



New Britain Township Board of Supervisors

Business Meeting

Monday, September 23, 2024

7:00 PM – Business Meeting

Agenda

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Chair Comments**
 - A. The board met in Executive Session before this meeting to discuss personnel and litigation matters.
4. **Motion to Consider Consent Agenda**
 - A. Approve Minutes of September 9, 2024, Board of Supervisors Meeting.
 - B. Approve Regular Bill List as Follows:
 - Dated September 18, 2024, In the amount of \$219,789.04
 - C. Approve Prepaid Bill List as Follows:
 - Dated September 11, 2024, In the amount of \$161,314.54.
 - Dated September 18, 2024, In the amount of \$5,771.39.
 - D. Approve Escrow Release #8 (Final) for 160 New Britain Boulevard (Mode Transportation/Blue Bus Holdings, LLC) in the amount of \$188,134.14.
5. **Action Items**
 - A. Consider a motion to accept and approve Resolution 2024-14 2025 Police & Non-Uniform Pension MMO's.
 - B. Consider a motion to approve the Salt Bid award recommendation.
6. **Information Items**
 - A. Departmental Reports
 - B. Engineer's Report
 - PEC & EAC Ordinance Recommendations
 - C. Board of Supervisor's Comment
7. **Public Comment**
8. **Announcements**
 - A. Planning Commission Meeting – Tuesday September 24th at 7pm
 - B. Environmental Advisory Council Meeting – Wednesday October 2nd at 7pm.
 - C. Neighboring Event- New Britain Borough- 50th Anniversary of Wilma Quinlan Nature Preserve
9. **Adjournment**

*The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, October 7, 2024, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. Agenda and meeting materials are posted to the Township website prior to the meeting date at www.newbritaintownship.org.*

**BOARD OF SUPERVISORS
MEETING MINUTES
September 9, 2024**

The Board of Supervisors Meeting of New Britain Township was held on Monday, September 9, 2024, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones- Chair, MaryBeth McCabe – Vice-Chair, Bill Jones, Stephanie Shortall, and Bridget Kunakorn. Also present were Dan Fox- Township Manager, Craig Kennard - Township Engineer, Chief Richard Clowser, Scott Holbert - Township Solicitor, and Alexandria Mullin - Executive Administrative Assistant.

1. **Call to Order:** Cynthia Jones called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance:** Cynthia Jones led the Board and public in the Pledge of Allegiance.
3. **Chair Comments** Cynthia Jones stated that the Board met in Executive session, prior to this meeting, to discuss personnel matters and litigation items.
4. **Presentations/ Public Hearings/ Land Development**
 - A. Pennsylvania Law Enforcement Accreditation Presentation

James Adams, the Accreditation Program Coordinator, presented the certification to Chief Clowser on behalf of the New Britain Township Police Department.

Chief Clowser welcomed members of the Police Department to congratulate them on the achievement and thank them for their hard work during this process.

- B. Appointment and Administration of Oath of Office for Entry Level Police Officer

Bill Jones motioned to follow Chief Clowser's recommendation to swear in Officer Kilroy. Seconded by MaryBeth McCabe.

All voted aye, motion carried 5-0.

MDJ Regina Armitage administered the Oath of Office with Officer Kilroy, swearing him in as an Entry level Police Officer to the New Britain Township Police Department.

5. Motion to Consider Consent Agenda

Stephanie Shortall moved, seconded by Marybeth McCabe, to approve the Consent Agenda:

- A. Approve Minutes of August 05, 2024, Board of Supervisors Meeting.
- B. Approve Regular Bill List as Follows:
 - Dated August 21, 2024, In the amount of \$96,348.66.
 - Dated September 4, 2024, In the amount of \$55,266.76.
- C. Approve Prepaid Bill List as Follows:
 - Dated August 8, 2024, In the amount of \$85,735.23.
 - Dated August 14, 2024, In the amount of \$15,221.36
 - Dated August 21, 2024, In the amount of \$1,947.07
 - Dated August 29, 2024, In the amount of \$112,073.42
 - Dated September 4, 2024, In the amount of \$9,915.76
- D. Approve Escrow Release #2 for 409 West Butler Avenue (County Line Builders) in the amount of \$287,815.00
- E. Approve Contractors Application for Payment #2 for Brittany Farms Streambank Stabilization Project in the amount of \$69,319.00.
- F. Approve Change Order #1 for Brittany Farms Streambank Stabilization Project - Contract Extension until November 15th.

There were no public comments.

All voted aye, motion carried 5-0.

6. Action Items

- A. Consider a motion to accept and approve the Portable Lighting Equipment Use Agreement for Pennsylvania Rush Soccer Club at West Branch Park.

Bill Jones motioned to approve the use agreement. Seconded by Bridget Kunakorn.

There were no public comments.

All voted aye, motion carried 5-0.

- B. Consider a motion to approve the outline and project schedule for Township website enhancement.

Bill Jones motioned to approve the outline with the condition that the project move along as fast as possible. Seconded by Bridget Kunakorn.

Alexandria Mullin stated that the project will need a committee formed between staff and supervisors to start and then we can begin finding vendors and streamlining the process of a redesign.

There were no public comments.

All voted aye, motion carried 5-0.

7. Information Items

- A. Departmental Reports
- B. Engineer's Report
- C. Board of Supervisor's Comment

The supervisors expressed excitement over the upcoming Fall Festival and encouraged the public to attend and volunteer.

MaryBeth McCabe and Bill Jones commended Chief Clowser on his hard work and dedication to the department.

Stephanie Shortall echoed the same sentiment and wanted to thank Bridget and the Veterans Committee for their hard work in putting together the Fall Festival.

8. Public Comment

9. Announcements

Budget Workshop #1 – Tuesday September 17th at 8:30am
Park & Rec Meeting – Tuesday September 17th at 7pm.
Veteran's Committee Meeting – Wednesday September 18th at 6pm
Zoning Hearing Board Meeting – Thursday September 19th at 7pm

The next meeting of the Board of Supervisors of New Britain Township will take place on **Monday, September 23, 2024, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA.

10. Adjournment

Stephanie Shortall moved, seconded by Bill Jones, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:33 pm.

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

Cynthia M. Jones, Chair

MaryBeth McCabe, Vice-Chair

William B. Jones, III, Member

Attest: _____
Dan Fox, Township Manager

Stephanie Shortall, Member

Bridget Kunakorn, Member



MEMO

TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: September 18, 2024
SUBJECT: Schedule of Bills - Regular

Approve regular bills list dated September 18, 2024, in the amount of \$219,789.04.

Attest: _____

Date: _____

Vendor #	Name	PO #	PO Date	Description	Amount	Charge Account	Contract	PO Type	Acct Type	Description	Stat/Chk	Enc Date	First Rcvd	Chk/Void	1099	
Item	Description											Date	Date	Date	Invoice	Excl
GILM0010	GILMORE & ASSOCIATES INC.			Continued												
24001274	09/10/24 ENGINEERING EXPENSES			Continued												
	Tracking Id: 16-0300-00 NAPLIN SUBDIVISION AND LAND DEVELOPMENT															
3	ENGINEERING EXPENSES			175.00		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409259	N
	Tracking Id: 2023-13192 565 NEW GALENA - MONICA&MICHAEL EVANS															
4	ENGINEERING EXPENSES			916.75		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409261	N
	Tracking Id: 16-1300-00 TOWNSHIP LN/WALTERS RD - MAR MAR BLDRS - 7 HOMES															
5	ENGINEERING EXPENSES			1,455.60		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409262	N
	Tracking Id: 17-1100-00 84 SCHOOLHOUSE - HALLMARK															
6	ENGINEERING EXPENSES			1,677.03		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409263	N
	Tracking Id: 18-0100-02 123 CREEK RD - LABROZZI															
7	ENGINEERING EXPENSES			5,066.05		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409264	N
	Tracking Id: 20-1000-00 1 HIGHPOINT DRIVE - METROPOLITAIN SERVICE GROUP															
8	ENGINEERING EXPENSES			2,116.49		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409265	N
	Tracking Id: 19-1200-00 409 W BUTLER COUNTY BUILDERS MIXED USE															
9	ENGINEERING EXPENSES			206.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409266	N
	Tracking Id: 21-1500-00 109 KING RD - TRUMPH CONSTR GRP/CARBACCIO - SFD															
10	ENGINEERING EXPENSES			2,709.02		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409267	N
	Tracking Id: 20-1600-00 DOLLY LANE - PRIME DEVL/PRIME BLDRS BENNER SUBDIV															
11	ENGINEERING EXPENSES			4,691.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409268	N
	Tracking Id: 2024-13968 4355 COUNTY LINE RD-4355 LMT PTN/BYERS CHOICE LTD															
12	ENGINEERING EXPENSES			1,267.50		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409270	N
	Tracking Id: 2024-13470 COUNTY LINE - TOLL BROTHERS - BIRCH RUN															
13	ENGINEERING EXPENSES			1,112.50		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409271	N
	Tracking Id: 2024-31-z 545 W BUTLER - FLAGSHIP OPCO - SPOTLESS BRANDS															
14	ENGINEERING EXPENSES			3,166.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409272	N
	Tracking Id: 2023-12977 4359 COUNTY RD - BROOKE ENT LLC/CP RANKIN															
15	ENGINEERING EXPENSES			736.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409274	N
	Tracking Id: 2024-13604 4645 COUNTY LINE RD - HULTON CONTRACTING															
16	ENGINEERING EXPENSES			130.16		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409275	N
	Tracking Id: 2024-13787 870 MYERS RD - RYAN OPDYKE															
17	ENGINEERING EXPENSES			455.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409276	N
	Tracking Id: 2024-14008 15 WALDEN WAY - CHRIS DOEBLER															
18	ENGINEERING EXPENSES			3,448.75		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409277	N
	Tracking Id: 2024-32-z BARRY ROAD W.B.HOMES/CAVENDISH ACQ															
19	ENGINEERING EXPENSES			293.75		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409278	N
	Tracking Id: 15-0900-00 ESTATES AT JULIUS FARM (MAURER TRACT) MUN JOB															
20	ENGINEERING EXPENSES			858.25		90-414-311				E ENGINEERING BILLED	R	09/10/24	09/10/24		PS-INV2409279	N

Vendor # Name	PO # PO Date Description	Item Description	Amount	Charge Account	Contract PO Type	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
GILM0010 GILMORE & ASSOCIATES INC. Continued												
24001274 09/10/24 ENGINEERING EXPENSES Continued												
Tracking Id: 16-1000-00 BARCLAY ROAD TOLL BROTHERS NEW BRITAIN WOODS												
34,168.97												
24001275 09/10/24 ENGINEERING EXPENSES												
1	ENGINEERING EXPENSES		510.00	04-414-310		E ENGINEERING SERVICE	R	09/10/24	09/10/24	09/10/24	PS-INV2409260	N
2	ENGINEERING EXPENSES		6,287.50	01-400-301		E CODIFICATION EXPENSES	R	09/10/24	09/10/24	09/10/24	PS-INV2409269	N
3	ENGINEERING EXPENSES		2,690.13	35-439-320		E HWY PROJECTS/STATE	R	09/10/24	09/10/24	09/10/24	PS-INV2409273	N
4	ENGINEERING EXPENSES		318.25	01-436-367		E NPDES COMPLIANCE	R	09/10/24	09/10/24	09/10/24	PS-INV2409280	N
5	ENGINEERING EXPENSES		875.00	01-408-100		E GENERAL ENGINEERING	R	09/10/24	09/10/24	09/10/24	PS-INV2409281	N
6	ENGINEERING EXPENSES		4,117.47	18-454-700		E CAPITAL IMPROVEMENTS/PURCHASES	R	09/10/24	09/10/24	09/10/24	PS-INV2409282	N
7	ENGINEERING EXPENSES		2,642.50	01-408-100		E GENERAL ENGINEERING	R	09/10/24	09/10/24	09/10/24	PS-INV2409283	N
			17,440.85									
Vendor Total:			51,609.82									
HABER010 H.A. BERKHEIMER INC.												
24001268 09/10/24 COMMISSION FEE JULY 2024												
1	COMMISSION FEE JULY 2024		1.22	04-403-370		E EIT TAX COLLECTOR EXPENSE	R	09/10/24	09/10/24	09/10/24	OST 073124	N
24001269 09/10/24 COMMISSION FEE JULY 2024												
1	COMMISSION FEE JULY 2024		4.90	01-403-370		E EIT/EMST COLLECTOR	R	09/10/24	09/10/24	09/10/24	EIT 073124	N
24001298 08/30/24 COMMISSION FEE AUGUST 2024												
1	COMMISSION FEE AUGUST 2024		56.84	01-403-370		E EIT/EMST COLLECTOR	R	08/30/24	08/30/24	08/30/24	EIT 083024	N
2	COMMISSION FEE AUGUST 2024		11.34	04-403-370		E EIT TAX COLLECTOR EXPENSE	R	08/30/24	08/30/24	08/30/24	OST 083024	N
			68.18									
Vendor Total:			74.30									
HILLT010 HILLTOWN FIRE CO. RELIEF ASSOC												
24001283 09/11/24 FIRE RELIEF DISTRIBUTION 2024												
1	FIRE RELIEF DISTRIBUTION 2024		6,592.86	01-488-540		E FIREMEN'S RELIEF DISTRIBUTION	R	09/11/24	09/11/24	09/11/24	091124	N
Vendor Total:			6,592.86									

Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	First Rcvd Date	Enc Date	Chk/Void Date	Invoice	1099 Excl
THOMA090 THOMAS J. WALSH III, ESO.	24001315 09/16/24 ZONING LEGAL SERVICES	1 ZONING LEGAL SERVICES	288.00	01-414-310	E LEGAL, PLNG & ZONING	R	09/16/24	09/16/24		584	584	N
	Vendor Total:		288.00									
UNITE010 UNITED INSPECTION AGENCY INC.	24001276 09/04/24 OUTSIDE INSPECTIONS	1 OUTSIDE INSPECTIONS	415.00	01-413-122	E OUTSIDE INSPECTIONS	R	09/04/24	09/04/24		157315	157315	N
	Vendor Total:		415.00									
WEHRU010 WEHRUNG'S	24001273 08/31/24 MATERIALS	1 MATERIALS	14.98	01-438-460	E GENERAL EXPENSE	R	08/31/24	08/31/24		25927	25927	N
	Vendor Total:		14.98									
Total Purchase Orders:			31	Total P.O. Line Items:	69	Total List Amount:	219,789.04	Total Void Amount:	0.00			

Totals by Year-Fund		Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description								
GENERAL FUND:		4-01	173,212.91	0.00	173,212.91	0.00	0.00	173,212.91
LAND PRESERVATION FUND:		4-04	522.56	0.00	522.56	0.00	0.00	522.56
PARKS & RECREATION FUND:		4-07	5,077.00	0.00	5,077.00	0.00	0.00	5,077.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:		4-18	4,117.47	0.00	4,117.47	0.00	0.00	4,117.47
LIQUID FUELS FUND:		4-35	2,690.13	0.00	2,690.13	0.00	0.00	2,690.13
ESCROW:		4-90	34,168.97	0.00	34,168.97	0.00	0.00	34,168.97
Total of All Funds:			<u>219,789.04</u>	<u>0.00</u>	<u>219,789.04</u>	<u>0.00</u>	<u>0.00</u>	<u>219,789.04</u>

Totals by Fund		Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description								
GENERAL FUND:	01	173,212.91	0.00	173,212.91	0.00	0.00	173,212.91	
LAND PRESERVATION FUND:	04	522.56	0.00	522.56	0.00	0.00	522.56	
PARKS & RECREATION FUND:	07	5,077.00	0.00	5,077.00	0.00	0.00	5,077.00	
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	4,117.47	0.00	4,117.47	0.00	0.00	4,117.47	
LIQUID FUELS FUND:	35	2,690.13	0.00	2,690.13	0.00	0.00	2,690.13	
ESCROW:	90	34,168.97	0.00	34,168.97	0.00	0.00	34,168.97	
Total of All Funds:		<u>219,789.04</u>	<u>0.00</u>	<u>219,789.04</u>	<u>0.00</u>	<u>0.00</u>	<u>219,789.04</u>	

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	173,212.91	0.00	0.00	0.00	173,212.91
LAND PRESERVATION FUND:	4-04	522.56	0.00	0.00	0.00	522.56
PARKS & RECREATION FUND:	4-07	5,077.00	0.00	0.00	0.00	5,077.00
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	4,117.47	0.00	0.00	0.00	4,117.47
LIQUID FUELS FUND:	4-35	2,690.13	0.00	0.00	0.00	2,690.13
ESCROW:	4-90	34,168.97	0.00	0.00	0.00	34,168.97
Total of All Funds:		<u>219,789.04</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>219,789.04</u>

MEMO

TOWNSHIP OF NEW BRITAIN



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: September 18, 2024
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated September 11, 2024, in the amount of \$161,314.54.

Attest: _____

Date: _____

Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	Rcvd Date	Chk/Void Date	Invoice	1099 Excl
MCCAL005 MCCALLION TEMPS, INC												
	24001260 09/06/24 STAFFING SERVICES	1 STAFFING SERVICES	550.80	01-402-131		E SALARY/ADMIN ASST T.P.	R	09/06/24	09/06/24		11777	N
		Vendor Total:	550.80									
NATHA005 NATHAN L DAVIDHEISER												
	24001287 09/04/24 MS4 BRITTANY FARMS PAYMENT #2	1 MS4 BRITTANY FARMS PAYMENT #2	69,319.00	18-454-700		E CAPITAL IMPROVEMENTS/PURCHASES	R	09/04/24	09/04/24		090424	N
		Vendor Total:	69,319.00									
PENNS020 PA ONE CALL SYSTEM, INC.												
	24001279 08/31/24 PA ONE CALLS	1 PA ONE CALLS	105.49	01-438-460		E GENERAL EXPENSE	R	08/31/24	08/31/24		0001067546	N
		Vendor Total:	105.49									
PECOE020 PECO ENERGY-PAYMENT PROCESSING												
	24001266 09/03/24 ELECTRIC	1 ELECTRIC	400.57	01-433-361		E TRAFFIC SIGNAL ELECTRIC	R	09/03/24	09/03/24		7790537000	N
	24001280 09/03/24 ELECTRIC	1 ELECTRIC	24.75	02-434-360		E UTILITY EXPENSE	R	09/03/24	09/03/24		7734208000	N
		2 ELECTRIC	52.61	02-434-360		E UTILITY EXPENSE	R	09/03/24	09/03/24		7438831222	N
		3 ELECTRIC	49.84	02-434-360		E UTILITY EXPENSE	R	09/03/24	09/03/24		8210025000	N
		4 ELECTRIC	47.23	07-454-360		E UTILITIES	R	09/03/24	09/03/24		4579754000	N
		5 ELECTRIC	35.43	02-434-360		E UTILITY EXPENSE	R	09/03/24	09/03/24		2928132222	N
		6 ELECTRIC	30.03	02-434-360		E UTILITY EXPENSE	R	09/03/24	09/03/24		1859031222	N
		7 ELECTRIC	39.38	07-454-360		E UTILITIES	R	09/03/24	09/03/24		4579754000	N
			<u>279.27</u>									
		Vendor Total:	679.84									
READY005 READY REFRESH BY NESTLE												
	24001263 09/06/24 BOTTLED WATER	1 BOTTLED WATER	75.55	01-409-360		E UTILITIES	R	09/06/24	09/06/24		14I0436107759	N
		2 BOTTLED WATER	94.31	01-410-360		E UTILITIES	R	09/06/24	09/06/24		14I0436449664	N

Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd	Chk/Void	Invoice	1099	Excl
READY005	READY REFRESH BY NESTLE			Continued									
24001263	09/06/24 BOTTLED WATER	3 BOTTLED WATER	344.80	Continued	01-437-360	E HEAT AND UTILITIES	R	09/06/24	09/06/24		14T0436107767	N	
			514.66										
		Vendor Total:	514.66										
RIGGI010	RIGGINS INC.												
24001289	09/06/24 PW DIESEL	1 PW DIESEL	1,055.86		01-437-330	E FUEL & OIL EQUIP	R	09/06/24	09/06/24		75131805	N	
		Vendor Total:	1,055.86										
RYANC010	RYAN CRESSMAN												
24001262	09/09/24 TRAVEL/MEDICAL REIMBURSEMENTS	1 TRAVEL/MEDICAL REIMBURSEMENTS	68.00		01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	09/09/24	09/09/24		090924	N	
		2 TRAVEL/MEDICAL REIMBURSEMENTS	14.00		01-438-460	E GENERAL EXPENSE	R	09/09/24	09/09/24		090924	N	
		Vendor Total:	82.00										
VERIZ010	VERIZON												
24001265	08/27/24 INTERNET	1 INTERNET	110.99		01-430-320	E COMMUNICATIONS/MAINT	R	08/27/24	08/27/24		0001-98 082724	N	
		Vendor Total:	110.99										

Total Purchase Orders: 19 Total P.O. Line Items: 35 Total List Amount: 161,314.54 Total Void Amount: 0.00

Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	86,441.98	0.00	86,441.98	0.00	0.00	86,441.98
STREET LIGHTING FUND:	4-02	192.66	0.00	192.66	0.00	0.00	192.66
PARKS & RECREATION FUND:	4-07	5,360.90	0.00	5,360.90	0.00	0.00	5,360.90
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	69,319.00	0.00	69,319.00	0.00	0.00	69,319.00
Total of All Funds:		<u>161,314.54</u>	<u>0.00</u>	<u>161,314.54</u>	<u>0.00</u>	<u>0.00</u>	<u>161,314.54</u>

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	86,441.98	0.00	86,441.98	0.00	0.00	86,441.98
STREET LIGHTING FUND:	02	192.66	0.00	192.66	0.00	0.00	192.66
PARKS & RECREATION FUND:	07	5,360.90	0.00	5,360.90	0.00	0.00	5,360.90
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	69,319.00	0.00	69,319.00	0.00	0.00	69,319.00
Total of All Funds:		<u>161,314.54</u>	<u>0.00</u>	<u>161,314.54</u>	<u>0.00</u>	<u>0.00</u>	<u>161,314.54</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	86,441.98	0.00	0.00	0.00	86,441.98
STREET LIGHTING FUND:	4-02	192.66	0.00	0.00	0.00	192.66
PARKS & RECREATION FUND:	4-07	5,360.90	0.00	0.00	0.00	5,360.90
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	69,319.00	0.00	0.00	0.00	69,319.00
Total of All Funds:		<u>161,314.54</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>161,314.54</u>

MEMO



TO: Board of Supervisors
FROM: Kristin Carpenter
DATE: September 18, 2024
SUBJECT: Schedule of Bills - Prepaid

Approve prepaid bills list dated September 18, 2024, in the amount of \$5,771.39.

Attest: _____

Date: _____

Vendor #	Name	PO #	PO Date	Description	Amount	Charge Account	Contract PO Type	Acct Type	Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl					
PECOE020	PECO ENERGY-PAYMENT PROCESSING			Continued																
24001310	09/11/24 ELECTRIC			Continued																
2	ELECTRIC				337.77	02-434-360			E UTILITY EXPENSE	R	09/11/24	09/11/24		3642081222	N					
					552.00															
	Vendor Total:				721.49															
RHYTH005	RHYTHM ENGINEERING LLC																			
24001304	09/10/24 TRAFFIC SIGNAL MAINTENANCE																			
1	TRAFFIC SIGNAL MAINTENANCE				1,200.00	01-433-310			E TRAFFIC SIGNAL MAINTENANCE	R	09/10/24	09/10/24		3952	N					
	Vendor Total:				1,200.00															
RIGGI010	RIGGINS INC.																			
24001299	09/12/24 PW FUEL																			
1	PW FUEL				713.86	01-437-330			E FUEL & OIL EQUIP	R	09/12/24	09/12/24		75132207	N					
	Vendor Total:				713.86															
24001309	09/12/24 POLICE FUEL																			
1	POLICE FUEL				955.81	01-410-224			E FUELS/OIL	R	09/12/24	09/12/24		75132206	N					
	Vendor Total:				1,669.67															
SHAWN020	SHAWN P. KNIGHT																			
24001305	09/12/24 2024 MEDICAL REIMBURSEMENT																			
1	2024 MEDICAL REIMBURSEMENT				272.00	01-486-157			E HEALTH & VISION REIMBURSEMENTS	R	09/12/24	09/12/24		091224	N					
	Vendor Total:				272.00															
VERIZ010	VERIZON																			
24001306	09/05/24 INTERNET																			
1	INTERNET				159.59	01-410-320			E COMMUNICATIONS	R	09/05/24	09/05/24		0001-17 090524	N					
	Vendor Total:				159.59															
Total Purchase Orders:											11	Total P.O. Line Items:		13	Total List Amount:		5,771.39	Total void Amount:		0.00

Totals by Year-Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	4,638.99	0.00	4,638.99	0.00	0.00	4,638.99
STREET LIGHTING FUND:	4-02	552.00	0.00	552.00	0.00	0.00	552.00
PARKS & RECREATION FUND:	4-07	580.40	0.00	580.40	0.00	0.00	580.40
Total of All Funds:		<u>5,771.39</u>	<u>0.00</u>	<u>5,771.39</u>	<u>0.00</u>	<u>0.00</u>	<u>5,771.39</u>

Totals by Fund									
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total		
GENERAL FUND:	01	4,638.99	0.00	4,638.99	0.00	0.00	4,638.99		
STREET LIGHTING FUND:	02	552.00	0.00	552.00	0.00	0.00	552.00		
PARKS & RECREATION FUND:	07	580.40	0.00	580.40	0.00	0.00	580.40		
Total of All Funds:		<u>5,771.39</u>	<u>0.00</u>	<u>5,771.39</u>	<u>0.00</u>	<u>0.00</u>	<u>5,771.39</u>		

Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	4,638.99	0.00	0.00	0.00	4,638.99
STREET LIGHTING FUND:	4-02	552.00	0.00	0.00	0.00	552.00
PARKS & RECREATION FUND:	4-07	580.40	0.00	0.00	0.00	580.40
Total of All Funds:		<u>5,771.39</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>5,771.39</u>



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 12, 2024

File No. 110802501

Dave Conroy, Director of Planning and Zoning
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Reference: Blue Bus Holdings, LLC, Escrow Release 8 (Final)
TMP #26-001-103.001

Dear Dave:

As requested by the Applicant and in accordance with the conditions set forth in the Development and Financial Security Agreements, we have prepared Escrow Release #8 (Final) in the amount of \$188,134.14 for execution by an officer of Blue Bus Holdings, LLC. The attached Certificate of Completion has been executed by the Applicant.

