	_____
<input checked="" type="checkbox"/> Existing and Proposed Easement, Right-of-Way or Other restrictions on the Property	_____	_____

*A-Noted on Application

P-Noted on Plan Sheet

N/A - Not Applicable

W - Noted on List of Waivers

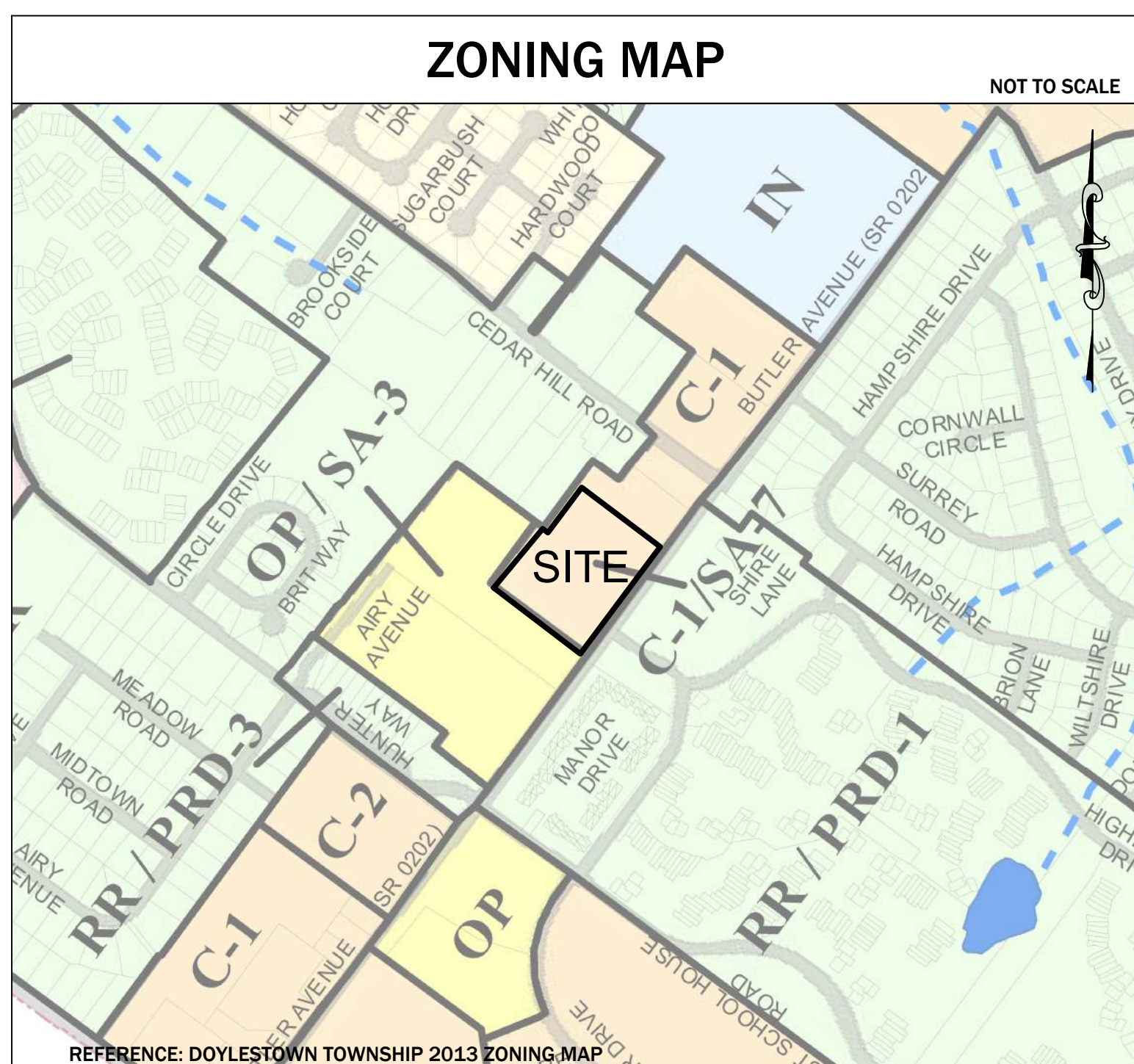
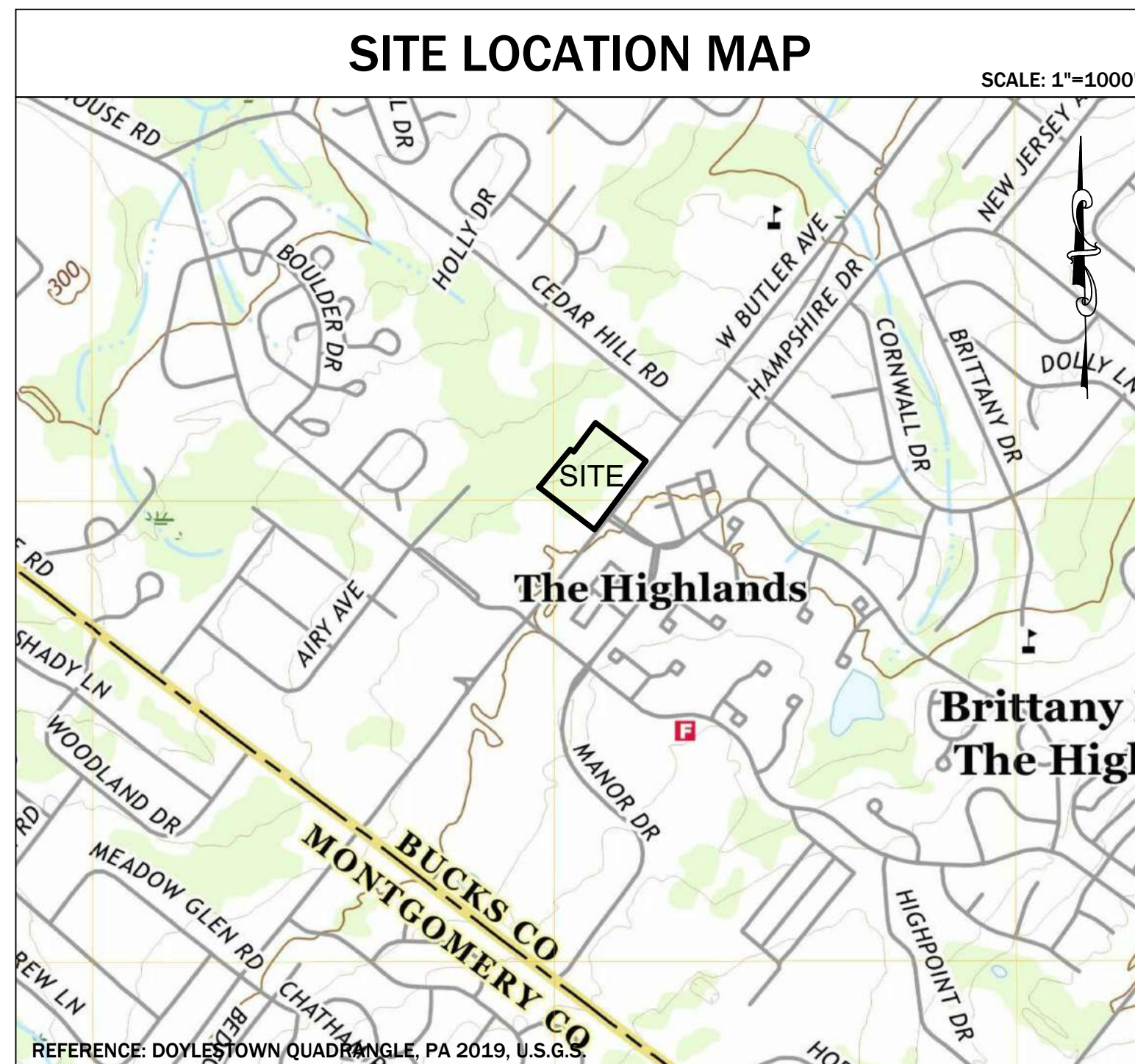


PRELIMINARY AND FINAL LAND DEVELOPMENT PLANS

FOR

BUTLER AVENUE PROPERTY

T.P. # 26-005-023
409 WEST BUTLER AVENUE
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA



DRAWING LIST			
SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	LAST REVISED DATE
1	C0.0	COVER SHEET	11/30/2021
2	C0.1	EXISTING CONDITIONS PLAN	11/30/2021
3	C0.2	AERIAL MAP	11/30/2021
4	C1.0	RECORD SITE PLAN	11/30/2021
5	C1.1	SITE CONSTRUCTION DETAILS	11/30/2021
6	C2.0	GRADING PLAN	11/30/2021
7	C2.1	DETAILED GRADING PLAN	11/30/2021
8	C2.2	DRAINAGE PLAN	11/30/2021
9	C3.0	UTILITY PLAN	11/30/2021
10	C3.1	UTILITY CONSTRUCTION DETAILS	11/30/2021
11	C3.2	UTILITY CONSTRUCTION DETAILS	11/30/2021
12	C4.0	STORM AND SANITARY SEWER PROFILES	11/30/2021
13	C5.0	EROSION AND SEDIMENT CONTROL PLAN	11/30/2021
14	C5.1	EROSION AND SEDIMENT CONTROL DETAILS	11/30/2021
15	C5.2	EROSION AND SEDIMENT CONTROL DETAILS	11/30/2021
16	C5.3	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	11/30/2021
17	C5.4	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	11/30/2021
18	C6.0	LANDSCAPE PLAN	11/30/2021
19	C6.1	LIGHTING PLAN	11/30/2021
20	C6.2	LANDSCAPE AND LIGHTING DETAILS	11/30/2021
21	C7.0	TRUCK TURN PLAN	11/30/2021

CONTACTS

NEW BRITAIN TOWNSHIP
207 PARK AVENUE
CHALFONT, Pa 18914
PHONE: (215)-822-1391

TOWNSHIP ENGINEER
GILMORE & ASSOCIATES, Inc
65 EAST BUTLER AVENUE, SUITE 100
NEW BRITAIN, PA 18901
PHONE 215 345 4330

TOWNSHIP PUBLIC WORKS DEPARTMENT
207 PARK AVENUE
CHALFONT, PA 18914
PHONE(215)-822-1391

BUCKS COUNTY PLANNING COMMISSION
THE ALMSHOUSE NESHAMINY MANOR CENTER
1260 ALMSHOUSE ROAD
DOYLESTOWN, PA 18901
215-345-3400
BUCKS COUNTY CONSERVATION DISTRICT

1456 FERRY ROAD, SUITE 704
DOYLESTOWN, PA 18901
215-345-7577

AQUA AMERICA
762 LANCASTER AVE
BRYN MAWR, PA 19010
PHONE: (610) 525 - 1400

BUCKS/MONT REGION CONTRACTOR AND BUILDER SERVICES
400 PARK AVENUE
WARMINSTER, PA 18974
PHONE: (215) 956-3270
FAX: (215) 956-3240

CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWAGE AUTHORITY
1645 UPPER STATE ROAD
DOYLESTOWN, PA 18901
PHONE: (215) 345-1225

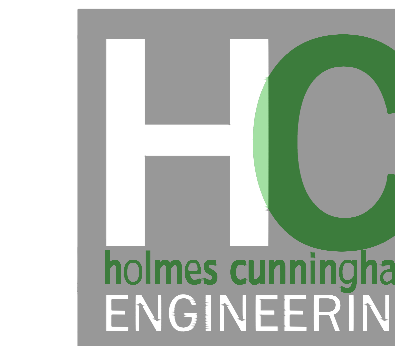
NORTH WALES WATER AUTHORITY
200 W WALNUT ST,
NORTH WALES, PA 19454
PHONE: (215) 699-4836

PECO
WARMINSTER SERVICE BUILDING
400 PARK AVE.,
WARMINSTER, PA 18974
ELECTRIC PHONE: (215) 956-3270
NEW ELECTRIC PHONE: (215) 956-3010
ELECTRIC EMERGENCY: (800) 841-4141
GAS PHONE: (800) 454-4100
NEW GAS PHONE: (800) 454-4100
GAS EMERGENCY: (800) 841-4141
GAS EMERGENCY(ALT): (844) 841-4151

APPLICANT/OWNER:

BUTLER PIKE PROPERTIES, LP.
76 GRIFFITHS MILES CIRCE
P.O. BOX 2579
WARMINSTER, PA 18974

PREPARED BY:

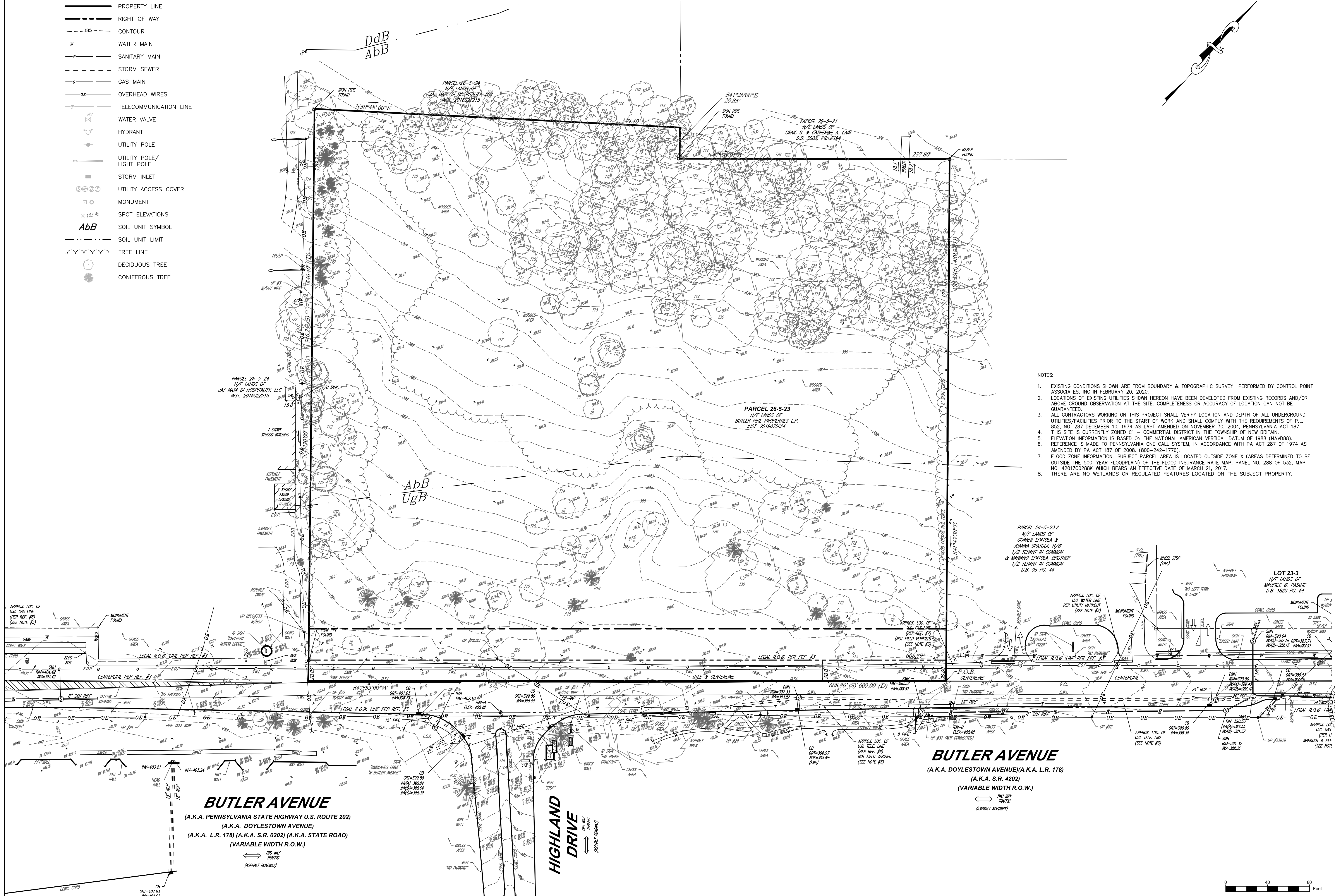


HOLMES CUNNINGHAM LLC
409 EAST BUTLER AVENUE
UNIT 5
DOYLESTOWN, PA 18901
(215) 586-3330

DATE:	11/30/2021
PROJECT #	1482
DRAWING #	C0.0
SHEET	1 OF 21

LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- CONTOUR
- WATER MAIN
- SANITARY MAIN
- STORM SEWER
- GAS MAIN
- OVERHEAD WIRES
- TELECOMMUNICATION LINE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- UTILITY POLE/LIGHT POLE
- STORM INLET
- UTILITY ACCESS COVER
- MONUMENT
- SPOT ELEVATIONS
- SOIL UNIT SYMBOL
- SOIL UNIT LIMIT
- TREE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE



NOTES:

1. EXISTING CONDITIONS SHOWN ARE FROM BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC IN FEBRUARY 20, 2020.
2. LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE GROUND OBSERVATION AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION CAN NOT BE GUARANTEED.
3. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON NOVEMBER 30, 2004, PENNSYLVANIA ACT 187. THIS SITE IS CURRENTLY ZONED C1 - COMMERCIAL DISTRICT IN THE TOWNSHIP OF NEW BRITAIN.
4. ELEVATION INFORMATION IS BASED ON THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
5. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (800-242-1776).
6. FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED OUTSIDE ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 288 OF 532, MAP NO. 4201700288K WHICH BEARS AN EFFECTIVE DATE OF MARCH 21, 2017.
7. THERE ARE NO WETLANDS OR REGULATED FEATURES LOCATED ON THE SUBJECT PROPERTY.

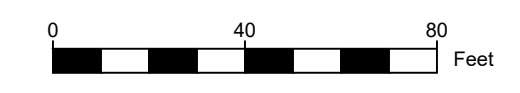
Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
ENGINEERING
 www.hcengineering.net

REVISIONS	Description	Date

BUTLER AVENUE PROPERTY
 TWP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
EXISTING CONDITIONS PLAN

PROFESSIONAL SEAL
ROBERT T. CUNNINGHAM, P.E.
 PA PE07624

File No.	1482_C0.1 ExistCond.dwg		
HCE Job	1482	Scale	1"=40'
Date	11/30/2021	Designed	RC
Sheet	2 of 21		
Drawing No.	C0.1		





Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

REVISIONS	Date	Description

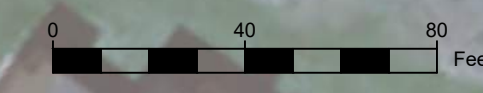
CALL BEFORE YOU DIG !!
 THIS IS A PRELIMINARY SURVEY.
 IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THE ACCURACY OF THE DATA AND TO CONTACT THE APPROPRIATE AGENCIES FOR ANY NECESSARY PERMITS.

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
AERIAL MAP

PROFESSIONAL SEAL
ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No.	1482
1482 C0.2 Aerial.dwg	
HCE Job	1482
Date	11/30/2021
Scale	1"=40'
Designed	RC
Sheet	3 of 21

- NOTES:
- EXISTING CONDITIONS SHOWN ARE FROM BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC IN FEBRUARY 20, 2020.
 - AERIAL PHOTOGRAPHY TAKEN FROM PASDA AERIAL PHOTOGRAPHS 2018.



Zoning Table			
Zone: C-1 - Commercial District; Butler Avenue Corridor Overlay District			
ITEM	REQUIRED/ PERMITTED	PROPOSED	ORDINANCE SECTION
Uses	Various Uses*		27-300, 27-1201
C-1 District Regulations			
Min. Lot Area	1 Acre	6.5 Acres	27-1202.b
Min. Lot Width	250 FT	608 FT	27-1202.b
Min. Lot Depth	120 FT	448 FT	27-1202.b
Min. Front Yard Setback	40 FT	95 FT	27-1202.b
Min. Side Yard Setback	15 FT	16 FT	27-1202.b
Min. Rear Yard Setback	30 FT	269 FT	27-1202.b
Max. Building Coverage	40%	13.5%	27-1202.b
Max. Impervious Surface Coverage (Site)	70%	52.3%	27-1202.b
Max. Impervious Surface Coverage (Lot)	75%	52.3%	27-1202.b
Min. Required Buffer Yard	45 FT	50 FT	27-2801
Off-Street Parking Regulations			
B7 Apartments (1 - 3 Bedrooms)	2 Spaces/DU (70 Units)	140 Spaces	27-2901.B.7.b
I1 Medical Office	1 Space/175 SF (11,500 SF)	66 Spaces	27-2901.I.1
Min. Paved Area Setback	20 FT	10 FT*	27-2904.g

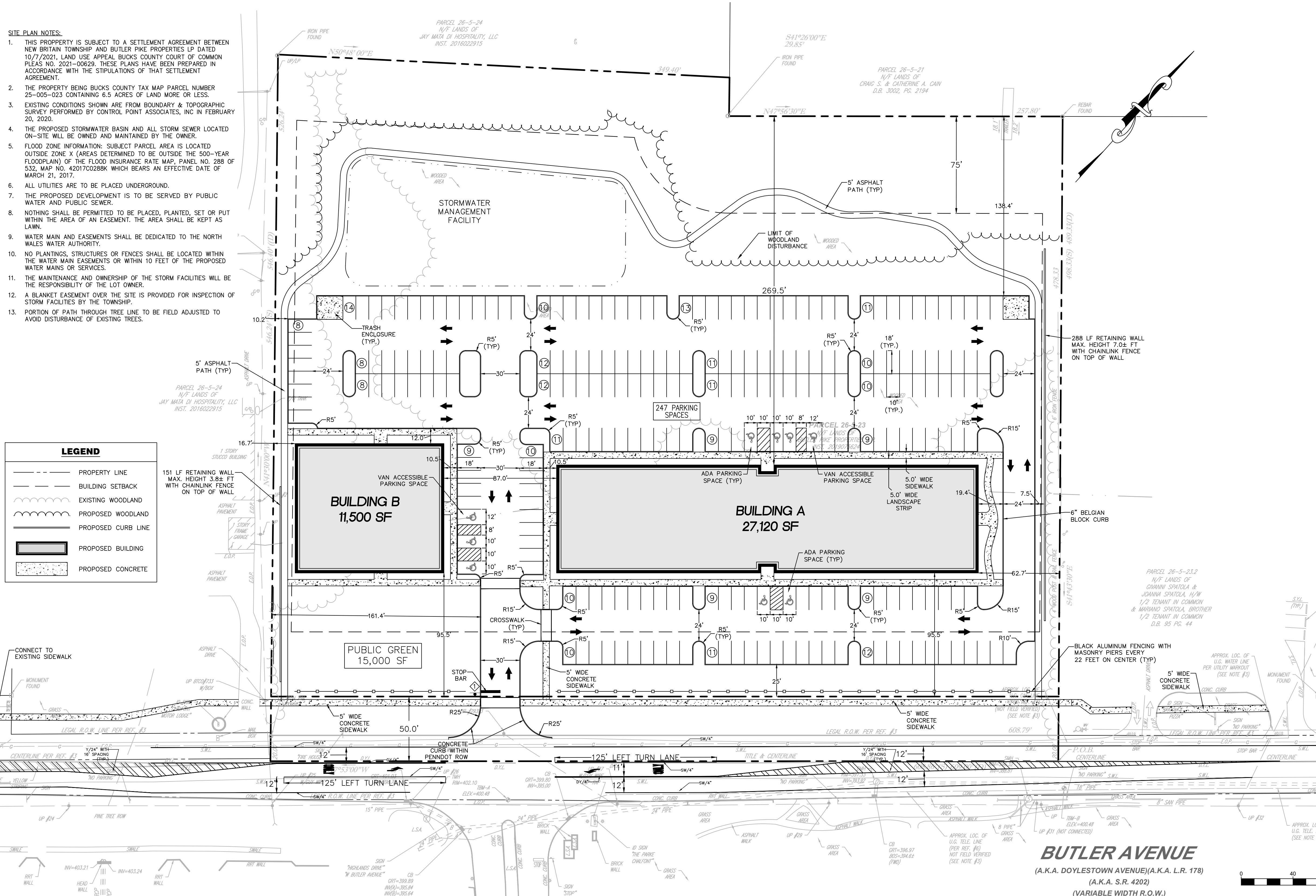
* Permitted as noted in the stipulation agreement

COVERAGE CALCULATIONS		
Lot Calculations	S.F.	AC
Gross Lot Area	316,570	7.27
ROW Area	30,438	0.70
Net Lot Area	286,132	6.57
Proposed Areas		
Proposed Building A	27,120	0.62
Proposed Building B	11,500	0.26
Proposed Sidewalks	7,261	0.17
Proposed Asphalt Path	6,679	0.15
Proposed Curb	1,847	0.04
Proposed Pavement	95,349	2.19
Total Proposed Impervious	149,756	3.44
Impervious Coverage		52.3%
Building Coverage		13.5%

RESOURCE PROTECTION CALCULATIONS					
Natural Resource	Required Protection Ratio	Land in Resources	Required Resource Protection Land	Proposed Protected Area	Proposed Protection Ratio
	%	Ac.	Ac.	Ac.	%
Watercourses	100%	0.00	0.00	0.00	N/A
Riparian Buffer	100%	0.00	0.00	0.00	N/A
Floodplain & Floodplain Soil	100%	0.00	0.00	0.00	N/A
Wetlands	100%	0.00	0.00	0.00	N/A
Lakes and Ponds	100%	0.00	0.00	0.00	N/A
Wetlands Margin	80%	0.00	0.00	0.00	N/A
Woodlands*	30%	3.78	1.13	1.18	31.1%
Steep Slopes 8-15%	60%	0.00	0.00	0.00	N/A
Steep Slopes 15-25%	70%	0.00	0.00	0.00	N/A
Steep Slopes 25%+	85%	0.00	0.00	0.00	N/A

* Settlement agreement permits up to 70% woodland disturbance.

- SITE PLAN NOTES:**
- THIS PROPERTY IS SUBJECT TO A SETTLEMENT AGREEMENT BETWEEN NEW BRITAIN TOWNSHIP AND BUTLER PIKE PROPERTIES LP DATED 10/7/2021, LAND USE APPEAL BUCKS COUNTY COURT OF COMMON PLEAS NO. 2021-00629. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE STIPULATIONS OF THAT SETTLEMENT AGREEMENT.
 - THE PROPERTY BEING BUCKS COUNTY TAX MAP PARCEL NUMBER 25-005-023 CONTAINING 6.5 ACRES OF LAND MORE OR LESS.
 - EXISTING CONDITIONS SHOWN ARE FROM BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC IN FEBRUARY 20, 2020.
 - THE PROPOSED STORMWATER BASIN AND ALL STORM SEWER LOCATED ON-SITE WILL BE OWNED AND MAINTAINED BY THE OWNER.
 - FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED OUTSIDE ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 288 OF 532, MAP NO. 42017C0228K WHICH BEARS AN EFFECTIVE DATE OF MARCH 21, 2017.
 - ALL UTILITIES ARE TO BE PLACED UNDERGROUND.
 - THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
 - NOTHING SHALL BE PERMITTED TO BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT. THE AREA SHALL BE KEPT AS LAWN.
 - WATER MAIN AND EASEMENTS SHALL BE DEDICATED TO THE NORTH WALES WATER AUTHORITY.
 - NO PLANTINGS, STRUCTURES OR FENCES SHALL BE LOCATED WITHIN THE WATER MAIN EASEMENTS OR WITHIN 10 FEET OF THE PROPOSED WATER MAINS OR SERVICES.
 - THE MAINTENANCE AND OWNERSHIP OF THE STORM FACILITIES WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
 - A BLANKET EASEMENT OVER THE SITE IS PROVIDED FOR INSPECTION OF STORM FACILITIES BY THE TOWNSHIP.
 - PORTION OF PATH THROUGH TREE LINE TO BE FIELD ADJUSTED TO AVOID DISTURBANCE OF EXISTING TREES.



LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	EXISTING WOODLAND
	PROPOSED WOODLAND
	PROPOSED CURB LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE

RECORD OF DEEDS ACKNOWLEDGEMENT
 RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF BUCKS, AT DOYLESTOWN, PENNSYLVANIA IN PLAN BOOK PAGE _____ ON THIS _____ DAY OF _____, 20____

BUCKS COUNTY RECORDER OF DEEDS

BOARD OF SUPERVISORS ACKNOWLEDGEMENT
 THIS PLAN APPROVED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP THIS _____ DAY OF _____, 20____

OWNER CERTIFICATION FOR STORMWATER BMP'S
 THE STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY NEW BRITAIN TOWNSHIP.

OWNER SIGNATURE BLOCK & ACKNOWLEDGEMENT
 TO ALL WHOM THESE PRESENTS MAY COME, KNOW YE THAT I, MICHAEL C. MEISTER, LIMITED PARTNER OF BUTLER PIKE PROPERTIES LP, HAS LAID OUT UPON OUR LAND SITUATED IN THE TOWNSHIP OF NEW BRITAIN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS ACCORDING TO THIS PLAN WHICH IS INTENDED TO BE FORTHWITH RECORDED, WITNESS OUR HAND AND SEAL THIS _____ DAY OF _____, 20____

BY: _____ NAME _____ TITLE _____ DATE: _____
 CORPORATION _____

OWNER(S): _____
 TITLE(S): _____
 COMMONWEALTH OF _____
 COUNTY OF _____

ON THIS _____ DAY OF _____ A.D., 20____ BEFORE ME A NOTARY PUBLIC, PERSONALLY APPEARED _____ OF _____ OWNER OF THE SUBJECT PROPERTY, AS SUCH, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT ON ITS BEHALF FOR THE USES AND PURPOSES THEREIN SET FORTH.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.
 SEAL _____ NOTARY PUBLIC _____
 COMMISSION EXPIRATION DATE _____

ENGINEER'S CERTIFICATION
 I, ROBERT CUNNINGHAM, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ROBERT CUNNINGHAM, P.E. DATE _____
 PA PE076424

TOWNSHIP ENGINEER ACKNOWLEDGEMENT
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER ON THIS _____ DAY OF _____, 20____

PLANNING COMMISSION ACKNOWLEDGEMENT
 BUCKS COUNTY PLANNING COMMISSION NOTATION BCPC NO. _____ PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE _____

Holmes Cunningham LLC
 409 E. Butler Ave.,
 Unit 5 Doylestown, PA 18901
 (215) 586-3330
ENGINEERING
 www.hcengineering.net

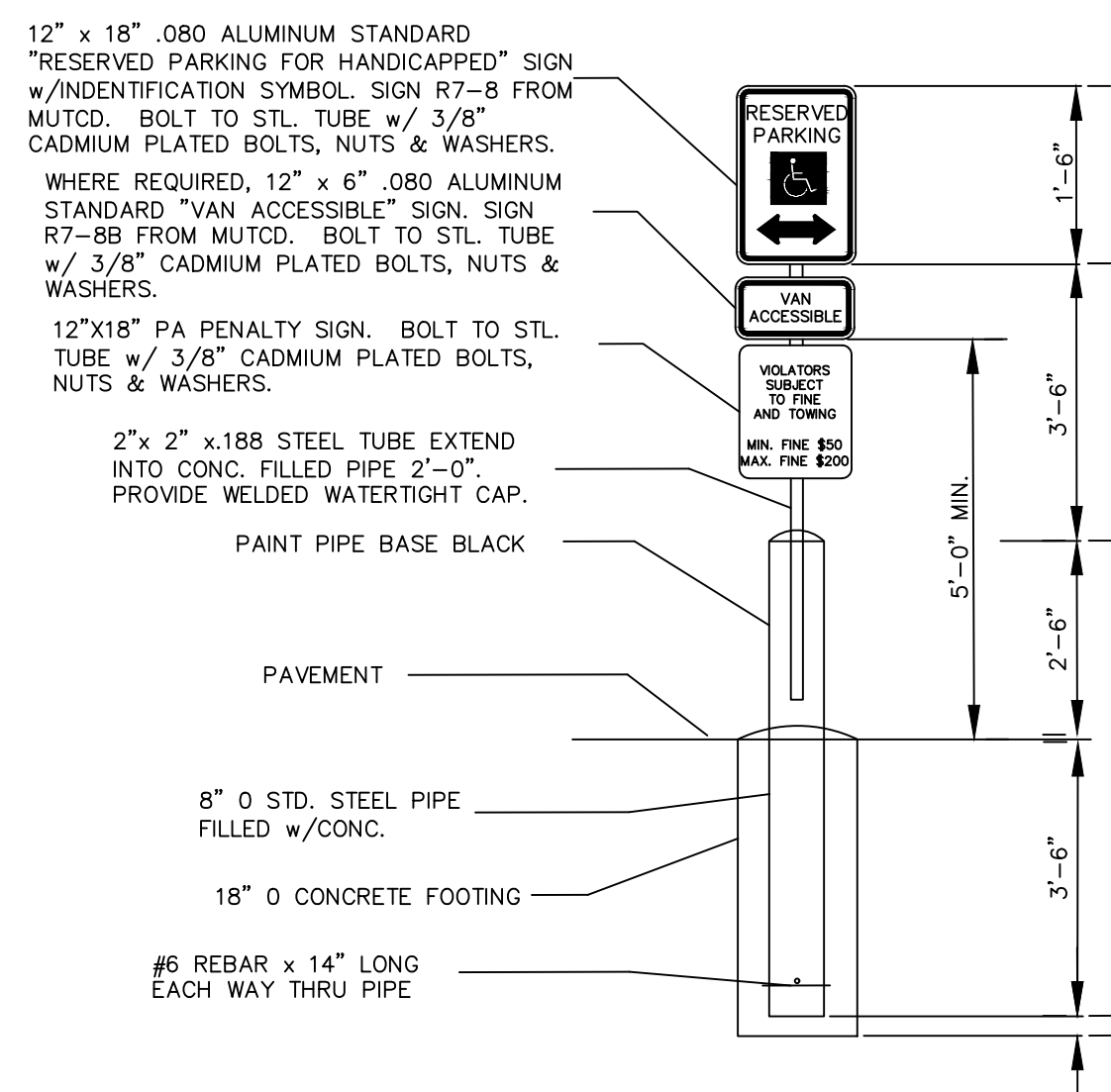
REVISIONS	Description	Date

CALL BEFORE YOU DIG
 800-4-A-DAWG
 PENNSYLVANIA ONE
 CALL SYSTEM, INC.
 1-800-942-1476

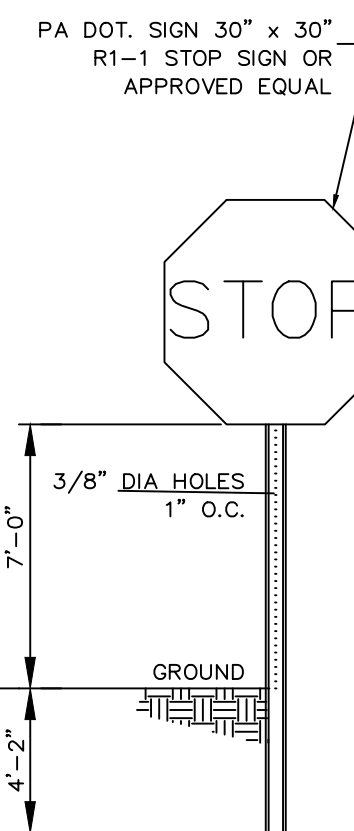
BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
RECORD SITE PLAN

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No. 1482_C1.0 Record.dwg
 Date 11/30/2021
 Scale 1" = 40'
 Designed RC
 Sheet 4 of 21
Drawing No. C1.0

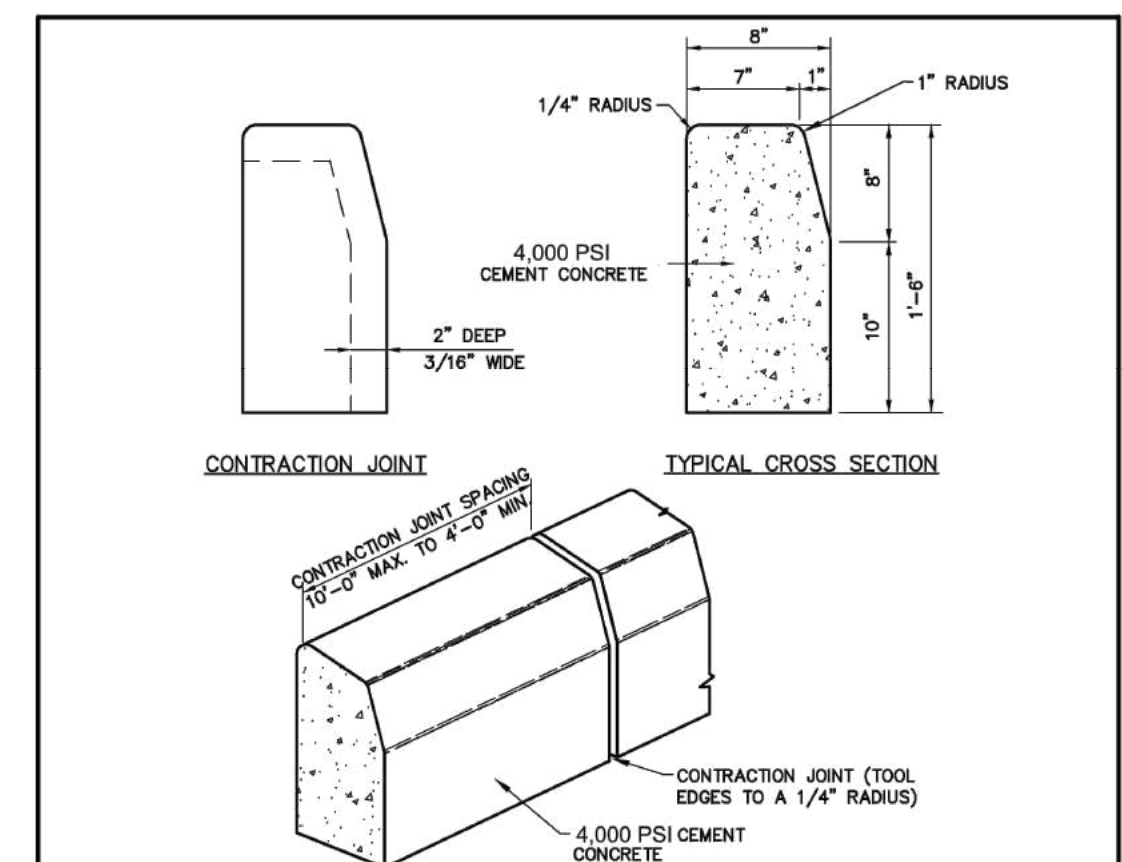


- NOTES:
- HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.
 - THE BOTTOM OF R7-8 SIGN SHALL BE MOUNTED APPROXIMATELY 60 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN SIGN IS PARALLEL TO SIDEWALK AND APPROXIMATELY 72 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE WHEN SIGN IS PERPENDICULAR TO SIDEWALK.
 - THE R7-8 SIGN SHALL BE CENTERED AND MOUNTED AT THE HEAD OF EACH PARKING SPACE.
 - WHERE PARKING SPACES RESERVED FOR PERSONS WITH DISABILITIES ARE DESIGNATED TO ACCOMMODATE WHEEL CHAIR VANS, SIGN R7-8B SHOULD BE MOUNTED BELOW THE R7-8 SIGN.



- NOTES:
- ALL POSTS SHALL BE BREAKAWAY POSTS AND OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL POSTS SHALL BE EMBEDDED 4'-2" MINIMUM BELOW GRADE.
 - ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 - POSTS MAY BE STEEL, ALUMINUM, OR TWO-PIECE U-POST.
 - SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 - BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
 - ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.

STOP SIGN

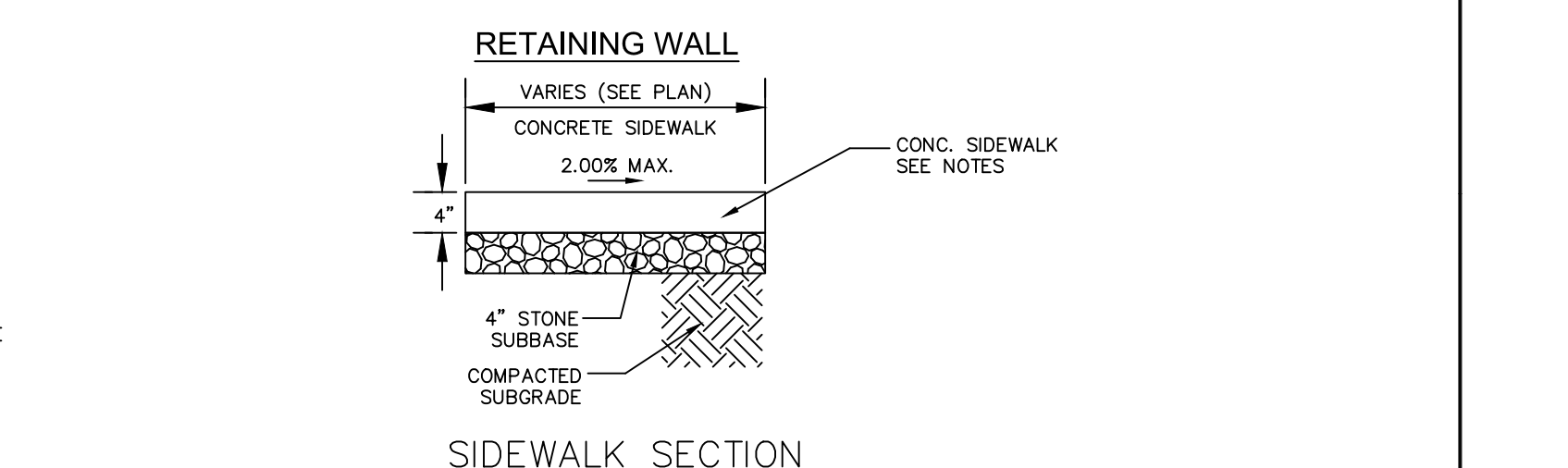
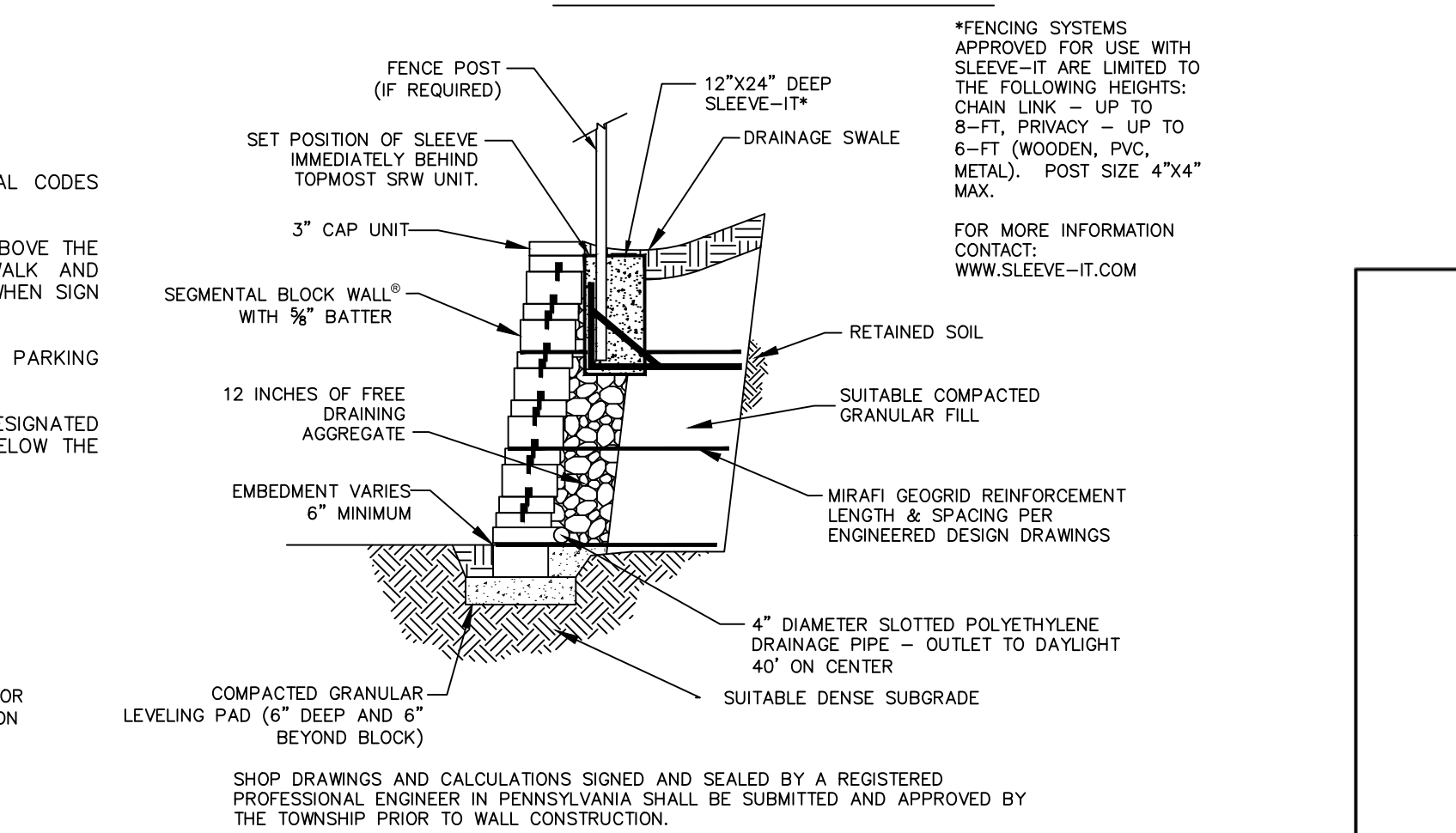
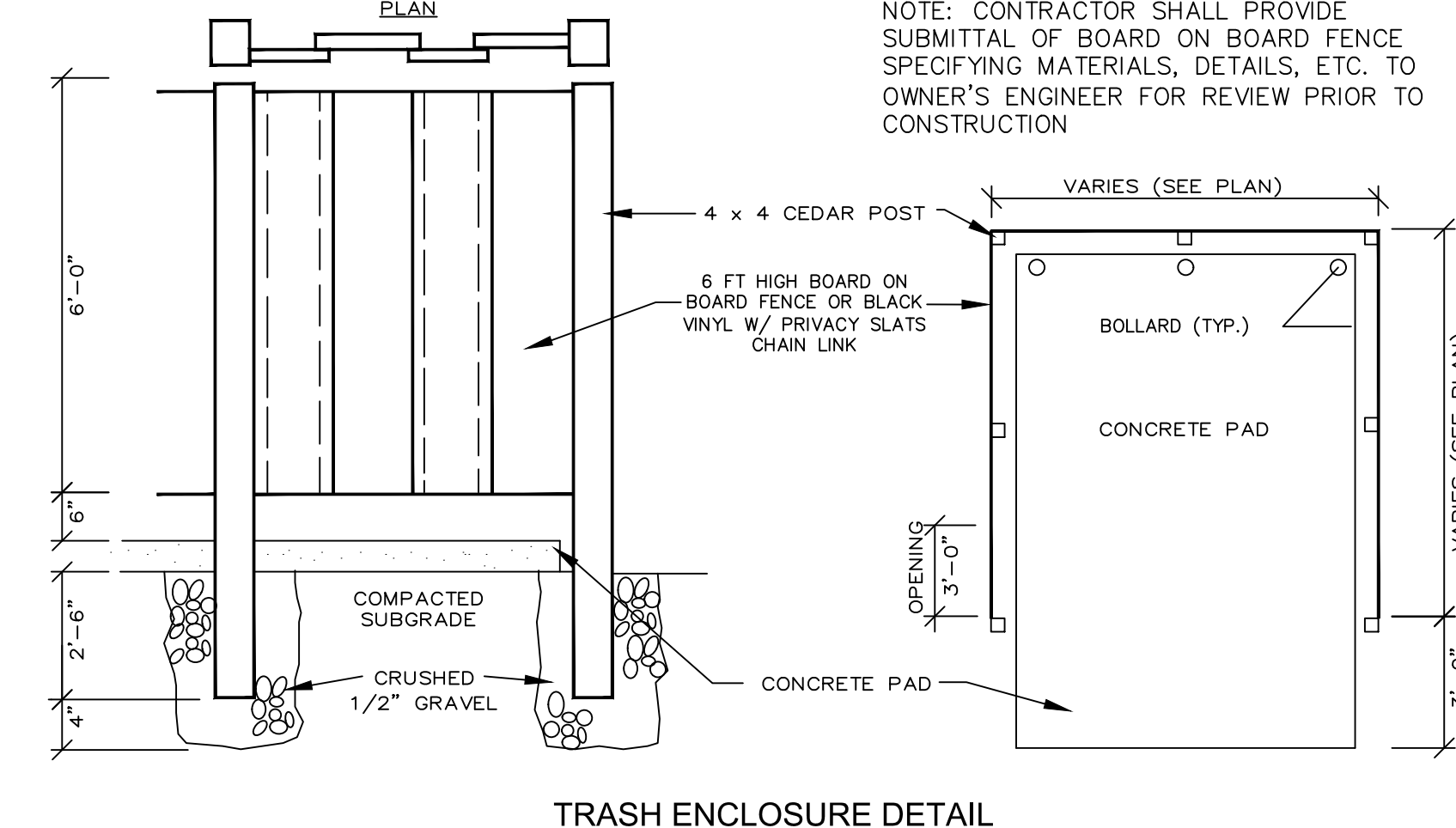


- NOTES:
- PLACE 1/2" PREMOLDED EXPANSION JOINT MATERIAL EVERY 50 FEET (MAX.) AND AT ALL DRIVEWAYS (DEPRESSED CURB CUTS), INLETS AND CURB RAMP.
 - MINIMUM 2# REINFORCING BARS PER SIDE WHERE CURB ABUTS INLET HOODS, INCLUDING PREMOLDED EXPANSION JOINT MATERIAL.
 - WHERE CURB ARE INSTALLED BY A MACHINE, SAW CUTS SHALL BE 2" DEEP, EVERY 10 FEET.