By copy of this letter to Applicant, we are recommending the Township return the Irrevocable Stand-By Letter of Credit #1309 in the amount of \$188,134.06. However, we recommend that any remaining balance of the legal and engineering escrow be held until the Solicitor's and our final invoice are resolved.

Sincerely,

A handwritten signature in black ink that reads "Janene Marchand". The signature is written in a cursive, flowing style.

Janene Marchand, P.E.,
Project Engineer
Gilmore & Associates, Inc.

JM

Enclosures: As referenced

cc: Daniel Fox, Township Manager
Alexandra Mullin, Assistant to the Manager
Scott Holbert, Esq., Flager & Associates, PC
Jeff Blank, Mode Transportation
Bill Lane, Penntex Construction
Craig D. Kennard, P.E., & Brian Dusault, Gilmore & Associates, Inc.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

65 E. Butler Avenue, Suite 100
New Britain, PA 18901-5106
(215) 345-4330
Fax (215) 345-8606
www.gilmore-assoc.com

September 5, 2024
Project No.: G&A #110802501

**CERTIFICATE OF COMPLETION NO. 8 (FINAL)
BLUE BUS HOLDINGS, LLC (JILLAMY MODE TRANSPORTATION)
NEW BRITAIN TOWNSHIP**

Original Financial Security: \$ 1,090,632.69 (Total Construction)
 \$ 109,063.27 (Total Contingency)
 \$ 54,531.63 (Total Eng/Insp/Legal)
 \$ 1,254,227.59 (Total Escrow Required)
 \$ 274,789.11 (Total Escrow Posted in Letter of Credit (LOC))
 \$ 1,099,156.43 (Total Escrow Posted in Bond)

We, the undersigned, hereby certify that the work provided for a certain Agreement between the New Britain Township and Blue Bus Holdings, LLC, relative to the construction and installation of certain improvements to the Blue Bus Holdings, LLC Land Development, has been completed to the extent of One Hundred Eighty-Eight Thousand, One Hundred Thirty-Four Dollars and Fourteen Cents (\$188,134.14). This certificate authorizes the Letter of Credit be reduced to \$0.00 held by OceanFirst Bank.

This draft is drawn upon the Blue Bus Holdings, LLC. have an interest. It is payable in an amount not to exceed \$188,134.14 to Blue Bus Holdings, LLC or such other persons or parties as they shall designate.

ESCROW SUMMARY

Total Financial Security:	\$ 1,373,945.54
Total Security in Bond:	\$ 1,099,156.43
Total Security in LOC:	\$ 274,789.11
Amount of this Request:	\$ 188,134.14
Escrow Previously Released:	\$ 1,185,811.40
Total Amount Available for Reduction:	\$ 0.00

NEW BRITAIN TOWNSHIP ENGINEER:

DESIGNATED DRAFT RECIPIENT:
Blue Bus Holdings, LLC

Janene Marchand 09/5/2024
 Janene Marchand, P.E., Date
 Project Engineer
 Gilmore & Associates, Inc

Name (print) Ted Kuriger
 Title President
 Signature [Signature]

NEW BRITAIN TOWNSHIP DESIGNEE:

 Dan Fox, Township Manager Date
 New Britain Township



ESCROW STATUS REPORT

PROJECT NAME: Mode Transportation
PROJECT NO.: 11-08025-01
PROJECT OWNER: Blue Bus Holdings, LLC

MUNICIPALITY: New Britain Township
ESCROW AGENT 1: Developers Surety and Indemnity Company
TYPE OF SECURITY: Subdivision Completion Bond

ESCROW AGENT 2: OceanFirst Bank N.A.
TYPE OF SECURITY: Irrevocable Stand-By Letter of Credit Number 1309
AGREEMENT DATE: July 27, 2018

TOTAL CONSTRUCTION: \$1,090,632.69
TOTAL CONSTRUCTION CONTINGENCY: \$109,063.27
TOTAL ENGINEERING/LEGAL: \$54,531.63
TOTAL ESCROW REQUIRED: \$1,254,227.59
TOTAL ESCROW POSTED: \$1,373,945.54

AMOUNT OF CONSTRUCTION RELEASE:
AMOUNT OF RETAINAGE RELEASED:
AMOUNT OF TOTAL RELEASE THIS REQUEST: \$ 188,134.14

TOTAL ESCROW RELEASED TO DATE: \$ 1,373,945.54
TOTAL ESCROW REMAINING:
TOTAL CONSTRUCTION CONTINGENCY:
TOTAL ENGINEERING/LEGAL:
TOTAL RETAINAGE TO DATE:
TOTAL CONSTRUCTION AVAILABLE FOR RELEASE: \$ -

SUMMARY OF ESCROW ACCOUNT

RELEASE NO.: 8 (FINAL)
RELEASE DATE: 9/5/2024

CONSTRUCTION ITEMS	ESCROW TABULATION			CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		
	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
A. EARTHWORK										
1. Strip Topsoil	CY	5,580	\$2.25	\$12,555.00			5580.00	\$12,555.00		
2. Cut	CY	8,155	\$1.90	\$15,494.50			8155.00	\$15,494.50		
3. Fill	CY	8,155	\$1.65	\$13,455.75			8155.00	\$13,455.75		
4. Rough Grade	SY	33,480	\$0.50	\$16,740.00			33480.00	\$16,740.00		
5. Grade Building Pad	SY	3,387	\$1.25	\$4,233.75			3387.00	\$4,233.75		
6. Grade Paving	SY	13,597	\$1.00	\$13,597.00			13597.00	\$13,597.00		
7. Rough Grade Walks	SY	745	\$4.00	\$2,980.00			745.00	\$2,980.00		
8. Grade Curb	LF	3,615	\$1.80	\$6,507.00			3615.00	\$6,507.00		
9. Backfill Curb	LF	3,615	\$1.50	\$5,422.50			3615.00	\$5,422.50		
10. Replace Topsoil	CY	3,615	\$3.50	\$12,652.50			3615.00	\$12,652.50		
B. EROSION & SEDIMENT CONTROL										
1. Construction Entrance	SY	115	\$15.00	\$1,725.00			115.00	\$1,725.00		
2. Inlet Protection	EA	7	\$185.00	\$1,295.00			7.00	\$1,295.00		
3. 12" Silt Sock	LF	825	\$5.25	\$4,331.25			825.00	\$4,331.25		
4. 18" Silt Sock	LF	1,935	\$8.25	\$15,963.75			1935.00	\$15,963.75		
5. 30" Silt Fence	LF	200	\$3.00	\$600.00			200.00	\$600.00		
6. Water Filter Bag	EA	1	\$500.00	\$500.00			1.00	\$500.00		
7. Erosion Control Matting	SF	21,000	\$0.20	\$4,200.00			21000.00	\$4,200.00		
8. Temporary Stabilization	SF	175,000	\$0.06	\$10,500.00			175000.00	\$10,500.00		
9. Erosion Control Maintenance /Removal	LS	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		
10. Tree Protective Fence	LF	1,125	\$2.00	\$2,250.00			1125.00	\$2,250.00		
C. CONCRETE										
1. Sidewalk (Internal)	SF	5,000	\$5.00	\$25,000.00			5000.00	\$25,000.00		
2. Curb (8" Reveal) (Internal)	LF	3,000	\$13.50	\$40,500.00			3000.00	\$40,500.00		
3. Dumpster Pad (20'x20')	SF	400	\$9.00	\$3,600.00			400.00	\$3,600.00		
4. Generator Pad (30.5'x14')	SF	427	\$9.00	\$3,843.00			427.00	\$3,843.00		
5. Handicap Ramps (Internal)	EA	8	\$2,500.00	\$20,000.00			8.00	\$20,000.00		
6. Wheel Stops	EA	148	\$50.00	\$7,400.00			148.00	\$7,400.00		
D. PAVING (Internal)										
1. 6" 3A Modified Stone	SY	14,411	\$6.00	\$86,466.00			14411.00	\$86,466.00		
2. 4.5" 25mm Base Course	SY	14,411	\$12.00	\$172,932.00			14411.00	\$172,932.00		
3. 1.5" 9.5mm Wearing Course	SY	14,411	\$7.00	\$100,877.00			14411.00	\$100,877.00		
4. Tack Coat	LS	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		

ESCROW STATUS REPORT

PROJECT NAME: Mode Transportation
 PROJECT NO.: 11-08025-01
 PROJECT OWNER: Blue Bus Holdings, LLC
 MUNICIPALITY: New Britain Township
 ESCROW AGENT 1: Developers Surety and Indemnity Company
 TYPE OF SECURITY: Subdivision Completion Bond
 ESCROW AGENT 2: OceanFirst Bank N.A.
 TYPE OF SECURITY: Irrevocable Stand-By Letter of Credit Number 1309
 AGREEMENT DATE: July 27, 2018

SUMMARY OF ESCROW ACCOUNT

TOTAL CONSTRUCTION: \$1,090,632.69
 TOTAL CONSTRUCTION CONTINGENCY: \$109,063.27
 TOTAL ENGINEERING: \$54,531.63
 TOTAL ESCROW REQUIRED: \$1,254,227.59
 TOTAL ESCROW POSTED: \$1,373,945.54

AMOUNT OF CONSTRUCTION RELEASE: \$ 188,134.14
 AMOUNT OF RETAINAGE RELEASE: \$ 1,373,945.54
AMOUNT OF TOTAL RELEASE THIS REQUEST: \$ 188,134.14

TOTAL ESCROW REMAINING: \$ 1,373,945.54
 TOTAL CONSTRUCTION CONTINGENCY: \$ 109,063.27
 TOTAL ENGINEERING: \$ 54,531.63
 TOTAL RETAINAGE TO DATE: \$ 1,254,227.59
 TOTAL CONSTRUCTION AVAILABLE FOR RELEASE: \$ 188,134.14

RELEASE NO.: 8 (FINAL)
 RELEASE DATE: 9/5/2024

CONSTRUCTION ITEMS	ESCROW TABULATION			CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE		
	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
E. ROAD IMPROVEMENTS										
Schoolhouse Road Improvements (4-FT Widening)										
1. Milling	SY	389	\$5.00	\$1,944.44			388.89	\$1,944.44		
2. 6" 3A Modified Stone	SY	165	\$7.00	\$1,155.00			165.00	\$1,155.00		
3. 5" 25mm Base Course	SY	165	\$20.00	\$3,300.00			165.00	\$3,300.00		
4. 2" 19mm Binder Course	SY	165	\$9.00	\$1,485.00			165.00	\$1,485.00		
5. 1.5" 9.5mm Wearing Course	SY	545	\$8.00	\$4,360.00			545.00	\$4,360.00		
6. Tack Coat/Joint Seal	LS	1	\$200.00	\$200.00			1.00	\$200.00		
7. Curb (8" Reveal)	LF	435	\$13.50	\$5,872.50			435.00	\$5,872.50		
8. Handicap Ramp	EA	2	\$2,500.00	\$5,000.00			2.00	\$5,000.00		
9. Crosswalk	EA	1	\$250.00	\$250.00			1.00	\$250.00		
g. Walking Trail										
1. 4" 2A Modified Stone	SY	189	\$5.00	\$945.00			189.00	\$945.00		
2. 2.5" ID-2 Binder Course	SY	189	\$8.00	\$1,512.00			189.00	\$1,512.00		
3. 1.5" ID-2 Wearing Course	SY	189	\$10.00	\$1,890.00			189.00	\$1,890.00		
New Britain Boulevard Improvements										
1. Sidewalk	SF	252	\$6.00	\$1,512.00			252.00	\$1,512.00		
2. Curb (8" Reveal)	LF	70	\$13.50	\$945.00			70.00	\$945.00		
3. Handicap Ramps	EA	2	\$2,500.00	\$5,000.00			2.00	\$5,000.00		
4. Crosswalk	EA	1	\$250.00	\$250.00			1.00	\$250.00		
F. STORMWATER MANAGEMENT										
Sediment Basin #2 (Infiltration Basin #3)										
1. Strip Topsoil	CY	5,580	\$2.25	\$12,555.00			5,580.00	\$12,555.00		
2. Cut	CY	8,155	\$1.90	\$15,494.50			8,155.00	\$15,494.50		
3. Fill	CY	8,155	\$1.65	\$13,455.75			8,155.00	\$13,455.75		
4. Rough Grade	SY	33,480	\$0.50	\$16,740.00			33,480.00	\$16,740.00		
5. Respread Topsoil	CY	3,615	\$3.50	\$12,652.50			3,615.00	\$12,652.50		
6. Erosion Control Matting	SF	21,000	\$0.20	\$4,200.00			21,000.00	\$4,200.00		
7. Temporary Riser	EA	2	\$1,850.00	\$3,700.00			2.00	\$3,700.00		
8. 48" Super Silt Fence Baffle Wall	LF	80	\$38.50	\$3,080.00			80.00	\$3,080.00		
9. Outlet Structure #10/Rebar	EA	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		
11. 6" Underdrain, Trench, 3 Clean Outs	LF	223	\$28.00	\$6,244.00			223.00	\$6,244.00		
12. Convert to Permanent Facility	LS	1	\$500.00	\$500.00			1.00	\$500.00		
13. R-5 Riprap Spillway	TN	50	\$41.00	\$2,050.00			50.00	\$2,050.00		
Sediment Trap #1/Rain Garden #1										
1. Excavation and Grading	CY	315	\$27.50	\$8,662.50			315.00	\$8,662.50		
2. Outlet Structure #1	EA	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		
3. 4" Trench and Underdrain	LF	102	\$25.00	\$2,550.00			102.00	\$2,550.00		
4. R-4 Riprap Spillway	TN	38	\$41.00	\$1,558.00			38.00	\$1,558.00		
5. Temporary Riser	EA	1	\$1,850.00	\$1,850.00			1.00	\$1,850.00		
6. Baffle	LF	30	\$38.50	\$1,155.00			30.00	\$1,155.00		

ESCROW STATUS REPORT

SUMMARY OF ESCROW ACCOUNT

PROJECT NAME: Mode Transportation
PROJECT NO.: 11-08025-01
PROJECT OWNER: Blue Bus Holdings, LLC
MUNICIPALITY: New Britain Township
ESCROW AGENT 1: Developers Surety and Indemnity Company
TYPE OF SECURITY: Subdivision Completion Bond
ESCROW AGENT 2: OceanFirst Bank N.A.
TYPE OF SECURITY: Irrevocable Stand-By Letter of Credit Number 1309
AGREEMENT DATE: July 27, 2018

TOTAL CONSTRUCTION: \$1,090,632.69
TOTAL CONSTRUCTION CONTINGENCY: \$109,063.27
TOTAL ENGINEERING/LEGAL: \$54,531.63
TOTAL ESCROW REQUIRED: \$1,254,227.59
TOTAL ESCROW POSTED: \$1,373,945.54

AMOUNT OF CONSTRUCTION RELEASE:
AMOUNT OF RETAINAGE RELEASED:
AMOUNT OF TOTAL RELEASE THIS REQUEST: \$ 188,134.14

TOTAL ESCROW RELEASED TO DATE: \$ 1,373,945.54
TOTAL ESCROW REMAINING:
TOTAL CONSTRUCTION CONTINGENCY:
TOTAL ENGINEERING/LEGAL:
TOTAL RETAINAGE TO DATE:
TOTAL CONSTRUCTION AVAILABLE FOR RELEASE: \$ -

RELEASE NO.: 8 (FINAL)
RELEASE DATE: 9/5/2024

		ESCROW TABULATION				CURRENT RELEASE		RELEASED TO DATE		AVAILABLE FOR RELEASE	
CONSTRUCTION ITEMS		UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
Infiltration Trench #2											
1.	Liner, Clean Stone and 18-inch Pipe	CY	1,079	\$68.50	\$73,911.50			1079.00	\$73,911.50		
2.	Outlet Structure #6/Trash Rack	EA	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		
Storm Sewer											
1.	Type M Inlet	EA	2	\$1,600.00	\$3,200.00			2.00	\$3,200.00		
2.	Double M Inlet	EA	1	\$3,200.00	\$3,200.00			1.00	\$3,200.00		
3.	Type C Inlet	EA	1	\$2,200.00	\$2,200.00			1.00	\$2,200.00		
4.	Endwall	EA	3	\$1,500.00	\$4,500.00			3.00	\$4,500.00		
5.	Yard Drain	EA	5	\$1,000.00	\$5,000.00			5.00	\$5,000.00		
6.	Tie-in to Existing Drop Manhole on Lot 12	EA	1	\$1,480.00	\$1,480.00			1.00	\$1,480.00		
7.	R.W.C. Piping	LF	1,000	\$18.50	\$18,500.00			1000.00	\$18,500.00		
8.	18" HDPE (6" Bed, 12" Cover)	LF	248	\$38.00	\$9,424.00			248.00	\$9,424.00		
9.	24" HDPE (6" Bed, 12" Cover)	LF	420	\$45.00	\$18,900.00			420.00	\$18,900.00		
10.	24" RCP (6" Bed, 12" Cover)	LF	120	\$79.00	\$9,480.00			120.00	\$9,480.00		
11.	Clean Outs	EA	4	\$900.00	\$3,600.00			4.00	\$3,600.00		
12.	Anti-Sleep Collars	EA	2	\$1,380.00	\$2,760.00			2.00	\$2,760.00		
13.	Rock Apron	TN	44	\$52.00	\$2,288.00			44.00	\$2,288.00		
G. LANDSCAPING											
1.	Shade Trees	EA	108	\$450.00	\$48,600.00			108.00	\$48,600.00		
2.	Ornamental Trees	EA	20	\$350.00	\$7,000.00			20.00	\$7,000.00		
3.	Evergreen Trees	EA	14	\$400.00	\$5,600.00			14.00	\$5,600.00		
4.	Shrubs	EA	308	\$65.00	\$20,020.00			308.00	\$20,020.00		
5.	Fine Lawn Seed Mix	SF	90,000	\$0.07	\$6,300.00			90000.00	\$6,300.00		
6.	ERNST (180 & 183) Seed Mix	SF	31,800	\$0.10	\$3,180.00			31800.00	\$3,180.00		
H. MISCELLANEOUS											
1.	Site Lighting - 17.5' Single Head LED	EA	10	\$2,200.00	\$22,000.00			10.00	\$22,000.00		
2.	Site Lighting - 17.5' Twin Head LED	EA	9	\$3,100.00	\$27,900.00			9.00	\$27,900.00		
3.	Building Wall Lighting	EA	16	\$650.00	\$10,400.00			16.00	\$10,400.00		
4.	Emergency Access Gate and Signage	EA	1	\$1,500.00	\$1,500.00			1.00	\$1,500.00		
5.	Construction Stakeout	LS	1	\$5,000.00	\$5,000.00			1.00	\$5,000.00		
6.	As-Built Plans	LS	1	\$2,750.00	\$2,750.00			1.00	\$2,750.00		
7.	Pavement Markings	LS	1	\$5,000.00	\$5,000.00			1.00	\$5,000.00		
8.	Concrete Monuments	EA	5	\$150.00	\$750.00			5.00	\$750.00		
9.	Site Signage	LS	1	\$3,000.00	\$3,000.00			1.00	\$3,000.00		
10.	Trash Enclosure/Gate	EA	1	\$500.00	\$500.00			1.00	\$500.00		

Resolution No. 2024-14

**Township of New Britain
Bucks County, Pennsylvania**

**A Resolution of the New Britain Township Board of Supervisors
in Recognition of**

2025 Police & Non-uniform Pension MMOs

WHEREAS, New Britain Township is required to contribute the Minimum Municipal Obligation (MMO) to the Police and Non-Uniform Pension Plans as calculated by the plans actuary CBIZ; and

WHEREAS, the calculations for the MMO for the Police and Non-Uniform Pension Plans are as shown in “**Exhibit 1**” & “**Exhibit 2**”; and

NOW THEREFORE, BE IT RESOLVED THAT the Supervisors of New Britain Township hereby formally and officially adopt the 2024 Police and Non-Uniform MMOs.

DULY ADOPTED this 23th day of September 2024, by the Board of Supervisors of New Britain Township, in lawful session duly assembled.

NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS

Cynthia M. Jones, Chair

Marybeth McCabe, Vice Chair

William B. Jones, III, Member

Dan Fox, Township Manager

Stephanie Shortall, Member

Bridget Kunakorn, Member



July 30, 2024

Mr. Dan Fox
Township Manager
New Britain Township
207 Park Avenue
Chalfont, PA 18914

Re: New Britain Township Pension Plans – 2025 Minimum Municipal Obligation (MMO)

Dear Dan:

We have completed and are enclosing the year 2025 budget information with respect to the Township's Pension Plans. As shown on the attached exhibits, the Township should budget the following contributions for 2025:

Plan	MMO
Police Pension Plan	\$104,173
Employees Pension Plan	0
Total	\$104,173

The Township should therefore budget a transfer of \$104,173 from the General Fund to the Township's pension funds. The Township may also budget the estimated General Municipal Pension System State Aid of \$104,173 as Intergovernmental Revenue. This is based on the 2023 unit value of \$5,827.8883 and 42 units (12 police officers and 18 non-uniformed defined benefit plan employees); however, State Aid cannot be greater than the MMO.

Therefore, the estimated net contribution to be paid from the Township's General Fund in 2025 is \$0 (assuming the unit value for 2025 is \$5,827.8883).

If there are any questions regarding the above information, please let me know.

Sincerely,

David B. Reid, EA, MAAA
Executive Vice President

Enclosures

CBIZ Benefits & Insurance Services, Inc.
1845 Walnut St., 10th Floor
Philadelphia, PA, 19103

Phone: 215-825-4038
cbiz.com/retirement

**NEW BRITAIN TOWNSHIP NON-UNIFORMED EMPLOYEES
PENSION PLAN**

2025 Minimum Municipal Obligation

1. 2024 Projected W-2 Payroll	\$	1,433,929
2. Total Normal Cost Percentage		9.78%
3. Total Normal Cost = (1) x (2)	\$	140,238
4. Total Administrative Expense		27,600
5. Total Amortization Requirement		0
6. Total Financial Requirement = (3) + (4) + (5)	\$	167,838
7. Total Estimated Member Contributions = (1) x 5.00%		71,696
8. Funding Adjustment		129,280
9. Minimum Municipal Obligation = (6) - (7) - (8), not less than zero	\$	0

Signature of Chief Administrative Officer

Date Certified to Governing Body

MEMO



TO: Board of Supervisors & Dan Fox, Township Manager
FROM: Ryan Cressman, Public Works Superintendent
DATE: August 16, 2024
RE: 2024-2025 Bucks County Consortium Salt Bid Results

Bids were opened for the 2024-25 Consortium Rock Salt on Wednesday, August 14, 2024, by Doylestown Borough, the hosting municipality.

There was a total of 4 bids received:

Morton Salt, Inc.	Delivered price \$60.95 per ton.
Silvi Concrete Products	Delivered price \$63.00 per ton.
Eastern Salt Co.	Delivered price \$89.90 per ton.
American Rock Salt Co.	Delivered price \$98.00 per ton.

Staff Recommendation would be to award the contract to the lowest bidder, Morton Salt, Inc. at \$60.95 per ton delivered. The price last year was \$66.00 per ton delivered; this year's pricing is a decrease of \$5.05 per ton. Morton Salt Inc. has been the lowest bidder in previous years with decent delivery times.



New Britain Township

Parks & Recreation

DEPARTMENTAL REPORT

YEAR: 2024

MONTH: August

Township Property Maintenance:

The Parks and Recreation Department performed inspections of North Branch, West Branch, Highlands, Veteran's and Pheasant Run Parks for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind New Britain Walk, along with biweekly inspections of the Greenway Trail behind the Coleman property.

The scheduling of mowing and weed whacking of all parks, and open spaces was on a weekly basis.