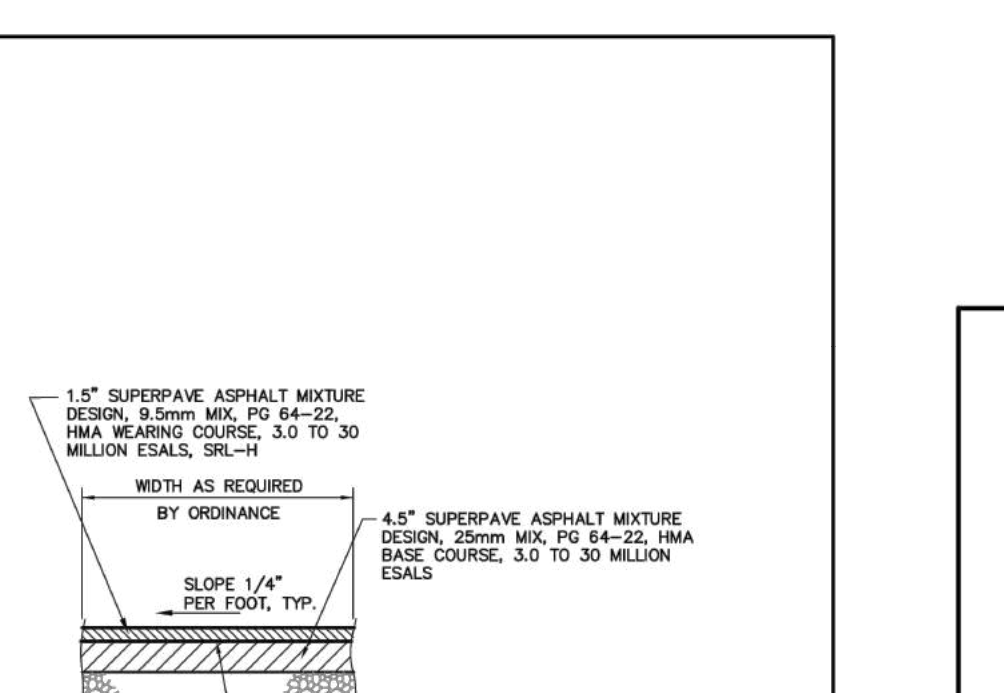
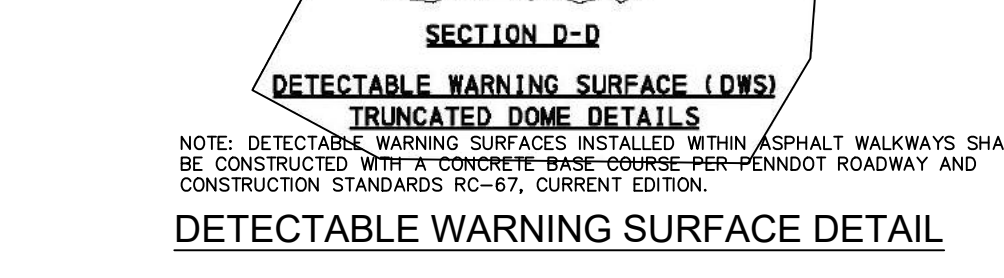
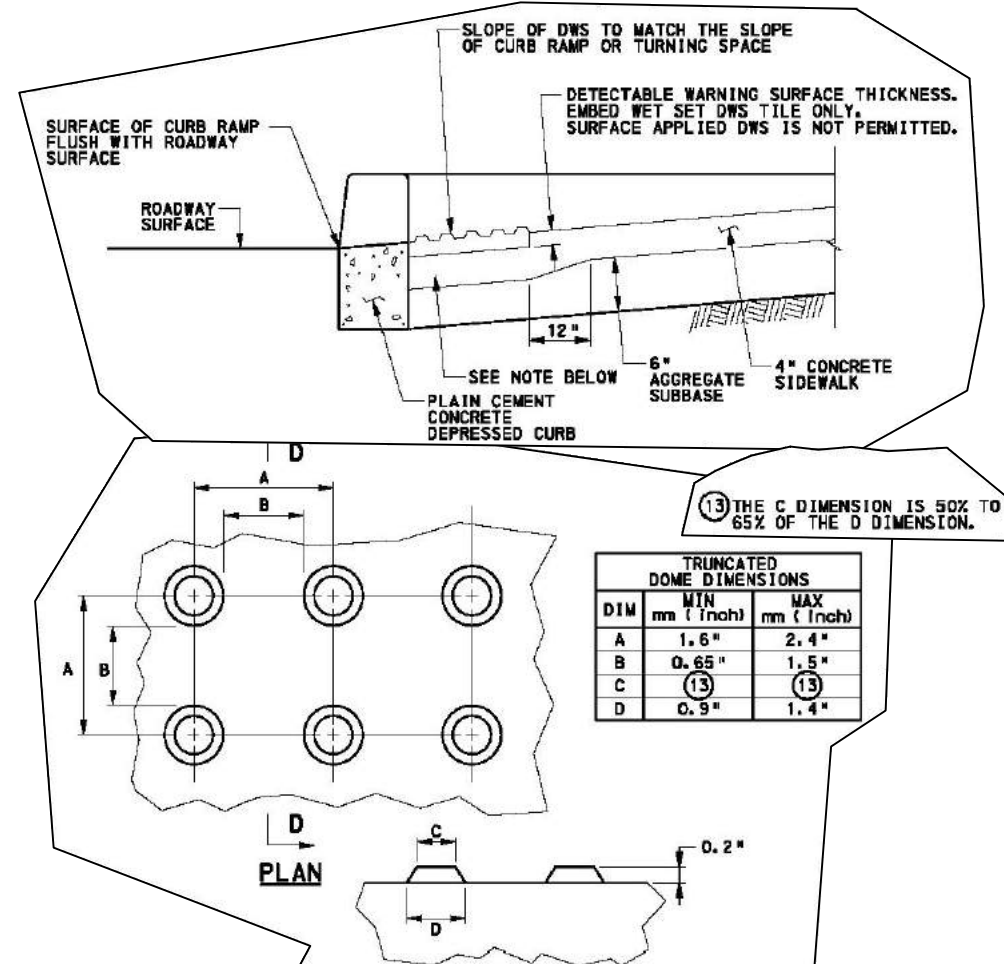
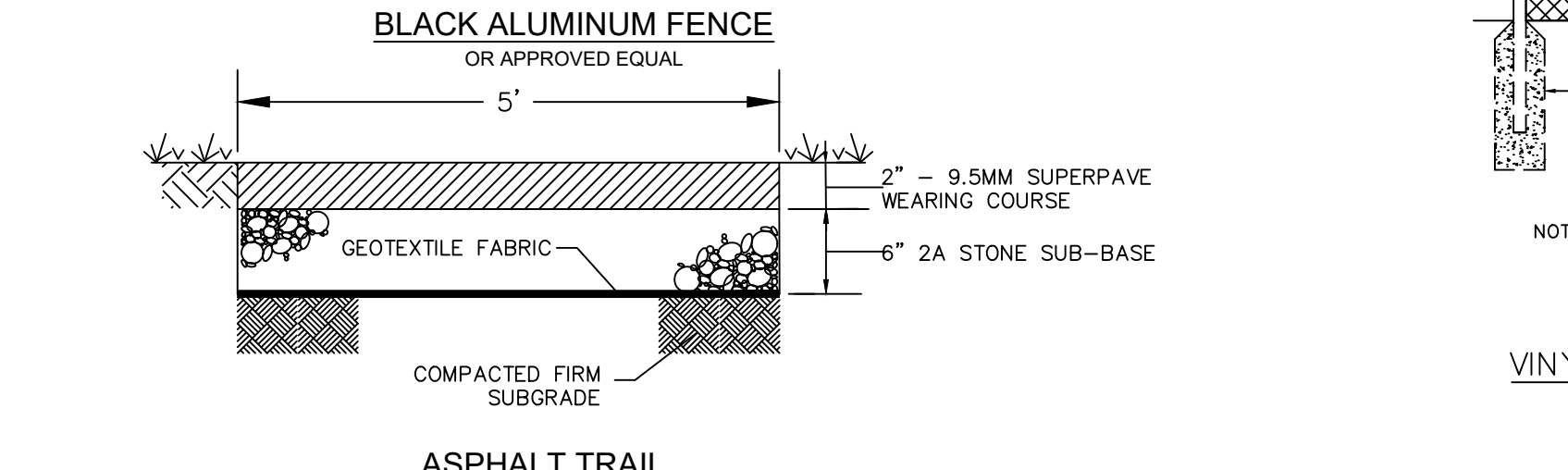
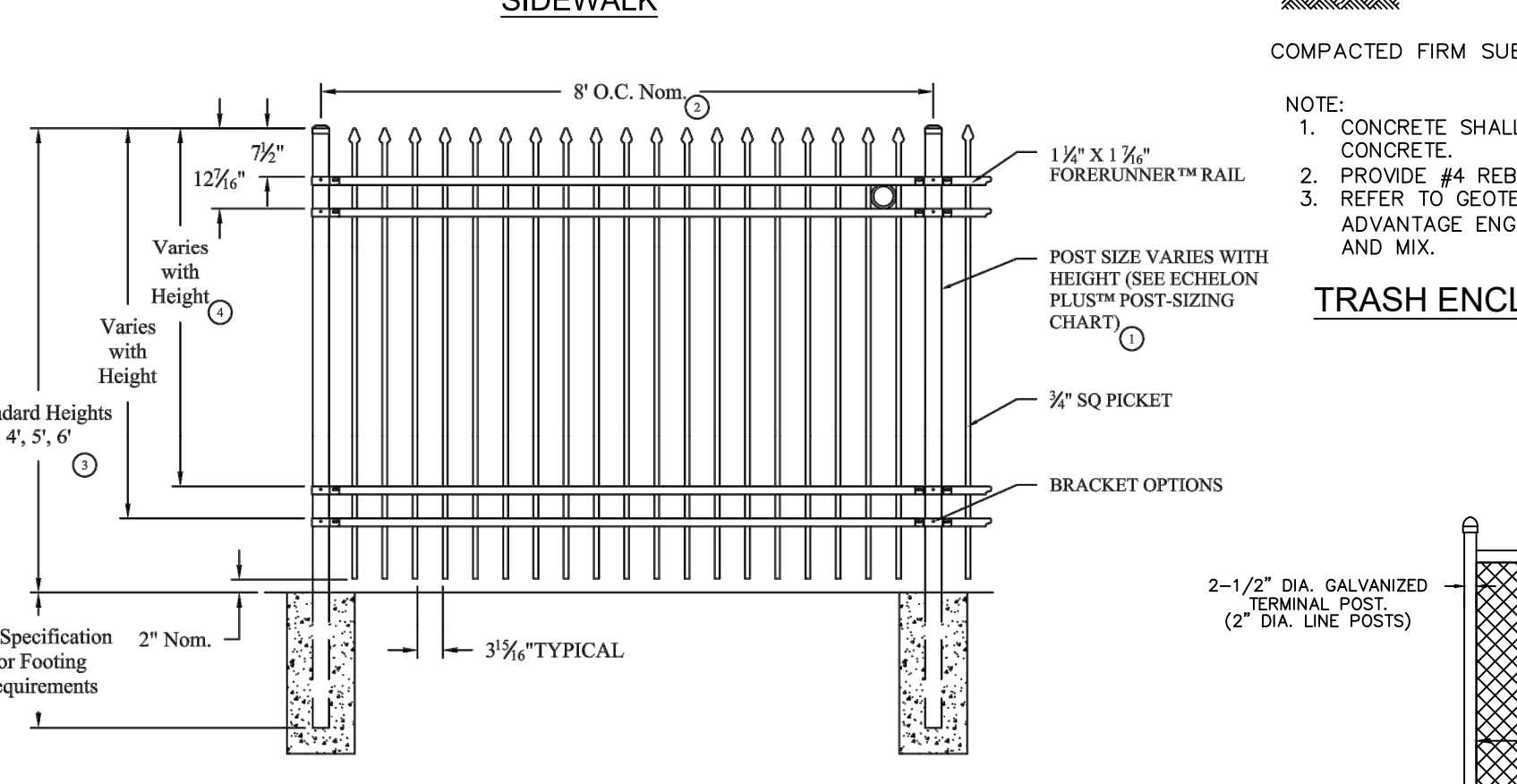
PLAIN CEMENT CONCRETE CURB DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-9108 • (215) 345-4300
WWW.GILMORE-ASSOCIATES.COM

DATE: 5/22/09 LAST REVISED: N.T.S. SCALE: DRAWING No: 9 of 17



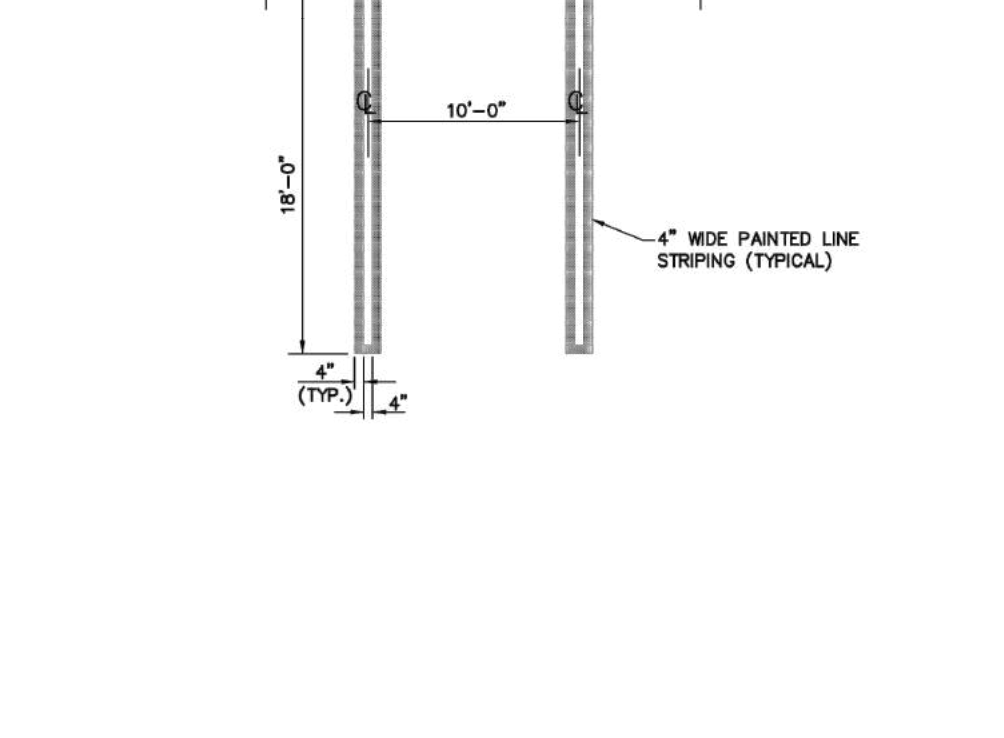
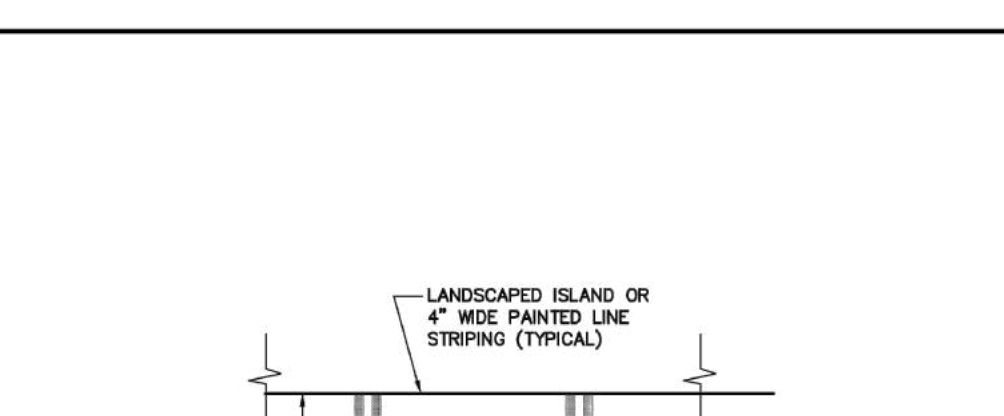
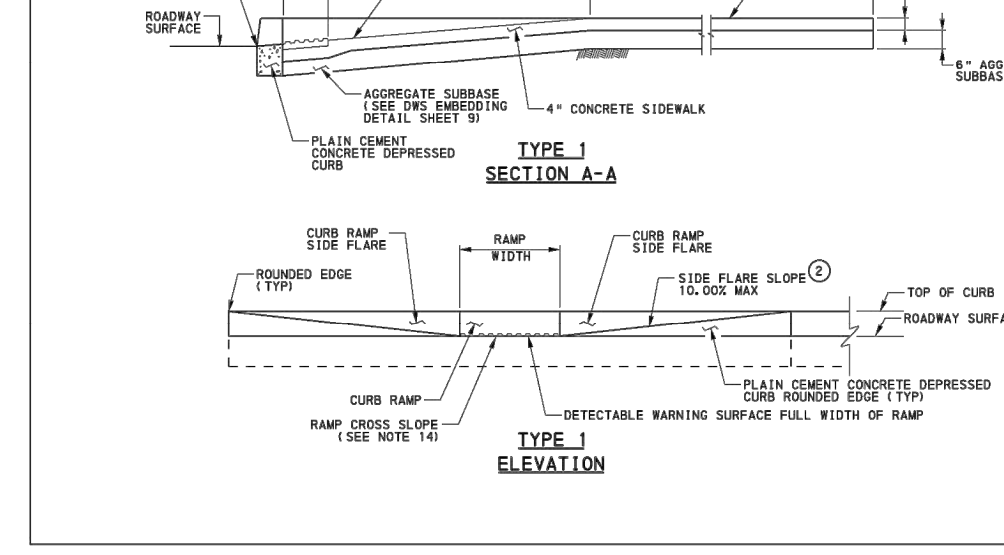
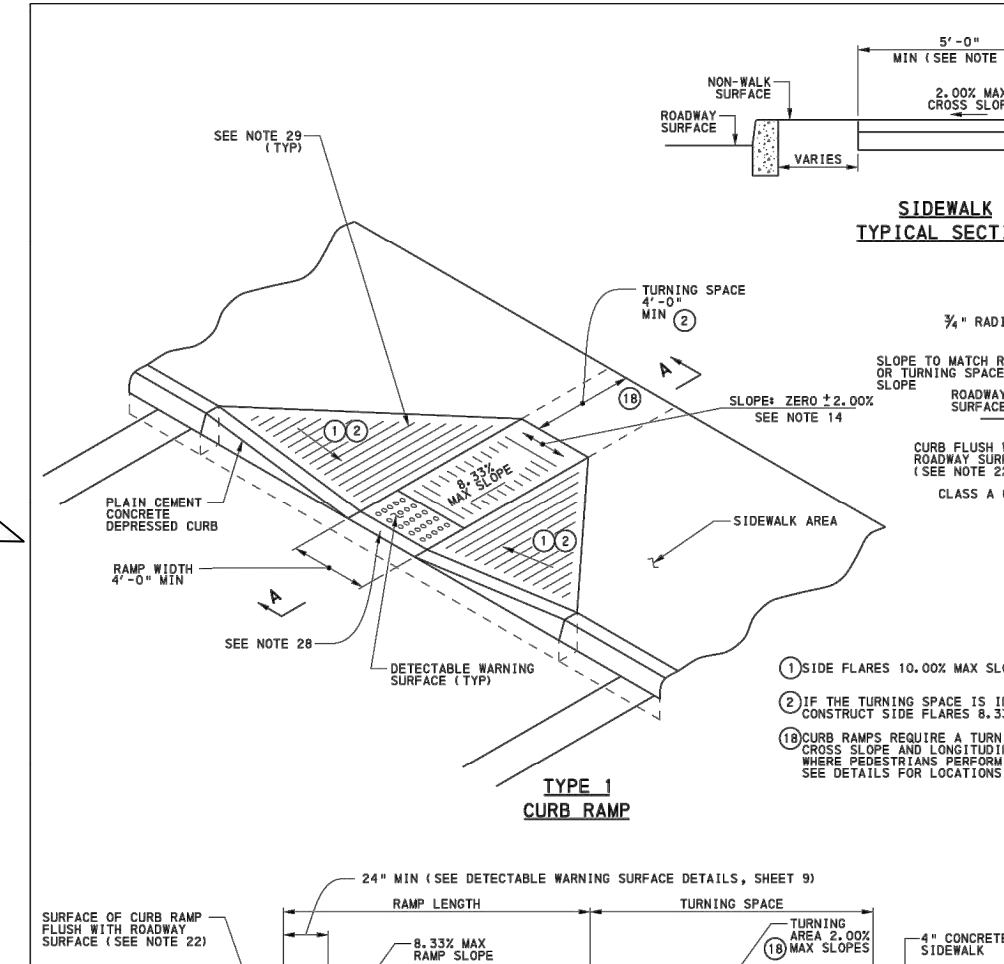
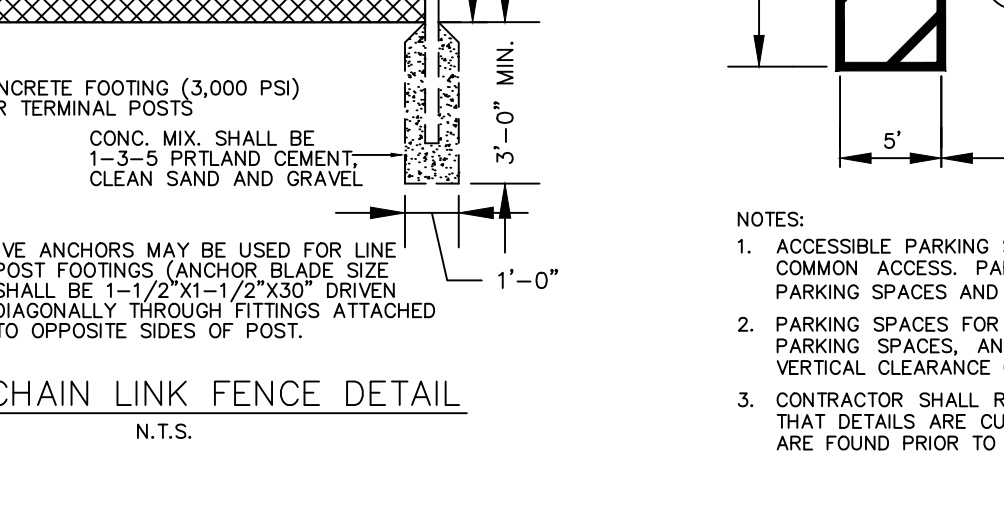
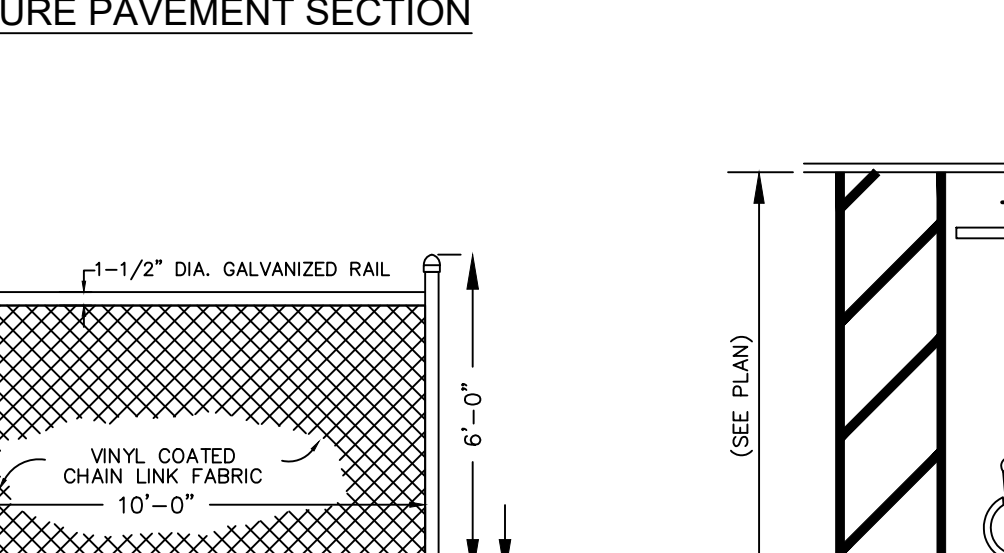
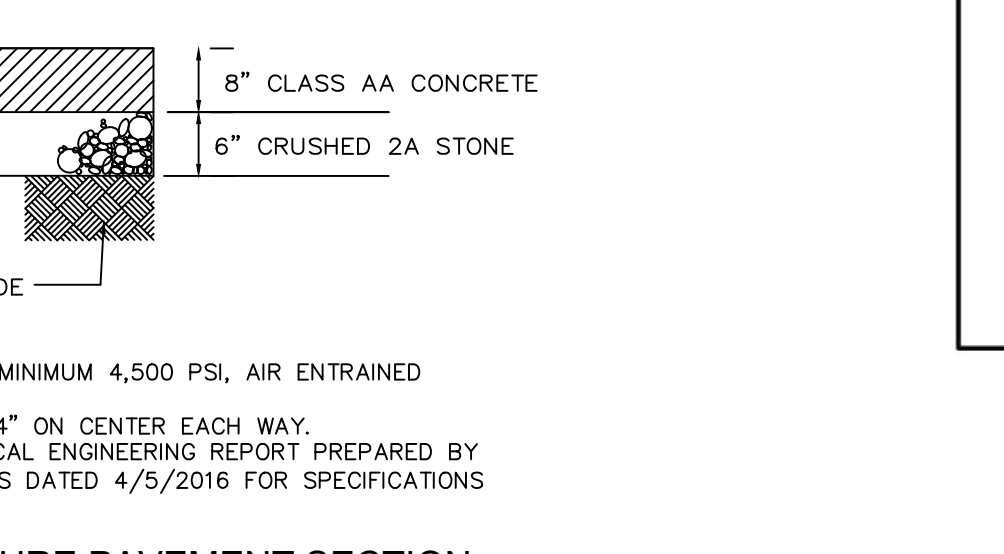
- NOTES:
- SIDEWALK IS TO BE PROVIDED, PLACED, CURED AND FINISHED TO PENNDOT SPECIFICATIONS PUB. 408 (CURRENT EDITION), SECTIONS 704 AND 1001. TYPE A CONCRETE (3,300 PSI, TWENTY-EIGHT-DAY STRENGTH) SHALL BE USED.
 - CONTRACTION JOINTS: SPACED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS, NOT TO EXCEED 5 FEET FOR SIDEWALKS TO BE FORMED BY DIVISION PLATES OR CUTTING GROOVE INTO CONCRETE SURFACE NOT LESS THAN 1/3 ENTIRE DEPTH OF SLAB.
 - DRAINAGE SLOPE TO BE MAINTAINED AT MAXIMUM 2% TOWARDS CURB.
 - EXPANSION JOINTS TO BE ONE-HALF-INCH PRECLUDED, BITUMINOUS, EXPANSION JOINT MATERIAL AT THIRTY-FOOT INTERVALS, NEXT TO BUILDINGS, POLES, STRUCTURES AND CURBS; AROUND INTERSECTIONS OF TWO WALKS, DRIVEWAY APRON JOINT TO WALL, CURB OR SIDEWALK; AND AT ENDS OF ALL WALKS AND CURBS INCLUDING RADIUS CURBS.
 - MINIMUM NO. 9, SIX BY SIX MESH TO BE USED IN CONCRETE DRIVEWAY CONSTRUCTION.
 - CONTRACTION JOINTS ARE TO BE PLACED EVERY 5' AND EXPANSION JOINTS TO ARE TO BE PLACED EVERY 20'.
 - A 4" THICK 2B STONE BASE IS REQUIRED.
 - CLASS AA CONCRETE IS TO BE USED FOR SIDEWALK CONSTRUCTION.



NON-RESIDENTIAL AND MULTI-RESIDENTIAL DRIVEWAYS, PARKING AREAS AND LOADING AREAS PAVING SECTION DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

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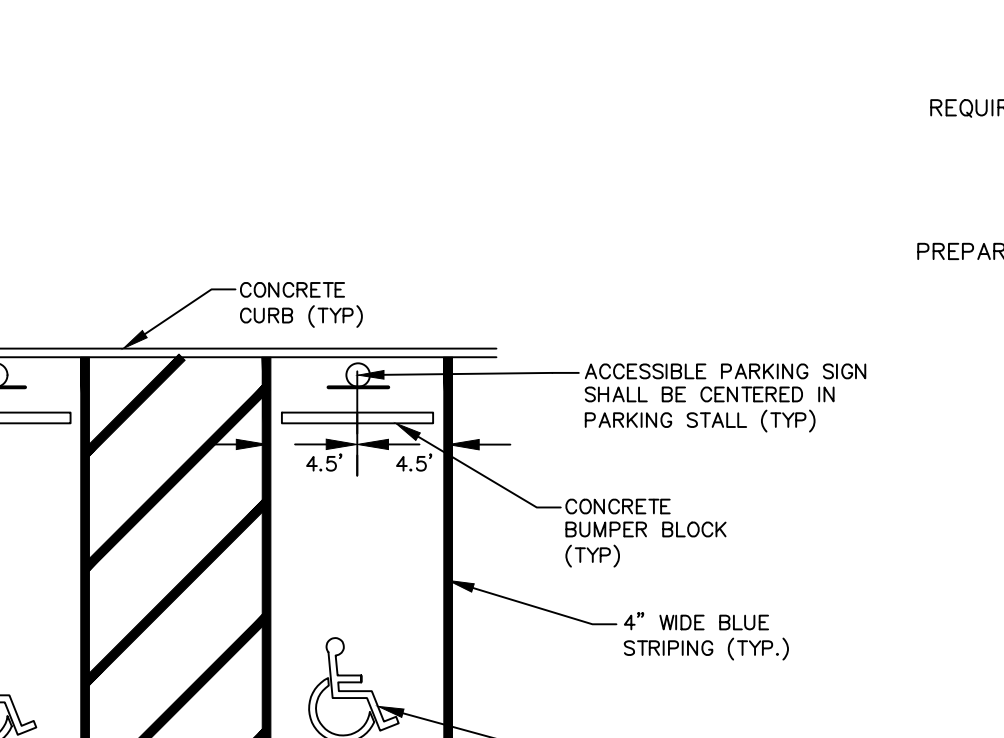
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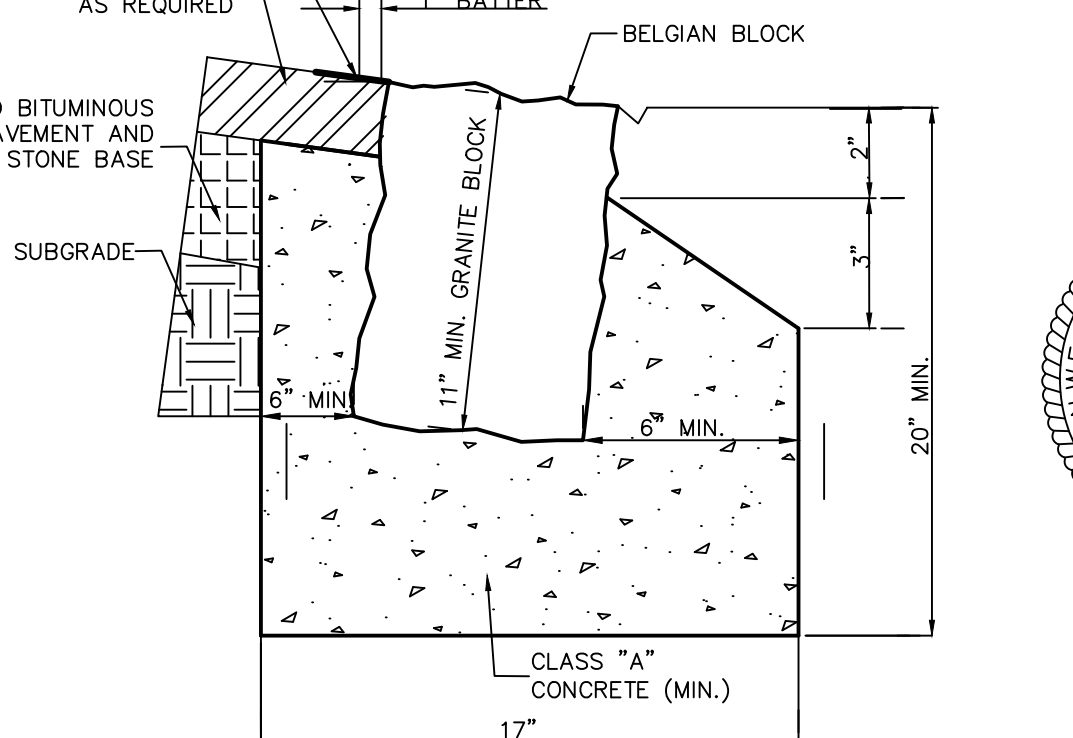
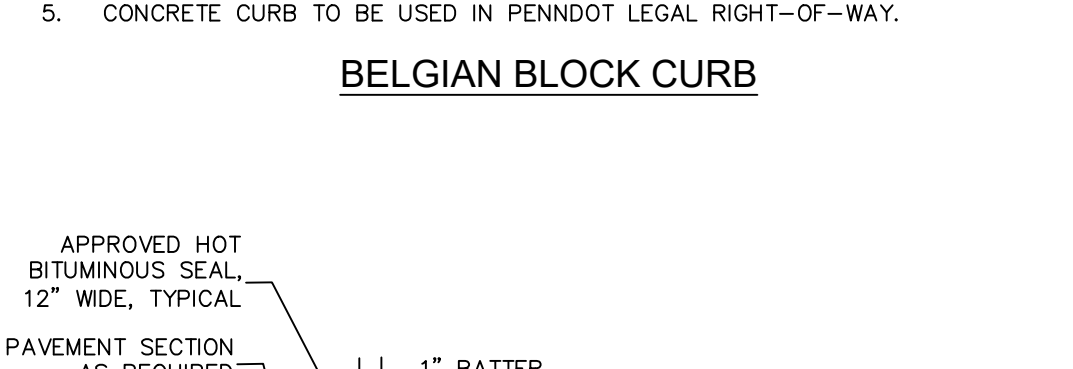
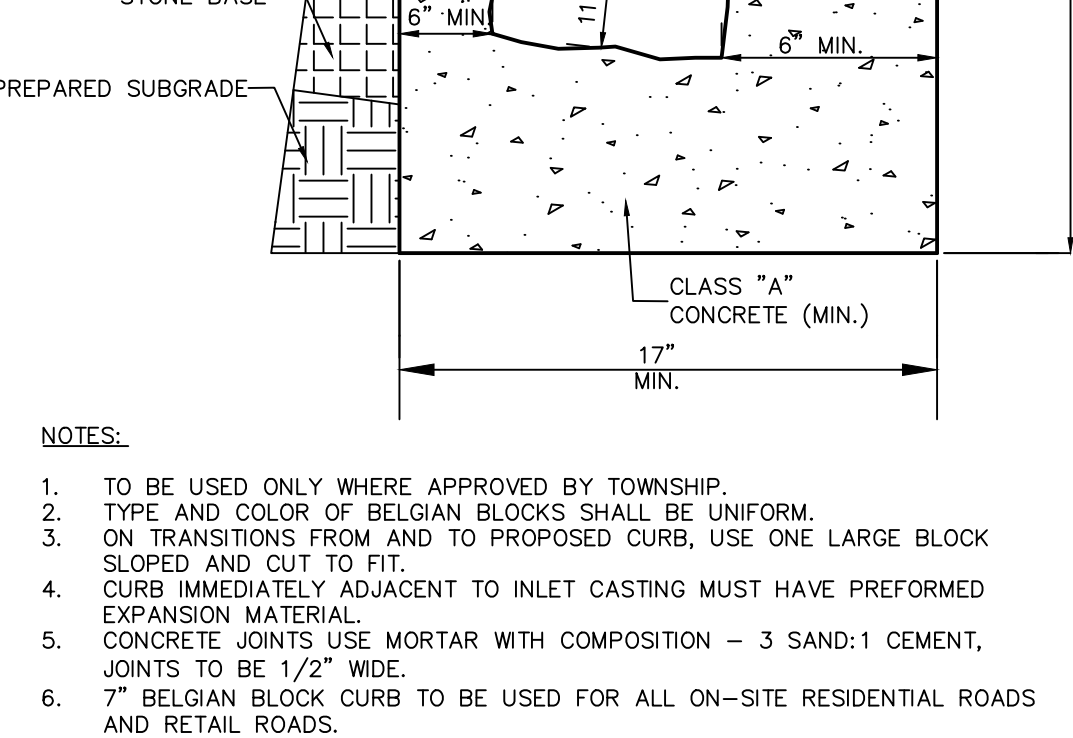
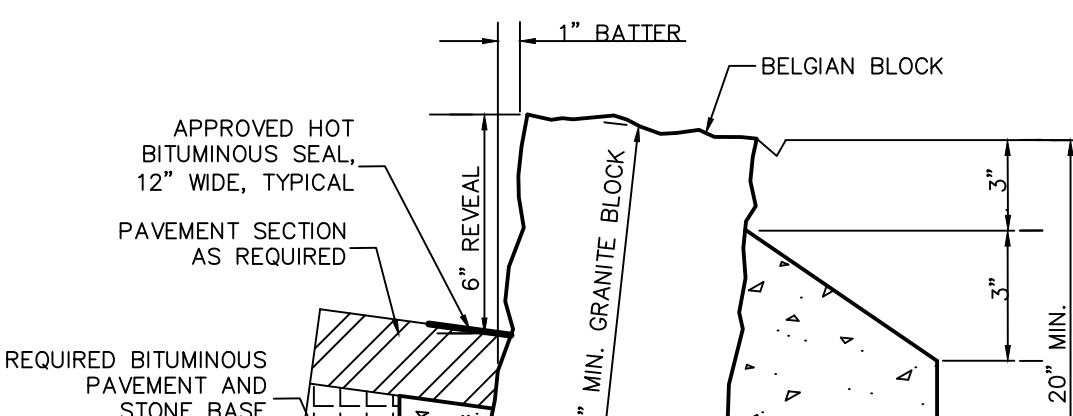
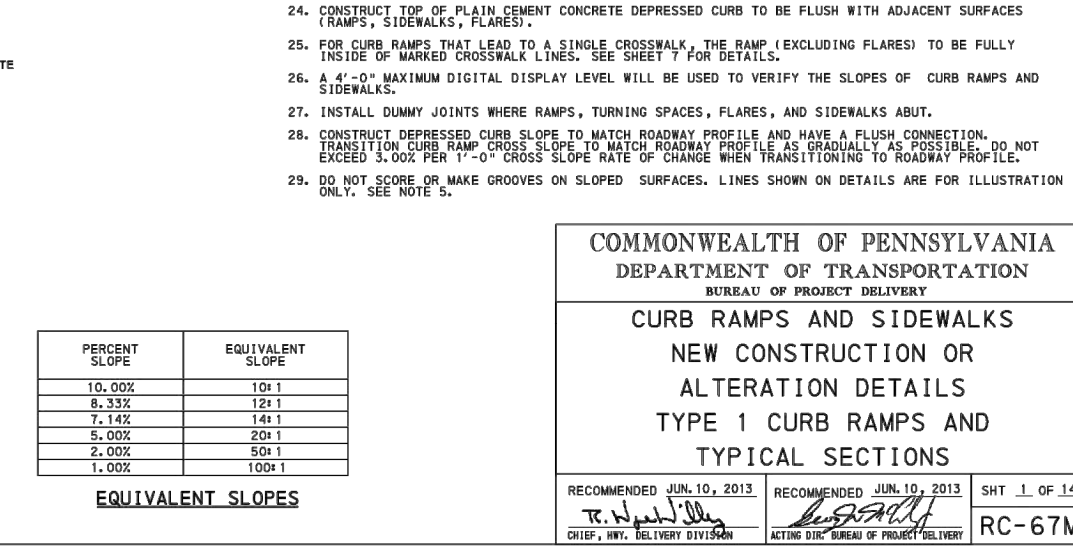
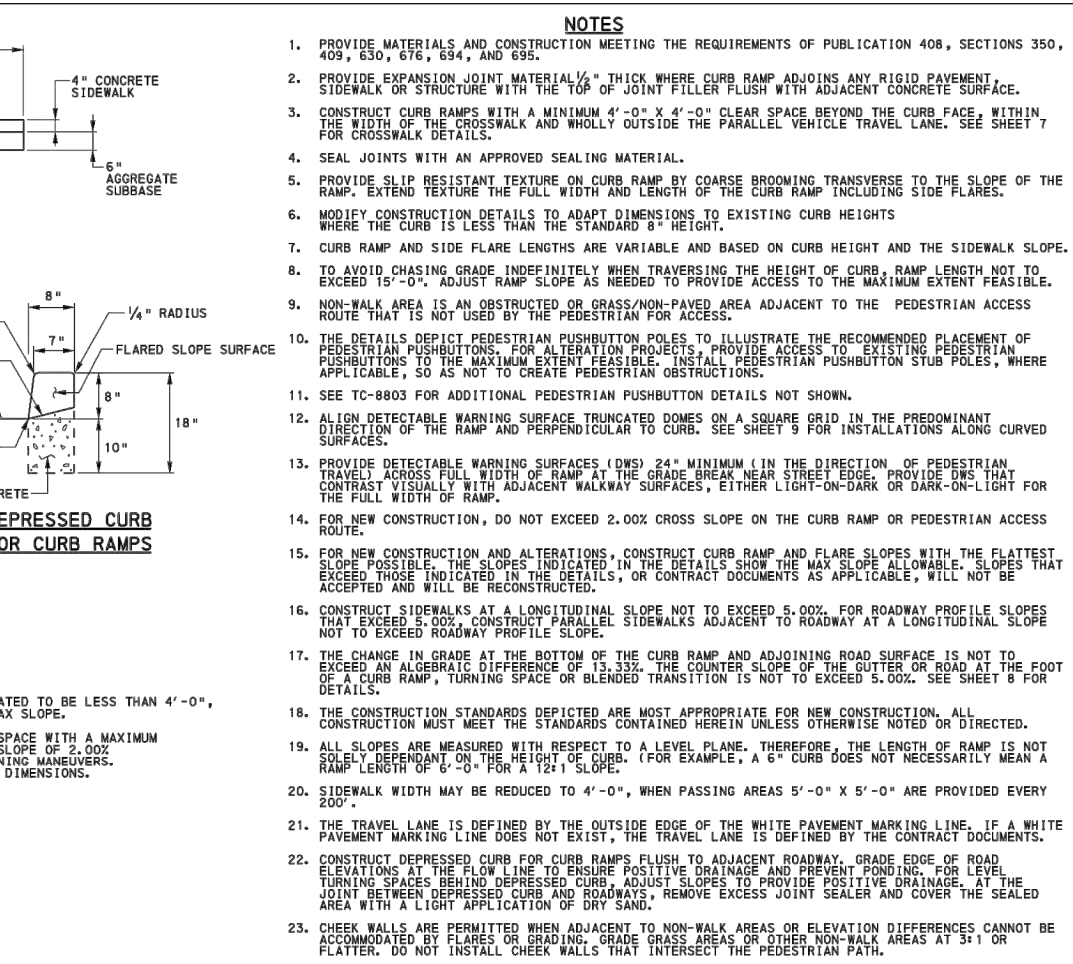
PARKING SPACE STRIPING DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

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ENGINEERING & CONSULTING SERVICES
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DATE: 5/22/09 LAST REVISED: N.T.S. SCALE: DRAWING No: 16 of 17



- NOTES:
- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 108 INCHES WIDE. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE. PARKING SPACES AND ACCESS SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
 - PARKING SPACES FOR VANS, ACCESSIBLE SERVING THEM, AND VEHICULAR ROUTES FROM AN ENTRANCE TO THE VAN PARKING SPACES, AND FROM THE VAN PARKING SPACES TO A VEHICULAR EXIT SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES MINIMUM.
 - CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES TO ENSURE THAT DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND PRIOR TO COMMENCEMENT OF WORK.



- NOTES:
- TO BE USED ONLY WHERE APPROVED BY TOWNSHIP.
 - TYPE AND COLOR OF BELGIAN BLOCKS SHALL BE UNIFORM.
 - ON TRANSITIONS FROM AND TO PROPOSED CURB, USE ONE LARGE BLOCK SLOPED AND CUT TO FIT.
 - CURB IMMEDIATELY ADJACENT TO INLET CASTING MUST HAVE PERFORMED EXPANSION MATERIAL.
 - CONCRETE JOINTS USE MORTAR WITH COMPOSITION - 3 SAND:1 CEMENT, JOINTS TO BE 1/2" WIDE.
 - 7" BELGIAN BLOCK CURB TO BE USED FOR ALL ON-SITE RESIDENTIAL ROADS AND RETAIL ROADS.
 - CONCRETE CURB TO BE USED IN PENNDOT LEGAL RIGHT-OF-WAY.

FLUSH BELGIAN BLOCK CURB

Holmes Cunningham LLC
409 E. Butler Ave.
Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF PRODUCT IMPROVEMENT
CURB RAMPS AND SIDEWALKS
NEW CONSTRUCTION OR
ALTERATION DETAILS
**TYPE 1 CURB RAMPS AND
TYPICAL SECTIONS**
RECOMMENDED 06/10/2013 | REVISIONS 06/10/2013 | SHEET 1 OF 14
DATE: 06/10/2013 | DRAWING No: RC-67M

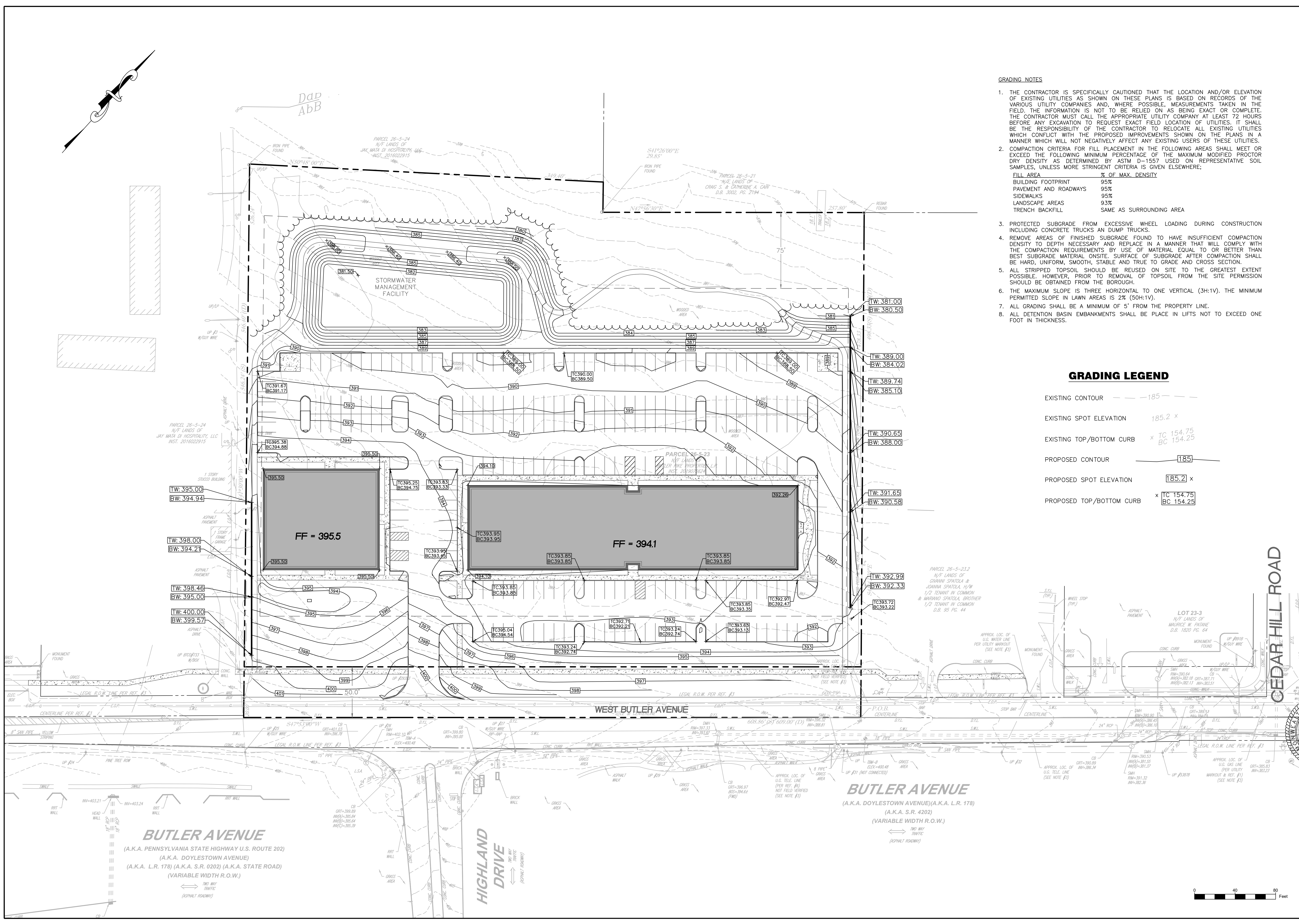
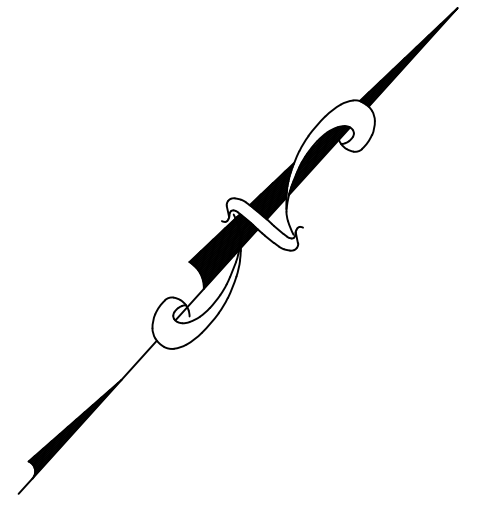
BUTLER AVENUE PROPERTY
TWP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

ROBERT T. CUNNINGHAM, P.E.
PA PE07624

FILE No.
1482_C1.0 Record.dwg

HCE Job 1482
Date 11/30/2021
Scale N.T.S.
Designed RC
Sheet 5 of 21

Drawing No.
C1.1



GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE:

FILL AREA	% OF MAX. DENSITY
BUILDING FOOTPRINT	95%
PAVEMENT AND ROADWAYS	95%
SIDEWALKS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
3. PROTECTED SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
4. REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH THE COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ONSITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE AND TRUE TO GRADE AND CROSS SECTION.
5. ALL STRIPPED TOPSOIL SHOULD BE REUSED ON SITE TO THE GREATEST EXTENT POSSIBLE. HOWEVER, PRIOR TO REMOVAL OF TOPSOIL FROM THE SITE PERMISSION SHOULD BE OBTAINED FROM THE BOROUGH.
6. THE MAXIMUM SLOPE IS THREE HORIZONTAL TO ONE VERTICAL (3H:1V). THE MINIMUM PERMITTED SLOPE IN LAWN AREAS IS 2% (50H:1V).
7. ALL GRADING SHALL BE A MINIMUM OF 5' FROM THE PROPERTY LINE.
8. ALL DETENTION BASIN EMBANKMENTS SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN THICKNESS.

GRADING LEGEND

EXISTING CONTOUR	---	185
EXISTING SPOT ELEVATION		185.2 x
EXISTING TOP/BOTTOM CURB		x TC 154.75 BC 154.25
PROPOSED CONTOUR	---	185
PROPOSED SPOT ELEVATION		185.2 x
PROPOSED TOP/BOTTOM CURB		x TC 154.75 BC 154.25

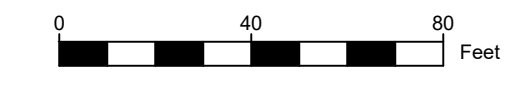
Holmes Cunningham LLC
 409 E. Butler Ave.
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

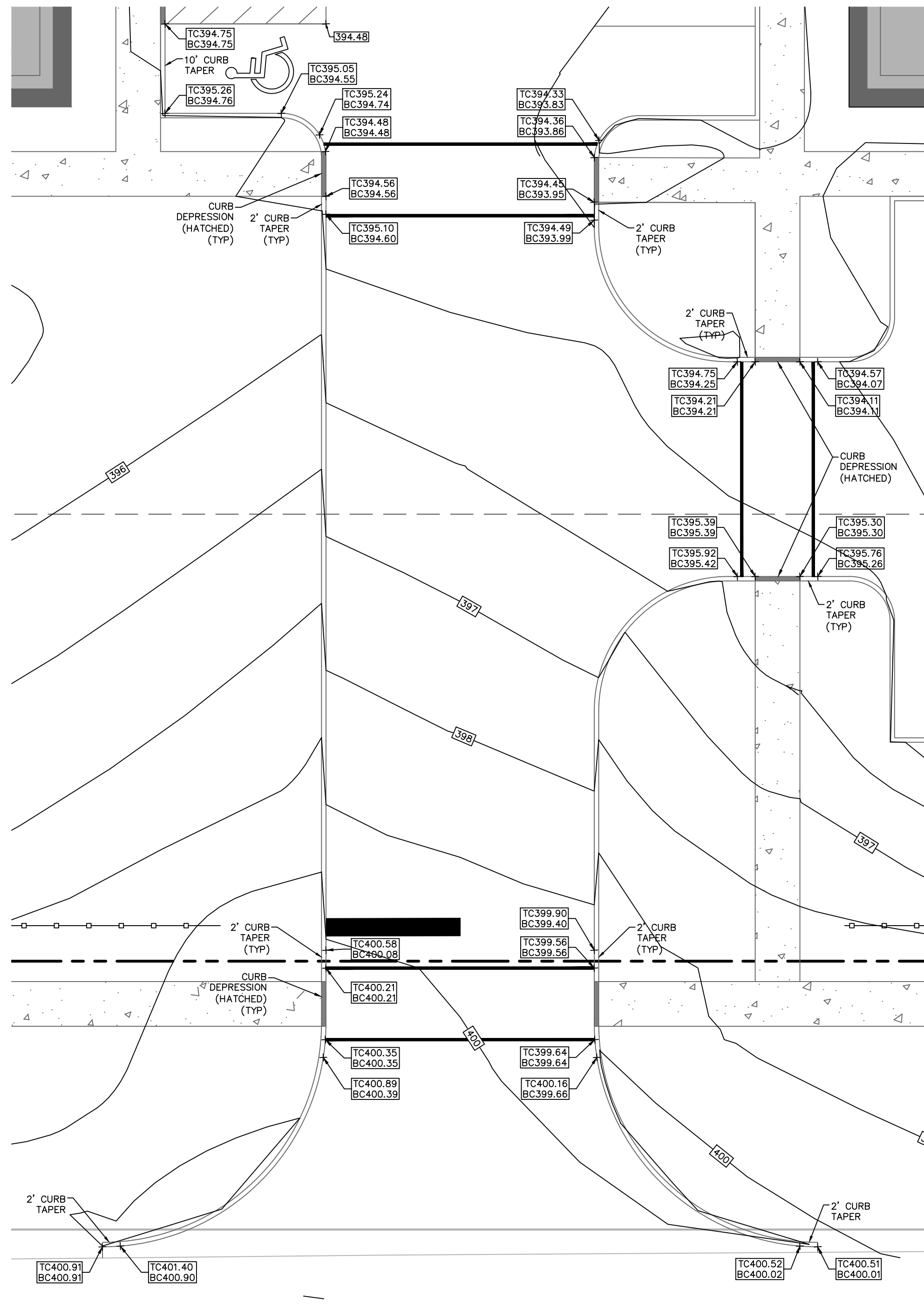
REVISIONS	Description	Date

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
GRADING PLAN

PROFESSIONAL ENGINEER
 ROBERT THOMAS CUNNINGHAM
 No. 1177024
ROBERT T. CUNNINGHAM, P.E.
 PA PE07624

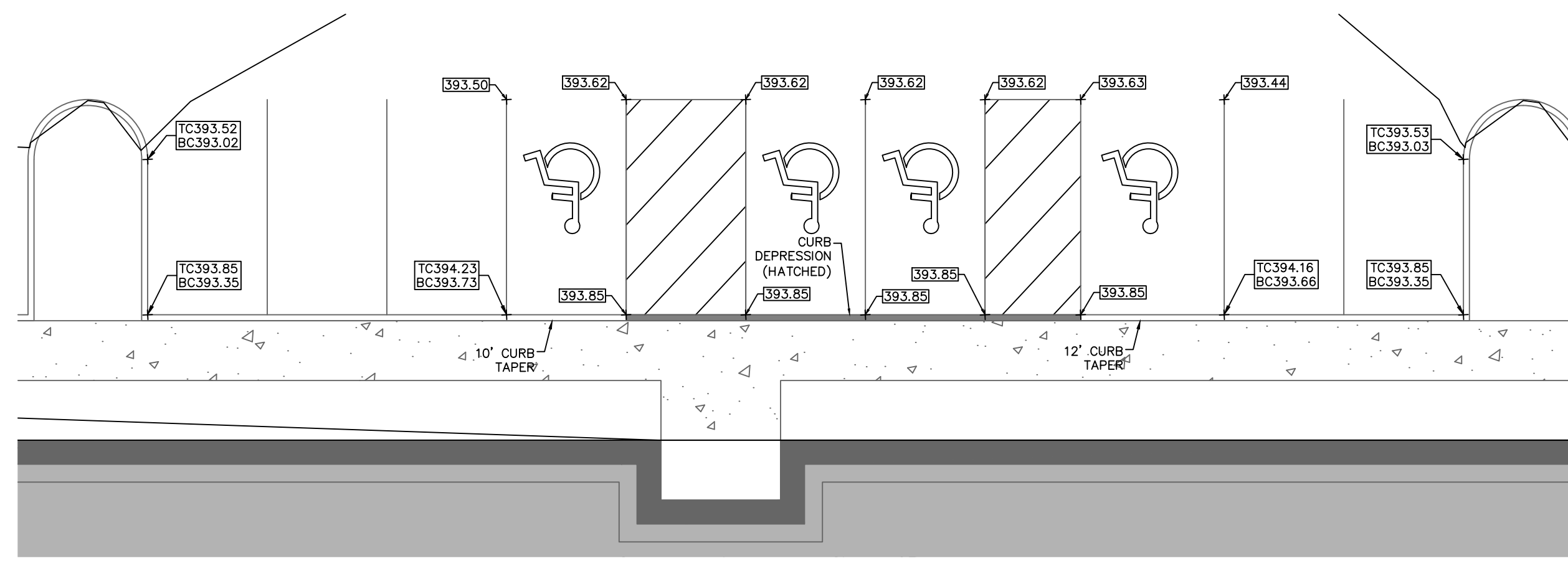
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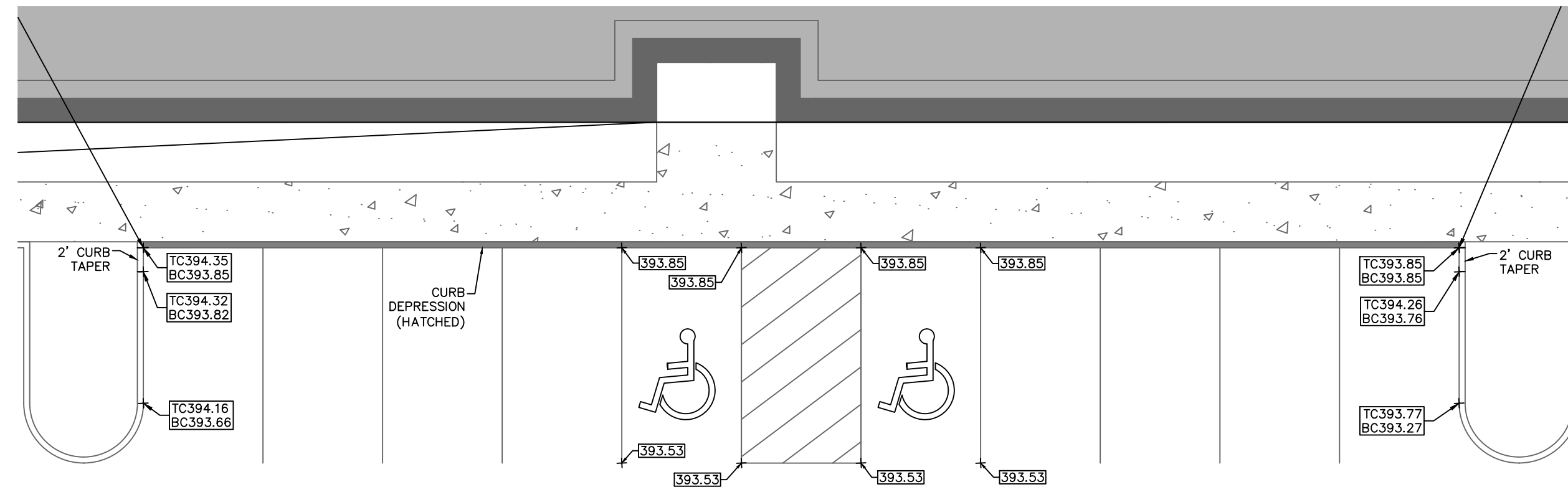


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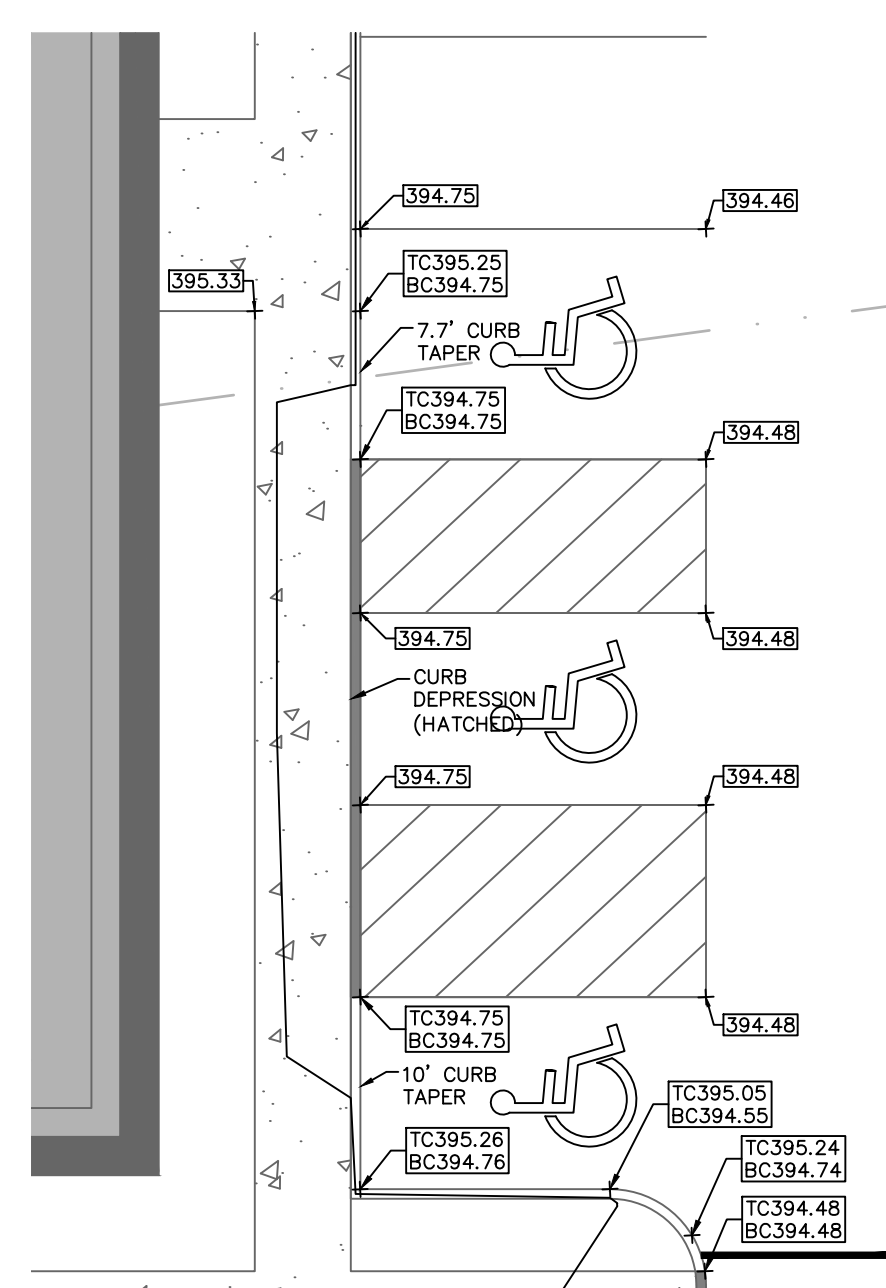
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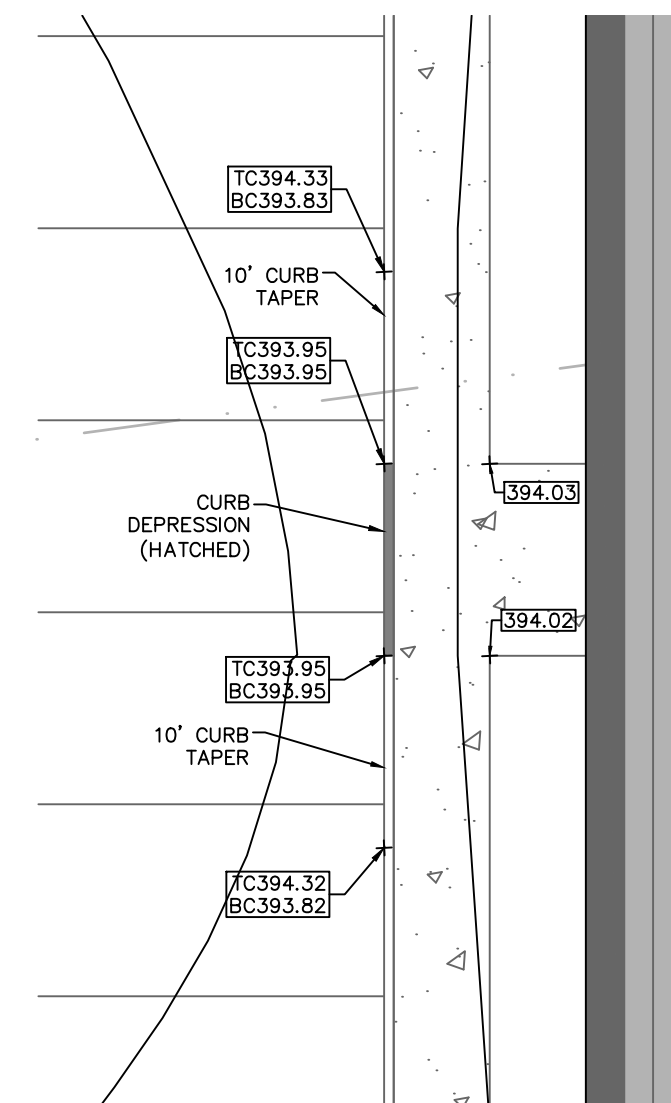
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(NW - ENTRANCE)**



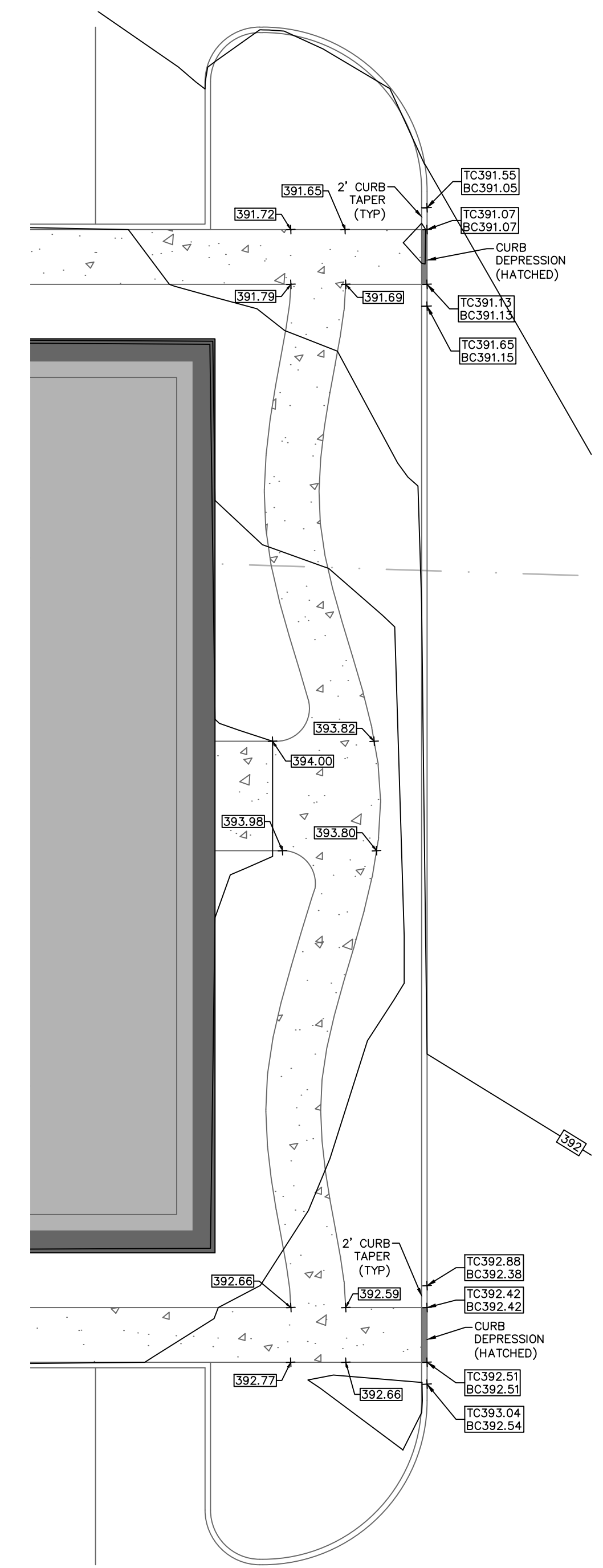
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(SE - ENTRANCE)**



**BUILDING B - ADA ACCESSIBLE ROUTE
(NE - ENTRANCE)**



**BUILDING A - ADA ACCESSIBLE ROUTE
(SW - ENTRANCE)**



**BUILDING A - ADA ACCESSIBLE ROUTE
(NE - ENTRANCE)**

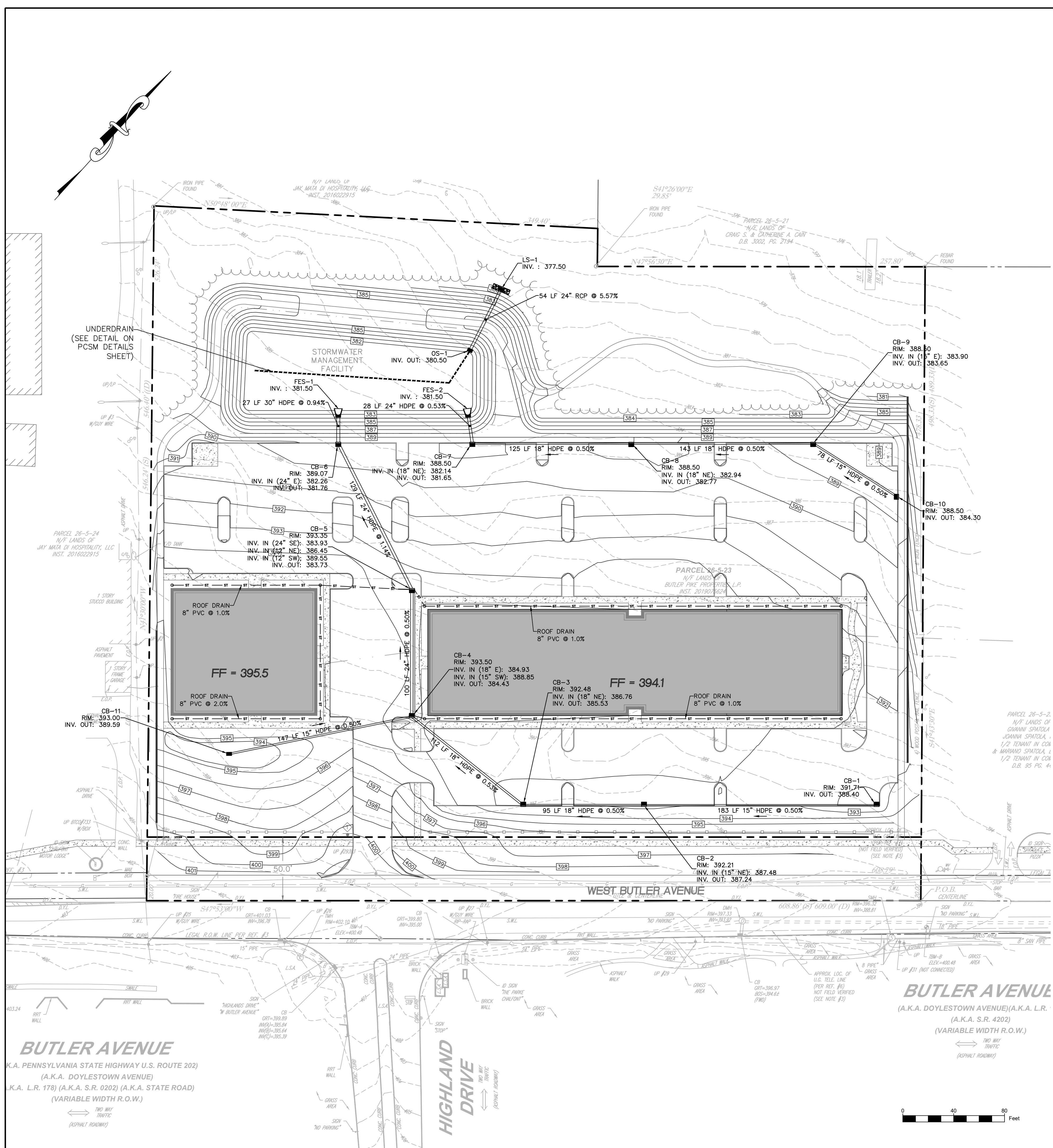
Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
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REVISIONS	Description	Date

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
DETAILED GRADING PLAN

PROFESSIONAL ENGINEER
 ROBERT T. CUNNINGHAM
 PA # 0076424

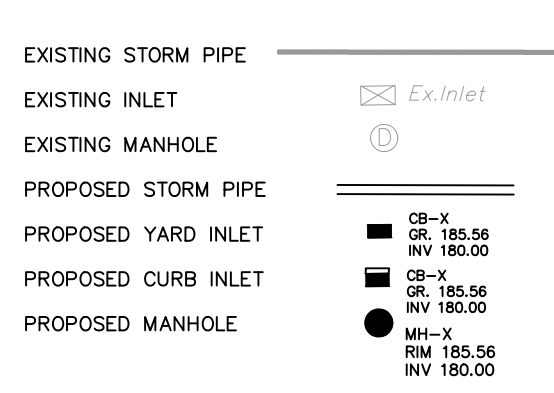
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Sheet	7 of 21
Drawing No.	C2.1



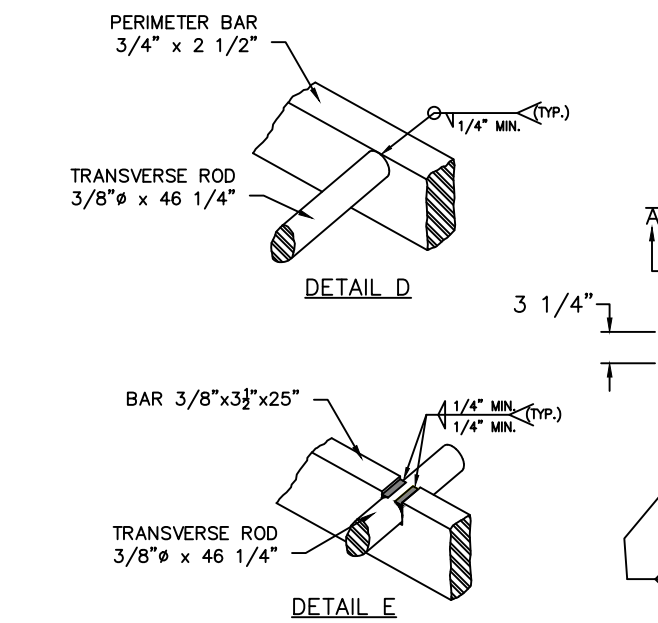
DRAINAGE NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING LOCATION AND/OR ELEVATION OF FEATURES AS SHOWN ON THESE PLANS IS BASED ON A SURVEY. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL STORM SEWERS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW BRITAIN TOWNSHIP AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) STANDARDS.
- THE CONTRACTOR SHALL REVIEW THE STORM DRAINAGE CONNECTIONS TO INLETS, MANHOLES, ETC. AND PROVIDE THE APPROPRIATE BOX SIZE, MANHOLE SIZE, ETC. AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
- ALL CATCH BASINS AND INLETS ARE PROPOSED TO BE 2 FEET IN WIDTH AND 4 FEET IN LENGTH AS PER THE PLAN DETAILS UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE TOWNSHIP FOR BASIN PIPES, CONNECTIONS, OUTLET STRUCTURES, CATCH BASINS, MANHOLES AND OTHER STORM STRUCTURES.
- DOWNSPOUTS AND SUMP PUMPS SHALL NOT DISCHARGE STORMWATER DIRECTLY ONTO A SIDEWALK.
- ALL STORMWATER AND DRAINAGE FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED WITHOUT PRIOR APPROVAL FROM NEW BRITAIN TOWNSHIP.
- NEW BRITAIN TOWNSHIP SHALL HAVE THE RIGHT TO ENTER PRIVATE PROPERTY TO INSPECT AND REPAIR, IF NECESSARY, ANY STORMWATER MANAGEMENT OR DRAINAGE FACILITY.
- THE STORMWATER MANAGEMENT BASINS WILL BE OWNED AND MAINTAINED BY THE OWNER.
- ALL STORM PIPES LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE A MINIMUM OF TWO (2) FEET OF COVER.

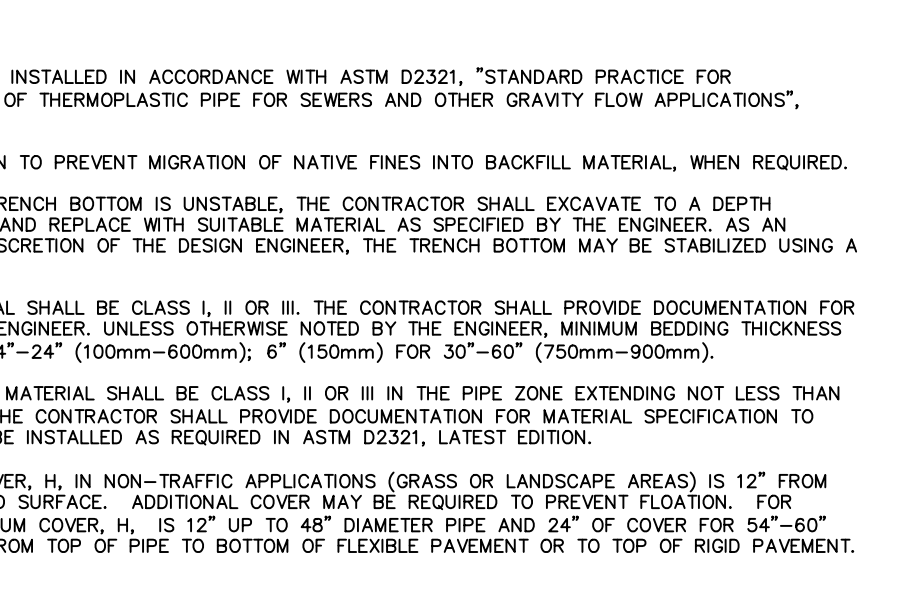
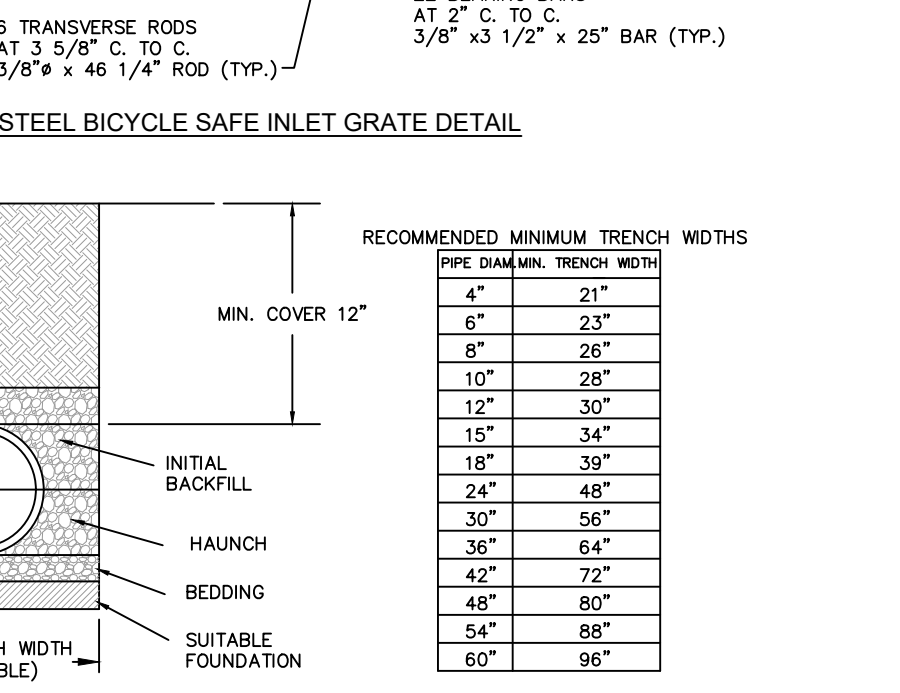
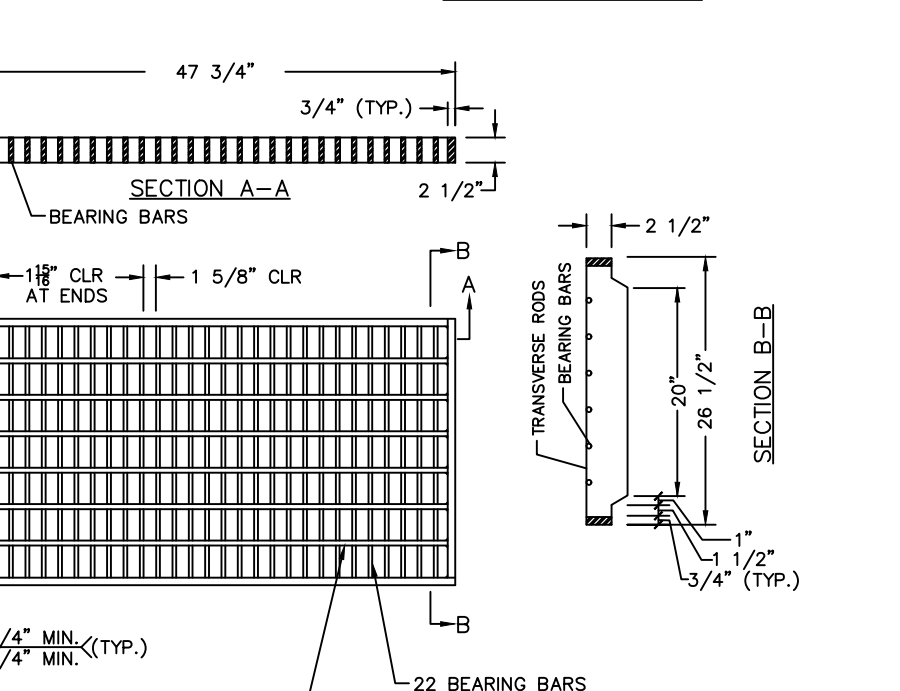
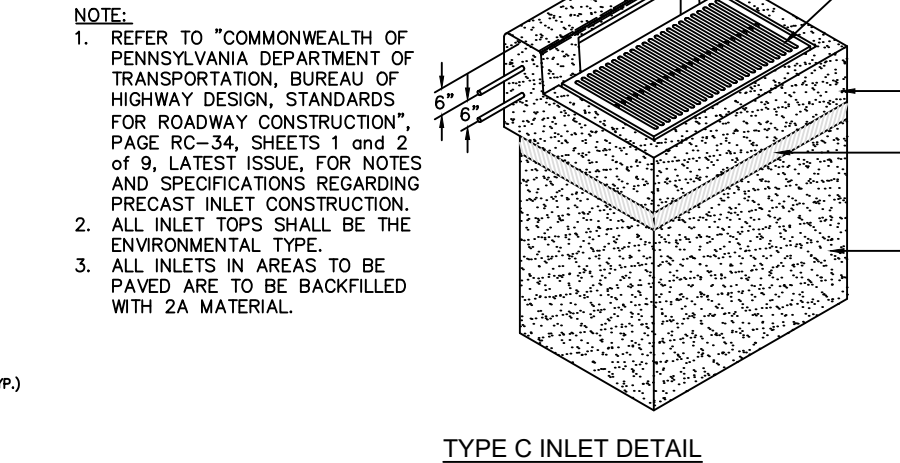
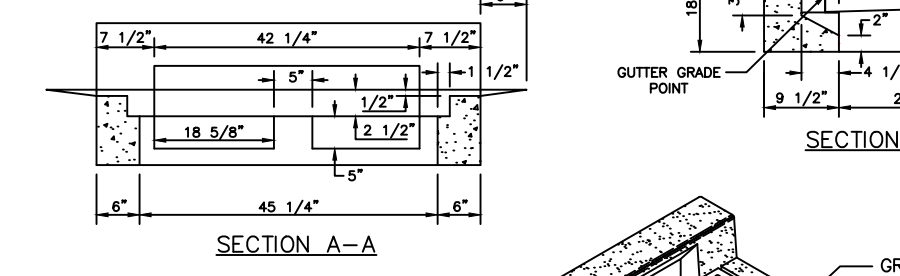
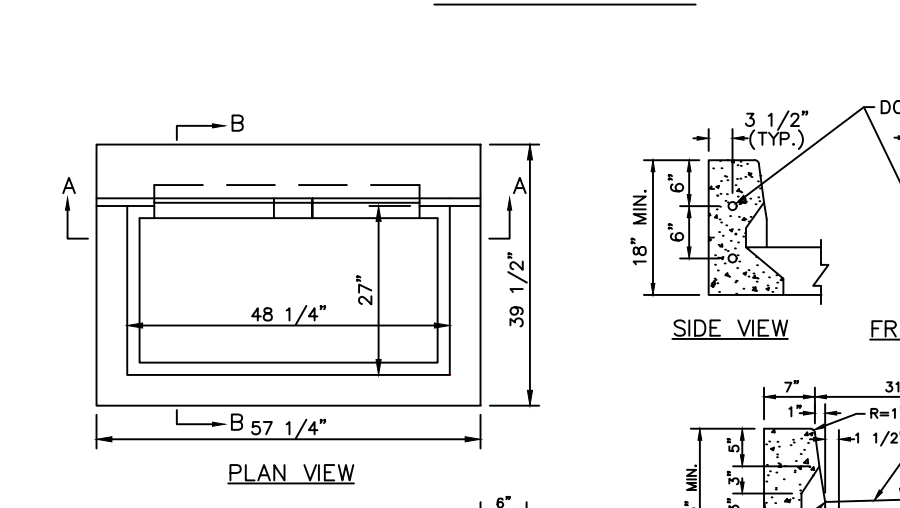
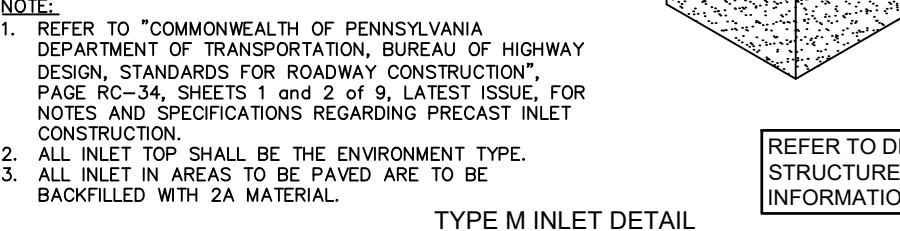
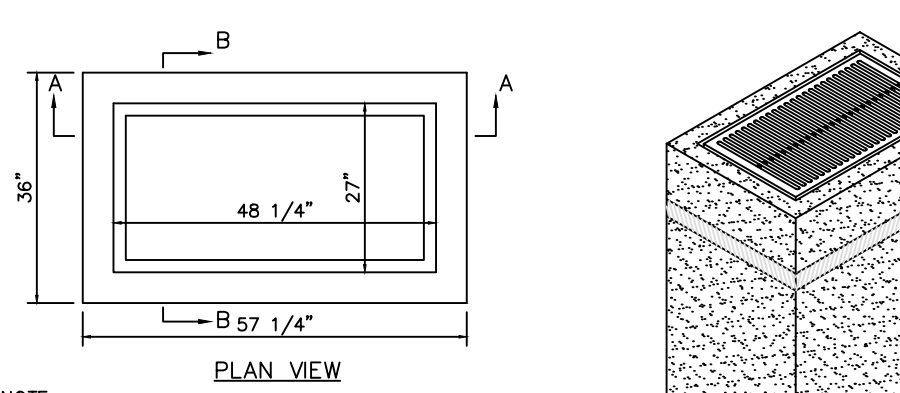
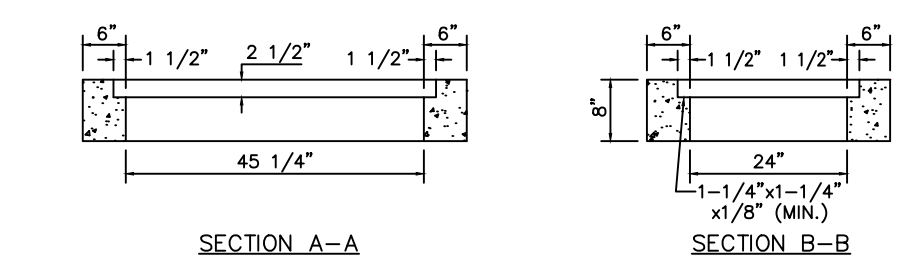
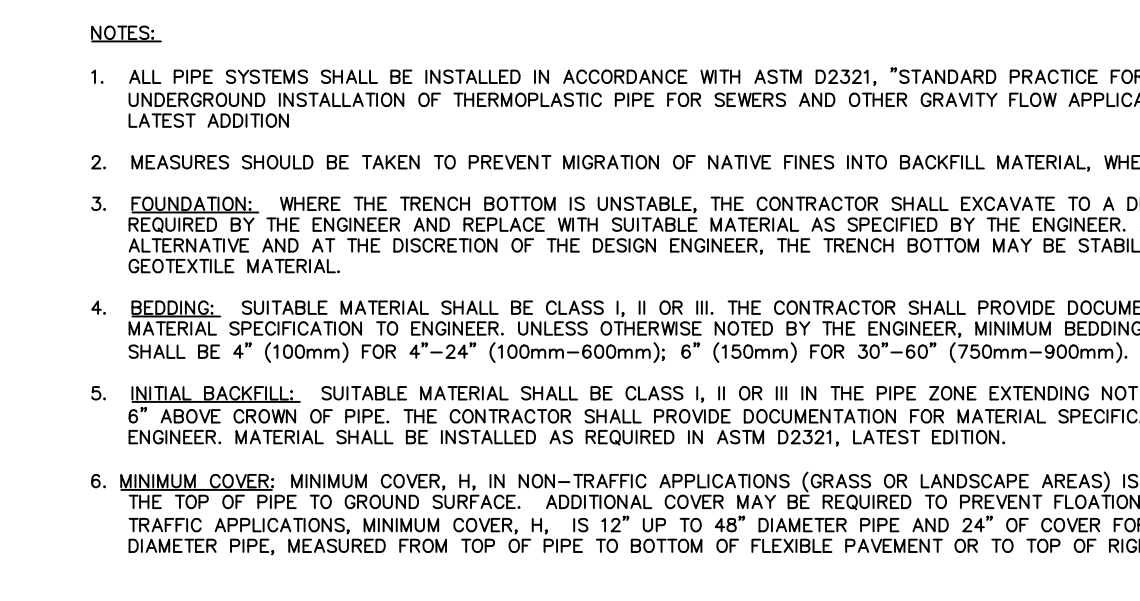
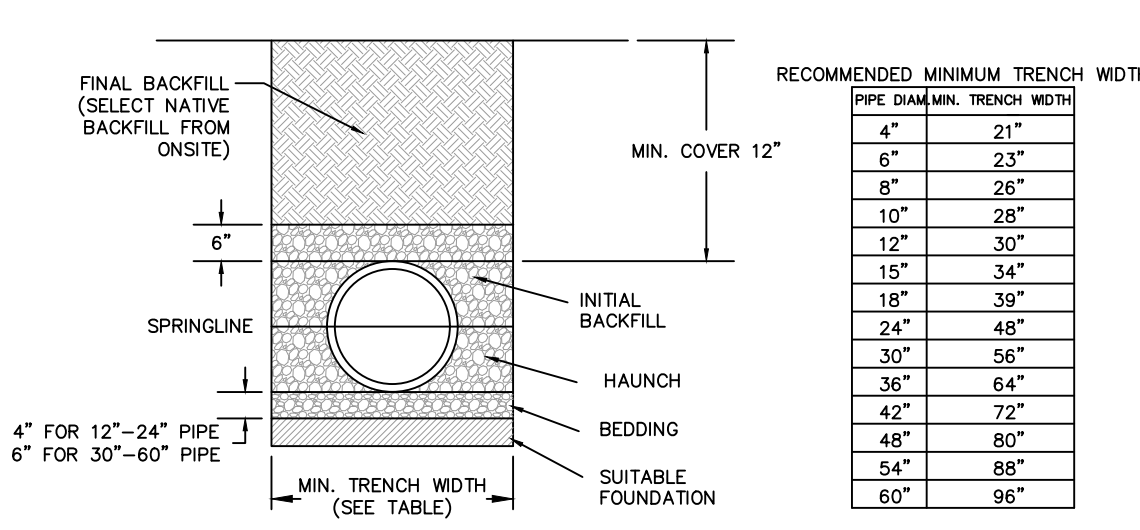
DRAINAGE LEGEND



TYPICAL CORNER DETAILS



STRUCTURAL STEEL BICYCLE SAFE INLET GRATE DETAIL



Holmes Cunningham LLC
409 E. Butler Ave,
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REVISIONS	Description	Date
1	ISSUED FOR PERMITS	
2	CONSTRUCTION PHASE AND STAGE	
3	WORKING DRAWINGS	
4	STOP & CALL	