Special Projects / Other:

The Parks and Recreation Department completed the underdrain project from the rear playground that was begun earlier in 2024. An inlet was added, and the underdrain was laid under the trail in place of the existing pipe. The area that was excavated was regraded, top dressed, leveled, seeded and strawed. The PnR department was able to repurpose all the soil from the earthen berm that was removed at the basketball court in the month prior. Pictures below illustrate the process.



Pipe junction at Trail



Inlet installed



Finish Grade



Seeded and Strawed



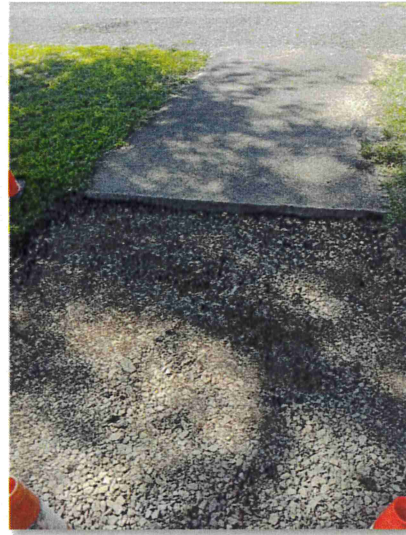
New Britain Township

Parks & Recreation

The PnR Department removed the last tree stump causing damage to the walking trail at North Branch Park, along with final prep and repairs to the trail itself, which involved the excavation of compromised asphalt, the addition and compaction of fresh crushed stone, then topped with fresh asphalt. Pictures below show the process.



Stump Removal



Old Asphalt Removed



Fresh Stone and Topsoil



Fresh Asphalt Patch



New Britain Township

Parks & Recreation

Ballfield Maintenance:

All Township baseball fields (3), and softball fields (3) are groomed and wet down when needed . All water was removed as needed.

Parks and Recreation Daily Hours:

Township Property Maintenance:	386 Hrs.
Ballfield Maintenance:	13 Hrs.
Other/ Special Projects:	81 Hrs.



New Britain Township Police Department



Monthly Report

August 2024

Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2023

Objective 2: Become PLEAC Accredited

Objective 3: Implement In Car Camera Systems

Objective 4: Increase community engagement activity

Result of Goals and Objectives:

Objective 1: Utilizing grant funds from Bucks and Montgomery Counties to conduct enforcement details.

Objective 2: Accreditation approved by commission.

Objective 3: In Car Camera systems installed and fully functional.

Objective 4: Fall Festival (Child Seat Check/License Plate Check) - September 21st

Significant Events:

Completed:

- 323 Calls For Service/446 Directed Patrols/142 Vehicle Stops
- Kona Ice with a Cop - August 27th & 29th
-
-
-

Upcoming:

- Hiring of Entry Level Police Officer
- Shrine Festival - August 31 - September 2nd and September 7th & 8th
- Fall Festival (Child Seat Check/License Plate Check) - September 21st
- Coffee with a Cop (Bagel Barn) - October 4th 8-10am
-



New Britain Township Police Department



Monthly Report

August 2024

Performance Statistics:

Part 1 Crimes	28 Day		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	0	0	N/A
Theft	2	2	N/A
Auto Theft	0	0	N/A
Arson	0	0	N/A
Totals	2	2	N/A

Part 2 Crimes	28 Day		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	3	3	N/A
Fraud	2	0	#DIV/0!
Vandalism / Criminal Mischief	1	3	-66.67%
Disorderly Conduct	0	0	N/A
Drug Violations	1	0	#DIV/0!
Driving Under the Influence	2	5	-60.00%
Public Drunkenness	0	1	-100.00%
Weapons Offenses	0	0	N/A
All Other Offenses (Except Traffic Related)	2	3	-33.33%
Totals	11	15	-26.67%

Motor Vehicle Accidents	28 Day		
	2024	2023	% of Change
Non-Reportable	10	9	11.11%
Reportable	6	5	20.00%
Fatal	0	0	N/A
Totals	16	14	14.29%



New Britain Township Police Department



Monthly Report

August 2024

Performance Statistics:

Part 1 Crimes	Year to Date		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	1	0	#DIV/0!
Theft	35	39	-10.26%
Auto Theft	0	2	-100.00%
Arson	0	0	N/A
Totals	36	41	-12.20%

Part 2 Crimes	Year to Date		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	14	13	7.69%
Fraud	18	25	-28.00%
Vandalism / Criminal Mischief	8	7	14.29%
Disorderly Conduct	2	0	#DIV/0!
Drug Violations	8	5	60.00%
Driving Under the Influence	15	11	36.36%
Public Drunkenness	3	1	200.00%
Weapons Offenses	1	0	#DIV/0!
All Other Offenses (Except Traffic Related)	16	8	100.00%
Totals	85	70	21.43%

Motor Vehicle Accidents	Year to Date		
	2024	2023	% of Change
Non-Reportable	90	90	N/A
Reportable	62	50	24.00%
Fatal	0	0	N/A
Totals	152	140	8.57%



New Britain Township

Public Works

Departmental Report

Year: 2024

Month: August

Township Property Maintenance: 462 Hrs.

- Public Works resurfaced the basketball courts at North Branch Park: work included base repairs, installed 6 new basketball systems, fence installation, and leveling and overlaying the playing surface. The new playing surface will be sealed and striped next month, September 2024.

Road Maintenance: 32 Hrs.

- Continued road bank mowing and catch basin/ open space mowing as needed. We will continue to maintain until growing season is over.
- Public Works hot patched various roadways with potholes.

Drainage: 75 Hrs.

- Public Works checked all storm sewer systems as needed.

Street Signs: 74 Hrs.

- Public Works trimmed around signs, guardrails, and bridges for visibility as needed.
- Installed signage that were knocked down by motorists.
- Public Works replaced/ upgraded street signs throughout the Township to the new standard HIP (high intensity prismatic).
- The Fall Festival Banner was installed at the intersection of Butler Avenue and Schoolhouse Road.

Equipment Maintenance: 42 Hrs.

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Oil changes and preps for inspections were performed.

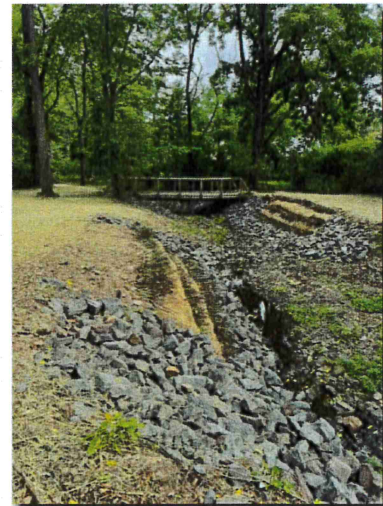
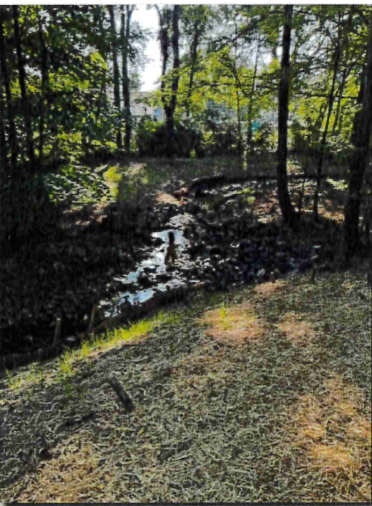
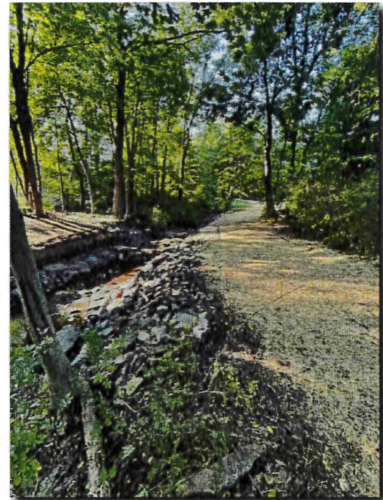
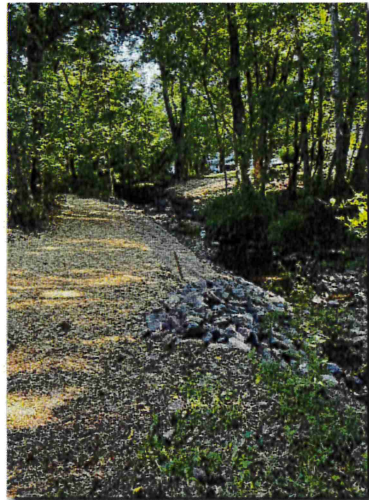
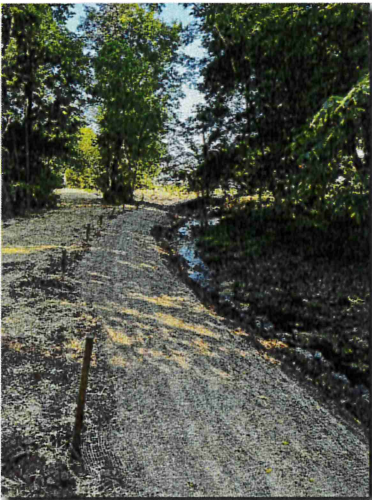
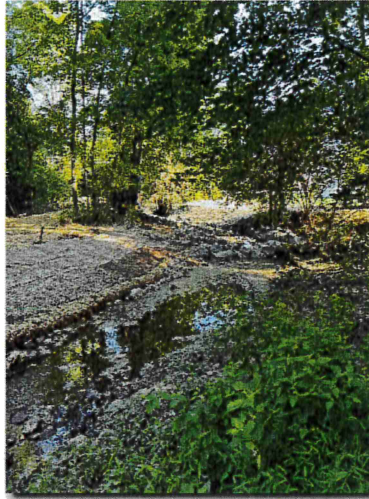
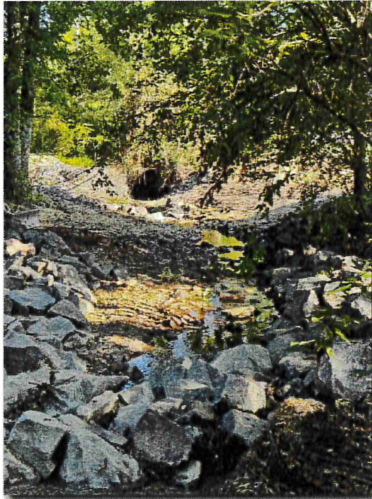
Other: 50 Hrs.

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.
- The Brittany Farms Streambank Restoration project was completed by Davidheiser Construction Services, Inc. (See attached pictures for reference)



New Britain Township

Public Works



MEMO

TOWNSHIP OF NEW BRITAIN



TO: Daniel C. Fox, Township Manager
FROM: David Conroy, Director of Planning and Zoning/Zoning Officer
DATE: September 18, 2024
RE: July/August 2024 Land Development Report

UNDER REVIEW:

(2024-13595) 256 Ferry Road – Joseph Solana

- Submitted Lot Line Change application on 8/7/24. Tentatively scheduled for the 10/22/24 PC.

(2024-31-Z) 545 West Butler Avenue – Spotless Brands, LLC

- Submitted Sketch Plan application on 7/30/24. Tentatively scheduled for the 9/24/24 PC.

(2024-32-Z) W.B. Homes – Barry Road

- Submitted Sketch Plan application on 7/25/24. Tentatively scheduled for the 9/24/24 PC.

(2024-13968) Byers Choice

- Submitted Sketch Plan application on 7/2/24. Gilmore review letter issued on 8/15/24. Will formally submit a Subdivision application.

(2024-13604) 4645 County Line Road – Hulton Contracting

- Submitted Sketch Plan application on 4/17/24. Submitted second set of revised plans on 8/30/24. Tentatively scheduled for the 10/7/24 BOS.

(2023-12917) 140 Upper Church Rd Minor Subdivision – Casadonti Homes, Inc

- Revising plans and preparing resubmission. Submitted ZHB application on 9/28/23. Presented and approved at 11/16/23 ZHB.

(2022-12243) Manor Dr – Petrucci Land Development

- Approved at 10/19/23 ZHB meeting. Awaiting formal submission of land development application.

(2022-12765) 180 New Britain Blvd/354 Schoolhouse Rd Parking Expansion 2

- Received ZHB approval on 6/22/23 for relief related to paved area setbacks and impervious for parking lot expansion.

(2022-12689) Galena Reserve Mobile Home Park

- Withdrew from 1/24/23 PC agenda. Applicant to resubmit plans.

(2022-12682) 505 W Butler Ave - Extra Space Storage

- Presented Sketch Plan at 5/23/24 PC and 6/5/24 BOS Work Session. Will need zoning relief, applicant preparing ZHB submission.