BUTLER AVENUE PROPERTY
TMP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

DRAINAGE PLAN

ROBERT T. CUNNINGHAM, P.E.
PA PE07624

File No. 1482_C2.2 DRAINAGE.DWG

HCE Job 1482

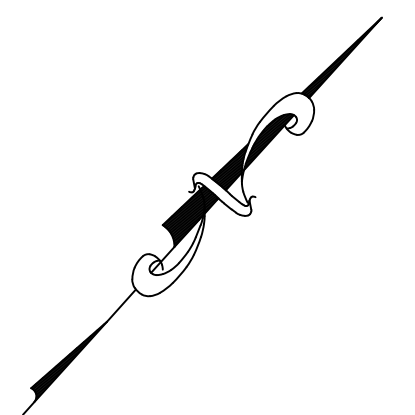
Date 11/30/2021

Scale 1" = 40'

Designed RC

Sheet 8 of 21

Drawing No. **C2.2**



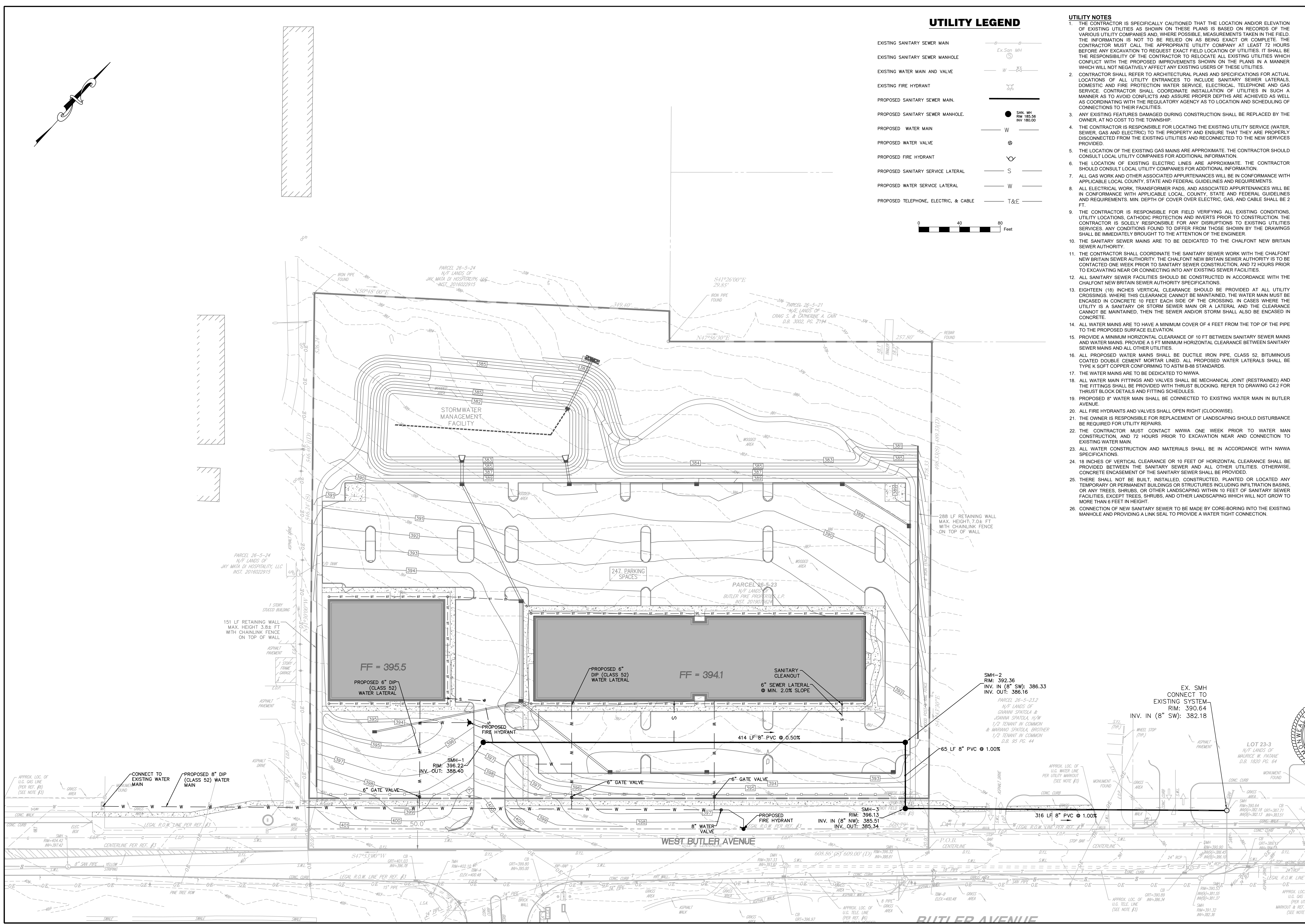
UTILITY LEGEND

EXISTING SANITARY SEWER MAIN	
EXISTING SANITARY SEWER MANHOLE	
EXISTING WATER MAIN AND VALVE	
EXISTING FIRE HYDRANT	
PROPOSED SANITARY SEWER MAIN	
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED WATER MAIN	
PROPOSED WATER VALVE	
PROPOSED FIRE HYDRANT	
PROPOSED SANITARY SERVICE LATERAL	
PROPOSED WATER SERVICE LATERAL	
PROPOSED TELEPHONE, ELECTRIC, & CABLE	



UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE OWNER, AT NO COST TO THE TOWNSHIP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITY SERVICE (WATER, SEWER, GAS AND ELECTRIC) TO THE PROPERTY AND ENSURE THAT THEY ARE PROPERLY DISCONNECTED FROM THE EXISTING UTILITIES AND RECONNECTED TO THE NEW SERVICES PROVIDED.
- THE LOCATION OF THE EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
- THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR SHOULD CONSULT LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION.
- ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
- ALL ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SHALL BE 2 FT.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, UTILITY LOCATIONS, CATHODIC PROTECTION AND INVERTS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DISRUPTIONS TO EXISTING UTILITIES SERVICES. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE SANITARY SEWER MAINS ARE TO BE DEDICATED TO THE CHALFONT NEW BRITAIN SEWER AUTHORITY.
- THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER WORK WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY. THE CHALFONT NEW BRITAIN SEWER AUTHORITY IS TO BE CONTACTED ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR OR CONNECTING INTO ANY EXISTING SEWER FACILITIES.
- ALL SANITARY SEWER FACILITIES SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE CHALFONT NEW BRITAIN SEWER AUTHORITY SPECIFICATIONS.
- EIGHTEEN (18) INCHES VERTICAL CLEARANCE SHOULD BE PROVIDED AT ALL UTILITY CROSSINGS, WHERE THIS CLEARANCE CANNOT BE MAINTAINED, THE WATER MAIN MUST BE ENCASED IN CONCRETE 10 FEET EACH SIDE OF THE CROSSING. IN CASES WHERE THE UTILITY IS A SANITARY OR STORM SEWER MAIN OR A LATERAL AND THE CLEARANCE CANNOT BE MAINTAINED, THEN THE SEWER AND/OR STORM SHALL ALSO BE ENCASED IN CONCRETE.
- ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
- PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES.
- ALL PROPOSED WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, BITUMINOUS COATED DOUBLE CEMENT MORTAR LINED. ALL PROPOSED WATER LATERALS SHALL BE TYPE K SOFT COPPER CONFORMING TO ASTM B-88 STANDARDS.
- THE WATER MAINS ARE TO BE DEDICATED TO NNWA.
- ALL WATER MAIN FITTINGS AND VALVES SHALL BE MECHANICAL JOINT (RESTRAINED) AND THE FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DRAWING C4.2 FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES.
- PROPOSED 8" WATER MAIN SHALL BE CONNECTED TO EXISTING WATER MAIN IN BUTLER AVENUE.
- ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
- THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF LANDSCAPING SHOULD DISTURBANCE BE REQUIRED FOR UTILITY REPAIRS.
- THE CONTRACTOR MUST CONTACT NNWA ONE WEEK PRIOR TO WATER MAIN CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATION NEAR AND CONNECTION TO EXISTING WATER MAIN.
- ALL WATER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH NNWA SPECIFICATIONS.
- 18 INCHES OF VERTICAL CLEARANCE OR 10 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SANITARY SEWER AND ALL OTHER UTILITIES. OTHERWISE, CONCRETE ENCASEMENT OF THE SANITARY SEWER SHALL BE PROVIDED.
- THERE SHALL NOT BE BUILT, INSTALLED, CONSTRUCTED, PLANTED OR LOCATED ANY TEMPORARY OR PERMANENT BUILDINGS OR STRUCTURES INCLUDING INFILTRATION BASINS, OR ANY TREES, SHRUBS, OR OTHER LANDSCAPING WITHIN 10 FEET OF SANITARY SEWER FACILITIES, EXCEPT TREES, SHRUBS, AND OTHER LANDSCAPING WHICH WILL NOT GROW TO MORE THAN 6 FEET IN HEIGHT.
- CONNECTION OF NEW SANITARY SEWER TO BE MADE BY CORE-BORING INTO THE EXISTING MANHOLE AND PROVIDING A LINK SEAL TO PROVIDE A WATER TIGHT CONNECTION.



Holmes Cunningham LLC
 409 E. Butler Ave.
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
www.hcengineering.net

REVISIONS	Description	Date
1	CALL BEFORE YOU DIG 1-800-4-A-DIG (4364) FOR CONSTRUCTION PHASE AND 10 WORKING HOURS BEFORE ANY EXCAVATION. PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-436-4364	
2	UTILITY LOCATIONS AS SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY EXCAVATION.	

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

UTILITY PLAN

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No. **1482_C3.0 Utility.dwg**

HCE Job **1482**

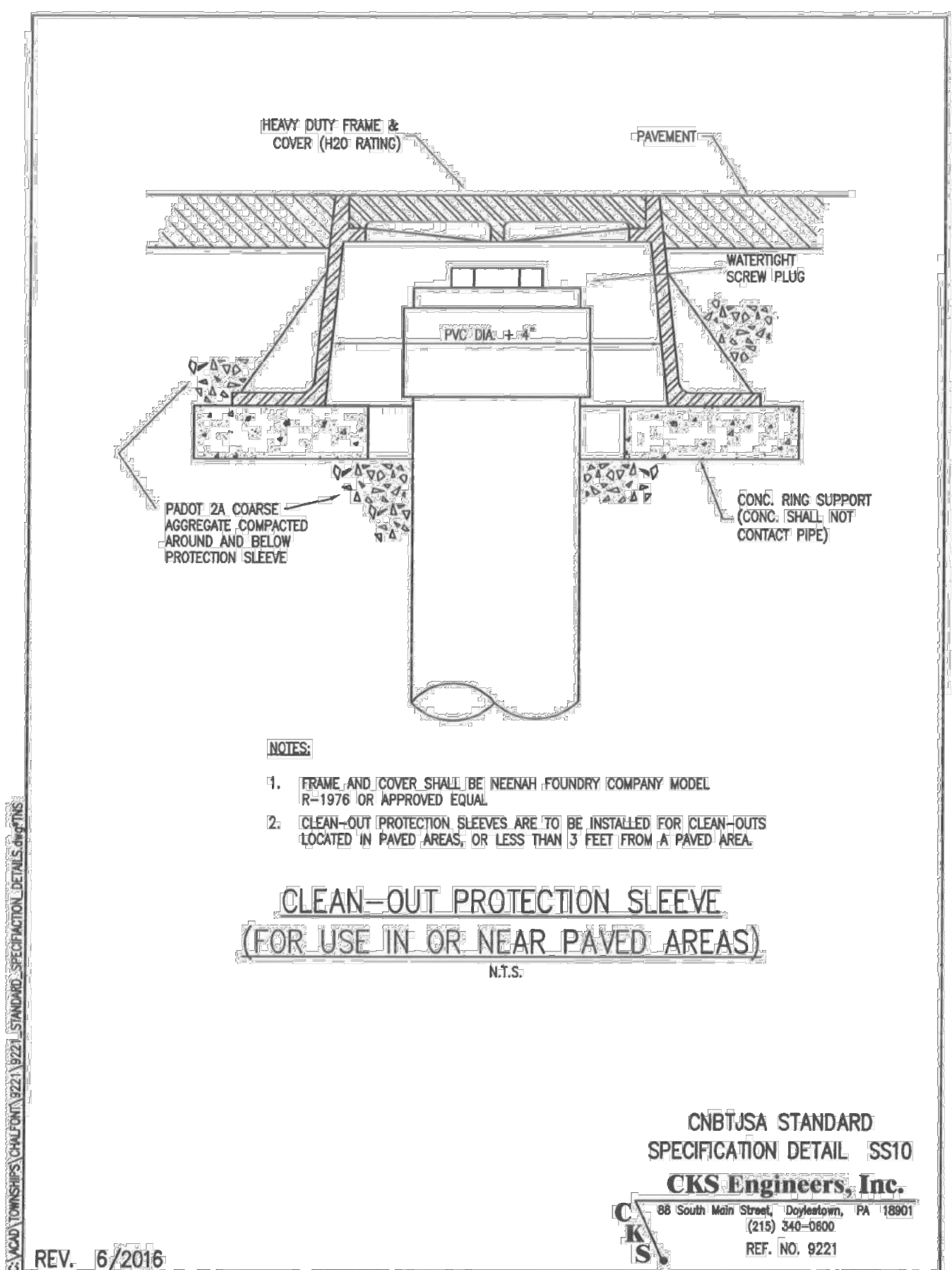
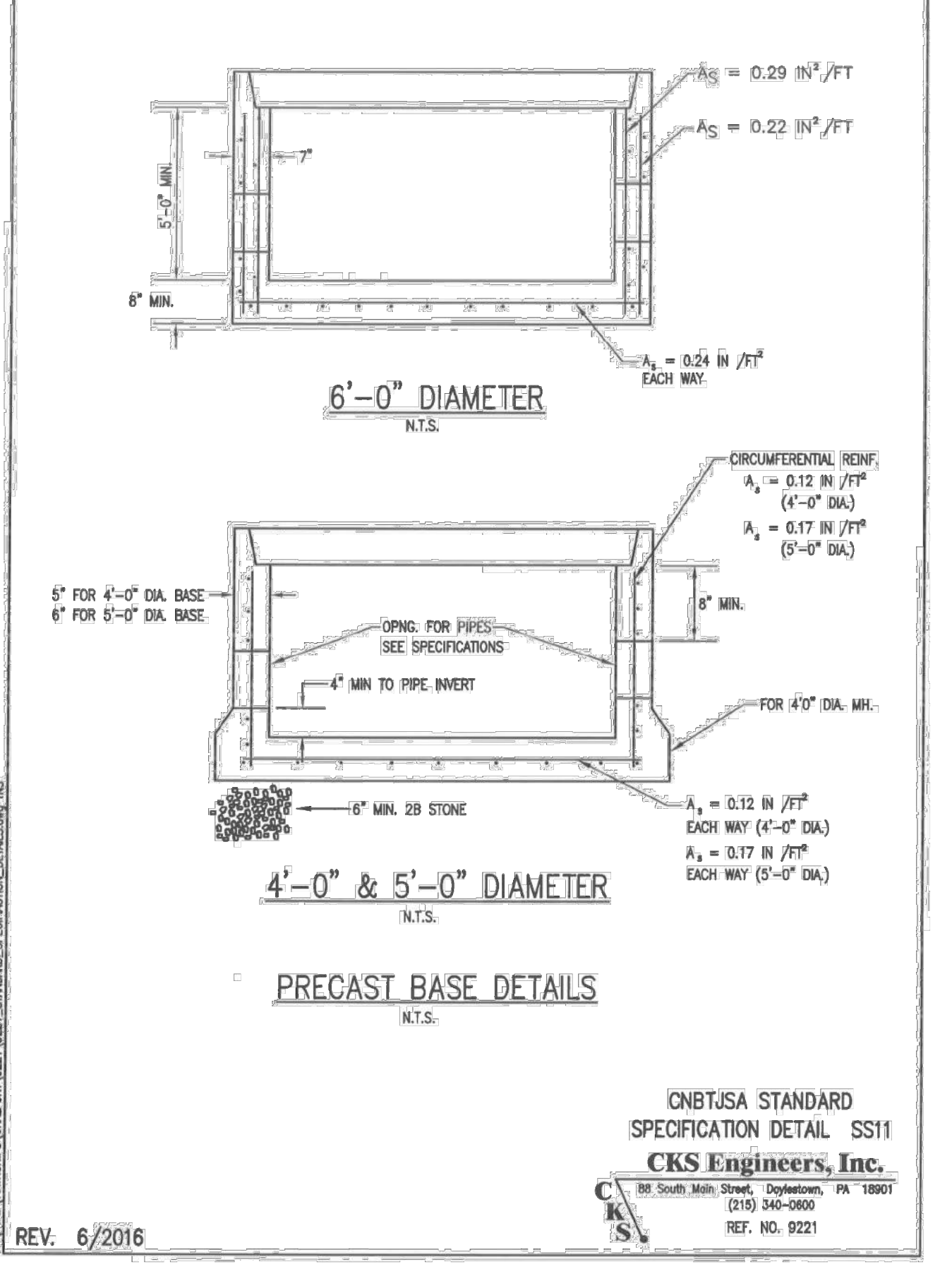
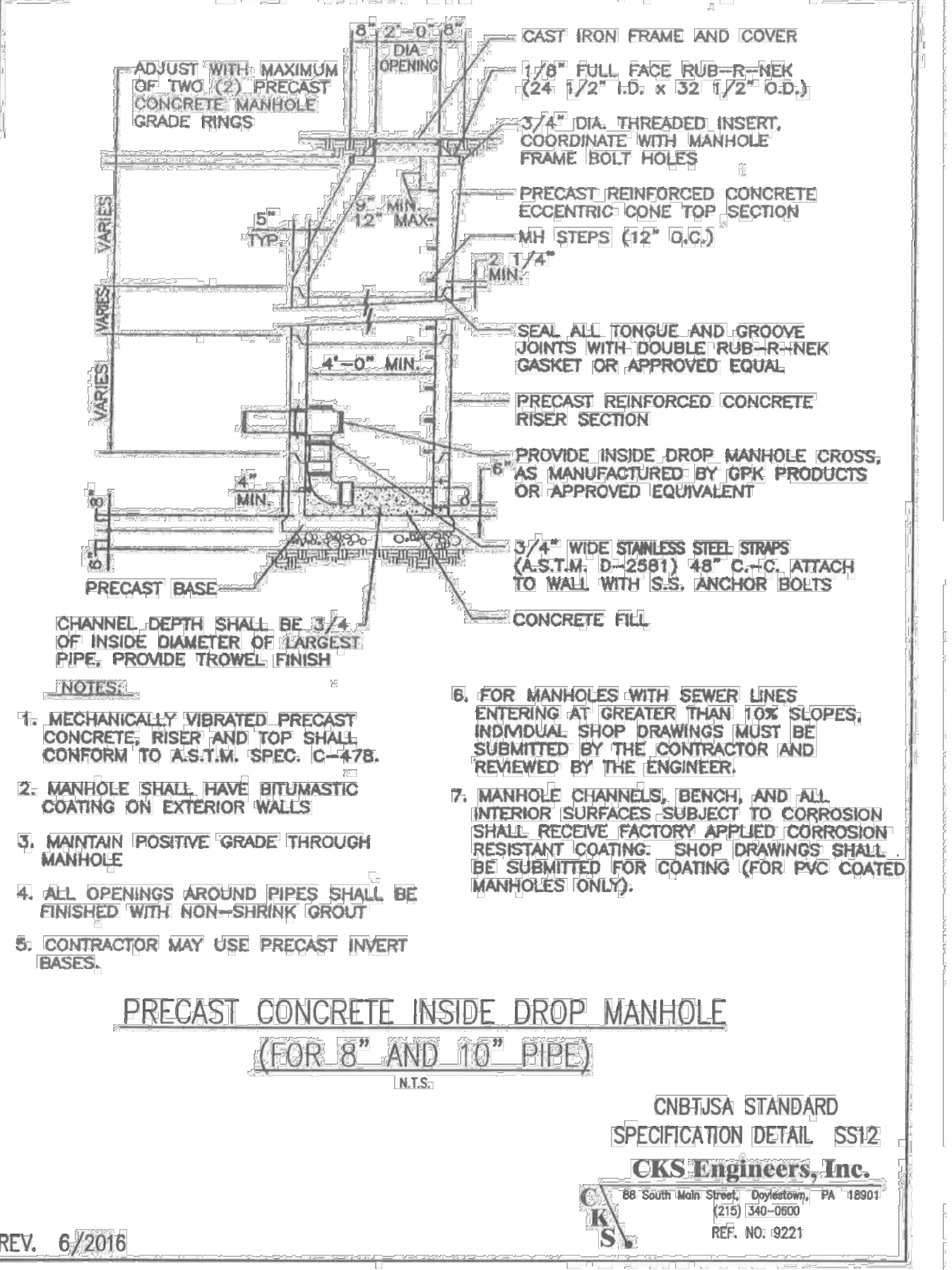
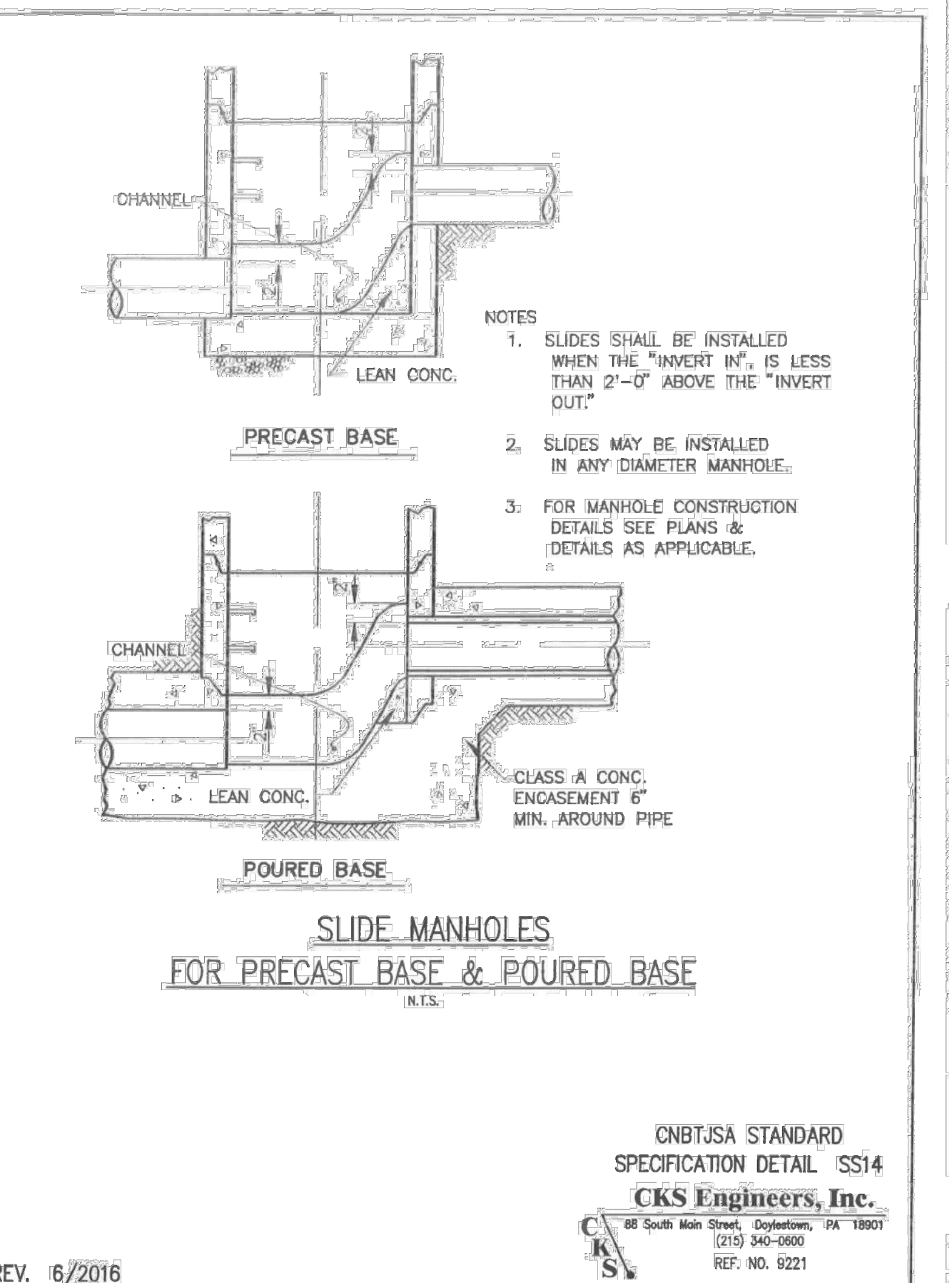
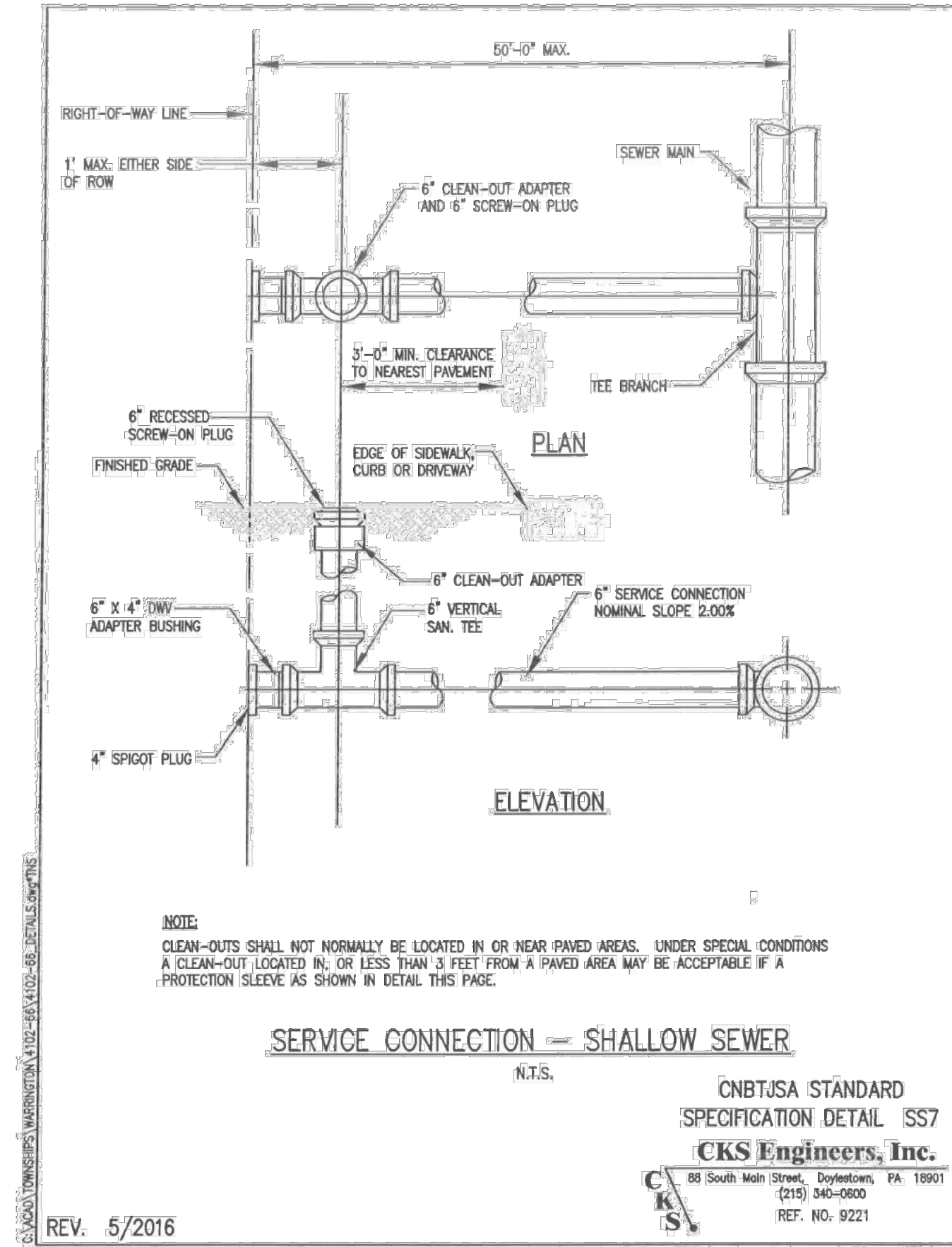
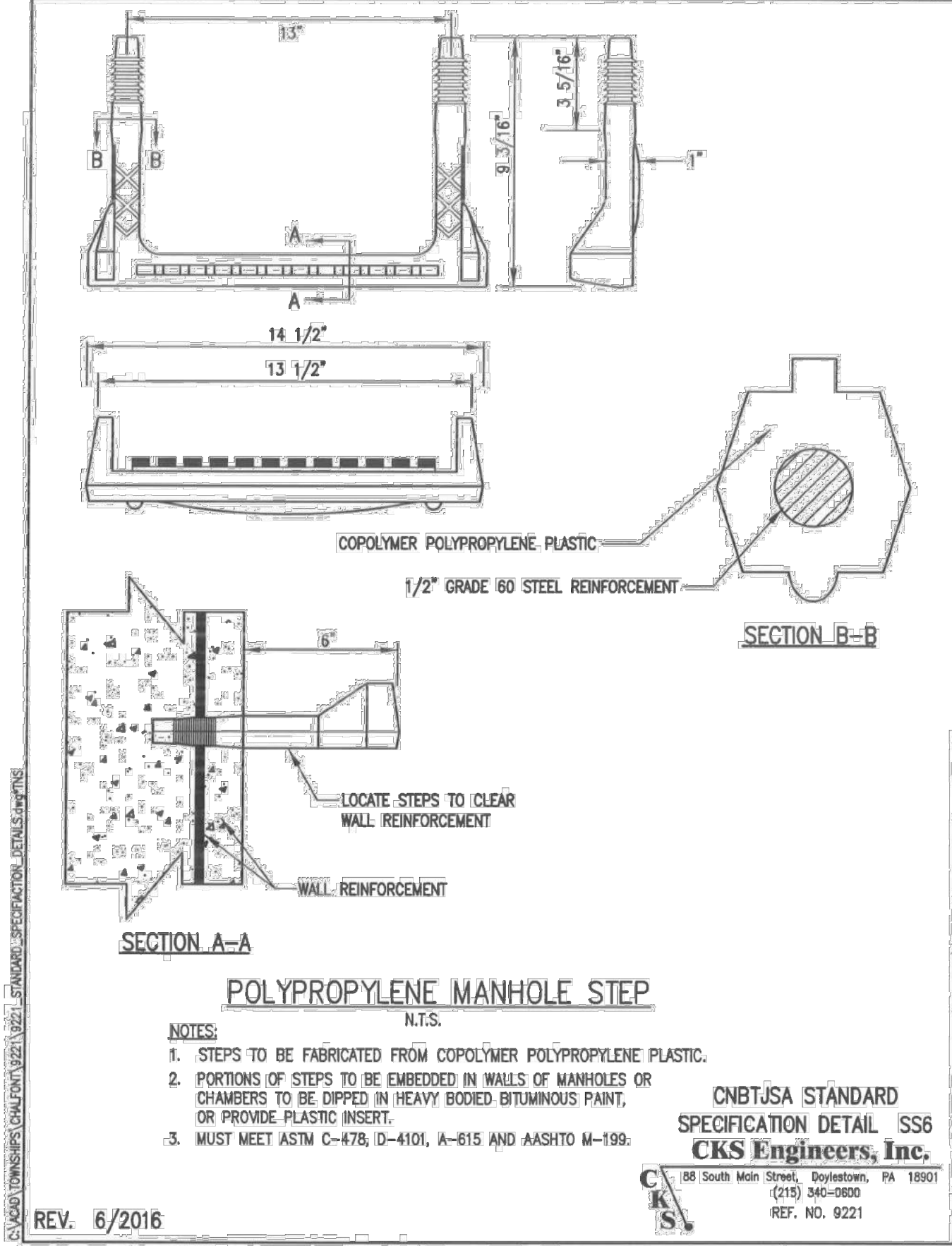
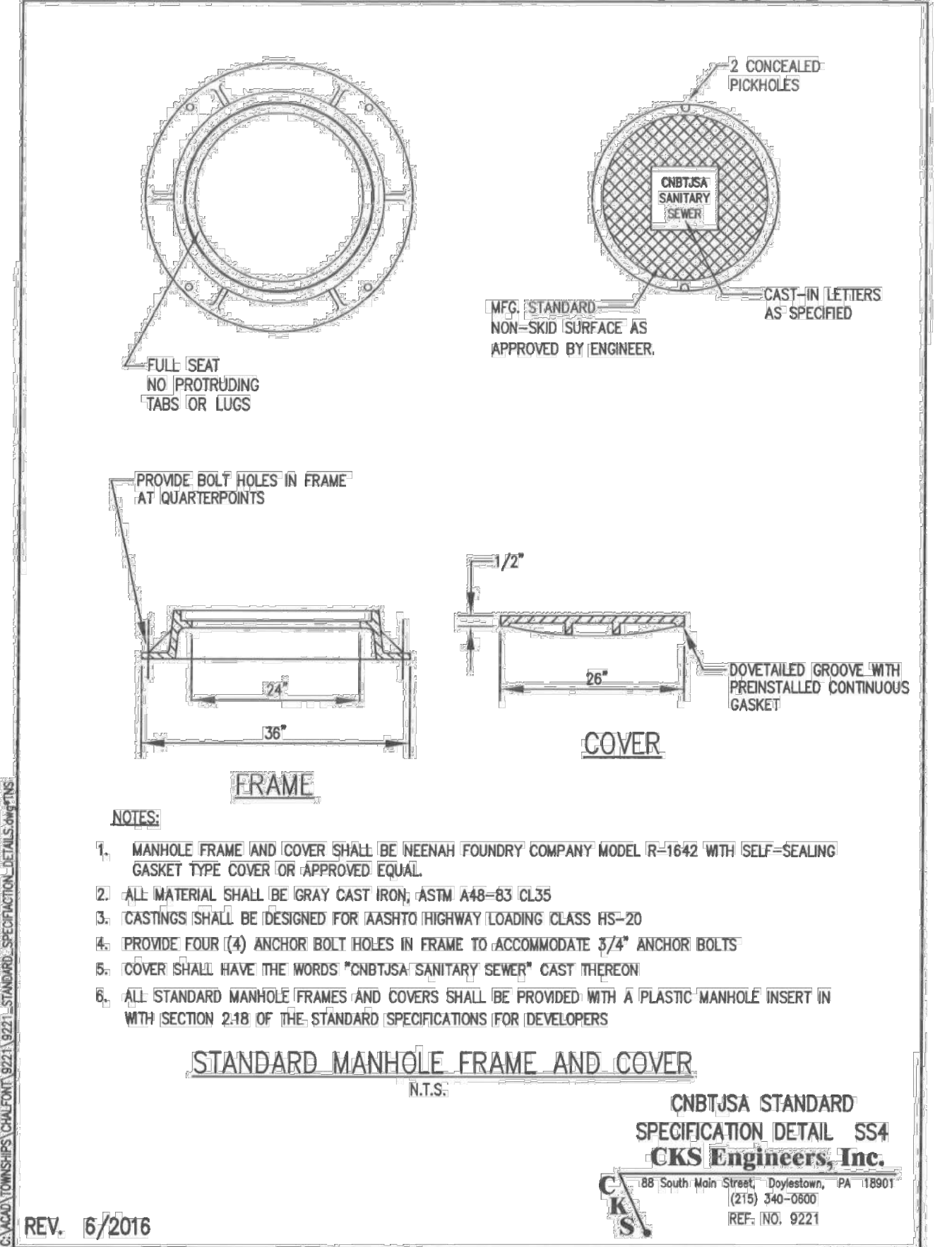
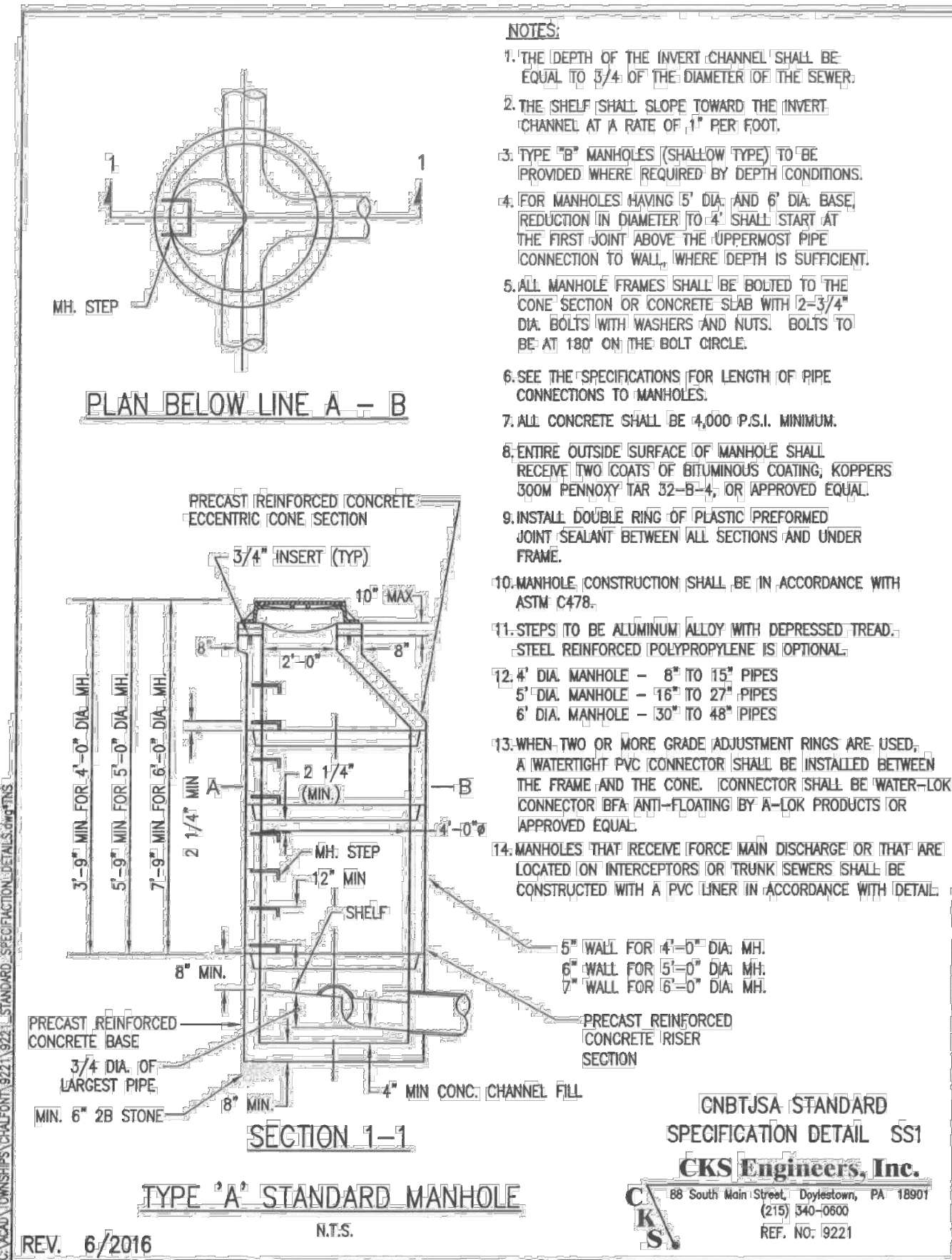
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Scale **1"=40'**

Designed **RC**

Sheet **9 of 21**

Drawing No. **C3.0**



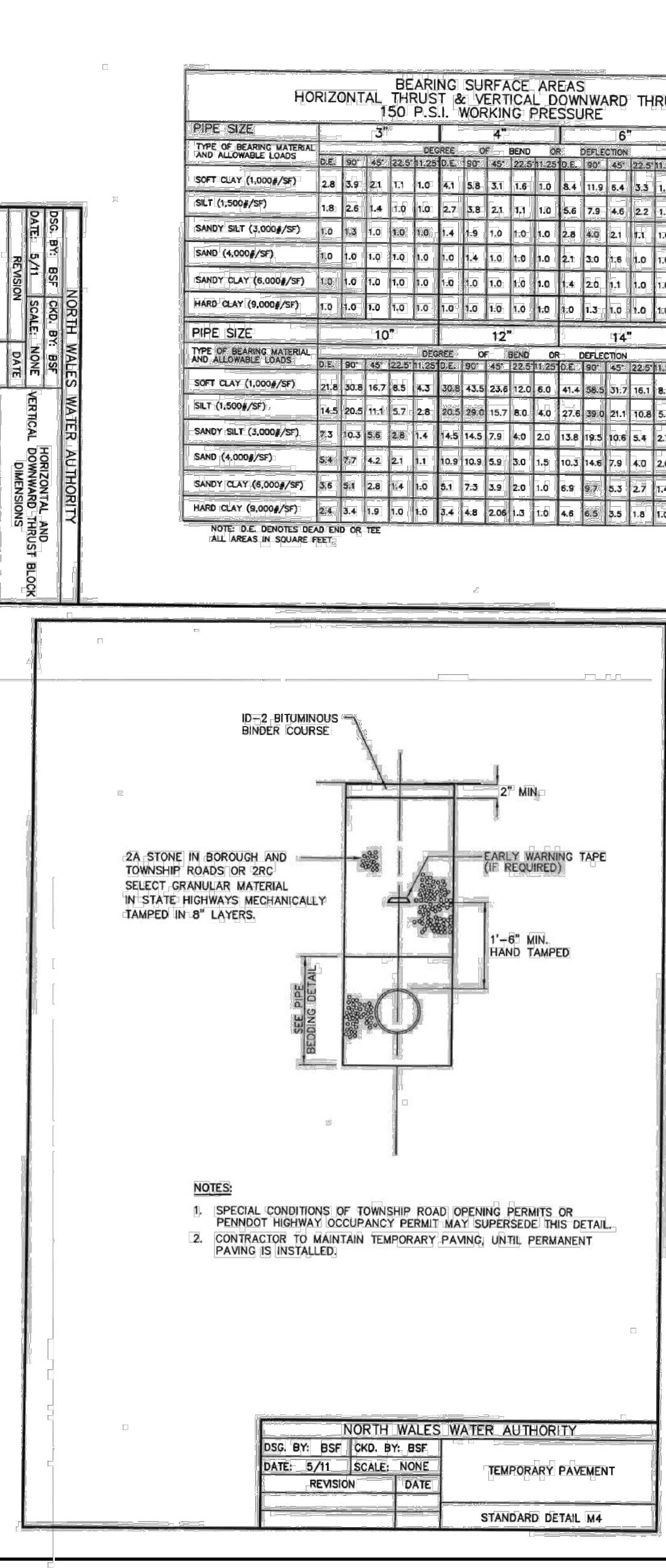
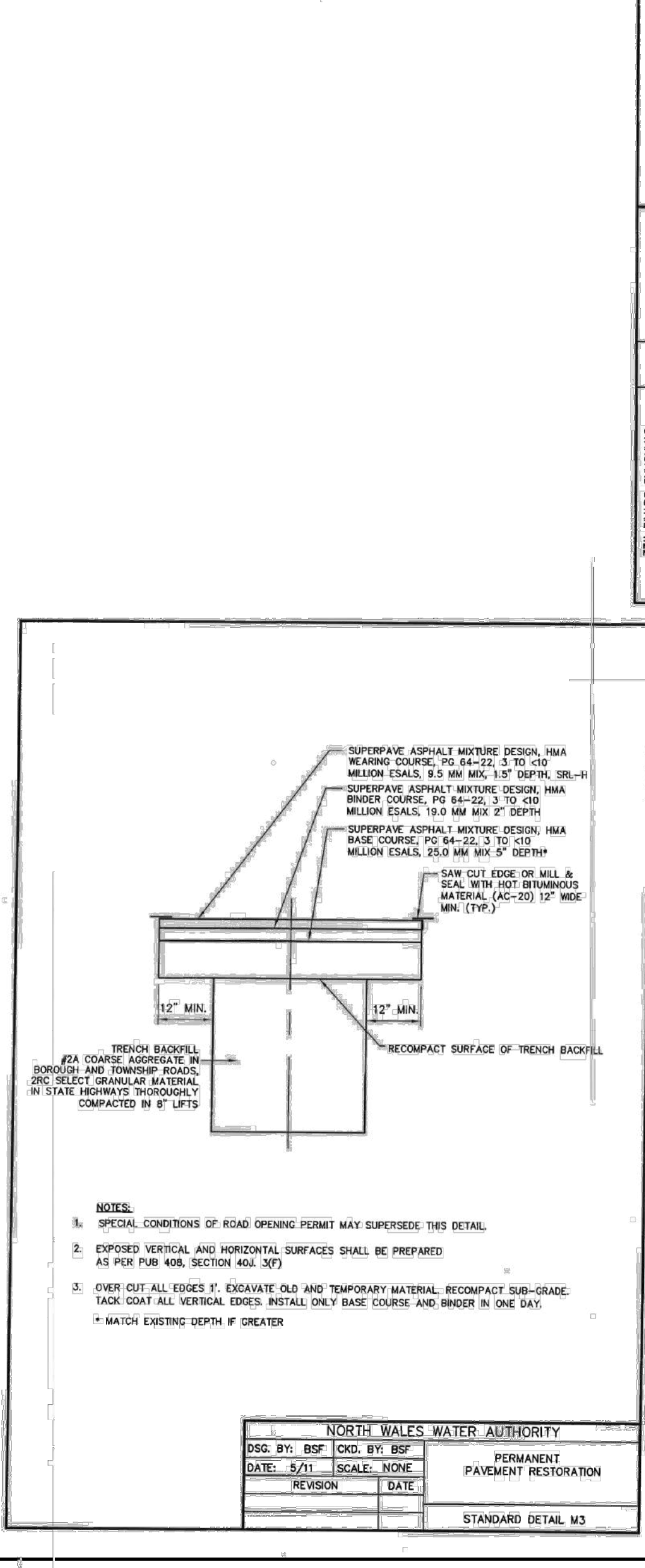
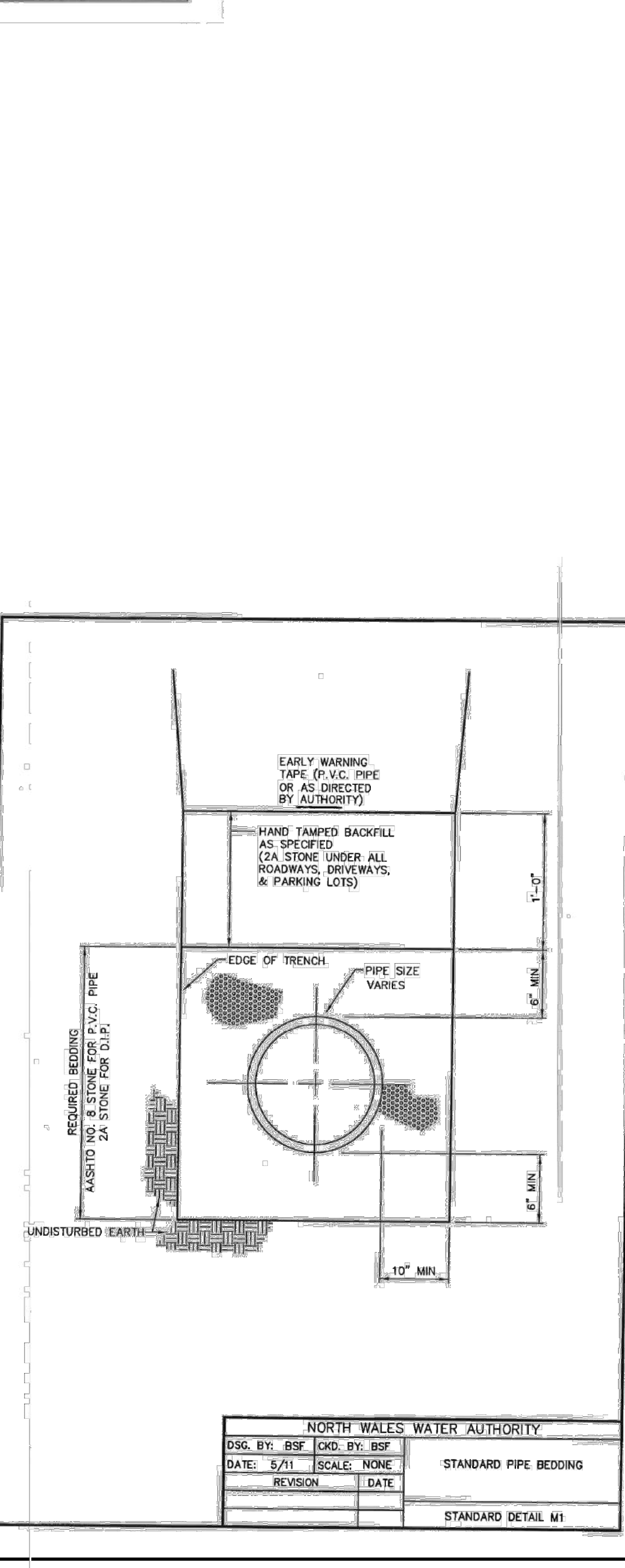
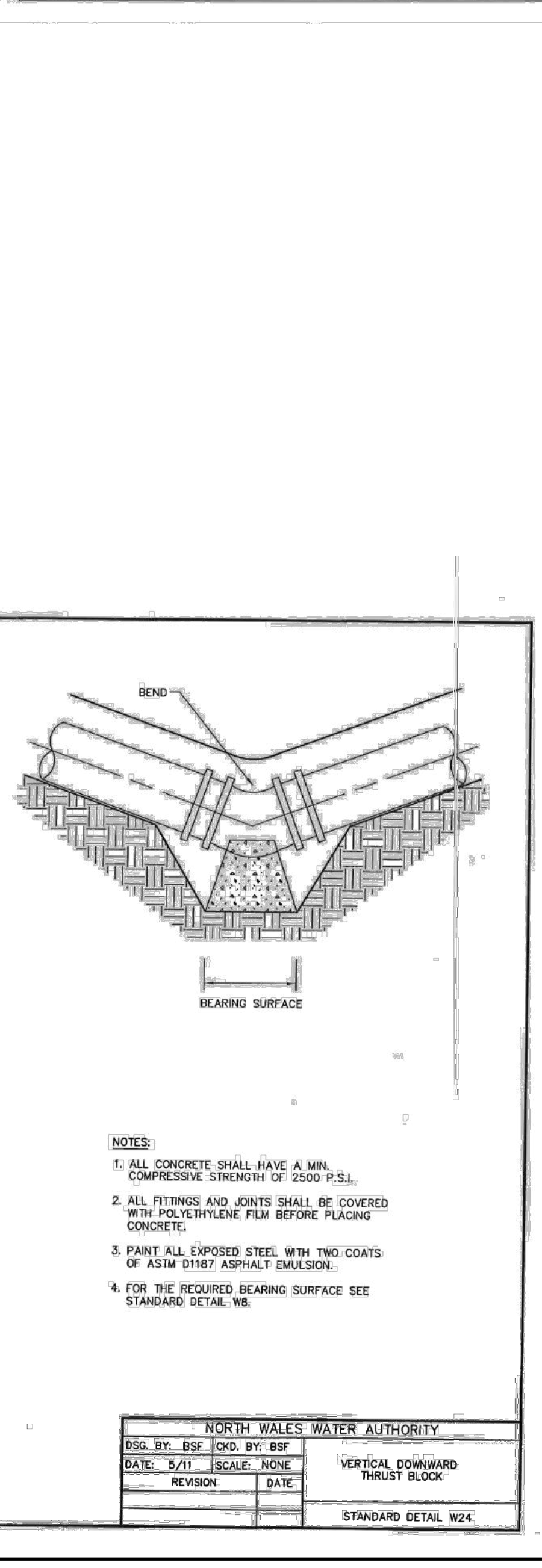
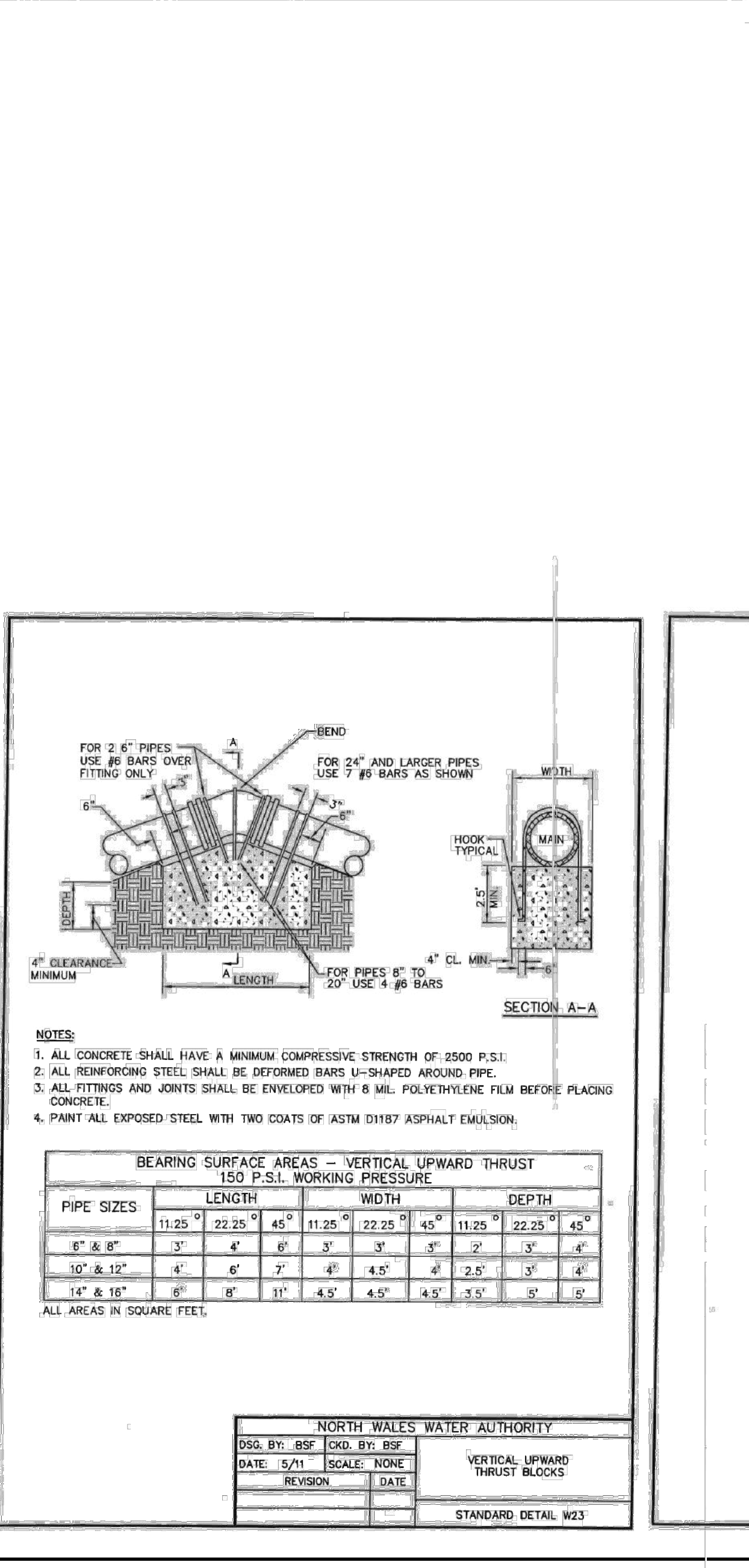
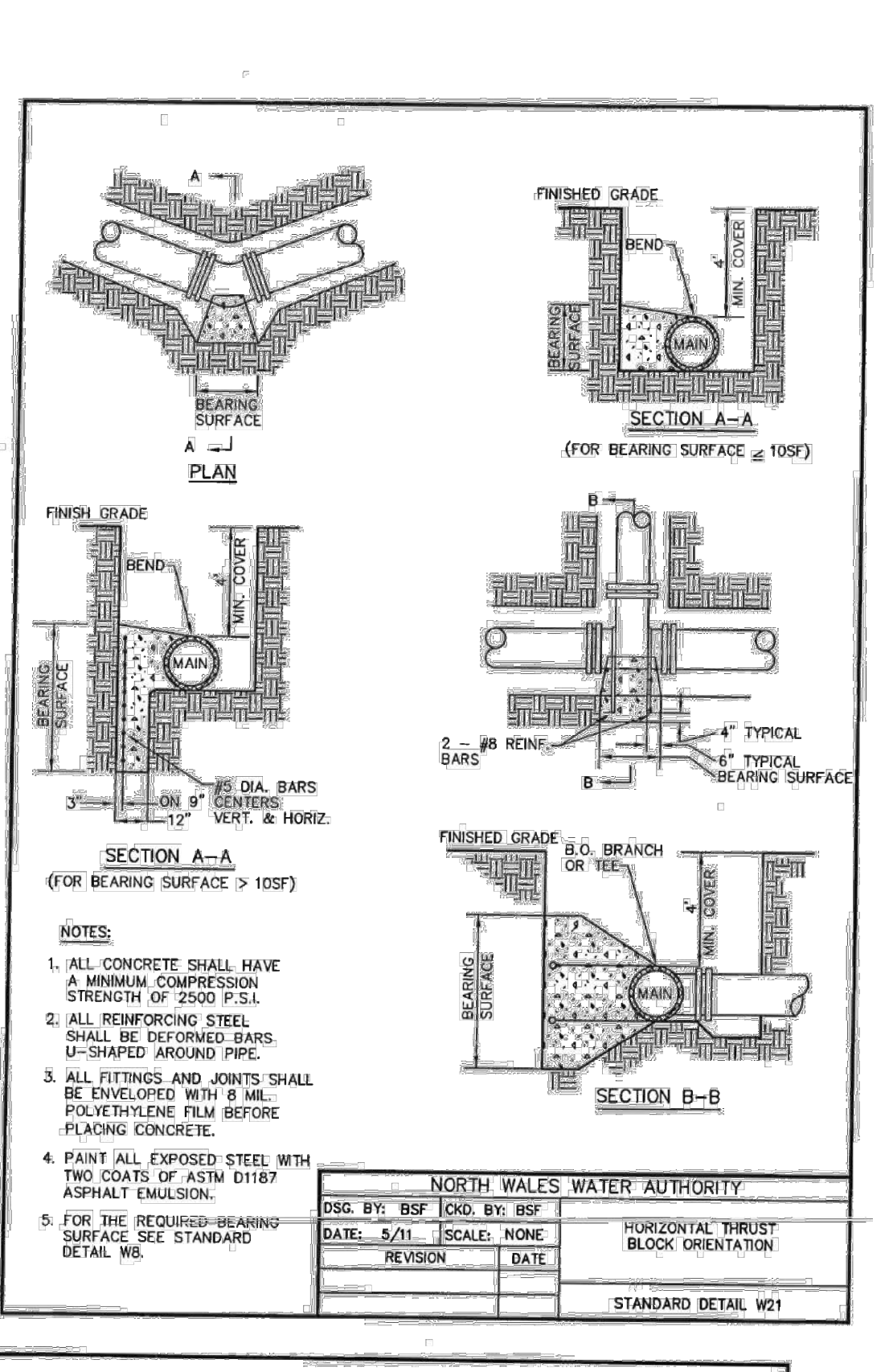
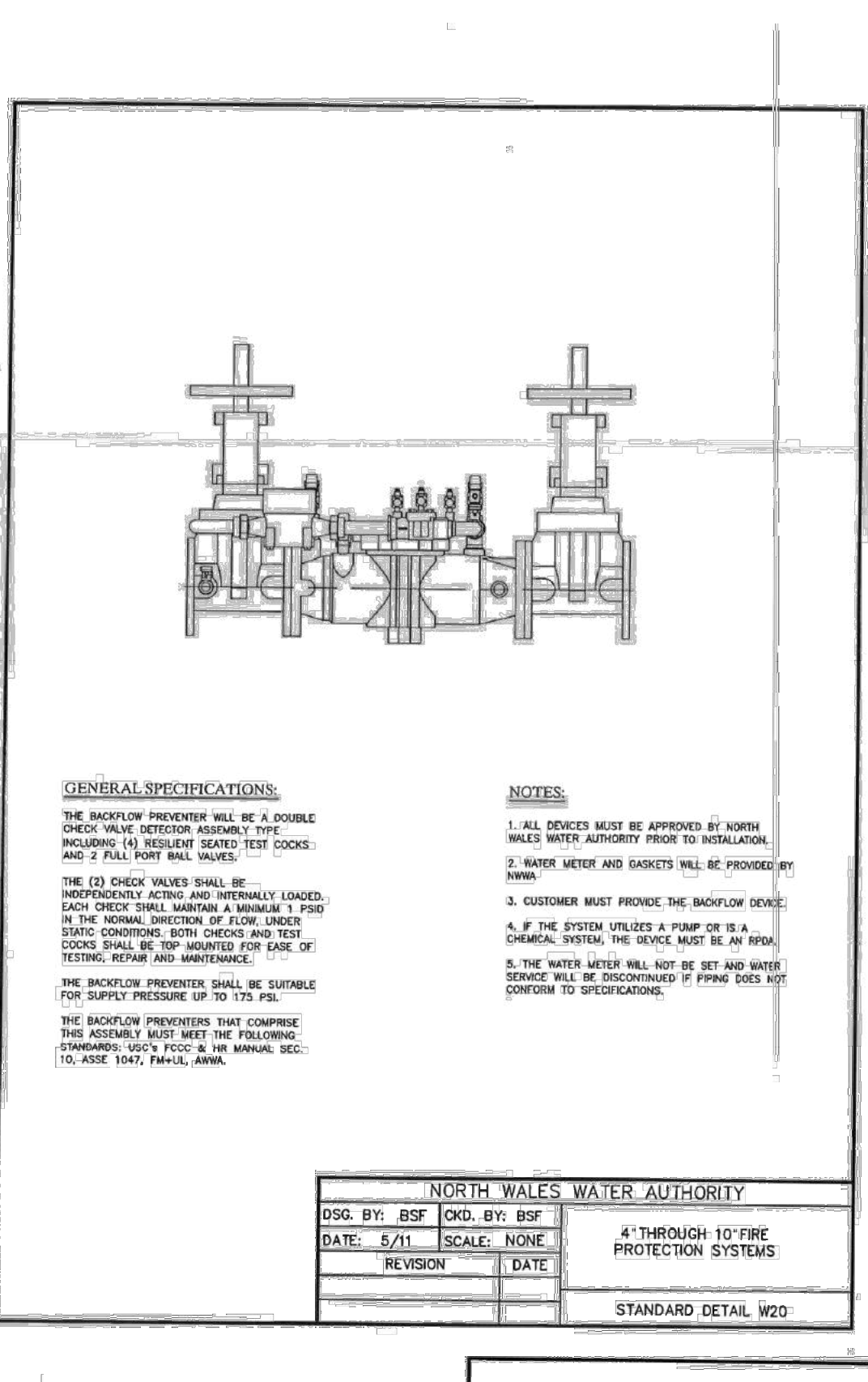
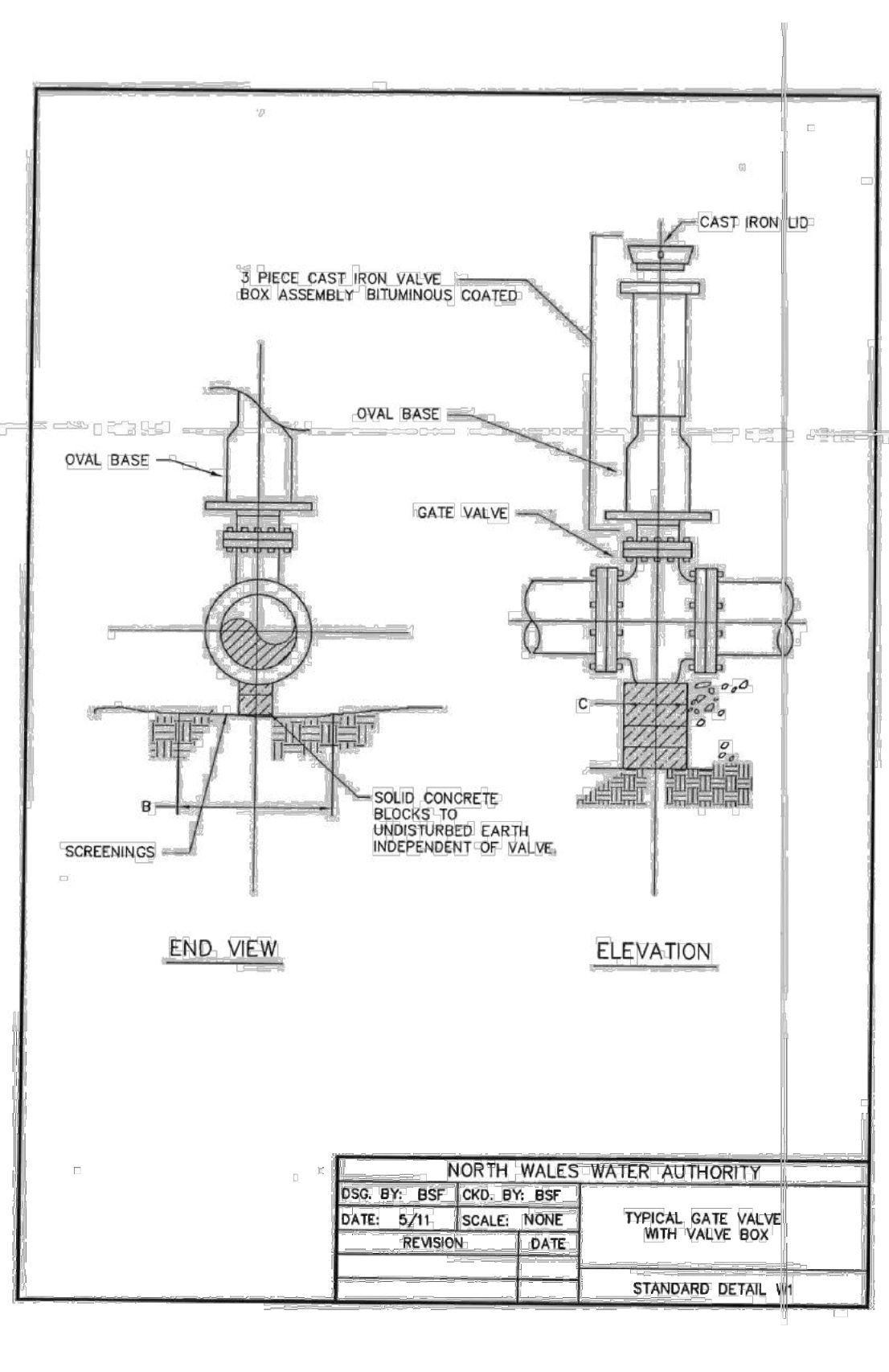
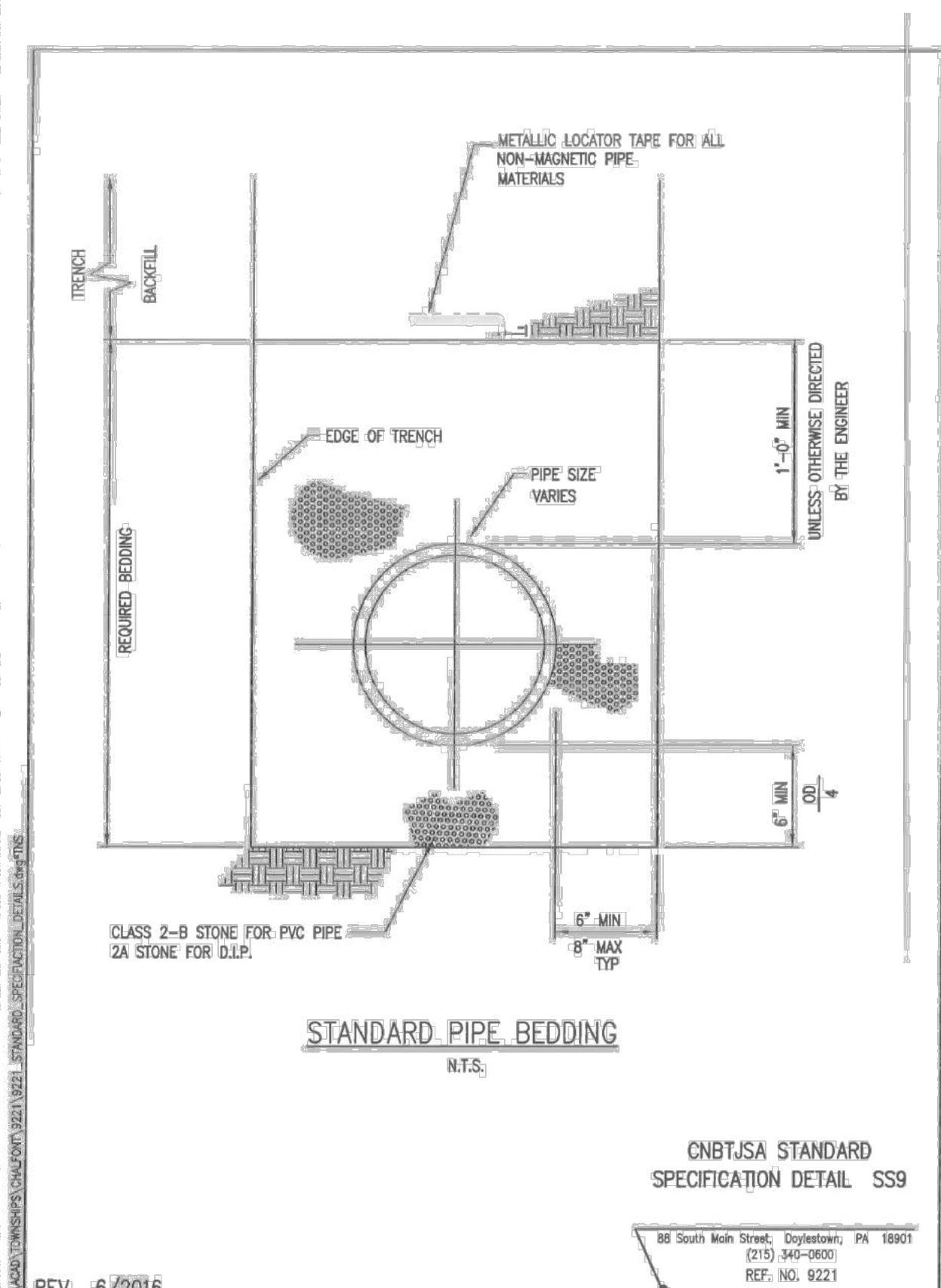
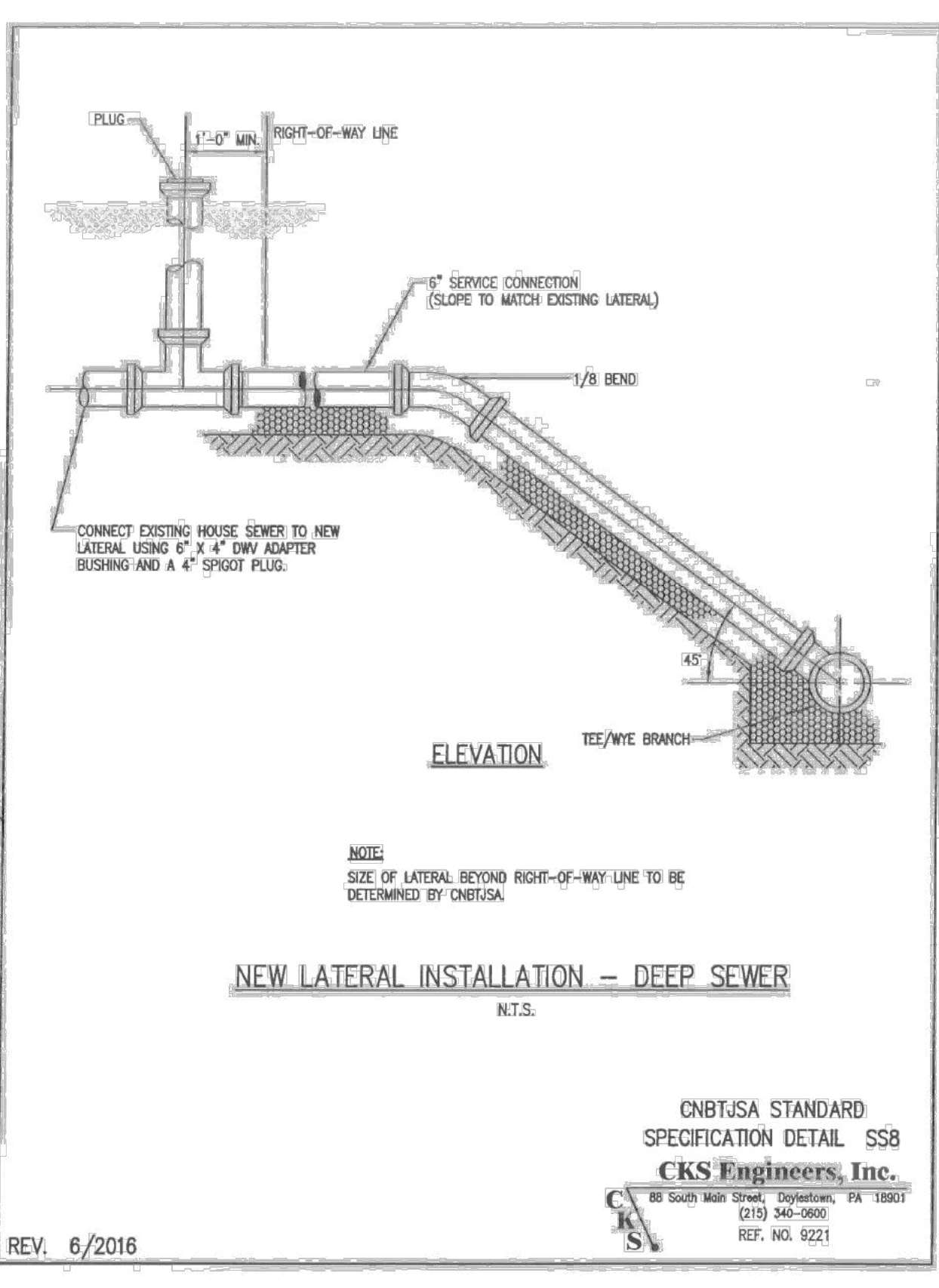
REVISIONS	Description	Date

BUTLER AVENUE PROPERTY
TMP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
UTILITY CONSTRUCTION DETAILS

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

File No.	1482_C3.0 Utility.dwg
HCE Job	1482
Date	11/30/2021
Scale	N.T.S.
Designed	RC
Sheet	10 of 21

Drawing No.
C3.1



BEARING SURFACE AREAS
HORIZONTAL THRUST & VERTICAL DOWNWARD THRUST
150 P.S.I. WORKING PRESSURE

PIPE SIZE	3"				4"				6"				8"				
	TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS	DEF.	SP.	DEF.	SP.	DEF.	SP.	DEF.	SP.	DEF.	SP.	DEF.	SP.	DEF.	SP.		
SOFT CLAY (1,000/SP)	2.8	2.9	2.1	1.1	1.0	4.1	3.8	3.1	1.8	4.1	3.1	1.8	1.4	2.2	1.1	5.6	2.8
SILT (1,000/SP)	1.8	2.6	1.4	1.0	1.0	2.7	3.8	2.3	1.1	4.6	3.6	2.5	1.1	4.6	3.7	2.4	3.8
SANDY SILT (1,000/SP)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
SAND (4,000/SP)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
SANDY CLAY (8,000/SP)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
HARD CLAY (8,000/SP)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

NOTE: D.E. DENOTES DEAD END OR TEE. ALL AREAS IN SQUARE FEET.

NORTH WALES WATER AUTHORITY
DSG. BY: BSF CKD. BY: BSF
DATE: 5/11 SCALE: NONE
REVISION DATE

Holmes Cunningham LLC
409 E. Butler Ave,
Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net

REVISIONS

Date	Description

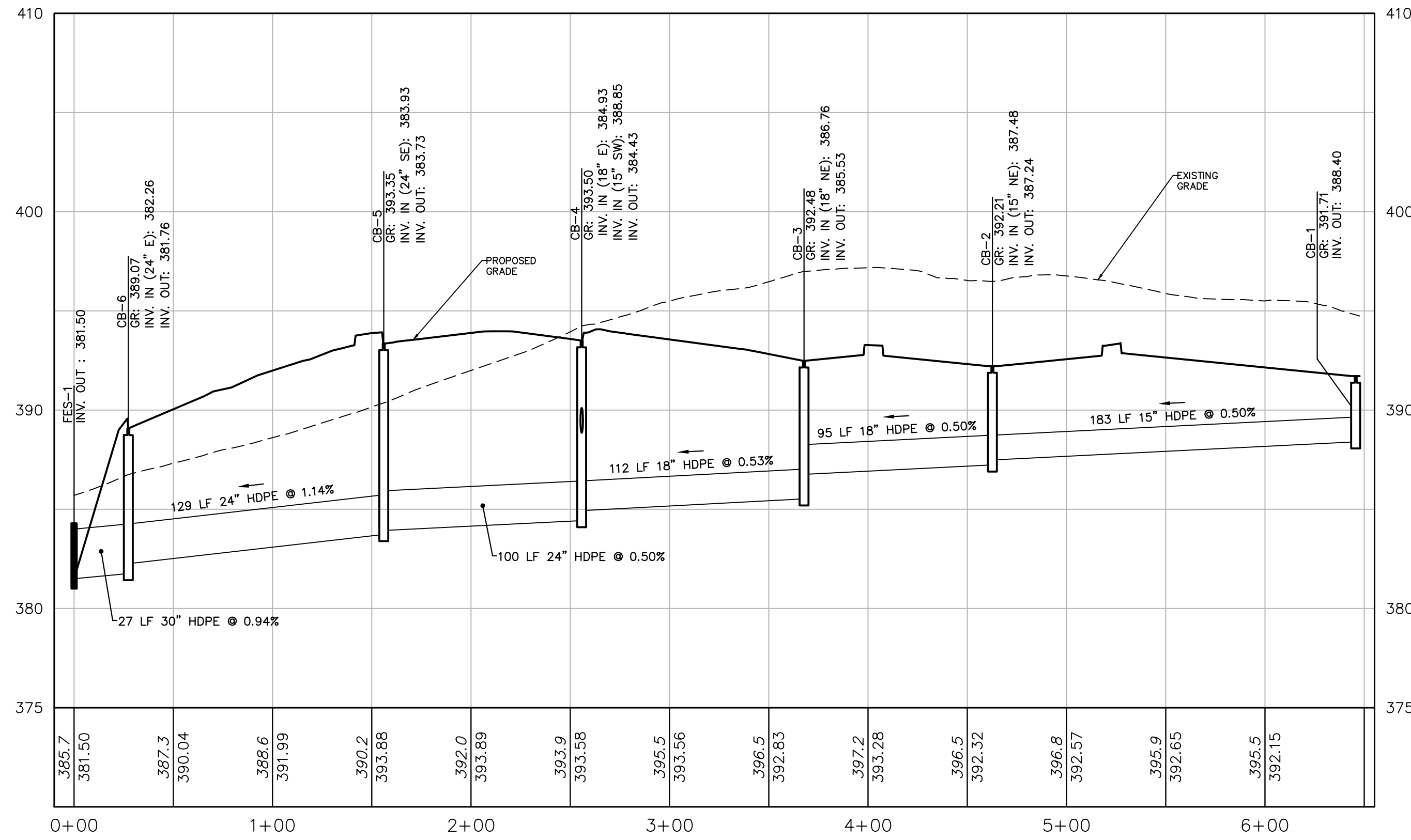
BUTLER AVENUE PROPERTY
TMP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

UTILITY CONSTRUCTION DETAILS

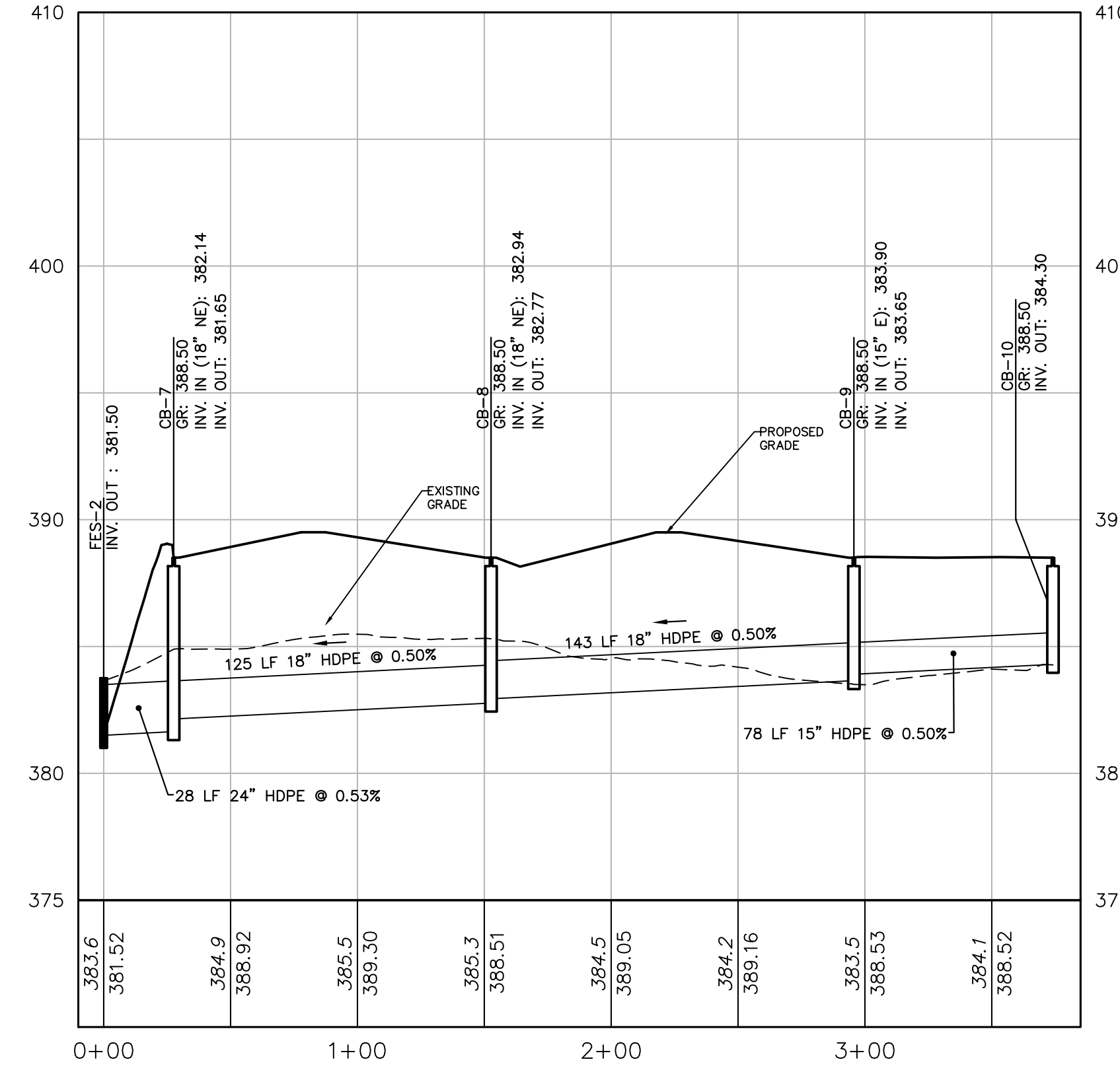
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File No. 1482.C3.0 Utility.dwg
Date 11/30/2021
Scale N.T.S.
Designed RC
Sheet 11 of 21

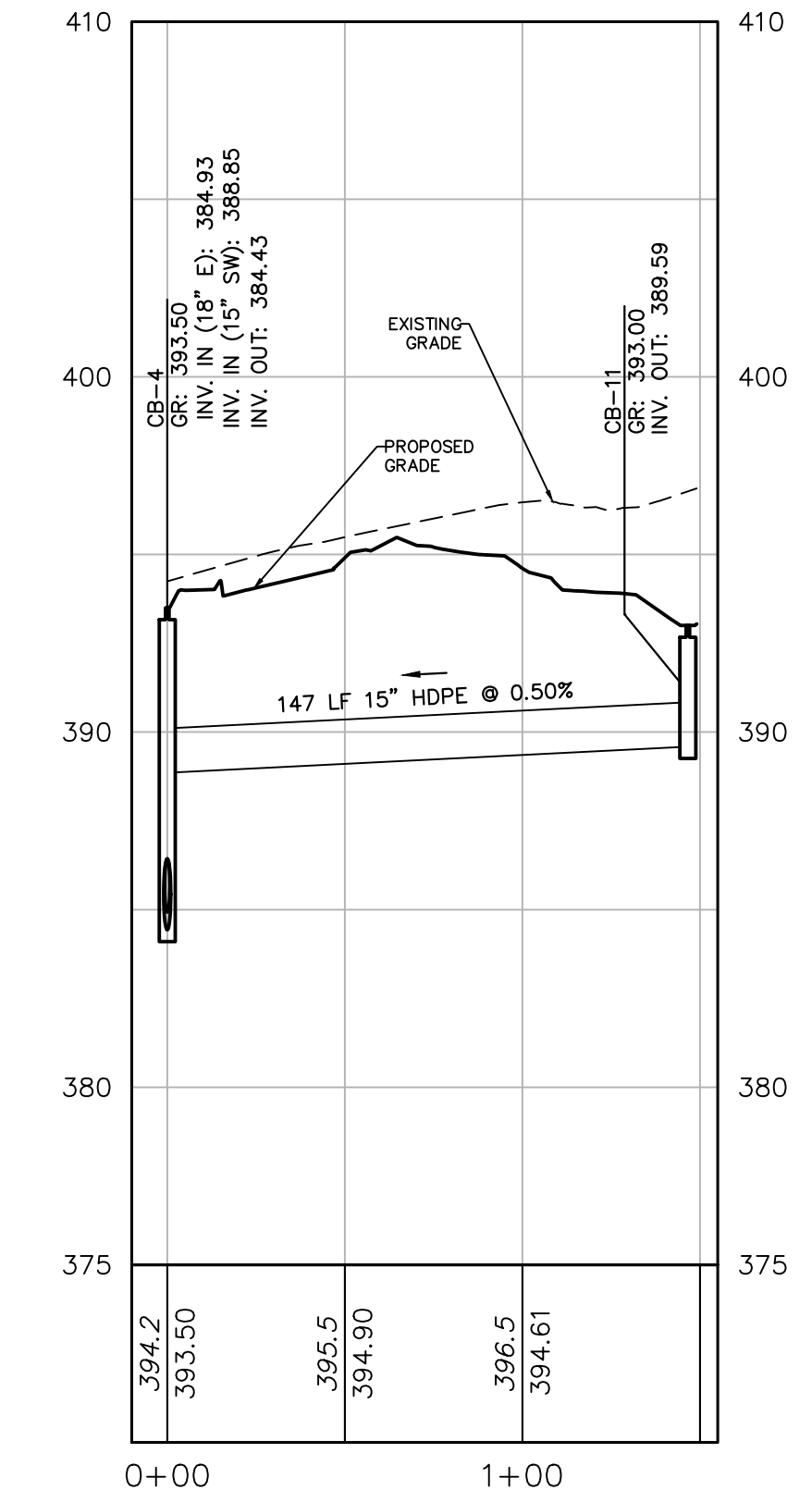
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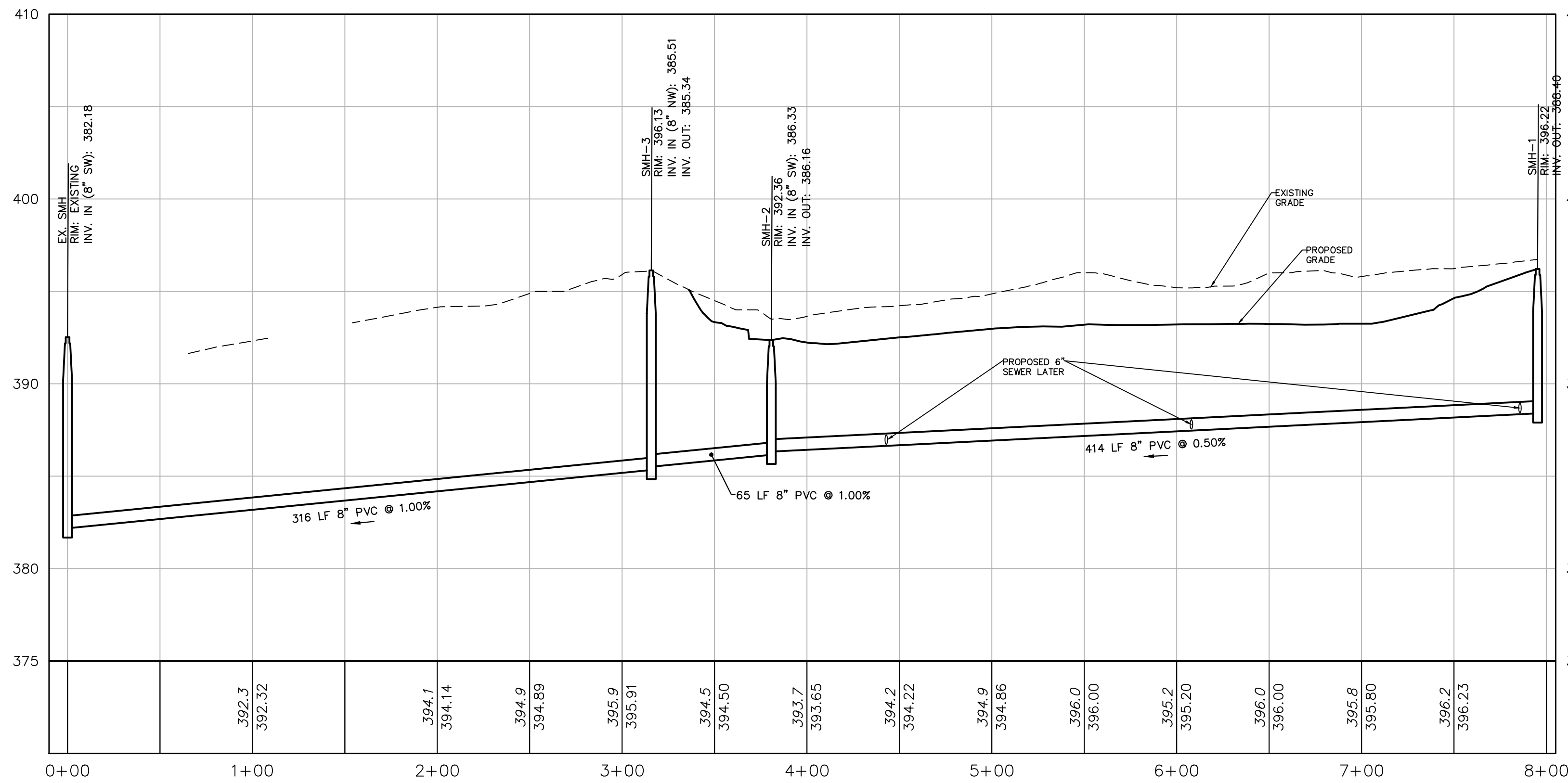
FES-1 TO CB-1 PROFILE



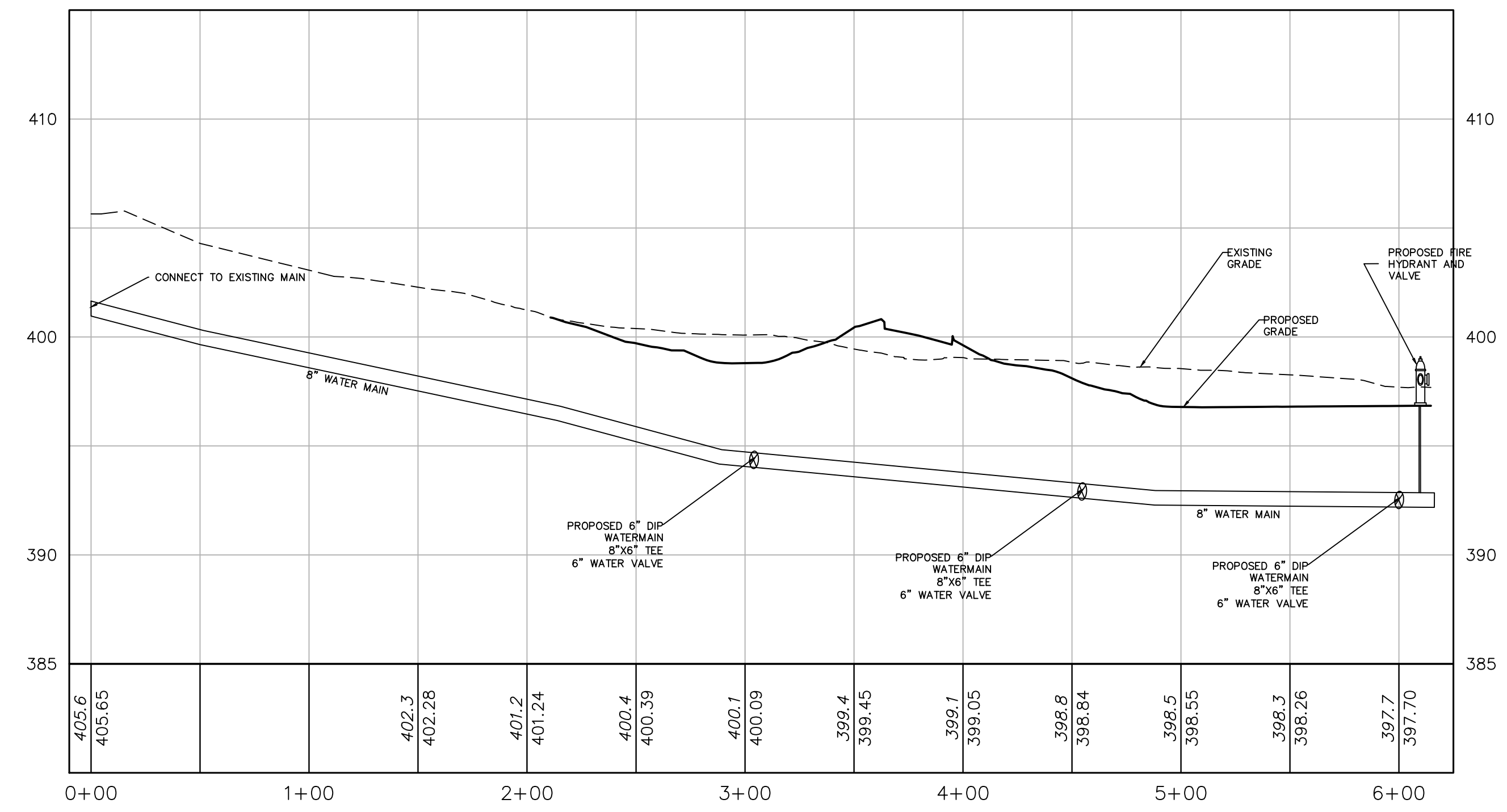
FES-2 TO CB-10 PROFILE



CB-4 TO CB-11 PROFILE



SAN EX-MH TO SAN MH-3 PROFILE



WATER MAIN EXT. PROFILE

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

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REVISIONS	Description	Date

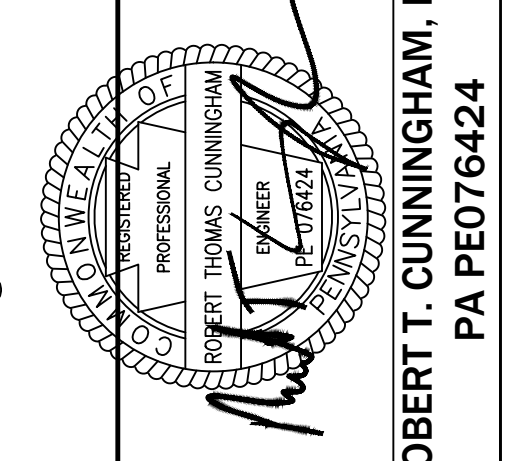
BUTLER AVENUE PROPERTY
TMP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

UTILITY PROFILES

File No. **1482 C4.0 Profiles.DWG**

HCE Job **1482**
Date **11/30/2021**
Scale **AS SHOWN**
Designed **RC**
Sheet **12** of **21**

Drawing No. **C4.0**



- GENERAL NOTES**
- EXISTING CONDITIONS SHOWN ARE FROM BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC IN FEBRUARY 20, 2020.
 - SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - UNDER PENNSYLVANIA LAW THE CONTRACTOR IS REQUIRED TO NOTIFY A SUBSEMI-VOLUNTARY CALL SYSTEM AT 1-800-242-1776 PRIOR TO THE START OF HIS WORK, SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE THEIR OWN UTILITIES.
 - THERE ARE NO HQ OR EV WATERSHEDS LOCATED WITHIN THE PROJECT AREA.
 - THERE ARE NO RIPARIAN BUFFERS EXISTING OR PROPOSED AS PART OF THIS PROJECT (WITHIN OR OUTSIDE THE LIMIT OF DISTURBANCE). ADDITIONALLY, RIPARIAN BUFFER OFFSETS ARE NOT NECESSARY.
 - THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
 - THERE ARE NO INFILTRATION BMPs LOCATED OUTSIDE PROPOSED GRADING AREAS.
 - THE EXISTING SITE IS NOT UNDERLAIN BY ANY NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS WHICH COULD CAUSE POLLUTION DURING EARTH DISTURBANCE. THEREFORE, NO LOCATIONS ARE IDENTIFIED ON THIS PLAN AND NO DETAILS ARE PROVIDED FOR DISPOSAL OF SUCH MATERIAL.