(2022-12404) 545 W Butler Ave - Rao Group Papa John's/Dunkin'

- Approved at 2/15/24 ZHB meeting. Submitted Land Development application on 11/28/23. Awaiting revised plans.

(2022-12505) 619 N Limekiln Pike – Hughes/Umlauf Building Additions

- Initial application incomplete, awaiting formal resubmission.

(21-1000) 120 Liberty Ln – Herding Butterflies, LP

- Accepted Conditional Use Application for stone parking lot 2/23/23, PC recommended approval of Conditional Use at 3/28/23 meeting, Conditional Use Hearing held 4/17/23, Conditional Use granted on 6/19/23.

BOARD APPROVAL GRANTED:

(2023-13470) Toll Brothers - County Line Rd & W Butler Ave (Birch Run)

- Final Land Development application was presented and approved at 6/17/24 BOS.

(2023-13490) 324 Schoolhouse Road – Clauser Facility Expansion

- Amended Final Land Development application was presented and approved at 3/4/24 BOS.

(18-0100) 123 Creek Rd – Labrozzi Minor Subdivision

- Presented and approved at 10/24 PC & 11/20 BOS. Amended Resolution approved at 3/4/24 BOS.

(2023-13148) 84 Curley Mill Road Minor Subdivision – Anatoliy & Leonid Klimenko

- Presented and approved at 7/25/23 PC & 11/20/23 BOS. Submitted revised plans on 9/11/24.

(2023-12977) 4359 County Line Rd Minor Land Development – CP Rankin, Inc.

- Presented and approved at 10/24/23 PC & 11/20/23 BOS. Submitted revised on 9/17/24.

(2022-12263) 396 King Rd Subdivision – Casadonti Homes, Inc

- Plans and Development/Easement Agreements were recorded on 4/5/24. Pre-Construction meeting scheduled for 9/26/24.

(2022-12511) 137 S Limekiln Pike – Defelice/Prestige Minor Subdivision

- Plans and Development/Easement Agreements were recorded on 3/22/24.

(2022-12320) 141 Independence Ln – Catalyst Commercial Development

- G&A checkset review issued. NPDES permit issued, Financial Security approved. Development Agreements prepared by Solicitor, awaiting execution.

(19-1600) 98 Railroad Ave – Railroad 3, LLC

- Plans and Development/Easement Agreements currently in the process of being recorded.

(2022-12537) 55 Curley Mill Rd – Mortimer Minor Subdivision

- Pre-construction meeting held on 2/16/24.

(20-0600) 315 Old Limekiln Rd – D'Alessio Subdivision

- Applicant to submit record plans, fees and execute agreements.

(15-0200) 9 Sellersville Rd – Tecce Minor Subdivision

- Pre-construction meeting held on 10/4/23.

(2022-12319) 84 Schoolhouse Rd – Hallmark Homes

- Pre-construction meeting held on 12/20/23.

(16-1300) Township Line Rd – Lohin Subdivision

- Pre-construction meeting held on 6/27/24.

(20-1000) 1 Highpoint Dr – Fox Lane Homes

- Amendment to Record Plans presented and approved at 11/20/23 BOS. Blasting Permit approved at 3/18/24 BOS.

Veteran's Park – CNBTJSA Pump Station 4 Relocation

- Applicant to execute agreements and pay fees prior to recording plans.



New Britain Township

Planning & Zoning

July/August 2024 Monthly Report

Permits Issued	182 (Total)
Construction	70
(Building, Electrical, Mechanical, Plumbing, Sign, Accessory, Fire, Accessibility)	
Road Occupancy	25
Use & Occupancy	61
Well	1
Zoning	24
Inspections Conducted	103 (Total)
Building Inspection	12
Use & Occupancy	91
Fire Calls	0 (No Report Submitted)
Chalfont	0
Doylestown	0
Dublin	0
Hilltown	0
Zoning Hearing Board Applications Submitted	0

Open Space Plan Update – The Open Space Plan Update Committee has recently sent out a public survey to 500 New Britain Township residents. The survey will gather information from the residents regarding the future of the Township’s Open Space areas. The survey, produced and analyzed by the ETC Institute, which NBT has contracted through the Bucks County Planning Commission, should have results within the next few weeks. Once the results of the survey are analyzed, a framework and outline of the Open Space Plan Update will be developed.

New Britain Township

207 Park Avenue
Chalfont, PA 18914
Phone: 215-822-1391



Total Permits for 07/01/2024 to 08/31/2024

Permit Type	# of Permits
Fire License	1
Master Permit	70
Road Occupancy	25
Use & Occupancy	61
Well Permit	1
Zoning	24
Total	182

New Britain Township

207 Park Avenue
 Chalfont, PA 18914
 Phone: 215-822-1391



Permit List 07/01/2024 to 08/31/2024

Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
8/21/2024	2023-13205	Residential	Residential Occupancy Inspection	11:00 AM	HOPKINS, THOMAS R & DIANE M	52 APPLECROSS CIR
8/21/2024	2023-13205	Residential	Residential Occupancy Inspection	11:00 AM	HOPKINS, THOMAS R & DIANE M	52 APPLECROSS CIR
8/27/2024	2024-13639	Residential	Residential Occupancy Inspection	9:30 AM	MARY ELLEN SIVEL	41 CHAPMAN RD
8/27/2024	2024-13639	Residential	Residential Occupancy Inspection	9:30 AM	MARY ELLEN SIVEL	41 CHAPMAN RD
7/22/2024	2024-13706	Residential	Residential Occupancy Inspection	1:00 PM	HERITAGE PROPERTY MANAGEMENT	123 VILLAGE WAY
7/23/2024	2024-13706	Residential	Residential Occupancy Inspection	10:00 AM	HERITAGE PROPERTY MANAGEMENT	123 VILLAGE WAY
7/9/2024	2024-13924	Residential	Residential Occupancy Inspection	11:00 AM	JANEAN ROSE	361 W BOULDER DR
7/22/2024	2024-13947	Residential	Residential Occupancy Inspection	12:00 AM	HERITAGE PROPERTY RENTALS	222 VILLAGE WAY
7/22/2024	2024-13947	Residential	Residential Occupancy Inspection	1:30 PM	HERITAGE PROPERTY RENTALS	222 VILLAGE WAY
8/22/2024	2024-13947	Residential	Residential Occupancy Inspection	1:30 PM	HERITAGE PROPERTY RENTALS	222 VILLAGE WAY
7/29/2024	2024-13948	Residential	Residential Occupancy Inspection	1:00 PM	HERITAGE PROPERTY RENTALS	220 VILLAGE WAY
8/26/2024	2024-13948	Residential	Residential Occupancy Inspection	1:00 PM	HERITAGE PROPERTY RENTALS	220 VILLAGE WAY
7/9/2024	2024-13950	Residential	Residential Occupancy Inspection	11:30 AM	SYDNEY	8 OAKMONT WAY
7/24/2024	2024-13960	Residential	Residential Occupancy Inspection	9:30 AM	ROBIN KOSS	303 TOWNSHIP LINE RD
7/31/2024	2024-13960	Residential	Residential Occupancy Inspection	1:00 PM	ROBIN KOSS	303 TOWNSHIP LINE RD
7/10/2024	2024-13962	Residential	Residential Occupancy Inspection	1:00 PM	ESTATE OF LEANNE ROTTLER	1121 UPPER STUMP RD
7/30/2024	2024-13966	Residential	Residential Occupancy Inspection	9:30 AM	BRIAN & MICHELE HANES	123 BATES DR
7/15/2024	2024-13966	Residential	Residential Occupancy Inspection	1:30 PM	BRIAN & MICHELE HANES	123 BATES DR
7/31/2024	2024-13969	Residential	Residential Occupancy Inspection	10:00 AM	SERGIO PERNIA	282 PRINCE WILLIAM WAY
7/23/2024	2024-13969	Residential	Residential Occupancy Inspection	9:30 AM	SERGIO PERNIA	282 PRINCE WILLIAM WAY
7/17/2024	2024-13970	Residential	Residential Occupancy Inspection	9:30 AM	MICHAEL & CHRISTINE RISICH	35 HICKORY LN
7/8/2024	2024-13970	Residential	Residential Occupancy Inspection	1:30 PM	MICHAEL & CHRISTINE RISICH	35 HICKORY LN
7/31/2024	2024-13972	Residential	Residential Occupancy Inspection	12:00 AM	JEFFREY M. & SHEILA	355 STONYHILL DR
7/29/2024	2024-13972	Residential	Residential Occupancy Inspection	1:30 PM	JEFFREY M. & SHEILA	355 STONYHILL DR
7/9/2024	2024-13983	Residential	Residential Occupancy Inspection	10:00 AM	WILLIAM BOSWELL	732 LIMEKILN PIKE
7/9/2024	2024-13985	Residential	Residential Occupancy Inspection	10:30 AM	WENDY CATANZARO	117 KING RD

New Britain Township

207 Park Avenue
Chalfont, PA 18914
Phone: 215-822-1391



Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
7/31/2024	2024-13985	Residential	Residential Occupancy Inspection	11:00 AM	WENDY CATANZARO	117 KING RD
7/10/2024	2024-13998	Residential	Residential Occupancy Inspection	9:30 AM	MADISON NEW BRITAIN	612 ANTHEM WAY
7/10/2024	2024-13999	Residential	Residential Occupancy Inspection	10:00 AM	MADISON NEW BRITAIN	924 ANTHEM WAY
7/22/2024	2024-14000	Residential	Residential Occupancy Inspection	12:00 AM	HERITAGE PROPERTY MANAGEMENT	103 VILLAGE WAY
7/10/2024	2024-14002	Residential	Residential Occupancy Inspection	10:30 AM	REGA CHALFONT LLC	8104 GREY FRIARS TERRACE
7/10/2024	2024-14003	Residential	Residential Occupancy Inspection	11:00 AM	REGA CHALFONT, LLC	3105 GREY FRIARS TERRACE
7/10/2024	2024-14005	Residential	Residential Occupancy Inspection	11:30 AM		154 GALWAY CIR
7/15/2024	2024-14005	Residential	Residential Occupancy Inspection	12:00 AM		154 GALWAY CIR
7/23/2024	2024-145-UO	Residential	Residential Occupancy Inspection	11:30 AM	PATON, VINCENT GEORGE & JANAI	611 CHATHAM CT
7/23/2024	2024-145-UO	Residential	Residential Occupancy Inspection	11:30 AM	PATON, VINCENT GEORGE & JANAI	611 CHATHAM CT
8/6/2024	2024-146-UO	Residential	Residential Occupancy Inspection	10:00 AM	HERITAGE PROPERTY MANAGEMENT	224 VILLAGE WAY
7/24/2024	2024-149-UO	Residential	Residential Occupancy Inspection	10:30 AM	REGA CHALFONT	4105 GREY FRIARS TERRACE
7/24/2024	2024-149-UO	Residential	Residential Occupancy Inspection	10:30 AM	REGA CHALFONT	4105 GREY FRIARS TERRACE
7/24/2024	2024-150-UO	Residential	Residential Occupancy Inspection	10:00 AM	QUINN, BERNARD C & JOSEPHINE A	127 S TAFT AVE
8/9/2024	2024-152-UO	Residential	Residential Occupancy Inspection	9:30 AM	HOWELL, DANIEL J & ANNE K	202 GREEN VALLEY WAY
7/30/2024	2024-152-UO	Residential	Residential Occupancy Inspection	10:00 AM	HOWELL, DANIEL J & ANNE K	202 GREEN VALLEY WAY
7/30/2024	2024-155-UO	Residential	Residential Occupancy Inspection	10:30 AM	MADISON NEW BRITAIN	305 ANTHEM WAY
7/30/2024	2024-156-UO	Residential	Residential Occupancy Inspection	11:00 AM	MADISON NEW BRITAIN	1013 ANTHEM WAY
7/30/2024	2024-157-UO	Residential	Residential Occupancy Inspection	11:30 AM	MADISON NEW BRITAIN	1105 ANTHEM WAY
7/31/2024	2024-158-UO	Residential	Residential Occupancy Inspection	9:30 AM	VANDERBOSCH, JOSEPH J	115 UPPER CHURCH RD
7/16/2024	2024-158-UO	Residential	Residential Occupancy Inspection	10:00 AM	VANDERBOSCH, JOSEPH J	115 UPPER CHURCH RD
7/31/2024	2024-159-UO	Residential	Residential Occupancy Inspection	11:30 AM	OHALLORAN, JAMES P	77 QUEENS CIR
7/16/2024	2024-159-UO	Residential	Residential Occupancy Inspection	10:00 AM	VANDERBOSCH, JOSEPH J	115 UPPER CHURCH RD
7/16/2024	2024-160-UO	Residential	Residential Occupancy Inspection	10:30 AM	KWON, HYEONG SEOG	254 HOLLY DR
7/17/2024	2024-160-UO	Residential	Residential Occupancy Inspection	10:30 AM	IRISH, PERRY J & ELIZABETH S	335 W BOULDER DR
7/29/2024	2024-160-UO	Residential	Residential Occupancy Inspection	2:00 PM	IRISH, PERRY J & ELIZABETH S	335 W BOULDER DR
7/23/2024	2024-161-UO	Residential	Residential Occupancy Inspection	10:30 AM	HUNSBERGER, RALPH & INA	155 UPPER CHURCH RD

New Britain Township

207 Park Avenue
 Chalfont, PA 18914
 Phone: 215-822-1391



Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
7/17/2024	2024-161-UO	Residential	Residential Occupancy Inspection	9:30 AM	PETERS, BRIAN & HETAL	309 NOTTINGHAM PL
7/23/2024	2024-162-UO	Residential	Residential Occupancy Inspection	11:00 AM	HUNSBERGER, RALPH L & INA E	157 UPPER CHURCH RD
7/31/2024	2024-162-UO	Residential	Residential Occupancy Inspection	10:30 AM	HUNSBERGER, RALPH L & INA E	157 UPPER CHURCH RD
7/23/2024	2024-162-UO	Residential	Residential Occupancy Inspection	11:00 AM	HUNSBERGER, RALPH L & INA E	157 UPPER CHURCH RD
8/7/2024	2024-163-UO	Residential	Residential Occupancy Inspection	9:30 AM	PRIMODIE, CORINNE E	221 W FAIRWOOD DR
8/5/2024	2024-164-UO	Residential	Residential Occupancy Inspection	1:00 PM	MISKE, LAURA J	242 INVERNESS CIR
8/19/2024	2024-164-UO	Residential	Residential Occupancy Inspection	2:30 PM	MISKE, LAURA J	242 INVERNESS CIR
8/2/2024	2024-165-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	E R P NEW BRITAIN PROP OWNER, L P	4275 COUNTY LINE RD
7/31/2024	2024-166-UO	Residential	Residential Occupancy Inspection	12:00 AM	BAY PROPERTY MANAGEMENT	409 W.BUTLER AVENUE
8/5/2024	2024-167-UO	Residential	Residential Occupancy Inspection	1:30 PM	KINGS, JOAN S	60 BLUE JAY RD
7/16/2024	2024-168-UO	Residential	Residential Occupancy Inspection	10:30 AM	KWON, HYEONG SEOG	254 HOLLY DR
8/28/2024	2024-168-UO	Residential	Residential Occupancy Inspection	12:00 AM	KWON, HYEONG SEOG	254 HOLLY DR
7/29/2024	2024-168-UO	Residential	Residential Occupancy Inspection	2:00 PM	KWON, HYEONG SEOG	254 HOLLY DR
8/26/2024	2024-169-UO	Residential	Residential Occupancy Inspection	2:30 PM	WODZISZ, MICHAEL & COREY	21 FARBER DR
8/21/2024	2024-169-UO	Residential	Residential Occupancy Inspection	9:30 AM	WODZISZ, MICHAEL & COREY	21 FARBER DR
8/21/2024	2024-170-UO	Residential	Residential Occupancy Inspection	9:00 AM	PASQUARELLA, NICOLE	750 SKUNK HOLLOW RD
8/19/2024	2024-171-UO	Residential	Residential Occupancy Inspection	2:00 PM	MADISON NEW BRITAIN	1111 ANTHEM WAY
8/19/2024	2024-172-UO	Residential	Residential Occupancy Inspection	1:30 PM	MADISON NEW BRITAIN	912 ANTHEM WAY
8/19/2024	2024-173-UO	Residential	Residential Occupancy Inspection	1:45 PM	MADISON NEW BRITAIN	1011 ANTHEM WAY
8/6/2024	2024-174-UO	Non-Residential	Commercial Occupancy Inspection	2:00 PM	MPAV PROP LLC	1600 HORIZON DR G
8/6/2024	2024-174-UO	Non-Residential	Commercial Occupancy Inspection	2:00 PM	MPAV PROP LLC	1600 HORIZON DR G
8/8/2024	2024-174-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	MPAV PROP LLC	1600 HORIZON DR G
8/6/2024	2024-175-UO	Residential	Residential Occupancy Inspection	9:30 AM	REGA CHALFONT	4206 GREY FRIARS TERRACE
8/21/2024	2024-176-UO	Residential	Residential Occupancy Inspection	10:30 AM	MEO, ALPHONSO, JR & DIANE C	130 PEGGY LN
8/19/2024	2024-178-UO	Residential	Residential Occupancy Inspection	1:00 PM	RINKER, DAVID SCOTT	847 LONG MEADOW DR
8/28/2024	2024-179-UO	Residential	Residential Occupancy Inspection	9:30 AM	PERRETTA, DEBORAH	36 EDINBORO CIR
8/21/2024	2024-179-UO	Residential	Residential Occupancy Inspection	1:30 PM	PERRETTA, DEBORAH	36 EDINBORO CIR
8/21/2024	2024-180-UO	Residential	Residential Occupancy Inspection	1:00 PM	BLOOM, ARTHUR W & RENNA F	253 PRINCE WILLIAM WAY

New Britain Township

207 Park Avenue
 Chalfont, PA 18914
 Phone: 215-822-1391



Inps. Date	Permit #	Application Type	Inspection Type	Inps. Time	Owner Name	Site Address
8/8/2024	2024-181-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W.BUTLER AVENUE APT 101
8/15/2024	2024-183-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W.BUTLER AVENUE APT 301
8/15/2024	2024-184-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP	409 W.BUTLER AVENUE APT 311
8/27/2024	2024-185-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	LOT 20-2 REALTY LP	145 LIBERTY LN
8/14/2024	2024-185-UO	Non-Residential	Commercial Occupancy Inspection	2:00 PM	LOT 20-2 REALTY LP	145 LIBERTY LN
8/28/2024	2024-186-UO	Residential	Residential Occupancy Inspection	1:00 PM	ANDREE, RICHARD B & ANNETTE VVYVAN	110 ASHMONT WAY
8/21/2024	2024-186-UO	Residential	Residential Occupancy Inspection	2:00 PM	ANDREE, RICHARD B & ANNETTE VVYVAN	110 ASHMONT WAY
8/21/2024	2024-186-UO	Residential	Residential Occupancy Inspection	2:00 PM	ANDREE, RICHARD B & ANNETTE VVYVAN	110 ASHMONT WAY
8/27/2024	2024-187-UO	Residential	Residential Occupancy Inspection	10:30 AM	MADISON NEW BRITAIN	613 ANTHEM WAY
8/27/2024	2024-188-UO	Residential	Residential Occupancy Inspection	10:45 AM	MADISON NEW BRITAIN	811 ANTHEM WAY
8/27/2024	2024-189-UO	Residential	Residential Occupancy Inspection	11:30 AM	MADISON NEW BRITAIN	1008 ANTHEM WAY
8/27/2024	2024-190-UO	Residential	Residential Occupancy Inspection	11:30 AM	MADISON NEW BRITAIN	1009 ANTHEM WAY
8/27/2024	2024-191-UO	Residential	Residential Occupancy Inspection	10:00 AM	HOPKINS, CORNELL	566 MALLARD DR
8/28/2024	2024-193-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES	101 CATHERINE COURT
8/28/2024	2024-194-UO	Residential	Residential Occupancy Inspection	12:00 AM	FOXLANE HOMES	103 CATHERINE COURT
8/28/2024	2024-196-UO	Residential	Residential Occupancy Inspection	10:00 AM	BUCKS COUNTY HOUSING GROUP	1910 SWAMP ROAD
8/28/2024	2024-196-UO	Residential	Residential Occupancy Inspection	10:00 AM	BUCKS COUNTY HOUSING GROUP	1910 SWAMP ROAD
8/29/2024	2024-198-UO	Non-Residential	Commercial Occupancy Inspection	12:00 AM	LIBORIO L P	1100 HORIZON CIR
7/15/2024	2024-1-UO	Residential	Residential Occupancy Inspection	1:00 PM	KNERR, JEFFREY M & SHEILA M	355 STONYHILL DR
8/29/2024	2024-200-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP (OWNER)	409 W.BUTLER AVENUE APT 122
8/29/2024	2024-202-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP (OWNER)	409 W.BUTLER AVENUE APT 315
8/29/2024	2024-203-UO	Residential	Residential Occupancy Inspection	12:00 AM	BUTLER PIKE PROPERTIES LP (OWNER)	409 W.BUTLER AVENUE APT 319

Total Inspections: 103

Enforcement Actions

- 104 South Limekiln Pike – Four (4) citations were issued to property owner for operating single-family home as a boarding house. Hearing in district court is scheduled for 9/11/24.
- 139 Brittany Drive – Property owner at 139 Brittany Drive has had property treated to stop bamboo from growing. Township bamboo consultant has agreed that this course of action is acceptable. Property owner at 137 Brittany Drive is insisting an underground bamboo barrier be installed on property line to prevent bamboo from encroaching on to property.
- 24 Maple Avenue – Tree was trimmed at intersection of Maple/Greenwood which was creating visibility issues.
- 66 Sellersville Road – Citation was issued on 7/10/24 for commercial vehicles/equipment located within the conservation easement for the property. Property owner paid fine and all commercial vehicles/equipment have been removed.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

- 5100 Tilghman Street, Suite 150 | Allentown, PA 18104 | P: 610.366.8064 | F: 610.366.0433
- 12 Terry Drive, Suite 205 | Newtown, PA 18940 | P: 215.369.3955 | F: 610.968.1829
- 65 E. Butler Avenue, Suite 100 | New Britain, PA 18901 | P: 215.345.4330 | F: 215.948.9943
- 184 W. Main Street, Suite 300 | Trappe, PA 19426 | P: 610.489.4949 | F: 610.489.8447
- One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425 | Philadelphia, PA 19103 | P: 215.687.4246 | F: 215.564.1780

MEMORANDUM

Date: September 17, 2024
To: Dan Fox, Township Manager
From: Craig D. Kennard, P.E., E.V.P.
cc: Dave Conroy, Director of Planning & Zoning; Scott Holbert, Esq.; Janene Marchand, P.E.
Reference: New Britain Township PEC and EAC Recommendations Engineer Responses

Our office has reviewed the recommendations from the PEC and EAC including associated reference documentation. Attached to this memo is a PDF of Suggested Ordinance Amendments, the reviews from the PEC and EAC, and referenced MCPC Sustainable Green Parking Lots Guidebook. Lastly, resumes of a few of our associates at Gilmore & Associates who have been involved in land development plan reviews and Ordinance Amendments for New Britain Township are attached:

1. G&A Suggested Ordinance Changes dated September 17, 2024
2. PEC Green Stormwater Infrastructure Ordinance Evaluation dated August 2024 and Appendix
3. EAC Parking Ordinance Revisions dated July 25, 2024
4. EAC SALDO Revision Recommendation – Lighting (Review Pending)
5. EAC Miscellaneous SALDO Amendments September 4, 2024
6. G&A Resumes

PEC Ordinance Evaluation dated August 2024 Questions and Responses Landscaping

PEC Question 1:

Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as a stormwater control area? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeter or islands?

G&A Response: Yes, stormwater facilities are permitted within parking lots and minimum landscaping island sizes are currently specified. An ordinance amendment is proposed per the attached Suggested Changes (§22-208.2 & 713) which specifically allow flush curbs and/or curb cuts to direct runoff.

PEC Question 2:

Is there a process or standard to waive numerical, spacing, and species requirements from stormwater control measure in required landscaping?

G&A Response: Yes, applicants may request waivers for reducing quantity, spacing, and species of landscaping used in a stormwater facility. See the attached Suggested Changes (§27-2802 & 2803) to provide an option for a more naturalized landscape in a buffer, removing an option for a double row of evergreen, and specifically allowing stormwater measures in buffer yards.

PEC Question 3:

Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

G&A Response: Turf grass is not specifically required by Code. Proposed seed mix is required on the plans to indicate the type of ground stabilization and may include deep-rooted plants. See attached suggested amendments encouraging and specifically allowing deep-rooted native plants in open space and buffer yards (Zoning §27-2702, 2803) as well as a requirement to provide 10% deep-rooted native plants in lieu of turf grass in lawn areas (SALDO §22-713).

We defer to NBT Staff regarding language in Ordinance Chapter 10 Health and Safety regarding grass height.

PEC Question 4:

Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

G&A Response: Currently, yes, landscaped islands can be used for stormwater if a waiver is granted of the design standards for cul-de-sacs. See the attached Suggested Changes (§22-705.8) which specifically allow an alternate design with a landscaped island for private streets.