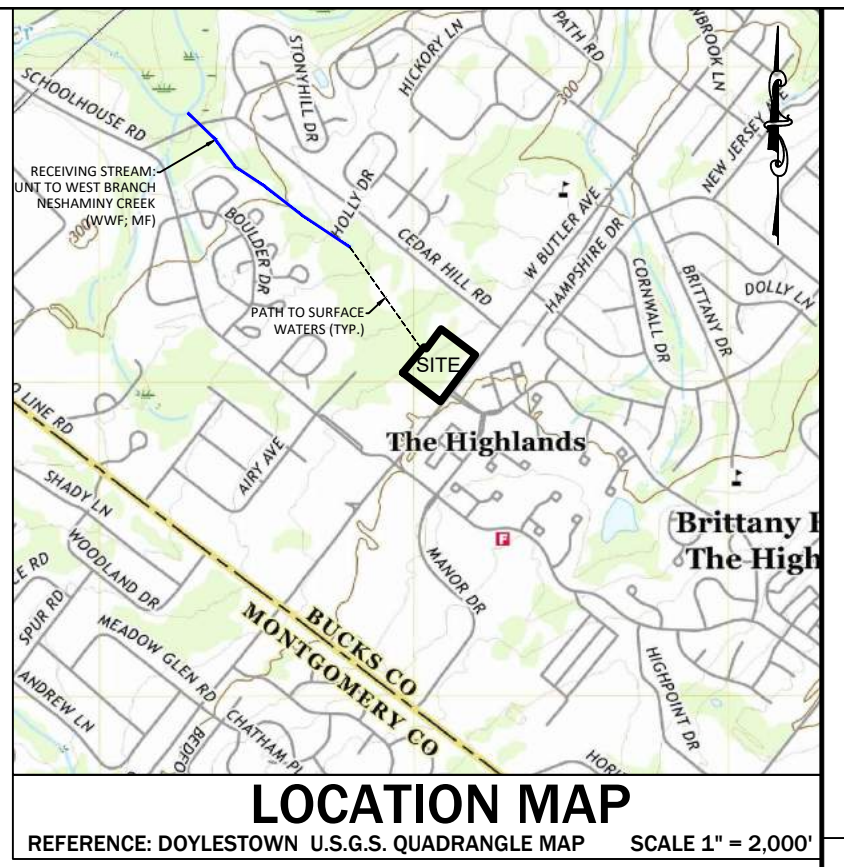
LIMIT OF DISTURBANCE = 6.35 ACRES

PROJECT SITE BOUNDARY = 8.11 ACRES

CRITICAL STAGES OF PCSM PLAN IMPLEMENTATION
 THE INSTALLATION AND/OR CONVERSION OF EROSION CONTROL FACILITIES TO STORMWATER FACILITIES, INCLUDING THE INFILTRATION BASIN WITH MRC, SHALL BE OVERSEEN BY A LICENSED PROFESSIONAL ENGINEER OR THEIR DESIGNEE.

SOIL TYPES					
SYM	UNIT NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	FARMLAND CLASSIFICATION
AbB	Abbotstown silt loam, 3 to 8 percent slopes	N	40-60	6-18	D
UgB	Urban land-Abbotstown complex, 0 to 8 percent slopes	N	40-60	6-18	D

- RESOLUTIONS TO LIMITATIONS:**
- Cutbanks Cave; Provide shoring during excavation
 - Corrosive to Steel/Concrete; Provide cathodic protection for concrete and steel
 - Easily Erodible; Provide an erosion control blanket on steep slopes and maintain existing vegetative cover in non-disturbed areas
 - Depth to Saturated Zone/Seasonal High Water Table; Provide pumped water filter bags where a saturated zone or SHWT is encountered
 - Hydric/Hydric Inclusions; Strip existing topsoil to indicating depth, import suitable fill for construction, and provide adequate site grading
 - Low Strength/Landside Prone; Import suitable fill for topsoil stockpile and provide shoring during excavation
 - Slow Percolation; Replace soil with suitable fill for better percolation results
 - Piping; Provide cathodic protection for pipes
 - Poor Source of Topsoil; Import suitable fill for topsoil
 - Frost Action; Provide capillary flow path breaks in soils
 - Wetness; Minimize soil compaction for increased infiltration of water into the soil and provide adequate site grading



OWNER/APPLICANT:
 COUNTY BUILDERS, INC.
 76 GRIFFITHS MILES CIRCE
 P.O. BOX 2579
 WARMINSTER, PA 18974

Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
ENGINEERING
 www.hcengineering.net

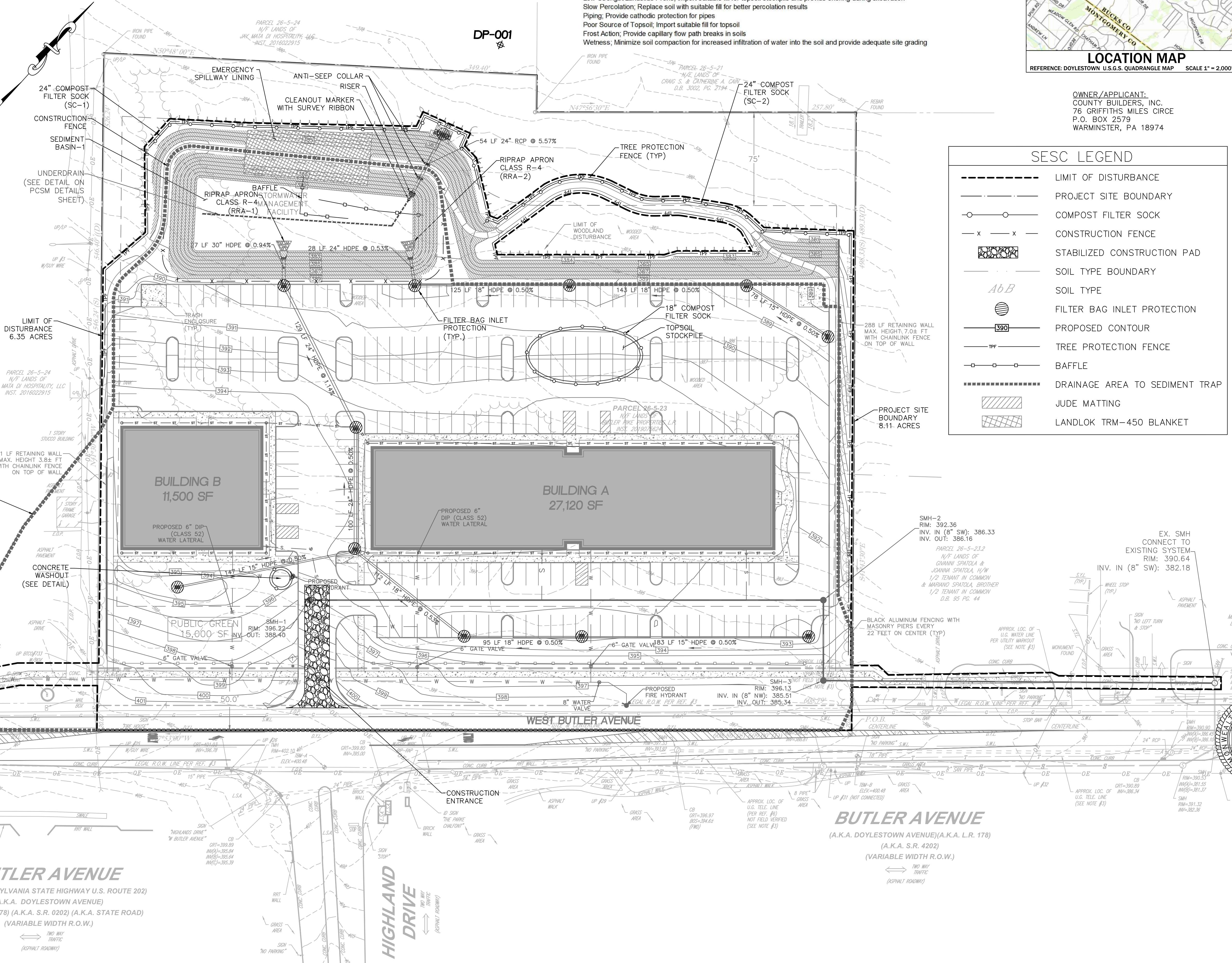
SEQUENCE OF CONSTRUCTION

NOTE: SITE DEVELOPMENT OPERATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GENERAL SEQUENCE OF OPERATIONS. THE CONTRACTOR MAY DEViate FROM THE STAGING OF PERMANENT SITE IMPROVEMENT CONSTRUCTION ITEMS, WITH APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR. DEVIATION FROM THE RELATIVE ORDER OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD NOT OCCUR WITHOUT APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR AND SITE ENGINEER. NO VERTICAL CONSTRUCTION MAY OCCUR UNTIL SUBGRADE IS SET.

- CONTACT THE BUCKS COUNTY CONSERVATION DISTRICT (215-345-7577), NEW BRITAIN TOWNSHIP, AND THE TOWNSHIP ENGINEER AT LEAST THREE (3) WORKING DAYS PRIOR TO SITE DISTURBANCE.
- EACH STAGE OF THE SEQUENCE OF CONSTRUCTION MUST BE COMPLETED PRIOR TO INITIATION OF THE NEXT STAGE OF THE SEQUENCE OF CONSTRUCTION. CONSTRUCTION MAY OVERLAP INTO A SUBSEQUENT PHASE AS LONG AS ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN THE PREVIOUS PHASE.
- INSTALL CONSTRUCTION ENTRANCE AT SITE ACCESS, STOCKPILE, COMPOST FILTER SOCK AND TREE PROTECTION FENCE WHERE SHOWN ON THE PLAN. INSTALL PROTECTION FENCE AROUND FUTURE BMPs.
- INSTALL SEDIMENT BASIN, THE PERMANENT OUTFALL FROM SEDIMENT BASIN AND TEMPORARY RISER SHALL BE INSTALLED WITH THE CONSTRUCTION OF THE SEDIMENT BMP. INSTALL CONSTRUCTION FENCE AROUND THE SEDIMENT TRAP.
- STRIP TOPSOIL AND STOCKPILE WHERE SHOWN ON PLAN. ALL STRIPPED TOPSOIL STOCKPILES SHALL HAVE TEMPORARY SEEDING INSTALLED. ROUGH GRADE SITE, DRIVEWAY/PARKING AND BUILDING PADS. INSTALL TEMPORARY EROSION CONTROL BLANKETS.
- PRIOR TO VERTICAL CONSTRUCTION A STABLE BASE WILL BE ESTABLISHED AND MAINTAINED, TO AVOID ACCELERATED EROSION.
- BEGIN CONSTRUCTION OF BUILDING FOUNDATIONS. BUILDING CONSTRUCTION MAY COINCIDE WITH ADDITIONAL SITE WORK, INCLUDING UTILITY AND STREET CONSTRUCTION, THAT IS LISTED IN THIS SEQUENCE OF CONSTRUCTION. PRIOR TO VERTICAL CONSTRUCTION, SUBGRADE IS TO BE SET, INCLUDING BUT NOT LIMITED TO FOUNDATION WORK, STABLE SUBGRADE/SUBBASE, SUBSURFACE UTILITY WORK, AND DRIVEWAY/PARKING SUBGRADE.
- INSTALL WATER, SANITARY SEWER, AND STORM SEWER SYSTEM STARTING AT THE DOWNSTREAM ENDS AND WORKING UPSTREAM. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY. MAKE OFFSITE UTILITY CONNECTIONS AND INSTALL OFFSITE WATER AND SANITARY SEWER, INSTALL CURB, SUBBASE AND BASE COURSE FOR THE DRIVEWAY/PARKING.
- COMPLETE FINAL GRADING. AFTER FINAL GRADING IS COMPLETED, APPLY PERMANENT SEEDING MIXTURE AND INSTALL ALL REQUIRED PLANTINGS, FENCING, AND LIGHTING. LIGHTING SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY USE AND OCCUPANCY PERMITS. ONCE ALL BUILDINGS ARE COMPLETED, FLUSH ALL AFFECTED STORM DRAINAGE PIPES OF ACCUMULATED SILT.
- CONVERT STORMWATER FACILITY UPON COMPLETING AND STABILIZING EACH TRIBUTARY AREA. INSTALLATION SHALL BE IN ACCORDANCE WITH THE PCSM PLANS, NOTES, AND DETAILS. INSTALLATION OF STORMWATER FACILITY IS A CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH STORM EVENT OR ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
- UPON COMPLETE STABILIZATION OF SITE, REMOVE EROSION CONTROL DEVICES, REMOVE TEMPORARY ORIFICE PLATES AND CONVERT SEDIMENT TRAP TO PERMANENT STORMWATER BASIN BMPs PER THE CONSTRUCTION SEQUENCES AND DETAILS FOUND ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. THE SITE SHALL BE CONSIDERED STABILIZED WHEN THE PERMANENT VEGETATION HAS PROVIDED A 70% GROUND COVER.
- AFTER CONSTRUCTION IS COMPLETED, INSTALL WEARING COURSE FOR THE DRIVEWAY/PARKING. REPAIR ANY DAMAGED CURBING, STORM SEWER STRUCTURES, SANITARY SEWER STRUCTURES, LANDSCAPING, LIGHTING, SIDEWALKS, DRIVEWAYS, AND/OR ANY OTHER AMENITIES FROM INSTALLATION OF WEARING COURSE.

RECYCLING/DISPOSAL OF MATERIALS
 THE CONSTRUCTION WASTES ANTICIPATED INCLUDE DEMOLITION MATERIALS FROM THE BUILDING AND SITE DEMOLITION AND EXCESS BUILDING MATERIAL SUCH AS CONCRETE, WOOD, ETC.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.), AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.



SESC LEGEND

- LIMIT OF DISTURBANCE
- - - PROJECT SITE BOUNDARY
- ○ ○ COMPOST FILTER SOCK
- x - x - CONSTRUCTION FENCE
- ▨ STABILIZED CONSTRUCTION PAD
- SOIL TYPE BOUNDARY
- AbB SOIL TYPE
- ○ ○ FILTER BAG INLET PROTECTION
- PROPOSED CONTOUR
- TREE PROTECTION FENCE
- BAFFLE
- DRAINAGE AREA TO SEDIMENT TRAP
- ▨ JUDE MATTING
- ▨ LANDLOK TRM-450 BLANKET

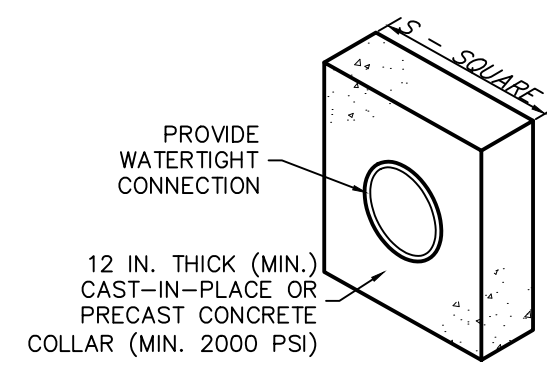
BUTLER AVENUE PROPERTY
 TWP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

EROSION AND SEDIMENT CONTROL PLAN

File No. 1482
 C5.0 E&S.DWG

HCE Job 1482
 Date 11/30/2021
 Scale 1"=40'
 Designed RC
 Sheet 13 of 21

Drawing No. **C5.0**

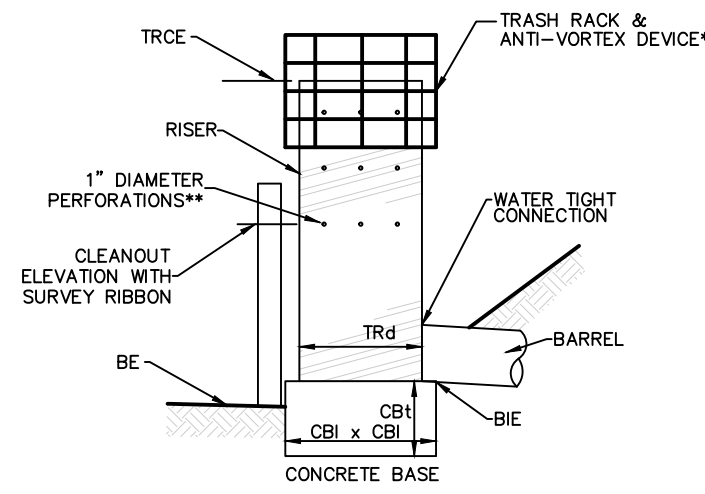


PROVIDE WATER-TIGHT CONNECTION
12 IN. THICK (MIN.) CAST-IN-PLACE OR PRECAST CONCRETE COLLAR (MIN. 2000 PSI)

BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	18	58	2	12.48	12.48

- NOTES:
1. ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATER-TIGHT.
2. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

**STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS**

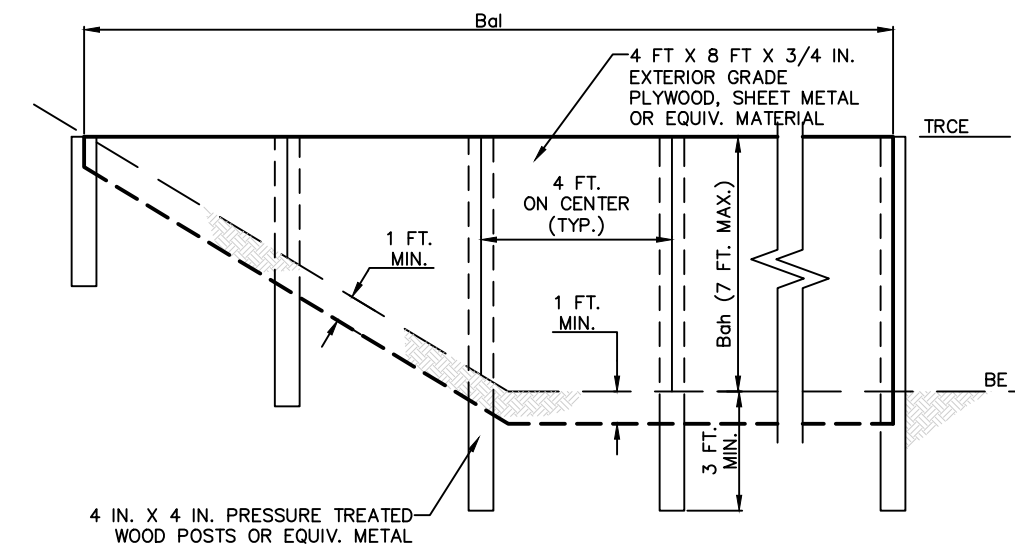


* SEE STANDARD CONSTRUCTION DETAIL #7-5, TRASH RACK AND ANTI-VORTEX DEVICE
** LOWEST ROW OF HOLES AT SEDIMENT CLEAN-OUT ELEVATION

BASIN NO.	RISER		PERFORATIONS		CONCRETE BASE		BARREL INLET ELEV. (FT)			
	DIA TRd (IN)	CREST ELEV. (FT)	NO. ROWS**	NO. HOLES PER ROW	LENGTH AND WIDTH (IN)	THICKNESS CBI (IN)				
1	18	384	CMP	382.75	2	4, 4	.42	36	12	377.50

- NOTES:
A MINIMUM OF 2-#8 REBAR SHALL BE PLACED AT RIGHT ANGLES AND PROJECTING THROUGH SIDES OF RISER TO ANCHOR IT TO CONCRETE BASE. REBAR SHALL PROJECT A MINIMUM OF 1/4 RISER DIAMETER BEYOND OUTSIDE OF RISER.
CONCRETE BASE SHALL BE FURRED IN SUCH A MANNER SO AS TO INSURE THAT CONCRETE FILLS BOTTOM OF RISER TO INVERT OF THE LOWEST PERMANENT INVERT PIPE TO PREVENT RISER FROM BREAKING AWAY FROM THE BASE. MINIMUM BASE WIDTH EQUALS 2 TIMES RISER DIAMETER.
EMBEDDED SECTION OF ALUMINUM OR ALUMINIZED PIPE SHALL BE PAINTED WITH ZINC CHROMATE OR EQUIVALENT.
CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.
SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN SEDIMENT HAS ACCUMULATED TO THE PROPOSED SURVEY RIBBON ELEVATION ON THE CLEANOUT STAKE. SEDIMENT MUST BE DISPOSED OF IN ACCORDANCE WITH REQUIREMENTS ON THE E&S PLAN.
ALL PERMANENT ORIFICES OF THE PROPOSED OUTLET STRUCTURE SHALL BE BLOCKED AND SEALED WITH MARINE-GRADE PLYWOOD AND EPOXY OR GROUTED. TEMPORARY OUTLET HOLES SHALL BE DRILLED PRIOR TO INSTALLATION OF THE SEDIMENT BASIN, AND SHALL BE PERMANENTLY SEALED WITH GROUT OR EPOXY UPON CONVERSION OF THE BASIN TO A PERMANENT STORMWATER FACILITY. RISER CREST ELEVATION MAY BE ACHIEVED BY ADDING ENCLOSED A MARINE-GRADE PLYWOOD BOX AROUND THE OUTLET STRUCTURE, OR A CONCRETE RISER MAY BE ADDED TO THE TOP OF THE BOX.

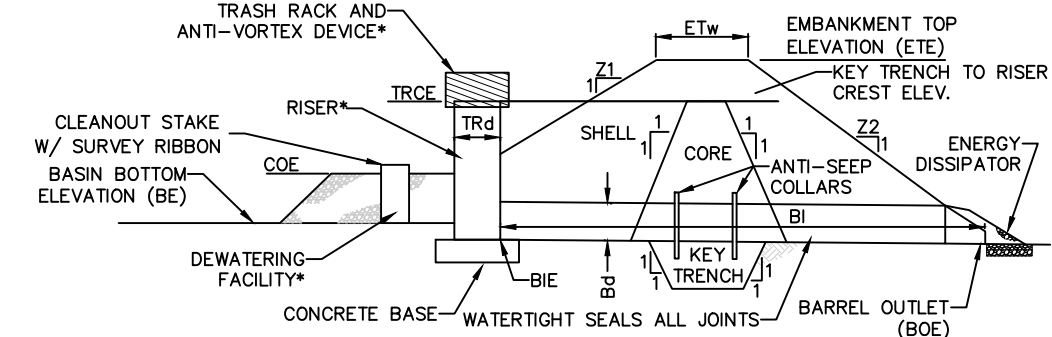
**STANDARD CONSTRUCTION DETAIL #7-7
SEDIMENT BASIN RISER AND CLEANOUT**



BASIN OR TRAP NO.	BAFFLE		TEMPORARY RISER	BOTTOM
	LENGTH Bdf (FT)	HEIGHT Bdh (FT)	CREST ELEV. TRICE (FT)	BOTTOM ELEV. BE (FT)
1	85.70	2.50	384.00	381.50

- NOTES:
SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.
AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION IN POOLS WITH DEPTHS EXCEEDING 7'. THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT EXTEND TO TRICE ELEVATION.
BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.
SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.
DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.
BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

**STANDARD CONSTRUCTION DETAIL #7-14
BAFFLE**



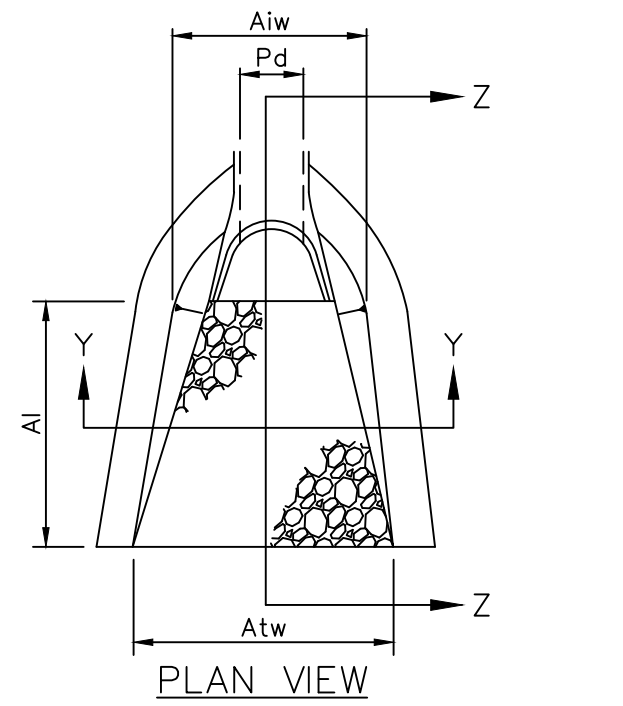
* ALSO REFER TO SEDIMENT BASIN RISER, EMERGENCY SPILLWAY, ENERGY DISSIPATOR, TRASH RACK AND ANTI-VORTEX DEVICE, AND SEDIMENT STORAGE DEWATERING FACILITY DETAILS.

BASIN/ TRAP NO.	RISER		EMBRANKMENT		CLEANOUT		BARREL			
	Z1 (FT)	Z2 (FT)	TOP ELEV. ETE (FT)	KEY TRENCH WIDTH ETw (FT)	KEY TRENCH DEPTH ETD (FT)	KEY TRENCH WIDTH ETD (FT)	INLET ELEV. EIC (FT)	OUTLET ELEV. EOC (FT)		
1	3	3	18	384	CMP	18	377.5	RCP	60	377.50

TOP ELEV. ETE (FT)	EMBRANKMENT		CLEANOUT		BOTTOM ELEV. EOC (FT)
	TOP WIDTH ETw (FT)	KEY TRENCH DEPTH ETD (FT)	KEY TRENCH WIDTH ETD (FT)	INLET ELEV. EIC (FT)	
388	10	2.0	4.0	382.75	381.50

- NOTES:
SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.
AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 8 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS. UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.
ACCESS SHALL BE PROVIDED FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES.
A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.
INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. CHECK BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATOR SHALL BE REPLACED IMMEDIATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.
ALL BASIN EMBANKMENTS SHOULD BE COMPACTED BY SHEEPSFOOT OR PAD ROLLER. THE LOOSE LIFT THICKNESS SHOULD BE 9 INCHES OR LESS, DEPENDING ON ROLLER SIZE, AND THE MAXIMUM PARTICLE SIZE IS 8 INCHES OR LESS. FIVE PASSES OF THE COMPACTION EQUIPMENT OVER THE ENTIRE SURFACE OF EACH LIFT IS REQUIRED. EMBANKMENT COMPACTION TO VISIBLE NON-MOVEMENT IS ALSO REQUIRED.

**STANDARD CONSTRUCTION DETAIL #7-6
SEDIMENT BASIN EMBANKMENT AND SPILLWAY DETAILS
PERFORATED RISER**



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE R-	THICK. Rt (IN)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Aiw (FT)	
RRA #1	30	4	18	16	7.5	23.5
RRA #2	24	4	18	12	6	18

- NOTES:
ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

**STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET
WITH FLARED END SECTION OR ENDWALL**

Holmes Cunningham LLC
409 E. Butler Ave,
Unit 5
Doylstown, PA 18901
(215) 586-3330
www.hcengineering.net

REVISIONS	Description	Date
1	CALL BEFORE YOU DIG IT CONSTRUCTION PHASE AND UTILITIES LOCATIONS AS SHOWN ON THIS DRAWING IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTACT UTILITY COMPANIES PRIOR TO ANY EXCAVATION.	

BUTLER AVENUE PROPERTY
TWP # 26-005-023
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA

EROSION AND SEDIMENT CONTROL DETAILS

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

File No.	1482_C5.0_E&S.DWG
HCE Job No.	1482
Date	11/30/2021
Scale	AS SHOWN
Designed	RC
Sheet	15 of 21
Drawing No.	C5.2

- GENERAL NOTES**
- EXISTING CONDITIONS SHOWN ARE FROM BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC IN FEBRUARY 20, 2020.
 - SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - UNDER PENNSYLVANIA LAW, THE CONTRACTOR IS REQUIRED TO NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM AT 1-800-242-1776 PRIOR TO THE START OF HIS WORK, SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE THEIR OWN UTILITIES.
 - THERE ARE NO HD OR EV WATERSHEDS LOCATED WITHIN THE PROJECT AREA.
 - THERE ARE NO RIPARIAN BUFFERS EXISTING OR PROPOSED AS PART OF THIS PROJECT (WITHIN OR OUTSIDE THE LIMIT OF DISTURBANCE). ADDITIONALLY, RIPARIAN BUFFER OFFSETS ARE NOT NECESSARY.
 - THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
 - THERE ARE NO INFILTRATION BMPs LOCATED OUTSIDE PROPOSED GRADING AREAS.
 - THE EXISTING SITE IS NOT UNDERLAIN BY ANY NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS WHICH COULD CAUSE POLLUTION DURING EARTH DISTURBANCE. THEREFORE, NO LOCATIONS ARE IDENTIFIED ON THIS PLAN AND NO DETAILS ARE PROVIDED FOR DISPOSAL OF SUCH MATERIAL.

MINIMIZE IMPERVIOUS AREAS
 THE PROJECT HAS LIMITED IMPERVIOUS AREAS PROPOSED TO THE MAXIMUM EXTENT POSSIBLE. THE SITE PLAN HAS CLUSTERED THE DEVELOPMENT TO REDUCE THE EXTENT OF PROPOSED ROADWAYS AND THE DRIVEWAYS ARE THE MINIMUM ACCEPTABLE LENGTH.

PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION
 THE LIMIT OF DISTURBANCE IS MINIMIZED TO REDUCE THE DISTURBANCE TO THE EXISTING FEATURES. THE EXISTING VEGETATION AROUND THE PERIMETER OF THE SITE IS TO REMAIN TO THE MAXIMUM EXTENT POSSIBLE. THERE IS NO PROPOSED DISTURBANCE TO DRAINAGE FEATURES.

MINIMIZE LAND CLEARING
 THE PROJECT HAS LIMITED THE SOIL DISTURBANCE AREA TO THE MAXIMUM EXTENT POSSIBLE AND LAND CLEARING IS LIMITED TO THE AREAS SHOWN ON THE PLAN.

STRUCTURAL AND NON-STRUCTURAL BMPs TO DECREASE STORMWATER RUNOFF
 RE-VEGETATE DISTURBED AREAS: ALL DISTURBED AREAS WILL BE PERMANENTLY SEEDED OR LANDSCAPED. ADDITIONALLY, NEW TREES WILL BE PLANTED THROUGHOUT THE SITE TO REDUCE THE THERMAL IMPACTS OF IMPERVIOUS SURFACES AND REDUCE RUNOFF VOLUME THROUGH TRANSPIRATION.

RECYCLING/ DISPOSAL OF MATERIALS
 THE CONSTRUCTION WASTES ANTICIPATED INCLUDE DEMOLITION MATERIALS FROM THE BUILDING AND SITE DEMOLITION AND EXCESS BUILDING MATERIAL SUCH AS CONCRETE, WOOD, ETC.

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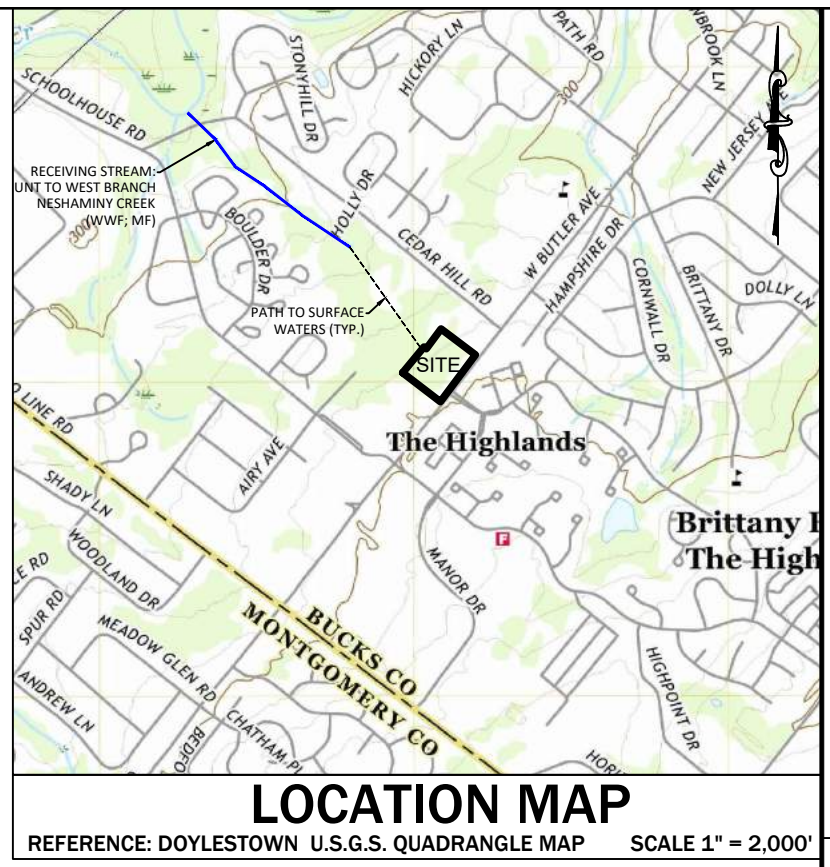
LIMIT OF DISTURBANCE = 6.35 ACRES

PROJECT SITE BOUNDARY = 8.11 ACRES

CRITICAL STAGES OF PCSM PLAN IMPLEMENTATION
 THE INSTALLATION AND/OR CONVERSION OF EROSION CONTROL FACILITIES TO STORMWATER FACILITIES, INCLUDING THE INFILTRATION BASIN WITH MRC, SHALL BE OVERSEEN BY A LICENSED PROFESSIONAL ENGINEER OR THEIR DESIGNEE.

SOIL TYPES						
SYM	UNIT NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HSG	FARMLAND CLASSIFICATION
AbB	Abbotstown silt loam, 3 to 8 percent slopes	N	40-60	6-18	D	Statewide Importance
UgB	Urban land-Abbotstown complex, 0 to 8 percent slopes	N	40-60	6-18	D	Not Prime Farmland

RESOLUTIONS TO LIMITATIONS:
 Cutbanks Cave; Provide shoring during excavation
 Corrosive to Steel/Concrete; Provide cathodic protection for concrete and steel
 Easily Erodible; Provide an erosion control blanket on steep slopes and maintain existing vegetative cover in non-disturbed areas
 Depth to Saturated Zone/Seasonal High Water Table; Provide pumped water filter bags where a saturated zone or SHWT is encountered
 Hydric/Hydric Inclusions; Strip existing topsoil to indicating depth, import suitable fill for construction, and provide adequate site grading
 Low Strength/Landside Prone; Import suitable fill for topsoil stockpile and provide shoring during excavation
 Slow Percolation; Replace soil with suitable fill for better percolation results
 Piping; Provide cathodic protection for pipes
 Poor Source of Topsoil; Import suitable fill for topsoil
 Frost Action; Provide capillary flow path breaks in soils
 Wetness; Minimize soil compaction for increased infiltration of water into the soil and provide adequate site grading



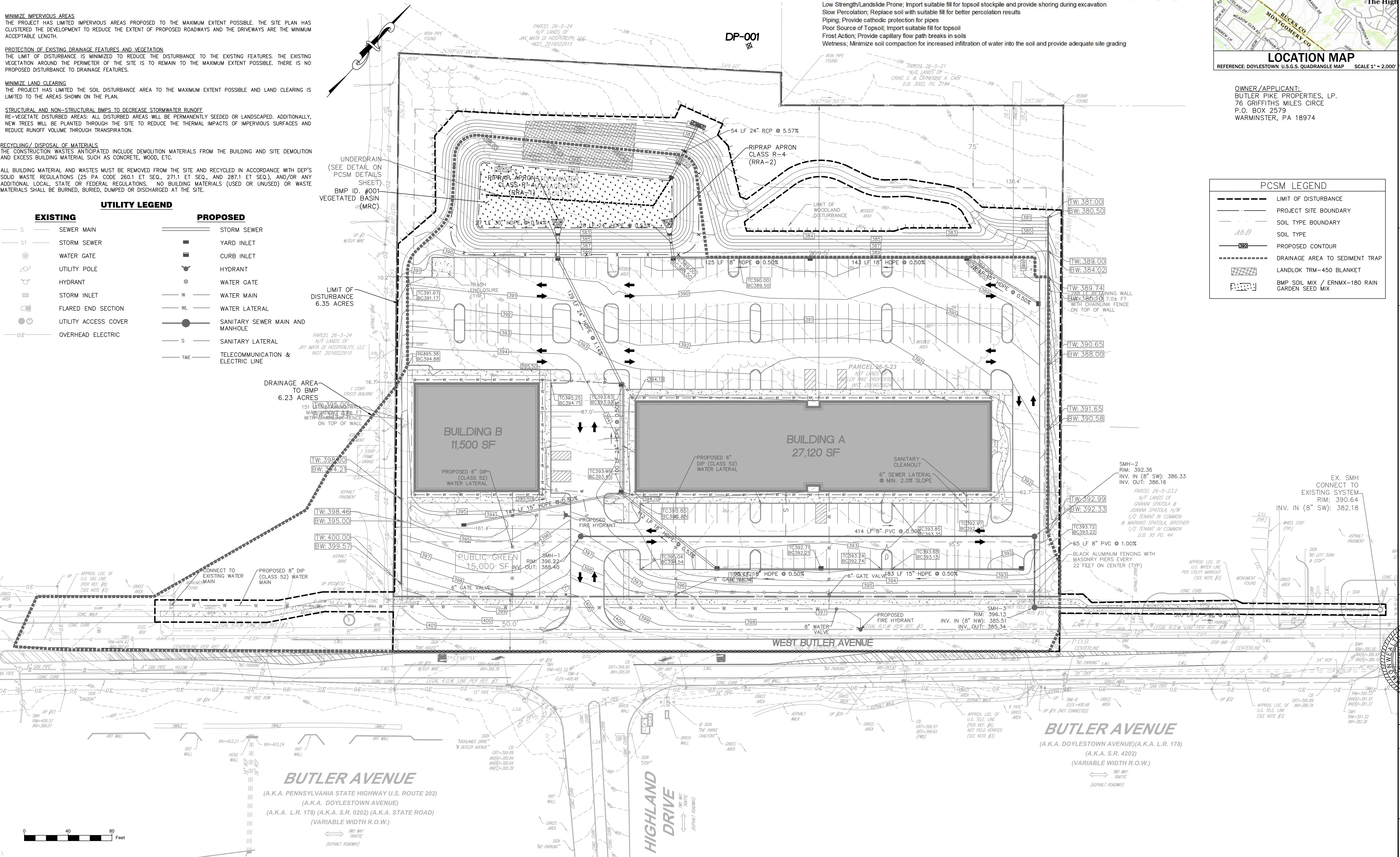
OWNER/APPLICANT:
 BUTLER PIKE PROPERTIES, LP.
 76 GRIFFITHS MILES CIRCE
 P.O. BOX 2579
 WARMINSTER, PA 18974

PCSM LEGEND

	LIMIT OF DISTURBANCE
	PROJECT SITE BOUNDARY
	SOIL TYPE BOUNDARY
	SOIL TYPE
	PROPOSED CONTOUR
	DRAINAGE AREA TO SEDIMENT TRAP
	LANDLOK TRM-450 BLANKET
	BMP SOIL MIX / ERMX-180 RAIN GARDEN SEED MIX

UTILITY LEGEND

EXISTING	PROPOSED		
	SEWER MAIN		STORM SEWER
	STORM SEWER		YARD INLET
	WATER GATE		CURB INLET
	UTILITY POLE		HYDRANT
	HYDRANT		WATER GATE
	STORM INLET		WATER MAIN
	FLARED END SECTION		WATER LATERAL
	UTILITY ACCESS COVER		SANITARY SEWER MAIN AND MANHOLE
	OVERHEAD ELECTRIC		SANITARY LATERAL
			TELECOMMUNICATION & ELECTRIC LINE



Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

REVISIONS

Date	Description

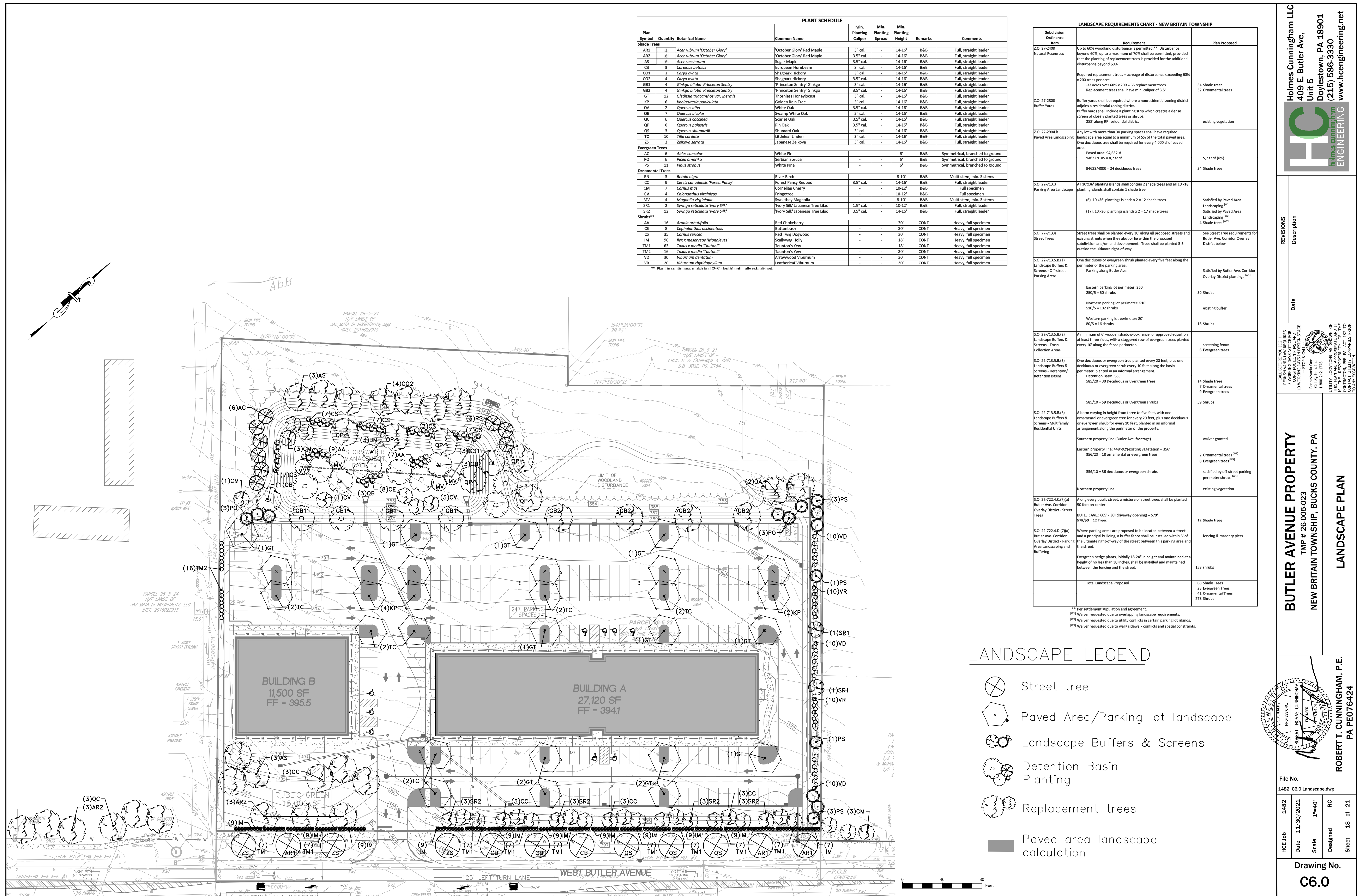
BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No.
 1482_C5.3_PCSM.DWG

HCE Job	1482	Scale	1"=40'	RC
Date	11/30/2021	Designed		
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Drawing No.
C5.3



Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Caliper	Min. Planting Spread	Min. Planting Height	Remarks	Comments
PLANT SCHEDULE								
Shade Trees								
AR1	3	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	3" cal.	-	14-16'	B&B	Full, straight leader
AR2	6	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	3.5" cal.	-	14-16'	B&B	Full, straight leader
AS	6	<i>Acer saccharum</i>	Sugar Maple	3.5" cal.	-	14-16'	B&B	Full, straight leader
CB	3	<i>Carpinus betulus</i>	European Hornbeam	3" cal.	-	14-16'	B&B	Full, straight leader
CO1	3	<i>Carya ovata</i>	Shagbark Hickory	3" cal.	-	14-16'	B&B	Full, straight leader
CO2	4	<i>Carya ovata</i>	Shagbark Hickory	3.5" cal.	-	14-16'	B&B	Full, straight leader
GB1	4	<i>Ginkgo biloba</i> 'Princeton Sentry'	'Princeton Sentry' Ginkgo	3" cal.	-	14-16'	B&B	Full, straight leader
GB2	4	<i>Ginkgo biloba</i> 'Princeton Sentry'	'Princeton Sentry' Ginkgo	3.5" cal.	-	14-16'	B&B	Full, straight leader
GT	12	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honeylocust	3" cal.	-	14-16'	B&B	Full, straight leader
KP	6	<i>Koelerutera paniculata</i>	Golden Rain Tree	3" cal.	-	14-16'	B&B	Full, straight leader
QA	2	<i>Quercus alba</i>	White Oak	3.5" cal.	-	14-16'	B&B	Full, straight leader
QB	7	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	-	14-16'	B&B	Full, straight leader
QC	6	<i>Quercus coccinea</i>	Scarlet Oak	3.5" cal.	-	14-16'	B&B	Full, straight leader
QP	6	<i>Quercus palustris</i>	Pin Oak	3.5" cal.	-	14-16'	B&B	Full, straight leader
QS	3	<i>Quercus shumardii</i>	Shumard Oak	3" cal.	-	14-16'	B&B	Full, straight leader
TC	10	<i>Tilia cordata</i>	Littleleaf Linden	3" cal.	-	14-16'	B&B	Full, straight leader
ZS	3	<i>Zelkova serrata</i>	Japanese Zelkova	3" cal.	-	14-16'	B&B	Full, straight leader
Evergreen Trees								
AC	6	<i>Abies concolor</i>	White Fir	-	-	6'	B&B	Symmetrical, branched to ground
PO	6	<i>Picea amara</i>	Serbian Spruce	-	-	6'	B&B	Symmetrical, branched to ground
PS	11	<i>Pinus strobus</i>	White Pine	-	-	6'	B&B	Symmetrical, branched to ground
Ornamental Trees								
BN	3	<i>Betula nigra</i>	River Birch	-	-	8-10'	B&B	Multi-stem, min. 3 stems
CC	9	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	3.5" cal.	-	14-16'	B&B	Full, straight leader
CM	7	<i>Cornus mas</i>	Common Cherry	-	-	10-12'	B&B	Full specimen
CV	4	<i>Cornus virginiana</i>	Fragrant Dogwood	-	-	10-12'	B&B	Full specimen
MV	4	<i>Magnolia virginiana</i>	Sweetbay Magnolia	-	-	8-10'	B&B	Multi-stem, min. 3 stems
SR1	2	<i>Syringa reticulata</i> 'Ivory Silk'	'Ivory Silk' Japanese Tree Lilac	1.5" cal.	-	10-12'	B&B	Full, straight leader
SR2	12	<i>Syringa reticulata</i> 'Ivory Silk'	'Ivory Silk' Japanese Tree Lilac	3.5" cal.	-	14-16'	B&B	Full, straight leader
Shrubs**								
AA	16	<i>Aronia arbutifolia</i>	Red Chokeberry	-	-	30"	CONT	Heavy, full specimen
CE	8	<i>Cephalanthus occidentalis</i>	Butterfly Bush	-	-	30"	CONT	Heavy, full specimen
CS	35	<i>Cornus sericea</i>	Red Twig Dogwood	-	-	30"	CONT	Heavy, full specimen
IM	90	<i>Ilex x meserveae</i> 'Mantines'	Scalliwag Holly	-	-	18"	CONT	Heavy, full specimen
TM1	63	<i>Taxus x media</i> 'Tautoni'	Taunton's Yew	-	-	18"	CONT	Heavy, full specimen
TM2	16	<i>Taxus x media</i> 'Tautoni'	Taunton's Yew	-	-	30"	CONT	Heavy, full specimen
VD	30	<i>Viburnum dentatum</i>	Arrowwood Viburnum	-	-	30"	CONT	Heavy, full specimen
VR	20	<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum	-	-	30"	CONT	Heavy, full specimen

** Plant in continuous oval bed (7-8" depth) until fully established.

Subdivision Ordinance Item	Requirement	Plan Proposed
Z.O. 27-2400 Natural Resources	Up to 60% woodland disturbance is permitted. ** Disturbance beyond 60%, up to a maximum of 70% shall be permitted, provided that the planting of replacement trees is provided for the additional disturbance beyond 60%. Required replacement trees = acreage of disturbance exceeding 60% x 200 trees per acre. 33 acres over 60% x 200 = 66 replacement trees Replacement trees shall have min. caliper of 3.5"	34 Shade trees 32 Ornamental trees
Z.O. 27-2800 Buffer Yards	Buffer yards shall be required where a nonresidential zoning district adjoins a residential zoning district. Buffer yards shall include a planting strip which creates a dense screen of closely planted trees or shrubs. 288' along RR residential district	existing vegetation
Z.O. 27-2904.h Paved Area Landscaping	Any lot with more than 30 parking spaces shall have required landscape area equal to a minimum of 5% of the total paved area. One deciduous tree shall be required for every 4,000 sq ft of paved area. Paved area: 94,632 sq ft 94632 / .05 = 4,732 sq ft 94632/4000 = 24 deciduous trees	5,737 sq ft (6%) 24 Shade trees
S.O. 22-713.3 Parking Area Landscaping	All 10'x36' planting islands shall contain 2 shade trees and all 10'x18' planting islands shall contain 1 shade tree (6), 10'x36' plantings islands x 2 = 12 shade trees (17), 10'x36' plantings islands x 2 = 17 shade trees	Satisfied by Paved Area Landscaping Satisfied by Paved Area Landscaping 4 Shade trees
S.O. 22-713.4 Street Trees	Street trees shall be planted every 30' along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development. Trees shall be planted 3'-5' outside the ultimate right-of-way.	See Street Tree requirements for Butler Ave. Corridor Overlay District below
S.O. 22-713.5.8(1) Landscape Buffers & Screens - Off-street Parking Areas	One deciduous or evergreen shrub planted every five feet along the perimeter of the parking area. Parking along Butler Ave: Eastern parking lot perimeter: 250' 250/5 = 50 shrubs Northern parking lot perimeter: 510' 510/5 = 102 shrubs Western parking lot perimeter: 80' 80/5 = 16 shrubs	Satisfied by Butler Ave. Corridor Overlay District plantings 50 Shrubs existing buffer 16 Shrubs
S.O. 22-713.5.8(2) Landscape Buffers & Screens - Trash Collection Areas	A minimum of 6' wooden shadow-box fence, or approved equal, on at least three sides, with a staggered row of evergreen trees planted every 10' along the fence perimeter.	screening fence 6 Evergreen trees
S.O. 22-713.5.8(3) Landscape Buffers & Screens - Detention/Retention Basins	One deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement. Detention Basin: 585' 585/20 = 29 Deciduous or Evergreen trees 585/10 = 59 Deciduous or Evergreen shrubs	14 Shade trees 7 Ornamental trees 9 Evergreen trees 59 Shrubs
S.O. 22-713.5.8(6) Landscape Buffers & Screens - Multifamily Residential Units	A berm varying in height from three to five feet, with one ornamental or evergreen tree for every 20 feet, plus one deciduous or evergreen shrub for every 10 feet, planted in an informal arrangement along the perimeter of the property. Southern property line (Butler Ave. frontage) Eastern property line: 448'-92" (existing vegetation = 356' 356/20 = 18 ornamental or evergreen trees 356/10 = 36 deciduous or evergreen shrubs Northern property line	waiver granted 2 Ornamental trees 8 Evergreen trees satisfied by off-street parking perimeter shrubs existing vegetation
S.O. 22-722.4.C(7) Butler Ave. Corridor Overlay District - Street Trees	Along every public street, a mature of street trees shall be planted 30 feet on center. BUTLER AVE.: 609' - 30" (driveway opening) = 579' 579/50 = 12 Trees	12 Shade trees
S.O. 22-722.4.D(7) Butler Ave. Corridor Overlay District - Parking Area Landscaping and Buffering	Where parking areas are proposed to be located between a street and a principal building, a buffer fence shall be installed within 5' of the ultimate right-of-way of the street between this parking area and the street. Evergreen hedge plants, initially 18-24" in height and maintained at a height of no less than 30 inches, shall be installed and maintained between the fencing and the street.	fencing & masonry piers 153 shrubs
Total Landscape Proposed		88 Shade Trees 23 Evergreen Trees 41 Ornamental Trees 278 Shrubs

** Per settlement stipulation and agreement.
[M1] Waiver requested due to overlapping landscape requirements.
[M2] Waiver requested due to utility conflicts in certain parking lot islands.
[M3] Waiver requested due to wall/sidewalk conflicts and spatial constraints.

LANDSCAPE LEGEND

- Street tree
- Paved Area/Parking lot landscape
- Landscape Buffers & Screens
- Detention Basin Planting
- Replacement trees
- Paved area landscape calculation

Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

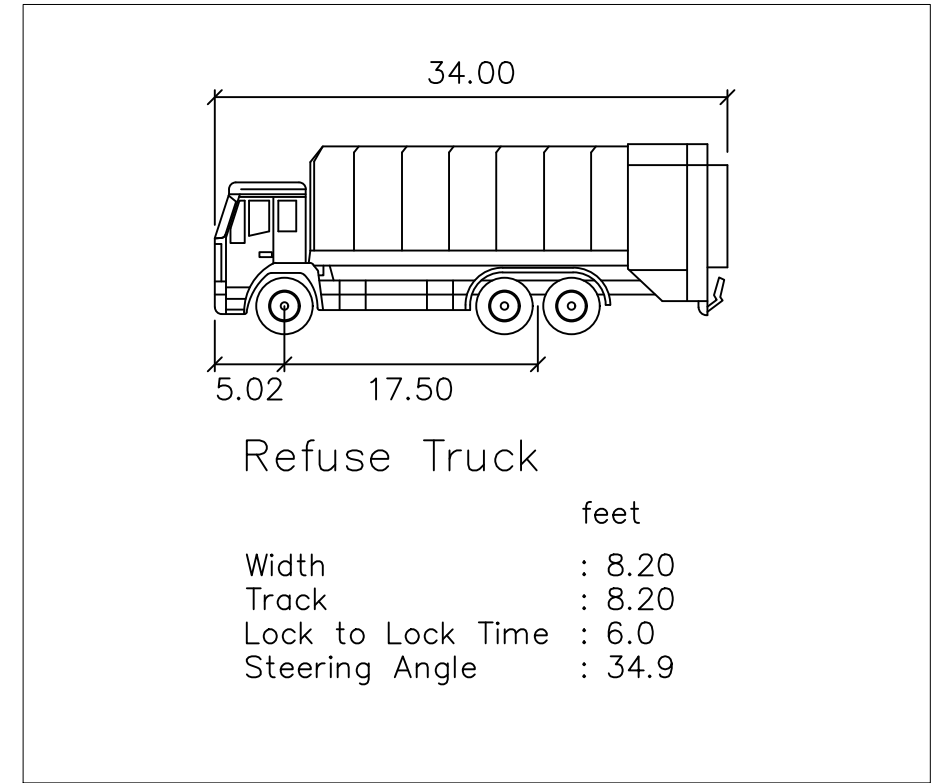
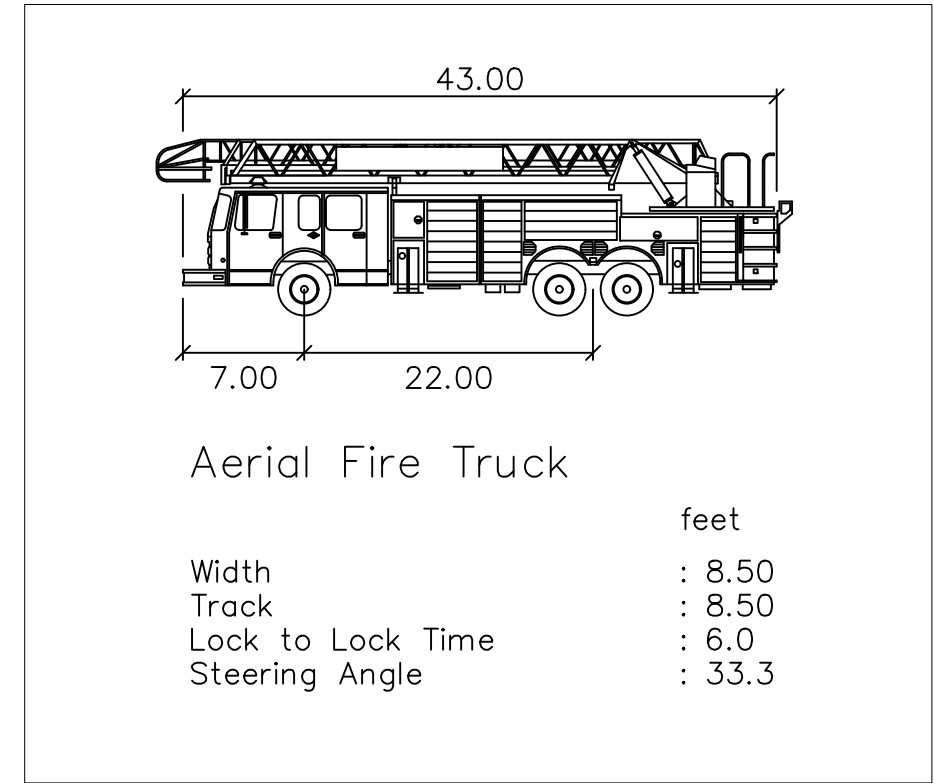
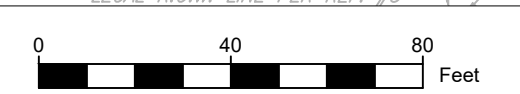
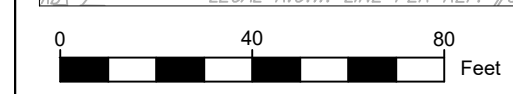
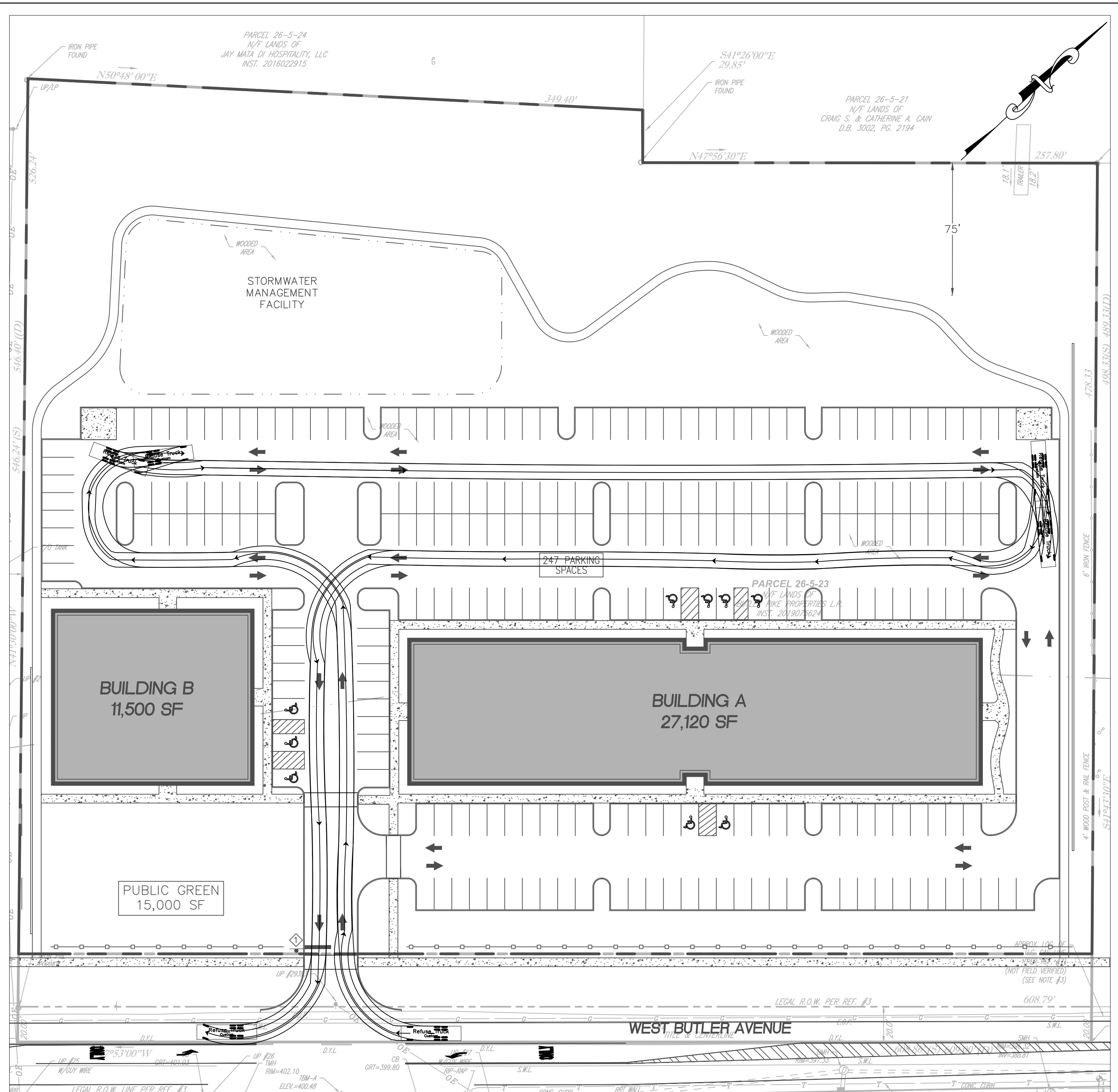
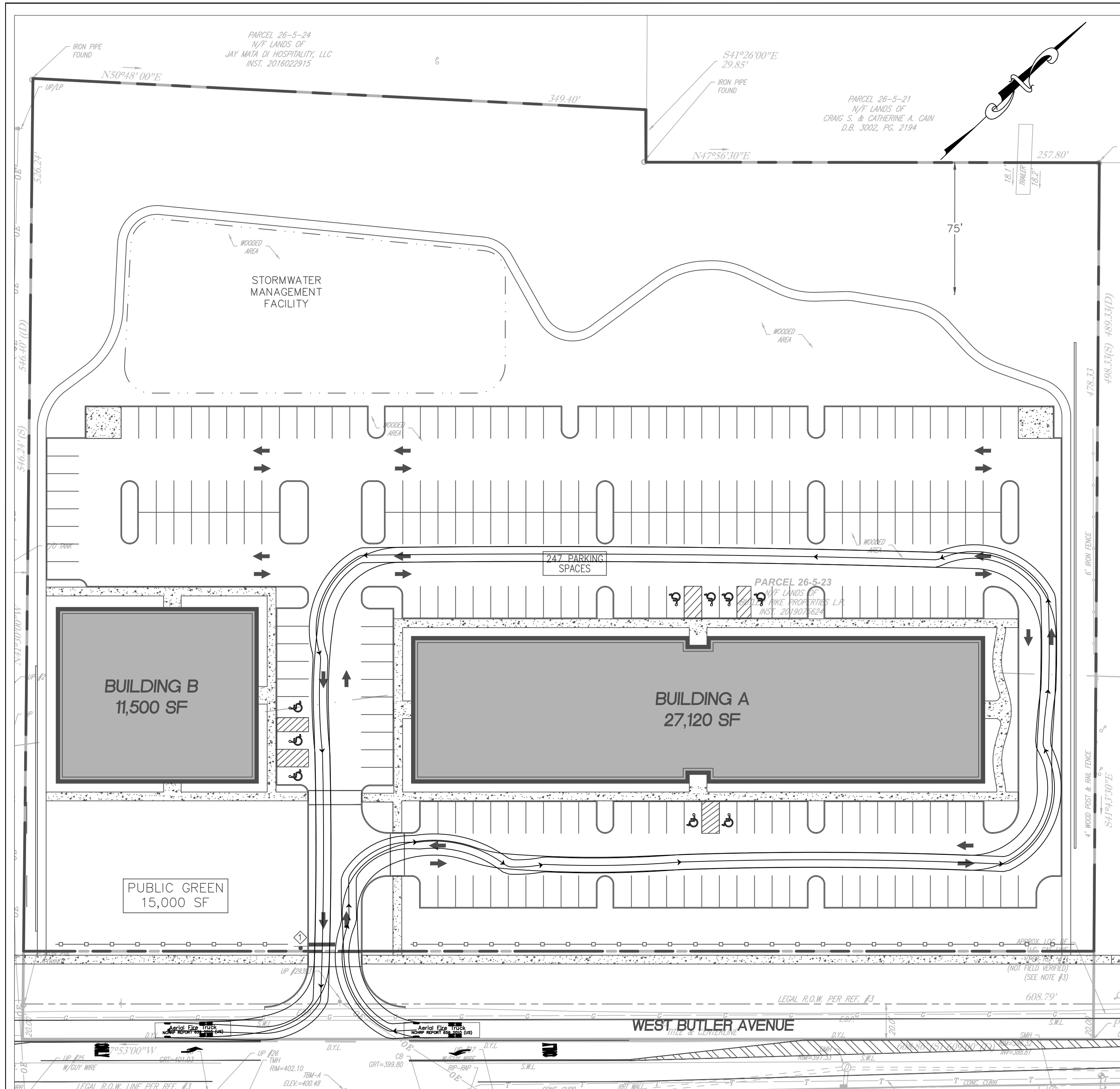
REVISIONS	Description	Date

CALL BEFORE YOU DIG
 PENNSYLVANIA LAW REQUIRE FOR 3 WORKING DAYS NOTICE FOR 10 WORKING DAYS IN DESIGN STAGE
 STOP & LOC
 Call System, Inc.
 1-800-242-1776
 UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
LANDSCAPE PLAN

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No.	1482_C6.0 Landscape.dwg
HCE Job	1482
Date	11/30/2021
Scale	1"=40'
Designed	RC
Sheet	18 of 21
Drawing No.	C6.0



Holmes Cunningham LLC
 409 E. Butler Ave,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

REVISIONS	Description	Date

CALL BEFORE YOU DIG! IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-485-1776

BUTLER AVENUE PROPERTY
 TMP # 26-005-023
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA
TRUCK TURN PLAN

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No.	1482_C7.0 Truck Turn.DWG		
HCE Job	1482	Date	11/30/2021
Scale	AS SHOWN	Designed	RC
Sheet	21	of	21
Drawing No.	C7.0		

OBERMAYER REBMANN MAXWELL & HIPPEL LLP

By: Kellie A. McGowan, Esquire
Attorney I.D. No. 93460
Kellie.McGowan@obermayer.com
Daniel S. Lyons, Esquire
Attorney I.D. No. 325401
Daniel.Lyons@obermayer.com
10 S. Clinton Street, Suite 300
Doylestown, PA 18901
(215) 606-0760

*Attorneys for Intervenor,
Butler Pike Properties, L.P.*

**In re: APPEAL OF THE NEW BRITAIN
TOWNSHIP BOARD OF SUPERVISORS
FROM THE BUTLER PIKE
PROPERTIES, L.P. DECISION OF THE
NEW BRITAIN TOWNSHIP ZONING
HEARING BOARD**

LAND USE APPEAL

**BUCKS COUNTY
COURT OF COMMON PLEAS**

No. 2021-00629

JOINT MOTION FOR ENTRY OF AGREED ORDER

Appellant, New Britain Township Board of Supervisors, by and through its solicitor Grim, Biehn & Thatcher, and Intervenor, Butler Pike Properties L.P., by and through its attorneys, Obermayer Rebmann Maxwell & Hippel LLP, hereby move your Honorable Court to approve the Settlement Stipulation and Agreement among Appellant and Intervenor, on the terms set forth in the Settlement Stipulation and Agreement, attached hereto and incorporated herein.

Respectfully submitted,

GRIM, BIEHN & THATCHER

Date: _____

By: _____

**OBERMAYER REBMANN
MAXWELL & HIPPEL LLP**

Date: _____

By: _____

EXHIBIT "A"

SETTLEMENT STIPULATION AND AGREEMENT

OBERMAYER REBMANN MAXWELL & HIPPEL LLP

By: Kellie A. McGowan, Esquire
Attorney I.D. No. 93460
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Daniel S. Lyons, Esquire
Attorney I.D. No. 325401
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(215) 606-0760

*Attorneys for Intervenor,
Butler Pike Properties, L.P.*

**In re: APPEAL OF THE NEW BRITAIN
TOWNSHIP BOARD OF SUPERVISORS
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PROPERTIES, L.P. DECISION OF THE
NEW BRITAIN TOWNSHIP ZONING
HEARING BOARD**

LAND USE APPEAL

**BUCKS COUNTY
COURT OF COMMON PLEAS**

No. 2021-00629

SETTLEMENT STIPULATION AND AGREEMENT

Intended to be legally bound, Appellant, New Britain Township Board of Supervisors (“*Township*”) and Intervenor, Butler Pike Properties L.P. (“*Property Owner*”) enter into this Settlement Stipulation and Agreement in resolution of the above-captioned action and as such, do hereby stipulate and agree as follows:

WITNESSETH

WHEREAS, Township initiated the instant action by filing an appeal from the decision of the New Britain Township Zoning Hearing Board (“*ZHB*”) granting zoning relief to Property Owner (“*Decision*”) to facilitate the development of the vacant property located at West Butler Avenue, New Britain Township, Bucks County, identified as Bucks County Tax Map Parcel No. 26-005-023 (“*Property*”) as and for a mixed use townhouse and commercial community; and

WHEREAS, the Decision provided Property Owner with the following specific relief from the provisions of the New Britain Township Zoning Ordinance ("**Zoning Ordinance**"): Section 27-300.a - to permit more than one principal use and more than one principal structure on the Property; Section 27-1201 - to permit the Use B5 Townhouse use in the C-1 Commercial Zoning District; Sections 27-305.B.B5.b.4 and 27-1202.b - to permit an impervious surface ratio of 50% on the Property; Section 27-2400.f.2. - to permit disturbance of 60% of woodlands on the Property and from complying with the associated tree replacement requirement; and Section 27-2904.g.5 - to permit the paved area adjacent to the proposed buildings to be one (1) foot from the abutting exterior walls; and

WHEREAS, previously in 2018, Property Owner approached Township with several proposals for the development of the Property, including a proposal for an integrated development consisting of commercial and multifamily apartment uses; and

WHEREAS, Township and Property Owner have continued discussions of the most suitable development of the Property considering the best interests of Township; and

WHEREAS, Property Owner has performed studies and investigations to confirm the condition of existing natural features on the Property, including woodlands, and has prepared an inventory of dead or dying trees in connection with those discussions; and

WHEREAS, Township and Property Owner have agreed upon the terms pursuant to which the Property Owner shall be entitled to land development approval for the development of the Property; and

WHEREAS, Township and Property Owner have approved the within Agreement to resolve the instant action.

NOW THEREFORE, the parties to this Agreement do, in recognition of the mutual covenants, terms, provisions, and understandings set forth in this Agreement, and in consideration therefore, intending to be legally bound, agree as follows:

1. This Agreement is made and entered into and among the undersigned parties to effect a full and final settlement between them in the Land Use Appeal filed in the Court of Common Pleas of Bucks County, Pennsylvania, at Docket No. 2021-0629.

2. In consideration of the legal and factual issues related to the instant action, as well as the burden and cost of continued litigation, the parties have determined and concluded that it is in the best interest of Township and Property Owner to settle and agree in the manner and upon the terms and conditions as set forth in this Agreement.

3. The Settlement Plan shall be deemed compliant with the Zoning Ordinance, and all the zoning relief granted by the ZHB is hereby specifically confirmed and/or modified as follows:

- a. Section 27-300.a - to permit more than one principal use and more than one principal structure on the Property.
- b. Section 27-305.b.B7 – to permit the B7 Apartment Use to be developed on the Property as depicted on the Settlement Plan (as defined hereinbelow).
- c. Section 27-1201 - to permit the B7 Apartment Use and the DI Nursery School/Day-Care Center Use in the C-1 Commercial Zoning District.
- d. Section 27-2400.f.2. - to permit disturbance of up to 70% of woodlands on the Property and to not require the associated planting of replacement trees, subject to paragraph 15, hereinbelow.
- e. Section 27-2904.g.5 - to permit the paved area adjacent to the proposed buildings to be ten (10) feet from the abutting exterior walls.

4. Township and Property Owner agree that the Property shall not be developed as and for B5 Single-Family Attached Use (townhouses).

5. Township and Property Owner agree that Property Owner shall be entitled to land development approval for the residential and commercial development of the Property for the apartment and commercial uses upon the filing of a land development plan in substantial conformity with the attached plan entitled “Butler Avenue Property Settlement Plan, sheet CP-6”, prepared by Holmes Cunningham Engineering, Inc, dated August 1, 2019, last revised, June 24, 2021 (“**Settlement Plan**”); said Settlement Plan attached hereto and incorporated herein as Exhibit “A”.

6. Township and Property Owner agree that the building identified as “Building A” on the Settlement Plan shall be used as and for the A7 Apartment Use, together with residential amenities customarily incidental to the use, including, but not limited to, a fitness center facility, business center, and common areas.

7. Township and Property Owner agree that the building identified as “Building B” on the Settlement Plan shall be used solely for those commercial uses permitted by right in the C-1 Commercial Zoning District as of the date of this Stipulated Settlement Agreement, together with the potential D1 Nursery School/Day-Care Center Use. Said list of allowed uses is attached hereto and incorporated herein as Exhibit “B”.

8. Township and Property Owner agree that a portion of ground floor of the building identified as “Building A” on the Settlement Plan may also be used for those commercial uses permitted by right in the C-1 Commercial Zoning District as of the date of this Stipulated Settlement Agreement as listed in the attached Exhibit “B”.

9. Township and Property Owner agree that as a condition to land development approval, Property Owner shall provide the following amenities on the Property:

- a. Installation of a black aluminum decorative fence and shrubbery along the entirety of the Property's frontage on Butler Avenue in compliance with the Township Code's applicable requirements in section 22-722.D.(7)(a) for the Corridor Overlay District;
- b. Installation of a five (5) foot wide sidewalk for the length of the frontage of the Property on Butler Avenue;
- c. Installation of streetscape improvements, including, but not limited to, landscaping and street trees, in locations shown on the Settlement Plan in compliance with the Township Code's applicable requirements in section 22-722.4.C.(7)(a)-(d) for the Corridor Overlay District;
- d. Installation of a public green space at the Butler Avenue frontage, specifically in the size and location as depicted on the Settlement Plan in general compliance with the Township Code's applicable requirements in section 22-722.4.G for the Corridor Overlay District; and
- e. Installation of a five (5) foot wide macadam walking trail substantially in the location shown on the Settlement Plan;

10. Township and Property Owner agree that as a condition to the land development approval, Property Owner shall provide the following off-site improvements:

- a. Installation of a variable width (4 to 5 foot) sidewalk in compliance with Township and PennDOT standards along the frontage of Butler Avenue from the northern

property line of the Property to the connection with existing sidewalk, including requisite ADA compliant ramps, generally as depicted on the Settlement Plan; and

- b. Installation of a variable width (4 to 5 foot) sidewalk in compliance with Township and PennDOT standards along the frontage of Butler Avenue from the southern property line of the Property to the connection with existing sidewalk, including requisite ADA compliant ramps, generally as depicted on the Settlement Plan.

11. Township and Property Owner agree that the proposed development shall meet the requirements of the Pennsylvania Department of Environmental Protection and New Britain Township Stormwater Management Ordinance, to the satisfaction of the Township Engineer.

12. Township and Property Owner agree that the proposed development shall meet the buffer yard requirements of the Zoning Ordinance and Township Subdivision and Land Development Ordinance, except as set forth in paragraph 13.c, herein, as applied to the Butler Avenue frontage.

13. Township shall grant preliminary/final land development approval of the Settlement Plan within ninety (90) days of the date of application by Property Owner. Township and Property Owner agree that in connection with the land development approval, Property Owner shall be entitled to the grant of such waivers from the provisions of the New Britain Township Subdivision and Land Development Ordinance as are necessary to facilitate the development as generally shown on the Settlement Plan, including, but not limited to, the following:

- a. Section 22-505 – From providing a Community Impact Assessment Report.
- b. Section 22-705.3 – From undertaking roadway widening and associated improvements along the Butler Avenue frontage, subject to such improvements as

may be required under the jurisdiction of the Pennsylvania Department of Transportation.

- c. Section 22-713.5.B(6) – From providing berm and screen plantings for a B7 Apartment Use, as to the Butler Avenue frontage only.
- d. Section 22-715 – From providing park and recreation land.
- c. Section 22-722 – From compliance with the Butler Avenue Overlay requirements other than those specifically required under this Agreement in paragraph 9, hereinabove or as shown on the Settlement Plan.

14. Township and Property Owner agree that Property Owner shall be required to pay a fee-in-lieu of recreation in the maximum amount of \$185,000.00, pursuant to the current residential per-unit and commercial square footage requirements of the fee schedule of New Britain Township, which shall be payable as follows: (a) Fifty percent (50%) of the total sum, up to a maximum of \$92,500.00 shall be payable upon the recording of final land development plans; and (b) the balance shall be payable upon issuance of the first occupancy permit for either Building on the Property.

15. Township and Property Owner agree that disturbance of up to sixty percent (60%) of woodlands is permitted on the Property. Additional disturbance beyond sixty percent (60%), up to a maximum of seventy percent (70%) of the woodlands on the Property, shall be permitted, provided that the planting of replacement trees is provided for the additional disturbed area beyond sixty percent (60%). If the planting of replacement trees is not feasible on the Property in accordance with the Zoning Ordinance, as determined by the Township Engineer, the Property Owner shall pay a fee-in-lieu of such planting in the amount of \$50,000 per acre, or part thereof, of disturbed woodlands over sixty percent (60%).

16. Township and Property Owner agree that the terms of this Settlement Stipulation shall supersede directly inconsistent requirements of the Township Code.

17. If any party is found to be in default of any provision herein, the opposing party shall provide written notice of the default to the defaulting party and its counsel. If the defaulting party does not remedy the default within thirty (30) days of receipt of the written notice, the opposing party may file an action with the Court of Common Pleas in Bucks County.

18. If any action is brought by any party to enforce or to seek damages for breach of any provision of this Stipulation, the prevailing party in such action, if there is a prevailing party, shall be entitled to recover, in addition to the costs of suit, such reasonable attorneys' fees as a tribunal determining the action may award.

19. The whereas clauses set forth in the preamble of this Agreement are hereby incorporated into the terms of this Agreement. This Agreement constitutes the entire agreement among the parties with reference to the zoning relief granted to Property Owner and the future development of the Property, and any representations, oral or written, not contained herein are without effect.

20. This Agreement shall be construed and enforced in accordance with the laws of the Commonwealth of Pennsylvania. Any legal action arising out of this Agreement must be filed in the Court of Common Pleas of the County of Bucks.

21. This Agreement shall only be modified, amended, or terminated by a writing signed by all of the parties herein, their grantees, successors, or assigns.

22. The parties agree that neither this Agreement nor the furnishing of consideration in exchange for this Agreement shall be deemed or construed at any time for any purpose as a waiver by any party of any right or obligation under any statute, ordinance, rule, and/or regulation of any

kind. Moreover, forbearance by either party to exercise their rights under this Agreement in the event of any breach by the other party shall not be deemed or construed to be a waiver of any of non-breaching party's rights under this Agreement. No delay or omission by a party in the exercise of any right or remedy upon any breach by the other party shall impair such right or remedy or be construed as a waiver.

23. The person or persons signing on behalf of any party expressly represent and affirm, with respect to the party for whom he/she/they are signing the Agreement, that he/she/they have the authority to execute this Agreement on behalf of that party and to thereby bind that party.

24. The parties represent that they have had the opportunity to review the terms of this Stipulation and Order with their legal counsel, and they understand all of the terms, conditions, and obligations contained herein.

25. The parties agree that this Agreement may be executed in counterparts and desire that the terms set forth herein be approved as an Order of Court.

26. If any provision of this Agreement is determined by a court of competent jurisdiction to be illegal, invalid, unenforceable, unconstitutional, or void, for any reason, only that provision shall be illegal, invalid, unenforceable, unconstitutional, or void and the remainder of this Agreement shall be in full force and effect.

27. The provisions of this Agreement shall survive the settlement contemplated hereunder.

[THIS SPACE INTENTIONALLY BLANK. SIGNATURE PAGE FOLLOWS.]

IN WITNESS WHEREOF, Township and Property Owner have executed this Settlement Stipulation and Agreement with the intent to be legally bound.

New Britain Township Board of Supervisors, *Appellant*

By: _____
Gregory T. Hood
Chairman

ATTEST: _____
Matthew West, Manager

Butler Pike Properties, LP, *Intervenor*

By: _____
Name:
Title:

OBERMAYER REBMANN MAXWELL & HIPPEL LLP

By: Kellie A. McGowan, Esquire
Attorney I.D. No. 93460
Kellie.McGowan@obermayer.com
Daniel S. Lyons, Esquire
Attorney I.D. No. 325401
Daniel.Lyons@obermayer.com
10 S. Clinton Street, Suite 300
Doylestown, PA 18901
(215) 606-0760

*Attorneys for Intervenor,
Butler Pike Properties, L.P.*

**In re: APPEAL OF THE NEW BRITAIN
TOWNSHIP BOARD OF SUPERVISORS
FROM THE BUTLER PIKE
PROPERTIES, L.P. DECISION OF THE
NEW BRITAIN TOWNSHIP ZONING
HEARING BOARD**

**LAND USE APPEAL
BUCKS COUNTY
COURT OF COMMON PLEAS
No. 2021-00629**

CERTIFICATE OF SERVICE

I, Kellie A. McGowan, Esquire, do hereby certify that on the ____ day of _____ 2021, true and correct copies of the Motion for Entry of Agreed Order and the Stipulation and Agreement filed on behalf of Appellant and Intervenor were served via first class mail and/or the e-filing system upon all parties of record.

Date: _____

By: _____
Kellie A. McGowan

Exhibit "A"

Settlement Plan

HOVENS ENGINEERING
 350 E. Butler Ave., Ste 100
 P.O. Box 100
 Butler, PA 15003
 (724) 281-3300
 www.hovensengineering.com

REVISIONS

NO.	DATE	DESCRIPTION
1	03.24.23	ISSUE FOR PERMITTING

SETTLEMENT PLAN
 NEW BRITAIN TOWNSHIP, BUTLER COUNTY, PA
 THE 26.008.023
BUTLER AVENUE PROPERTY

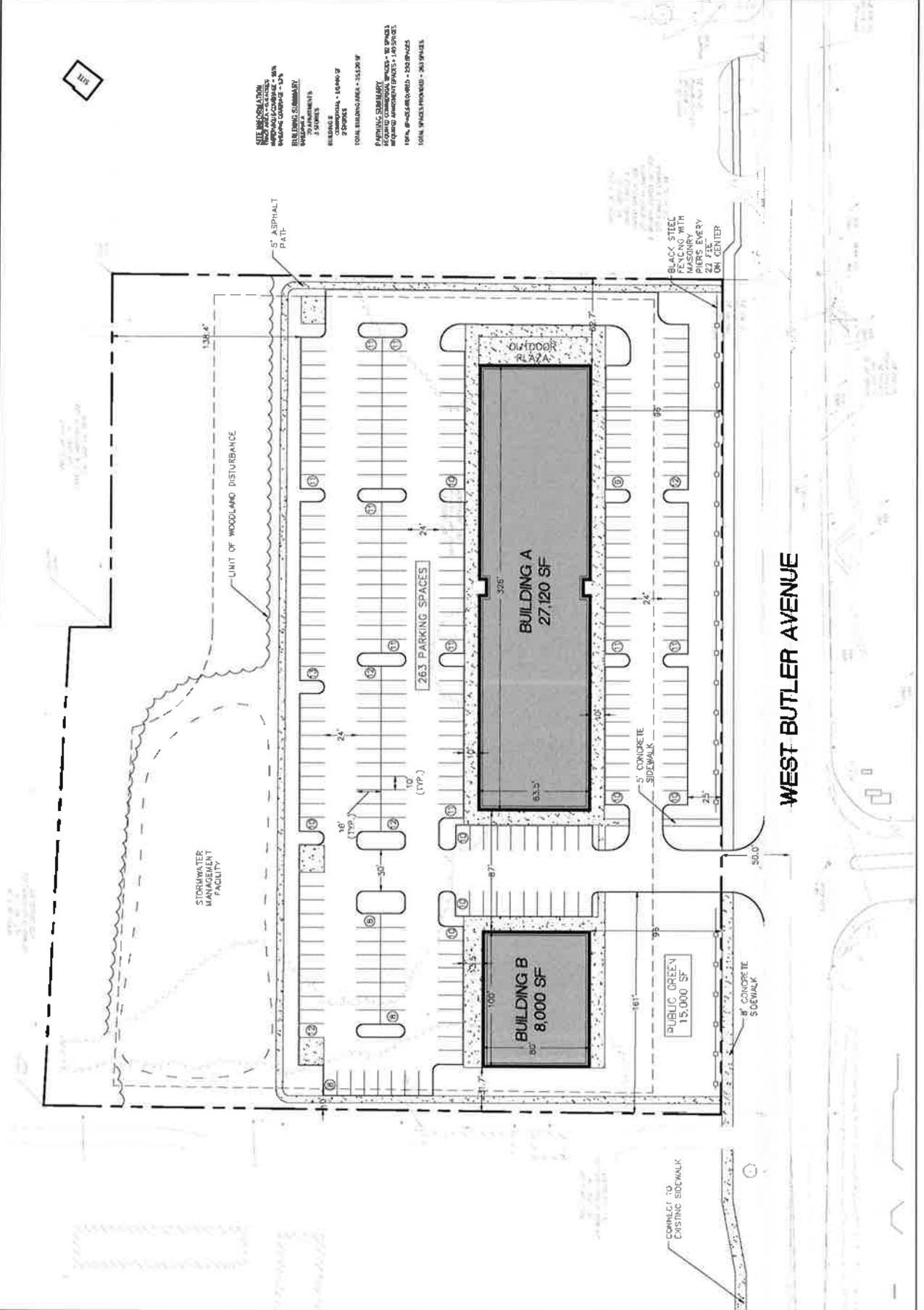
ROBERT T. GUNNHAM, P.E.
 PA PE070424

Scale: 1" = 20'
 Date: 03/24/23

Sheet 1 of 1

Project: Butler Avenue Property, CP-6

Drawing No: **CP-6**



NOTE INFORMATION
 THIS PLAN IS A SETTLEMENT PLAN AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE GROUND BEFORE CONSTRUCTION.

GENERAL NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

PERMITS SUMMARY
 ZONING PERMIT - 26.008.023
 CONSTRUCTION PERMIT - 26.008.023
 TOTAL VOLUME OF CONCRETE - 263 CUBIC YARDS

WEST BUTLER AVENUE

Exhibit "B"

List of Permitted Uses

LIST OF PERMITTED USES

A1	General Farming
A2	Crop Farming
A5	Commercial Forestry
A6	Nursery
A7	Garden Center
A8	Farm Support Facility
A11	Animal Hospital
D1	Nursery School/Day Care Center
D2	College, Primary or Secondary School
E1	Public Recreational Facility
E8	Library or Museum
I1	Medical Office
I2	Veterinary Office
I3	Professional Office
I4	Medical and Pharmaceutical Sales Office
J1	Retail Store
J3	Service Business
J4	Financial Establishments
J5	Funeral Home or Mortuary
J6	Eating Place
J7	Drive-In and Other Eating Place
J8	Tavern
J9	Indoor Entertainment
J10	Theater
J11	Indoor Athletic Club
J12	Amusement Hall or Arcade
J15	Hotel/Motel
J16	Guest House
J17	Repair Shop
J18	Laundry

J19	Service Station or Car Wash
J22	Automotive Accessories
J26	Dwelling in Combination
J27	Nonresidential Conversion
J28	Office Supplies and Equipment Sales and Services
J29	Package Delivery Services
J30	Photocopying Services
L	General Accessory Uses and Structures:
L1	Nonresidential Accessory Building
L3	Temporary Structure
L4	Temporary Community Event
L9	Off-Street Parking
L10	Sings



January 19, 2022

File No. 19-04109

Matthew West, Township Manager
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Reference: County Builders, Inc. - Preliminary LD Plan Review 1
West Butler Avenue
TMP # 26-005-023

Dear Matt:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the Preliminary Plan for the above-referenced project. Upon review by our office, we offer the following comments for consideration:

I. Submission

- A. Preliminary and Final Land Development Plans for Butler Avenue Property, as prepared by Holmes Cunningham, LLC, consisting of twenty-one (21) Sheets, dated November 30, 2021.
- B. Post Construction Stormwater Management Plan Narrative for Butler Avenue Property, as prepared by Holmes Cunningham, LLC, dated November 30, 2021.
- C. Traffic Impact Assessment for Proposed Mixed Use Development – Butler Avenue, as prepared by Heinrich & Klein Associates, Inc. dated November 29, 2021.
- D. New Britain Township Subdivision & Land Development Application dated December 7, 2021.
- E. Sewage Facilities Planning Module Mailer for Butler Avenue Mixed Use.

II. Reference Documentation

- A. Settlement Stipulation and Agreement between New Briatin Township Board of Supervisors and Butler Pike Properties, L.P., Land Use Appeal Docket No. 2021-00629 dated October 7, 2021.

III. General Information

The subject property, TMP #26-005-023, is a 7.27-acre parcel on the 400 block of West Butler Avenue (S.R.4202) within the Township's C-1 Commercial District and Butler Avenue Corridor Overlay District. The wooded lot is situated adjacent to C-1-zoned parcels to the north (Spatolas/Mavis Tire), RR/PRD-1 to the east (Highlands/Grey Friar), OP/SA-3 to the south (Chalfont Motor Lodge) and RR to the west (Cedar Hill single-family detached dwellings). The Applicant proposes I1 Medical Office, a By-Right Use, and B7 Apartment Use, which is not a permitted use within the C1 District. Related improvements include public water and sewer, 247 parking spaces, public green, fence with masonry piers and site trail. Stormwater management is proposed to be addressed with a Managed Release Concept basin at the rear of the property.

New Britain Township Board of Supervisors and Butler Pike Properties L.P. entered into a Settlement Stipulation and Agreement on October 7, 2021 which permitted the Apartment Use and included several variances and waivers.

III. Review Comments

A. Stipulated Agreement

The Stipulated Agreement was based on the “Butler Avenue Property Settlement Plan, sheet CP-6”, prepared by Holmes Cunningham Engineering, Inc, dated August 1, 2019, last revised, June 24, 2021 (“*Settlement Plan*”). Per #3 of the Stipulated Agreement, the Settlement Plan shall be deemed compliant with the Zoning Ordinance and the variances granted by the Zoning Hearing Board were confirmed and/or modified generally as follows:

- §27-300.a. – To permit more than one principal use and more than one principal structure.
- §27-3005.b.B7 - To permit the B7 Apartment Use to be developed on the Property.
- §27-1201. – To permit the B7 Apartment Use and the D1 Nursery School/Day-Care Center Use in the C-1 Commercial Zoning District.
- §27-2400.f.2. – To permit disturbance of up to 70% of woodlands on the Property with associated planting of replacement trees for disturbance beyond 60%.
- §27-2904.g.5 – To permit the paved area adjacent to the proposed buildings to be ten (10) feet from the abutting exterior walls.

We offer the following comments below related to the Stipulated agreement and Settlement Plan where the numbers referenced are as noted within the filed Stipulated Agreement:

1. Stipulated Agreement #5 – The Property Owner shall be entitled to land development approval for the residential and commercial development of the Property for the apartment and commercial use(s) upon the filing of a land development plan in substantial conformity with the “Settlement Plan”. We note the following deviations from the “Settlement Plan”:
 - a. Building B is shown as 11,500 SF on the Preliminary Plan as compared to the 8,000-SF building on the Settlement Plan. We note that the parking layout has been revised from the Settlement Plan to eliminate 10 spaces along the rear of Building B, as well as 2 spaces along the main access driveway. This results in 19 of the 66 parking spaces required for Building B being provided on the opposite side of the main access driveway.
 - b. The Stipulation #8 allows for additional commercial uses on the ground floor of the Apartment building, though no commercial uses appear to be proposed in Building A. Although not required, the BCPC recommends the applicant explore some amount of commercial spaces on the ground floor of Building A to create a more characteristic mixed-use-type development.
 - c. Based on the Apartment and Medical Office uses proposed, 206 spaces are required. The total number of parking spaces was reduced from 263 on the Settlement Plan to 247 spaces. The layout shall be revised to provide the number of parking spaces as depicted on the Settlement Plan.
 - d. The asphalt trail has been adjusted at the rear of the property through the woodlands and around the proposed stormwater facility.
 - e. The sidewalk adjacent to the two buildings were shown as 10 feet wide on the Settlement Plan, where now a 5-foot walkway is proposed. However, where parking stalls are proposed adjacent to a sidewalk or walkway, the minimum width of the sidewalk or walkway shall be increased to a minimum width of six feet. (§22-708.2.F)
2. Stipulated Agreement #9.a. – The plans depict the Butler Avenue Corridor Overlay District (BACOD) fencing as required. A Construction Detail shall be provided in accordance with §22-722.4.D.(7)(a).

3. Stipulated Agreement #9.d. – The Property Owner identifies the Public Green at the Butler Avenue frontage. However, SALDO §22-722.4.G requires green spaces to contain shrubs and trees, public benches, and some type of public amenity, such as gardens, sculptures, gazebos, or fountains. While the proposed Public Green provides 9 shade trees (3 Red Maple, 3 Sugar Maple, and 3 Scarlet Oak per Sheet 18 of 21), shrubs, benches and an amenity shall be provided as approved by the Board of Supervisors (Board).
4. Stipulated Agreement #10.a. – The plans depict the installation of a 5-foot sidewalk along the frontage of Butler Avenue from the northern and southern property lines of the Property, generally as depicted on the Settlement Plan. The proposed sidewalk along Butler Avenue shall extend through TMP# 26-5-23.2 and connect to the existing sidewalk on TMP# 26-5-23.3 to complete the accessible route in accordance with the Stipulated Agreement including all requisite curb ramps and Streetprint crosswalks in accordance with Township and PennDOT standards.
5. Stipulated Agreement #11 – The proposed development shall meet the requirements of the PADEP and New Britain Township Stormwater Management Ordinance, to the satisfaction of the Township Engineer. Comments related to compliance with the Township Stormwater Management Ordinance are provided herein.
6. Stipulated Agreement #12 – The proposed development shall meet the buffer yard requirements of the Zoning Ordinance and Township SALDO. The location of the 45-foot buffer yard shall be shown and labeled on the Record Plan for the medical office, while a 30-foot buffer yard is required for B7 Apartment Buildings. At the discretion of the Board of Supervisors, existing deciduous and coniferous trees larger than 2 inches in caliper and/or 6 feet in height located within a proposed buffer yard may be considered to meet the requirements of this section. The Applicant shall present the existing buffer trees to the Board for approval and it shall be determined if supplemental plantings are required. Every buffer yard shall be permanently protected by the placement of a conservation easement over it running with the land. (§§27-2803.a & e)
7. Stipulated Agreement #13 – The Plans shall note the following granted waivers from the provisions of the New Britain Township SALDO:
 - a. §22-505 – From providing a Community Impact Assessment Report.
 - b. §22-705.3 – From undertaking roadway widening and associated improvements along the Butler Avenue frontage, subject to such improvements as may be required under the jurisdiction of PennDOT.
 - c. §22-713.5.B(6) – From providing berm and screen plantings for a B7 Apartment Use, as to the Butler Avenue frontage only.
 - d. §22-715 – From providing park and recreation land.
 - e. §22-722 – From compliance with the Butler Avenue Overlay requirements other than those specifically required under [the Agreement] or as shown on the Settlement Plan.
8. Stipulated Agreement #15 – Additional disturbance beyond 60%, up to a maximum of 70% of the woodlands on the Property, shall be permitted, provided that the planting of replacement trees is provided for the additional disturbed area beyond 60%. The Resource Protection Calculations on Sheet 4 of 21 indicate that 31.1% of the woodlands is being protected which equates to 68.9% disturbance. Therefore, 8.9% of woodlands requires 66 replacement trees based on 0.33 acres at 200 trees per acre. We note that the the woodlands disturbance area does not consider trees that were certified as dead by an arborist. In addition, there are individual trees within the front yard that do not appear to be considered woodlands. Finally, the calculation does not include disturbance required for the perimeter asphalt trail as it's noted to be field located to avoid tree disturbance. We recommend a site meeting to determine if the existing, living trees have a continuous canopy and if the trail can be installed without disturbing the woodlands required to be protected.

9. Stipulated Agreement #15.d. – The individual planting location and the specific species of each replacement tree shall be determined by the Township. The plans propose 34 Shade Trees and 32 Ornamental Trees for a total of 66 trees per Sheet 18 of 21. It shall be clarified which plantings are proposed to satisfy the tree replacement requirement and the Board shall approve the locations and species.
10. Stipulated Agreement #16 – The date of the Settlement Stipulation and conditions #3, #4, #6, #7, #8, #13 and #14 related to variances and waivers granted, approved zoning uses for Buildings A and B, and required fees which supercede the Township code, shall be noted on the plan.

B. Zoning Ordinance

We offer the following comments with respect to the New Britain Township Zoning Ordinance:

1. §27-201 – The ratio base site area is the area definition used to calculate the impervious and building areas for the site. It shall be clarified that the coverage calculations on Sheet 4 of 21 utilize the Ratio Base Site Area.
2. §27-1202.a – No use in the C-1 Commercial District shall exceed 35 feet in height, however, apartment buildings, Use B7, are permitted to be 40 feet. The proposed building heights and maximum permitted height shall be noted on the Record Plan, Sheet 4.
3. §27-1202.b – The front, side and rear yard setback lines shall be dimensioned and labeled on the Record Plan, Sheet 4. We note that apartment buildings have separate setback requirements for the B7 Use.
4. §27-2401.c – For subdivisions and land developments, deed restrictions meeting Township specifications must be placed in the deed for each site that has natural resource protection areas within its boundaries. The restrictions shall provide for the continuance of the resource protection areas. A natural resource easement shall be designated on the plan described by metes and bounds to protect the minimum 30% of existing woodlands to remain and an Agreement prepared by the Township Solicitor.
5. The Traffic Impact Assessment (TIA) states that there will be some increase in peak hour traffic delay due to the proposed uses, however, there will be no anticipated changes in levels of service to the noted intersections, with the exception of one Level of Service drop for Highland Drive. We offer the following comments related to the TIA:
 - a. §27-2501.a.1. – The TIA shall include the number of floors and a comprehensive description of the proposed Apartment building to verify that the correct land use was applied for the trip generation calculations.
 - b. §27-2501.a.6. – All roadways and/or intersections showing a level of service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. This listing of recommended improvements shall include, but not be limited to, the following elements: internal circulation design, site access location and design, external roadway and intersection design and improvements and widenings, traffic signal installation and operation including signal timing, transit design improvements, and reduced intensities of use. All physical roadway improvements shall be shown in sketches. The recommended improvements for both roadways and transit shall include, for each improvement, the party responsible for the improvement, the cost and funding of the improvement and the completion date for the improvement.

- c. The TIA indicates turning lanes are warranted at the access driveway and two left-hand turning lanes are shown on the plans at the proposed entrance. A separate right deceleration lane is not noted to be warranted. In addition, the TIA indicates a two-way center left turn lane should be extended to the north and south of the "Low Volume Driveway". Given the other left-turn lanes in the vicinity, a center-turn lane should be considered and discussed with PennDOT from Schoolhouse Road to north of Cedar Hill Road. The HOP Plan shall be provided showing the extent of the proposed improvements as required by PennDOT, once determined.
 - d. We recommend the Applicant coordinate with Bucks County Transport regarding a designated Doylestown DART bus service stop at this development.
 - e. A Signage and Pavement Marking Plan along Butler Avenue indicating the calculated, proposed lane shift and taper lengths shall be provided. This may be deferred to the HOP phase, however, the proposed northbound striping approaching the access will need to be addressed.
6. §27-2600 – The location and details of any proposed signs for the medical office and apartment building shall be reviewed and approved by the Zoning Officer.
 7. §27-2901 – The Zoning Table shall be revised to list the number of required spaces for each use under the Required/Permitted column and the number of spaces proposed under the Proposed column.
 8. §27-2904.d.3 – Access driveways shall have a 6% maximum grade, except that the initial 20 feet from the edge of the cartway of a public street shall be a maximum of 3% grade. Based on the curb elevations on Sheet 7, it appears the initial 20 feet from the cartway may exceed 3%, while the remainder of the driveway has a slope of approximately 6.7 to 7.5%. The driveway grading shall be verified to clearly meet the minimum required driveway slopes.

C. Subdivision and Land Development Ordinance

We offer the following comments with respect to the current New Britain Township Subdivision and Land Development Ordinance:

1. §22-502.1.A.(3) – The property metes and bounds should be shown with a darker text for visibility on the Record Plan. In addition, the title line, legal and ultimate right-of-way lines, shall be clearly labeled on the Record Plan, as well as, the metes and bounds.
2. §22-502.1.A.(4) – Legal descriptions shall be submitted for the ultimate right-of-way to be dedicated to the Township (via easement), legal right-of-way to be dedicated to PennDOT, all defined easements such as biketrail and clear sight triangle easements, deed-restricted areas, such as open space or conservation easements, buffer yards, access easements, and offsite temporary construction easements. The plan shall include bearings and distances as necessary so the legal descriptions can be reviewed against the plan.
3. §22-502.1.B – A copy of the deed for the subject tract shall be submitted.
4. §22-502.1.B.(8) – The zoning classifications of the surrounding properties shall be noted on the Record Plan.
5. §22-502.1.B.(16) – Architectural sketches are encouraged to be submitted showing elevation, perspective, building materials and colors. We recommend the Applicant present renderings for the Board's review demonstrating architectural consistency between the materials, designs and styles used for the buildings, retaining walls, masonry piers/fencing, trash screens, etc.

6. §22-502.1.B.(20) – Plan notations regarding offers of dedication of public rights-of-way and improvements and plan notations for ownership and maintenance responsibilities of open space, public green, protected natural resources easements, stormwater management facilities, utilities, etc. shall be provided. The Record Plan shall include notations specifying the area between the title line and the legal to be dedicated to PennDOT and the area between the Legal and Ultimate right-of-way lines are to be dedicated to the Township.
7. §22-502.1.B.(21) – The recording certification shall be provided on the Record Plan for the Professional land surveyor.
8. §22-502.1.D.(10) – Contour lines measured at vertical intervals of two feet, as determined by an on-site field survey, not interpretation of United States Geologic Service (USGS) Maps, are required for the area within 100 feet of the tract. The plans shall indicate the benchmark elevation and the location and shall be based on the Chalfont-New Britain Township Joint Sewage Authority vertical datum. Additional topography shall be provided downstream of the level spreader, and as needed for any required emergency access or offsite improvements.
9. §22-502.1.I.(3) – Utility crossings for the water, sanitary sewer and storm pipe shall be shown on the profiles to verify adequate clearance between utility lines. Concrete encasements shall be provided as necessary.
10. §22-502.1.I.(4) – A centerline profile for the proposed access driveway shall be provided to the street intersection, showing elevations at ten-foot intervals, slope, ultimate right-way line and curb line and edge of pavement.
11. §22-502.1.J.(1) – The following comments related to the construction details shall be addressed:
 - a. The Trash Enclosure Detail shows the installation of the perimeter fence outside of the concrete pad. This would conflict with the adjacent parking spaces and curb. The detail shall be revised to clarify how the enclosure should be constructed in the proposed locations.
 - b. A detail shall be provided for the trash enclosure bollards, as applicable.
 - c. The plan includes a detail for a Vinyl Chain Link Fence. The plan shall clarify where this fence is proposed.
12. §22-704.2.A – Easements for single utility lines shall be a minimum of 20 feet. The Utility Plan shows the proposed sanitary sewer connection crossing through TMP# 26-5-23.2 to the existing manhole. In addition, the water line extends through TMP# 26-5-24 where it connects at an existing valve that appears to be within the Butler Avenue ultimate right-of-way. Both of these utility connections are between the legal and ultimate right-of-way for these adjacent properties. The Developer shall determine if the ultimate rights-of-way has been accepted for dedication or if easements will be required for the installation of these utilities across the adjacent properties.
13. §22-705. – The Applicant shall obtain a Highway Occupancy Permit (HOP) from PennDOT, for the access to Butler Avenue (SR4202). The Applicant shall copy the Township on all correspondence with PennDOT and extend an invitation to the Township for all meetings. Additionally, to facilitate the Township review of the HOP submission, the Applicant shall include Gilmore & Associates as an “Engineering Firm” on the permit application within the PennDOT ePermitting System. Though the Applicant received a waiver from road improvements, subject to PennDOT’s requirements, our office may have additional comments related to the HOP Plans once submitted. We recommend that a condition be placed on any Township Plan Approvals, that once approved, any significant changes to the plan as required by PennDOT or other outside agency be presented to the Board of Supervisors prior to construction.

14. §22-705.5.C & 13.H – A fifty-foot clear sight triangle must be provided for all driveways, measured from the point of intersection of the street right-of-way line and edge of the driveway. The site plan shall contain a notation that states that the applicant is required to maintain the area of the clear sight triangle and the Township has the right to enter and perform required maintenance in the area if deemed critical to public welfare pursuant to a Declaration of Covenants, Restrictions, and Conditions approved by the Board.
15. §22-705.6 – Minimum sight distances for stopping, passing and intersections shall comply with PennDOT standards. The required and available sight distance lines and measurements shall be shown on the plans.
16. §22-705.15.D. & §22-722 7.F.(3) – Proposed crosswalks shall have the brick red thermoplastic street imprinted with the herringbone pattern and a six-inch white line on either side. See attached details. Crosswalks on the adjacent properties shall be provided as well.
17. §22-706.2.C. – Sidewalks shall be located within a public right-of-way, public easement or common open space area. An easement should be provided for the entirety of the 5-foot-wide asphalt path through the site. In addition, easements shall be provided for the proposed public sidewalk on the adjacent properties unless it can be confirmed that the sidewalks are proposed within the public right-of-way or existing easement.
18. §22-706.3.B – All curbs and sidewalks shall provide access in accordance with accessibility guidelines. The PennDOT Curb Ramp detail provided on Sheet 5 does not appear to be applicable. The Detailed Grading Plan of the crosswalks and accessible ramps shall include additional spot elevations for the sidewalk showing a maximum 2% slope at all landing and turning areas.
19. §22-706.3.G – The extent of the detectable warning surface shall also be shown. A note specifying all curb ramps shall be provided with "brick red" detectable warning surfaces or other approved contrasting color shall be added to the detail.
20. §22-707.B.(4) – The maximum center-line grade for pedestrian walkways and recreational trails shall not exceed 8%. Based on the proposed contours, it appears the asphalt trail exceeds an 8% slope where it enters and exits the woodlands area. The grading of the trail shall be revised to 8% or less.
21. §22-707.C – The Asphalt Trail detail on Sheet 5 shall be revised to specify 2 ½ inches of 9.5mm Superpave wearing course.
22. §22-708.6.B – The grade of parking areas shall be a maximum of 5% and a minimum of 1%. The parking area behind Building B and a portion of the center aisle behind Building A have slopes which exceed 5%. The parking lot grading shall be revised as necessary to meet this requirement.
23. §22-708.6.H – Stop signs and stop bars shall be provided as necessary throughout the parking area where crosswalks are proposed and at the end of parking aisles where they intersect the main access drive. In addition, the location of all accessible parking signs shall be shown on the Record Plan.
24. §22-710.2 & 3 - All comments from the Fire Marshal's review dated January 11, 2022 shall be addressed related to fire lanes, emergency site and building access, water service, etc. Adequate access shall be provided to the Fire Marshal's satisfaction.
25. §22-711 – The following comments related to the grading design/plan shall be addressed:

- a. Detailed grading shall be provided for the proposed driveway crossings on the adjacent properties to demonstrate accessibility.
 - b. Additional spot elevations shall be provided along the driveway around the eastern corner on Building A to clarify the high point grade break.
 - c. Spot elevations shall be provided at the corners of the rear parking lot along the NW curblines.
 - d. An additional spot elevation shall be provided at the southern corner of the parking area between Buildings A and B.
 - e. The TC/BC spot elevation of 393.85 at the southern corner of Building A indicates a depressed curb and appears to be incorrect. This spot elevation shall be revised as necessary.
 - f. The inlet locations shall be provided on the Grading Plan to verify the proposed slopes to the inlets.
26. §22-711.2 – The following comments related to erosion controls shall be addressed:
- a. Prior to the installation of the parking lot curb, sediment from disturbance on the northeastern half of the site will bypass the sediment basin and runoff to the rear of the site. Measures shall be provided where necessary to direct the sediment runoff towards the sediment trap until the curb is constructed.
 - b. Additional silt sock shall be provided at the following locations:
 - 1) On the downslope side of the northern retaining wall to prevent sediment runoff onto the adjacent property.
 - 2) Along the southern property line where grading for the proposed asphalt trail will result in sediment runoff onto the adjacent property.
 - 3) Downslope of the disturbance between the parking lot and the asphalt trail to protect the area of woodlands to remain.
 - 4) Downslope of the disturbance from the sidewalk installation on the adjacent properties.
 - c. Erosion control matting shall be provided for the 3:1 slopes on the low end of the northern retaining wall.
 - d. The type of erosion control matting on the downslope side of the level spreader shall be specified.
27. §22-711.4.A – Retaining wall specifications, calculations and design details shall be approved by the Township Engineer prior to final plan approval by the Township. Design plans, specifications and details, signed and sealed by a licensed professional engineer, shall be provided. Wall style, finish and color shall be coordinated with proposed building architecture.
- In addition, the asphalt walkway is directly adjacent to the retaining wall along the southern side of the site. Fall protection fence or railing is required to be installed where there is a 30-inch or greater vertical change. A detail shall be provided for any required fence while insuring the minimum walkway width is maintained.
28. §22-711.4.C – The top or bottom edge of slopes shall be a minimum of 5 feet from property lines in order to permit normal rounding of the edge without encroaching onto the abutting property. The proposed grading and retaining wall construction will require disturbance within 5 feet of the adjacent properties. Further, improvements are required along Butler Avenue on adjacent properties. The grading shall be revised, however, if a waiver is granted, the Developer shall obtain temporary construction easements as necessary to allow access for the proposed grading and improvements.

29. §§22-712.2.B & F – The Applicant shall install stormwater management facilities, on- and offsite, as necessary to convey stormwater runoff along or through the property to a natural outfall, such as a watercourse, drainage swale, storm sewer, or other drainage facilities. If an applicant concentrates or redirects stormwater runoff to discharge at another location on the property, the applicant is responsible for constructing an adequate channel or storm sewer system on downstream properties until a natural outfall is reached. A natural outfall shall have sufficient capacity to receive stormwater without deterioration of the facility and without adversely affecting property in the watershed. Though a level spreader is proposed, there has been a history of drainage complaints in the area. Additional information shall be provided to demonstrate the downstream properties receiving stormwater runoff from the site are not adversely impacted.
30. §22-712.3.G – The calculations for the 10 minute time of concentration used for Proposed PR1 shall be provided in the PCSM Plan Narrative. We note that the time of concentration path for Proposed PR1 shown on the Post Development Drainage Area Map does not appear consistent with the proposed storm sewer layout.
31. §22-712.4.G – All basin outlet pipes shall be watertight reinforced concrete having "O-Ring" joints. The plan shall specify O-ring RCP for the pipe between the basin outlet structure and the level spreader.
32. §22-712.4.H – The spillway elevation on the Basin Spillway Detail on Sheet 17 shall be coordinated with the spot elevations shown on the plans and report.
33. §22-712.4.L – The inlet grate shall only be used as an emergency outflow and the grate elevation shall be equal to or higher than the one-hundred-year water surface elevation, but at least six inches below the emergency spillway elevation. The outlet structure grate elevation of 384.42 is lower than the 100-year water elevation of 384.66. The outlet structure shall be revised to provide a grate elevation equal to or higher than the 100-year water surface elevation.
34. §22-712.4.N – Detention basins shall be installed before the construction of any buildings or site improvements, unless otherwise approved by the Board and the Bucks County Conservation District. A preliminary basin as-built plan must be submitted and approved by the Township Engineer prior to beginning any building construction to confirm that the constructed volumes are in accordance with the design plans. A note requiring this shall be included on the record plan and in the sequence of construction.
35. §§22-712.6 & 8 – The following comments related to the storm structures shall be addressed:
 - a. The inverts of the roof drain connections should be included for the inlet construction.
 - b. The plan and profiles shall specify the type of inlet and inlet top.
 - c. Cleanouts shall be provided for the basin underdrain and the level spreader distribution pipe.
36. §§22-712.6.E & 712.12 – At least one inlet shall be required at the curb tangent on the upstream side of all access drive intersections with public roadways. A culvert or storm sewer shall be provided for all access drives.
37. §22-712.8.B – A Type "DW" endwall shall be provided at the termination of all storm sewer systems. DW endwalls shall be provided at the outlet pipes into the basin.
38. §22-712.13.C.(1) – The BMP Maintenance Plan on Sheet 17 shall be revised as necessary to clarify the ownership and maintenance responsibilities of the stormwater management facilities and storm sewer conveyance system.
39. §22-712.13.D. – A fee is required to maintain the stormwater management facilities located within public right-of-way or any easement owned by the Township.
40. §22-713. – The following issues related to the Landscape Plan should be addressed:

- a. There are multiple locations where proposed plantings are in close proximity to underground utilities. We recommend a minimum distance of 10 feet be provided between proposed plantings and utilities.
 - b. The Plant Schedule provided on Sheet 18 of 21 Landscape Plan indicates a quantity of 90 Scallywag Holly, whereas the plan shows 97. The plan and schedule shall be coordinated.
 - c. The Golden Rain Tree species shall be replaced with an alternate species due to this being on the DCNR invasive plant "Watch" list.
41. §22-713.3.D. – The placement of light standards shall be coordinated with the landscape plan to avoid conflicts. We recommend a minimum distance of 10 feet be provided between proposed plantings and light fixtures. For instance, it appears that a proposed tree in the Public Green area is in close proximity to a proposed light fixture.
 42. §22-713.5.B.(1) – One deciduous or evergreen shrub shall be planted every five feet along the perimeter of the parking area. We note that 16 shrubs are required along the southern property boundary and 16 shrubs are provided, whereas the proposed spacing does not provide an effective buffer due to a 20-foot gap in the plantings. Shrubs shall be placed five feet on center in a continuous hedge.
 43. §22-713.5.B.(2) – This section requires, at a minimum, a 6-foot wooden shadow-box fence with a staggered row of evergreen trees be provided at 10-foot spacings to screen from trash areas. We note that the Trash Enclosure Detail provided on Sheet 5 of 21 Site Construction Details indicates that a board on board fence OR a black vinyl chain link fence with privacy slats will be utilized. The proposed screening shall be provide in accordance with the Ordinance and clarified and detailed on Sheet 5 of 21, Site Construction Details.
 44. §§22-714.2 & 7 – Pedestrian scaled lighting shall be positioned along on-site walks and trails such that lighting levels along them maintain a consistent 0.2 footcandle. No lighting is proposed along the front of Building B, within the public green, and the associated walkway is not adequately illuminated. Lighting shall be provided for the areas and walkways open to the general public and multifamily residents.
 45. §22-714.4.B. – Light standards shall be a maximum of 20 feet in height, and have a concrete base raised 30 inches above finished grade. The Light Pole Foundation Detail on Sheet 20 notes that the foundation for fixture 'B' extends 30 inches above finished pavement. This shall also be specified for fixture 'A' which is directly behind the curb and could be damaged by vehicles pulling into the adjacent parking spaces.
 46. §22-714.4.C. – Light standards shall be located in planting islands or planting strips within parking areas, not installed directly on the parking area surface. Several of the light standards at the rear of Buildings A and B are located directly on the parking surface and shall be relocated.
 47. §22-714.7. – The Statistics chart provided on Sheet 19 of 21 Lighting Plan indicates a Max/Min ratio of 21.5:1 and a Avg/Min ratio of 7.5:1 for the Main Parking Area. Current IES guidelines recommend a Max/Min ratio no greater than 20:1 and the Township of New Britain Subdivision and Land Development Ordinance specifies a Avg/Min ratio no greater than 4:1. Lighting shall be revised to comply with current recommended guidelines and Ordinance.
 48. §22-716.2.C. – Concrete monuments shall be shown on the Record Plan at the intersections of the Ultimate right-of-way with the property lines and at any changes in direction.
 49. §22-718 – Correspondence shall be submitted from North Wales Water Authority indicating that they have adequate water supply to service the proposed apartment building and medical office. In addition, approval and service agreements shall be provided for the proposed connections.

50. §22-720 – We note that a Sewage Planning Module Application Mailer has been submitted. Unless DEP indicates a full Planning Module is not required, a completed PADEP Sewage Facilities Planning Module shall accompany the subsequent preliminary plan application. Prior to submitting the planning module to the Township for approval, the planning module shall have been executed by the applicant, responsible engineer, CNBJSA, Department of Health and Bucks County Planning Commission. A Sewage Facilities Planning Module shall be approved by the Township, Authority, and PADEP prior to final plan approval by the Township. A copy of the “Will-Serve” letter and approved sewer agreement, shall be submitted to the Township and our office prior to plan recording.
51. §22-905.1.A - The Applicant is responsible for any other required reviews, approvals, permits, etc. (i.e., BCPC, BCCD, PADEP, PennDOT, CNBJSA, Fire Marshal, North Wales Water Authority, Aqua, Township Road Opening Permit, etc.) as applicable.

D. Stormwater Management Ordinance

The design uses the Managed Release Concept (MRC) for the stormwater facility which impounds the 1.2-inch/2-hour storm for vegetation, filters the runoff through a soil media, infiltrates into undisturbed soils to the extent possible, with stormwater released through an underdrain.

1. §26-123.2 – The proposed design utilizes the MRC developed by PADEP to meet the volume control requirement which is permitted for situations where infiltration is infeasible. We note that the proposed managed release concept is subject to PADEP approval.
2. §26-123.C.(6) – A soils evaluation of the project site shall be required to determine the suitability of infiltration facilities. All regulated activities are required to perform a detailed soils evaluation by a qualified design professional which at minimum address soil permeability, depth to bedrock, and subgrade stability. The PCSM report notes that infiltration tests were not conducted based on the soil maps. A soils evaluation must still be completed to verify infiltration is not feasible before proposing to use the managed release concept. In addition, test pits shall be completed to determine the depth to restrictive features, such as bedrock or groundwater which could effect the design and constructability of the managed release concept basin.
3. §26-125.2 & §22-712.3.B – Stormwater runoff peak discharges from all development sites with a drainage area greater than one acre shall be calculated using a generally accepted calculation technique that is based on the NRCS Soil Cover Complex Method. The peak rates provided in the PCSM report were calculated using the Dekalb Rational Method. Based on a disturbance area of 6.35 acres, the peak rates shall be calculated using the SCS method. We defer review of the remaining analysis until the stormwater report is updated to utilize the correct method.
4. §26-162.3.D – A statement, signed by the facility owner, acknowledging that the stormwater facilities and BMPs are fixtures that can be altered or removed only after approval by the municipality, shall be added to the plan.
5. §26-164.1 – The Applicant shall sign an Operation and Maintenance (O&M) agreement with the municipality covering all stormwater and storm sewer facilities and BMPs that are to be privately owned. The O&M agreement shall be transferred with transfer of ownership and shall be prepared by the Township Solicitor.
6. §26-165.2 – The owner must provide the municipal easements to perform inspections and maintenance for stormwater runoff conveyance, detention, etc. We recommend a blanket easement be provided via a note on the plan and within the O&M Agreement.

7. Township Resolution #2022-03 – The Applicant will be required to pay a fee for the proposed onsite BMP to provide a financial guarantee for the timely installation, proper construction and continued maintenance by the owner of the subject property. The fee shall be 5% of the total construction cost of the proposed BMP. The Applicant's professional shall submit a cost estimate once the design is finalized.

Considering the extent of the required plan revisions identified in this letter, we may have additional comments upon resubmission by the Applicant and upon review of the final plan requirements. In order to help expedite the review process of the resubmission of the plan, the Applicant shall submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments shall also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



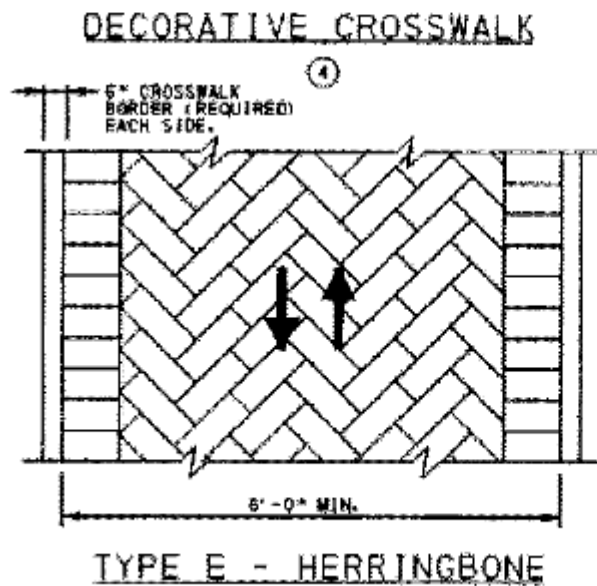
Janene Marchand, P.E.,
Gilmore & Associates, Inc.

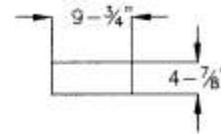
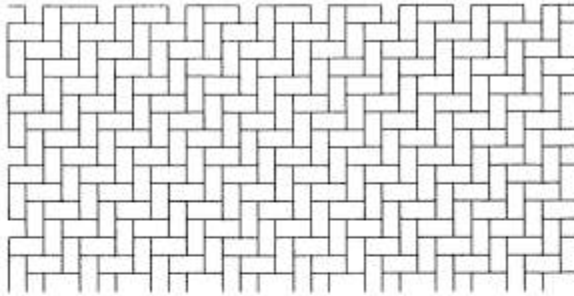
JM/tw/sl

Attachments (Streetprint Crosswalk Detail)

cc: Michael Walsh, Assistant Manager
Ryan Gehman, Assistant Planning and Zoning Officer
Randy Teschner, Fire Marshall
Peter Nelson, Esq., Grim, Biehn & Thatcher
Kevin Reilly, County Builders, Inc., Applicant
Kellie A. McGowan, Eastburn and Gray
Robert T. Cunningham, P.E., Holmes Cunningham, LLC.
John Schmidt, CNBTJSA
Robert C. Bender, North Wales Water Authority
Craig D. Kennard, P.E., C.O.O, Gilmore & Associates, Inc.
Damon Drummond, P.E., Gilmore & Associates, Inc.

Pedestrian crosswalks in public streets, internal streets, drives, and parking areas shall be distinguished from asphalt driving surfaces through the use of maroon-colored Streetprint asphalt imprinted textured crosswalks, or an appropriate alternative approved by the Board of Supervisors. The use of this distinguishing material is to enhance pedestrian safety and comfort, as well as, the attractiveness of the crosswalks. These crosswalks shall be at least as wide as the sidewalks/walkways to which they connect and shall match the following illustration.





INDIVIDUAL "BRICK" IN PATTERN

"STREETPRINT" STANDARD HERRINGBONE PATTERN

NOTES:

1. STREETPRINT PATTERN MAY BE SET INTO PAVEMENT EITHER AT THE TIME SURFACE COURSE IS LAYED AND STILL HOT OR AFTER THE WEARING COURSE HAS BEEN GIVEN TIME TO SET, WHEREBY THE CROSSWALK SECTION WOULD BE REHEATED AND THE PATTERN IMPRINTED INTO THE PAVING. CONTRACTOR SHALL CONSULT WITH STREETPRINT FOR SPECIFIC REQUIREMENTS AND COORDINATE WITH TOWNSHIP ENGINEER FOR INSPECTION PURPOSES.
2. EXISTING PAVEMENT AT MANOR DRIVE CROSSINGS ARE TO BE MILLED AND OVERLAYED WITH A NEW WEARING COURSE. STREETPRINT PATTERN WILL BE SET INTO THE NEW OVERLAY COURSE. PLACEMENT OF THE PATTERN MAY BE AT PLACEMENT OF THE WEARING COURSE OR REHEATED AFTER A TIME PERIOD THE NEW WEARING COURSE IS ALLOWED TO SET. THE EXISTING PAVEMENT MAY BE REHEATED AS AN ALTERNATE, PROVIDED THE MANUFACTURER DETERMINES THIS IS FEASIBLE FOR THE EXISTING PAVEMENT CONDITIONS ON MANOR DRIVE.
3. STREETPRINT CONTACT: PHONE 1-800-688-5652
WEBSITE: www.streetprint.com
4. A STANDARD STREETPRINT COLOR SHALL BE USED FOR THE COLORATION OF THE CROSSWALK. COLOR SAMPLES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL.

"STREETPRINT" ASPHALT IMPRINTED TEXTURED CROSSWALKS

NOT TO SCALE



The Almshouse Neshaminy Manor Center 1260 Almshouse Road
Doylestown, Pennsylvania 18901 215.345.3400 FAX 215.345.3886
E-mail: planningcommission@buckscounty.org

PLANNING COMMISSION:

Tom Tosti, *Chairman*
Richard Donovan, *Vice Chairman*
Thomas J. Jennings, Esq., *Secretary*

James J. Keenan
James E. Miller, Jr.
David R. Nyman
Judith J. Reiss
Edward J. Tokmajian
Walter S. Wydro

Evan J. Stone
Executive Director

MEMORANDUM

To: New Britain Township Board of Supervisors
New Britain Township Planning Commission

From: Staff of the Bucks County Planning Commission

Date: January 18, 2022

Subject: BCPC #9134-C
Preliminary Plan of Land Development for Butler Avenue Mixed Use
TMP #26-5-23
Applicant: Butler Pike Properties, LP
Owner: Same
Plan Dated: November 30, 2021
Date Received: December 22, 2021

This proposal has been reviewed by the Bucks County Planning Commission professional staff, which prepared the following comments in accordance with the Pennsylvania Municipalities Planning Code (Section 502).

GENERAL INFORMATION

Proposal: Construct two structures on a 7.27-acre lot. The first structure (Building A) has a proposed footprint of 27,120 square feet and includes 70 apartment units. The second structure (Building B) has a proposed footprint of 11,500 square feet and includes a medical office. Both structures are proposed to be served by public water and public sewer.

Location: Along the northwest side of West Butler Avenue, approximately 800 feet northeast of its intersection with Schoolhouse Road.

Zoning: The C-1 Commercial District does not permit Use B7 Apartment. The C-1 District permits Use I1 Medical Office on lots of at least 1 acre with minimum yards of 40 feet, 15 feet, and 30 feet, for front, side, and rear yards, respectively.

The site is subject to a Settlement Stipulation and Agreement dated October 7, 2021. The agreement includes land development terms and conditions pertaining to allowing more than one principal use and more than one principal structure on the site. Various terms and conditions are specified for amenities, off-site improvements, fee-in-lieu of recreation lands, and woodlands disturbance.

Present Use: Vacant



COMMENTS

1. **Settlement Stipulation and Agreement, Ground floor commercial**—The Settlement Stipulation and Agreement outlines the terms of agreement for the mixed-use development proposed on the site and requires substantial conformity with the plan entitled “Butler Avenue Property Settlement Plan, sheet CP-6,” which is included as Appendix “A” in the agreement. Paragraph 8. of the agreement states that a portion of the ground floor of Building A may also be used for commercial use. The proposed plan does not appear to include such a use for Building A.

Mixed-use development, in its truest sense, features multiple uses within the same structure. This configuration also better aligns with the idea that concentrated mixed-use development patterns can promote non-vehicular travel, and can serve as a foundation for placemaking, a strategy outlined in the DVRPC report *Butler Avenue Revitalization Strategies* (DVRPC, 2009). For this reason, we recommend the applicant explore the inclusion of some amount of commercial space on the ground floor of Building A.

2. **Granted waivers**—The Settlement Stipulation and Agreement indicates that the township and property owner agree that the applicant be entitled to the granting of waivers from the following subdivision and land development ordinance (SALDO) requirements:

Section 22-505

from providing a Community Impact Assessment Report

Section 22-705.3.

from undertaking roadway widening and associated improvements along the Butler Avenue frontage

Section 22-715

from providing park and recreation land

Section 22-722

from compliance with most of the Butler Avenue Overlay requirements

The final plan should note all granted waivers.

3. **Parking allotment**—The amount of parking spaces shown on the plan (247) does not match that which is shown as proposed within the zoning table (206). This discrepancy should be corrected.

Additionally, while we recognize that Section 27.2901 of the zoning ordinance specifies two parking spaces per dwelling unit for apartment units of 1 to 3 bedrooms, we are skeptical that this amount in its entirety is necessary. We recommend that consideration be given to reducing the amount of provided parking to align with a recent study published by the Delaware Valley Regional Planning Commission (DVRPC)¹. The study estimates vehicles per household in comparable communities to be 0.90 for Studio/1-bedroom apartments, 1.39 for 2-bedroom apartments, and 1.61 for 3-bedroom apartments. The area’s access to public transportation options (Doylestown DART and SEPTA Regional Rail) also supports an anticipated reduction in vehicle trip generation rates resulting from higher transit-accessibility. A reduction in parking area can also help reduce impervious coverage, optimize site development, and create more area for public space and amenities.

¹ Multifamily Housing Research Summary (DVRPC, October 2018).

https://www.dvrpc.org/SmartGrowth/Multifamily/pdf/DVPRC_Multifamily-Housing-Research-Summary.pdf

The zoning ordinance allows for the consideration of a conditional reduction in off-street parking under the process outlined in Section 27.2903.b. We strongly recommend the applicant and township consider the possibility of a reduction in parking area for the reasons mentioned above.

4. **Doylestown DART coordination**—We note that this site is situated along an existing service route of the Doylestown DART. The proposed residential and medical office uses will greatly benefit from this access to public transportation; however, to maximize the usage of this service, we recommend the applicant coordinate with Bucks County Transport, the agency that operates the DART. Specifically, we recommend seeking the provision of signage and a designated stop in front of this proposed development.
5. **Landscape plan**
 - a. **Registered landscape architect**—We recommend that the landscape plan be prepared, signed, and sealed by a registered landscape architect licensed in the state of Pennsylvania.
 - b. **Golden rain tree**—The plan proposes six golden rain trees (*Koelreuteria paniculata*) within the parking area. We note that this is a weak wooded tree and can create a significant amount of seed and leaf litter. Given the proposed location within a parking area, we recommend the applicant explore an alternative species.
 - c. **Oak trees**—As part of the overall landscaping for the site, the landscape plan proposes 24 oak trees consisting of white oaks, swamp white oaks, scarlet oaks, pin oaks, and shumard oaks. Oak trees, while typically a good native tree for plantings, are subject to bacterial leaf scorch which is an infectious chronic disease that is affecting several species of oaks in southeastern Pennsylvania.² Municipal officials should monitor planting plans to ensure that oaks are not overplanted, to avoid the risk of infection and eventual loss of these trees.
6. **Sewage facilities**—The applicant must submit a Sewage Facilities Planning Module Application Mailer to the Pennsylvania Department of Environmental Protection (PaDEP) to determine if an Act 537 Planning Module must be submitted for this proposed land development.

This review will be included in the Bucks County Planning Commission board materials for the February 2, 2022, meeting. It is not necessary for you to attend this meeting, but you are welcome to do so and to offer comments on the proposal to the BCPC board and staff.

In order that we may be more aware of your concerns, please send us a copy of all municipal decisions sent to this applicant.

JS:emh

cc: Kevin Reilly, Butler Pike Properties, LP (via email)
Robert Cunningham, PE, Holmes Cunningham Engineering (via email)
Janene Marchand, PE, Gilmore & Associates, Township Engineer (via email)
Matt West, Township Manager (via email)
Vince Volpe, Executive Director, Bucks County Transport (via email)
Lou White, Doylestown DART Committee (via email)

² <https://extension.psu.edu/bacterial-leaf-scorch>



Township of New Britain

Office of Fire Marshal
Office of Code Enforcement

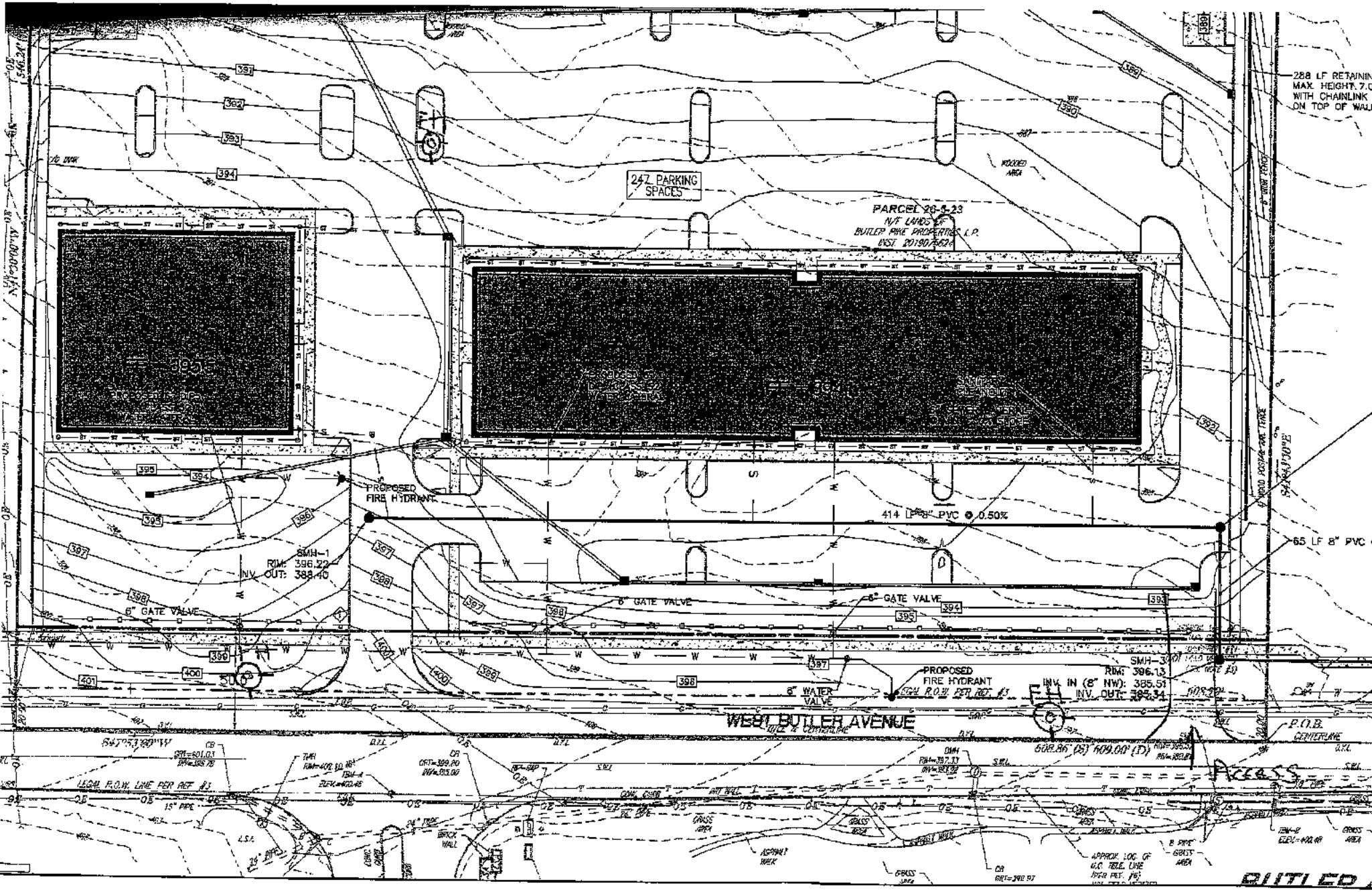
January 11, 2022

RE: Fire Marshal review Butler Avenue Property T.P. # 26005-023

Review By: Randal J. Teschner Fire Marshal, Code Enforcement Officer

The following is a list of items to be addressed:

1. A second Entrance needs to be added. This could be an emergency access located on the east end of property by Spatolas Pizza
2. There should be three hydrants added to plans (see map)
 - a. One west side of main drive
 - b. One west side of second entrance
 - c. One in rear of large building located on island main entrance drive
3. The water line on west butler should be 12 inches
4. Show all water services to building.
5. Supply a plan showing that ladder truck can make turns in the parking lot around the building.



247 PARKING SPACES

PARCEL 20-5-23
N.T. LANDS
BUTLER PARK PROPERTIES L.P.
INSE. 20197-2024

288 LF RETAINING
MAX. HEIGHT: 7.0±
WITH CHAINLINK F
ON TOP OF WALL

65 LF 8" PVC @

WEST BUTLER AVENUE
LINE & CENTERLINE

DITLED

MEETING MINUTES

August 24, 2021

7:00 p.m.

A Meeting of the New Britain Township Planning Commission was held on August 24, 2021, at the Township Administration Building, 207 Park Avenue, New Britain Township, PA beginning at 7:00 p.m. In attendance were Chair Stephanie Shortall, members Theresa Rizzo Grimes, Deborah Rendon, and Alfred Tocci. Absent from the meeting was Vice Chair Marco Tustanowsky, members Michelle Martin, and Gregory Hood. Township Zoning Officer Kelsey Harris, and Craig Kennard, P.E., Township Engineer, were also in attendance.

1. Approval of Minutes:

1.1 Minutes of June 22, 2021 Planning Commission Meeting:

MOTION: Upon motion of Ms. Rendon, seconded by Mr. Tocci, the June 22, 2021 meeting minutes were unanimously approved.

2. Labrozzi Property- 123 Creek Road- Informal Sketch Plan Discussion

2.1 Mr. David Labrozzi presented a conceptual sketch plan of a minor residential subdivision. Mr. Labrozzi owns the property at 123 Creek Road. The property is currently improved with a single family detached dwelling, which Mr. Labrozzi and his family reside in. The property is 16.9 acres, and the sketch plan proposes to subdivide a 2.377-acre lot for his daughter and family to reside. Mr. Labrozzi stated that he is currently working with Nave Newell Engineering to survey the land and prepare his plans and is speaking with builders for the construction of the new dwelling. Ms. Grimes inquired about the location of the creek and if there would be disturbance to the natural resources. Mr. Labrozzi stated that there will be no disturbance within the natural resource area, except he plans to build a small bridge to connect the two properties. Mr. Kennard stated that the property has a conservation easement and that the area proposed to be subdivided appears to have been left out of the easement for the purpose of this proposal. Mr. Labrozzi stated that he will work closely with his engineers and decide how to proceed with the project. The Planning Commission had no additional comments at this time.

3. Lohin Property- Township Line and Walters Roads, Prelim/Final Major 7-Lot Subdivision Review

3.1 Mr. Todd Savarese, Esq., of Savarese Law Offices and Rachel Butch, P.E. of R.L. Showalter & Associates, presented a revised preliminary/final plan on behalf of the Applicant, Mr. Michael Lohin, for the property located at Township Line Road and Walters Road, Tax Map Parcel Number 26-001-043. Mr. Savarese provided a history of the project, which has undergone several revisions since its original submittal. The Applicant attended a public meeting on May 28, 2019, where the Planning Commission approved a motion to recommend approval of a 4-lot residential subdivision with on-lot septic and well systems. The plan now proposes connection to public sewer with Hilltown Township Water and Sewer Authority and is now 7-lots. The property is currently unimproved, with frontage on Township Line Road and Walters Road. The property is a total of 20.25 acres. The current plan proposes two (2) residential lots with direct access to Township Line Road, and five (5) residential lots to take access to a proposed cul-de-sac street.

Ms. Butch reviewed the Gilmore & Associate's review letter dated August 11, 2021. She stated that most of the review items would be complied with. Waivers are being requested for the remaining items listed in the letter. Ms. Butch and Mr. Savarese confirmed that an HOA would be established to maintain the proposed stormwater management facilities. Mr. Savarese stated that the Applicant would like to dedicate the proposed cul-de-sac road to New Britain Township. Mr. Kennard stated that he did not believe the Township would be interested in accepting dedication. Ms. Butch stated that a total of 7.336 acres are proposed to be conserved. Ms. Butch stated that the items they are specifically seeking recommendations for are pertaining to the requirement for streetlights, curbing and sidewalks, and road improvements.

Ms. Butch explained that the Applicant is proposing individual driveway lamps in exchange for a waiver of requiring several streetlights. She stated that the Applicant is willing to provide milling and overlay to Township Line Road, if the Township feels it's necessary, in exchange for a waiver of road widening and has agreed to remediate an existing stormwater issue stemming from a development in Hilltown Township. Additionally, the Applicant is proposing to provide curbing within the proposed cul-de-sac and a partial sidewalk for use of the community in exchange for a waiver to provide such along Township Line and Walters Roads.

After discussion of these topics, Ms. Shortall called for a motion to be made for their recommendations.

MOTION: Upon motion of Ms. Rendon, seconded by Mr. Tocci, and unanimously carried, the project is recommended for preliminary/final plan approval conditioned upon the following: compliance with the Gilmore & Associate's review letter dated August 11, 2021; compliance with the Fire Marshal review dated August 23, 2021. The following waivers are recommended for approval:

§22-502.1.(1), to permit a plan to scale at 1" = 60', whereas a scale no great than 1" = 50' is required; §22-502.D, to exclude existing features within 100 feet of the property boundary to be shown on the plan. An aerial map with the pertinent information has been provided; §22-703.4.A.(4), to allow for a lot depth that is 3.2 times its width for Lots 3 and 4 where any lot depth is not permitted to exceed 3 times its width; §22-705.3.A,C&G, to waive the requirement for road widening and improvements along Township Line Road and Walters Road *with the condition that milling and overlay be proposed for the full length of the Township Line Road frontage and the intersection of Walters Road along with the proposed storm sewer improvements subject to Public Works and the Township Engineer confirming the need for such improvements*; §22-706 to fully waive the requirements for curbing and sidewalks, *whereas the Applicant requested a partial waiver and proposed to provide curbing and sidewalks only to the interior proposed cul-de-sac, the Planning Commission recommends no sidewalks or curbing be provided*; §22-716.2 to allow iron pins instead of concrete monuments along the property lines that are not along the ultimate right-of-way nor along the shared access easement; §22-714.3.A.(1) to waive the requirement to provide street lights, *whereas the Applicant is proposing individual driveway lamps in-lieu of street lights, the Planning Commission recommends no lighting be proposed*; §22-710.2, to waive the requirement to install a fire hydrant since public water service is not available; §22-710.4.A, to waive the requirement to provide a separate emergency access to the cul-de-sac; and §22-403 to permit a combined preliminary/final plan approval, *conditioned upon the plan receiving approval in accordance with the recommendations as presented by this motion, otherwise, a*

preliminary plan approval should be re-reviewed by the Planning Commission prior to final plan approval.

III. Public Comment.

There were no public comments made.

IV. Adjournment

MOTION: A motion was made by Ms. Grimes, seconded by Mr. Tocci, and unanimously carried to adjourn the August 24, 2021 meeting at 8:20 p.m.

Respectfully Submitted,

Stephanie Shortall, Chair

Kelsey Harris, Zoning Officer

DRAFT