PEC Question 5:

Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on the site plans?

G&A Response: Snow storage areas are not specifically prohibited or discouraged in bioretention areas in the current Ordinance. Snow storage areas are required to be shown on the site plans. However, the Draft SALDO Amendment currently proposes to remove the section of the Ordinance that requires the snow easement due to liability concerns.

PEC Question 6:

Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

G&A Response: Green infrastructure practices are permitted in New Britain Township and are required to “the maximum extent practicable” and justification is required if not practicable. We would not recommend that green infrastructure practices for high-density areas extend into public ROW or onto sidewalks due to potential obstructions to sight lines, maintenance issues, and liability concerns. We recommend the Township discuss these concepts with the Township Public Works. Street trees are required along streets at a rate of 1 shade tree per 30 linear feet either outside of the right-of-way or between the curb and sidewalk along the Butler Corridor Overlay District. Traffic calming measures, if proposed, are permitted to be co-designed as stormwater control measures.

PEC Question 7 (Construction Management):

Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

G&A Response: No, a more in-depth study would be required to determine if there are historic stream channels that should be identified. New Britain Township requires 100% protection of floodplain soils in addition to all watercourses and floodplains which are all required to be protected within permanent easements in perpetuity.

PEC Question 8 (Education and Outreach):

Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

G&A Response: We recommend the Township provide additional guidance for downspout disconnection and rain barrel installation on their website. See reference links in PEC review.

PEC Question 9 (Education and Outreach):

Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

G&A Response: No, however, we recommend the Township update their website with resources on native plantings and planting practices for residents working on small GSI projects not part of a building permit. The Township currently works in partnership with a local watershed group that could help with educating the community on rain garden construction and native plantings.

PEC Question 10 (Education and Outreach):

Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

G&A Response: As noted by the PEC, no incentive is needed as GSI is required to the maximum extent practicable, and justification is required if not practicable. We defer to the Township regarding incentive options for reduced impervious cover and increased open space per the PEC review.

We note that the zoning ordinance is proposed to be amended to allow for a reduction in parking based on a traffic report. This will allow greater flexibility in parking lot design and the potential to reduce impervious area on a site. Another proposed zoning change allows for porous pavement within parking areas. Rain gardens are common practice.

**EAC SALDO Revision Recommendation – Lighting
EAC Parking Ordinance Revisions dated July 25, 2024
EAC Miscellaneous SALDO Amendments September 4, 2024**

EAC Recommendation 1- Lighting:

The EAC advises the BOS to update SALDO §22-714 – Lighting, primarily because recommendations by lighting experts and professionals have changed since 2002.

G&A Response: The Illuminating Engineering Society (IES) and DarkSky developed BUG (Backlight, Up-light, Glare) Ratings to classify outdoor light fixtures with the objective of minimizing light pollution and promote a more sustainable approach to outdoor lighting. The Township has authorized our office to update the Lighting Ordinance accordingly. A draft amendment will be forwarded under separate cover.

EAC Recommendation 2- Parking Lots:

The EAC recommends a more comprehensive approach to integrate Green Stormwater Infrastructures into parking lot designs.

G&A Response: We agree. Please see the attached Suggested Changes §22-708.1, 713 & 714 related to green parking lot design based on MCPC's Sustainable Green Parking Lot Guide. One amendment requires retrofitting existing parking lots if the building is expanded 50% or more.

EAC Recommendation 3-Misc. SALDO:

Allow residents impacted by unusually constrained impervious area limits to construct patios and walkways with pervious materials.

G&A Response: We do not support this suggested change. The zoning ordinance defines impervious surfaces, however, credits can be obtained for the stormwater design for pervious surfaces.

EAC Recommendation 4-SALDO neighbor notifications: Revise the ZHB Application from a 500-foot to 1,000-foot radius for neighbor notifications for land developments to be consistent with the SALDO in lieu of revising the SALDO to be consistent with the ZHB Application. (§22-401.8)

G&A Response: We defer to the Township Zoning Officer and Solicitor on the radius for neighbor notifications for a SALDO application versus a ZHB hearing.

EAC Recommendation 5-Field survey date: Continue to require a field survey conducted within 2 years from the date of application, where the amendment proposes to increase the time to 5 years. (§22-502.1.D.)(12)

G&A Response: The amount of time is sometimes delayed due to the engineering and review process and a waiver is often required by the time the Preliminary plans are formally submitted. We recommend 5 years but would have no objection to reducing the time frame to 3 years from the date of initial plan submission.

EAC Recommendation 6-Allowing pervious options for trails: To amend §22-707.1.C to allow a range of suitable surface materials for pedestrian walkways and recreational trails for different settings and uses, including pervious surfaces, where currently concrete or asphalt is required unless more suitable materials are required in environmentally sensitive areas.

G&A Response: We have no objection to specifically allowing additional surfaces materials for pedestrian walkways and recreational trails such as pervious pavement, concrete and interlocking concrete pavement subject to ADA regulations where required. See attached Suggested Changes §22-707.1.C.

EAC Recommendation 7-Lighting: Revise the lighting section of the Ordinance to address current standards such as BUG ratings (Backlight, Up-light, Glare).

G&A Response: As noted above, our office is in the process of updating the lighting section of the Ordinance.

EAC Recommendation 8-Appendices: Recommends SALDO Appendices be updated in accordance with the proposed amendments.

Response: The appendices have been updated in conjunction with the draft SALDO Ordinance Amendments.

**G&A Suggested Ordinance Changes
in Response to PEC and EAC Recommendations
September 17, 2024**

**PEC Recommendations
Landscaping**

PEC Question 1: Parking Lot Islands/Curb

Suggested Ordinance Changes:

§ 22-708.2. Parking Stalls.

- C. All proposed planting islands and strips shall be provided with curb except along strips adjacent to a stormwater facility upon approval of the Township Engineer.

§ 22-713. Landscape Planting

3. Parking Area Landscaping

- A. Planting islands. All 10-foot by 36-foot planting islands shall contain 2 shade trees and all 10-foot by 18-foot plantings islands shall contain one shade tree, including any parking islands that are designed as a stormwater facility which shall have wet tolerant species.

- B. Plantings Strips. Planting strips shall be a minimum of 10 feet wide and shall run the length of the parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average including any parking strips that are designed as a stormwater facility which shall have wet tolerant species.

- C. All planting islands and strips shall be underlain by soil improved to a minimum depth of 30 inches, not stone or bituminous material, and shall be graded not to exceed a slope of 5 horizontal to 1 vertical. A soil improvement detail and notes on the Landscape Plan shall include the removal of all construction debris and existing compacted soils and the specifications for the soil improvement mix.

...

- E. § 22-713.3.E. ~~Shade trees~~ All required plantings shall be native plants and shall be selected from the List of Required Plant Material contained in the Appendix.

PEC Question 2: Numerical, spacing, and species waivers for stormwater controls in required landscaping buffers.

Suggested Ordinance Changes:

§ 27-2802 Content of Planting Strips.

- a. The following minimum spacing and composition are required for planting strips:

- Each strip shall contain ~~two staggered rows of~~ evergreens ~~and~~ a combination of native trees and shrubs listed below in naturalistic groupings rather than linear strips.



- ~~Where rows of evergreens are being planted, each row shall be no greater than 20 feet apart, and the plants in each row shall be planted at a density of one plant every nine linear feet.~~
- ~~Where a combination of trees and shrubs is being planted, this~~ The mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. Unless required elsewhere in this chapter, plantings are not required to run parallel or be aligned on property or right-of-way boundaries. At the discretion of the Township, plant material may be sited on any portion of the property for buffer purposes and may be staggered or grouped, if a satisfactory buffer can be achieved in this fashion.

Buffer Width	Planting Options
Up to and including 25-foot buffer width feet	(a) 1 canopy tree per 60-40 feet and 1 flowering tree per 40-60 feet and 1 shrub evergreen tree per 60-20 feet
More than 25 feet and less than 45 feet <u>35 and 45-foot</u> buffer widths	(b) 1 canopy tree per 60-40 feet and 1 flowering tree per 60 feet and 1 evergreen <u>tree</u> per 60-30 feet and 1 shrub per 20 feet (c) 1 canopy tree per 60 feet and 1 hedge planted 1 to 5 feet inside the boundary line with plants 3 feet on center <u>Vegetated Filter Strip in accordance with the PA Stormwater BMP Manual and 1 canopy tree per 60 feet and 1 flowering tree every 100 feet and 1 evergreen per 100 feet and planted with native grasses or flowering meadow mix with species variety, not standard turf grass.</u>
	(d) 1 canopy tree per 50-40 feet and 1 evergreen per 30 feet and 1 shrub per 20 feet
45 feet <u>buffer width</u> or greater	(e) 1 canopy tree per 50-40 feet and 1 flowering tree per 50 feet and 1 evergreen per 50 feet and 1 shrub per 15 feet

Buffer Width	Planting Options
	(f) 1 canopy tree per 100 feet and 1 evergreen per 30 feet and 1 hedge planted 1 to 5 feet inside the boundary line with plants 3 feet on centershrub per 15 feet
	(g) 1 evergreen per 25 feet and 1 shrub per 10 feet
	(h) A berm varying in height from 3 to 5 feet with maximum side slopes of all to be 4 horizontal to 1 vertical and 1 flowering or evergreen tree per 20 feet and 1 shrub per 10 feet. <u>Stormwater infiltration berms are permitted in accordance with the PA Stormwater BMP Manual, as amended.</u>

§27-2803. General Requirements

- c. No structure, including but not limited to ~~fences~~, sheds, pools, hot tubs, pergolas, gazebos, or play equipment, shall be permitted in the buffer yard. No manufacturing, processing, or storage of materials, goods, or items shall be permitted in the buffer yard. Green stormwater infrastructure is permitted within the buffer yards provided the plantings proposed meet the buffer requirements of this section.

PEC Question 3: Regarding turf grass and deep-rooted plants.

Suggested Ordinance Changes: We defer to NBT Staff regarding language in Ordinance Chapter 10 Health and Safety regarding grass height.

§ 27-2702 Open Space Designation

- b. In designating use and maintenance, the following classes may be used:
 - ~~1. Lawn. A grass area with or without trees which may be used by the residents for a variety of purposes and which shall be mowed regularly to insure a neat and orderly appearance.~~
 - 1. ~~2.~~ Natural Area. An area of natural vegetation undisturbed during construction, or replanted. Such areas may contain pathways. Meadows shall be maintained as such and not left to become weed-infested. Maintenance may be minimal, but shall prevent the proliferation of weeds and undesirable plants such as honeysuckle and poison ivy. Deep-rooted native plants are encouraged over turf grass where possible. Litter, dead trees and brush shall be removed and streams shall be kept in free flowing condition.

§27-2803 General Requirements

- b. All buffer yards shall be maintained and kept clear of all debris, rubbish, weeds, and tall grass except for meadow or other landscaping that includes native herbaceous material for a naturalized planting scheme.

§ 22-713 Landscape Planting.

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:
 - A. Reduce soil erosion and protect surface water quality by minimizing stripping of existing woodlands or tree masses.
 - B. Reduce stormwater runoff velocity and volume by providing planting areas where stormwater can infiltrate.
 - C. Improve air quality by conserving existing or creating new plantings, which produce oxygen and remove carbon dioxide from the atmosphere.
 - D. Conserve natural, or historically, culturally or environmentally sensitive landscapes such as wooded hillsides, scenic views, and natural areas, while enhancing the aesthetic appearance of the Township and community.
 - E. Provide native planted buffers for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape and protect surrounding areas.
 - F. Improve the environment for pedestrians along streets, parking areas and other pedestrian areas.
 - G. Preserve, enhance and expand native flora by mimicking the localized native plant community.
 - H. Encourage deep-rooted native plants for any disturbed areas in lieu of turf grass except for areas for outdoor recreation and gathering and similar uses.
 - I. To manage existing vegetation through the removal or management of dead, diseased, dying trees and invasive species that could create a hazard to the health, safety and welfare of the community.
6. Plant Materials, Specifications, Maintenance, and Guarantee. The following standards shall apply to all plant materials or transplanted trees as required under this chapter:
 - E. A minimum of 10% of all areas to be replaced with lawn shall be planted with deep-rooted native plants. The landscape plan shall include the area calculation, area designated for deep-rooted native plants, and maintenance guidelines. This area shall not be restored as lawn.

PEC Question 4: Regarding using cul-de-sac islands and medians for stormwater

Suggested Ordinance Changes:

§22-705.8. Permanent Cul-De-Sac Streets

- C. Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet. Alternatively, for private cul-de-sac streets, a landscaped island is permitted to reduce impervious area and for stormwater collection and treatment. The cartway width shall be a minimum paved width of twenty (20) feet unless a greater width is needed to accommodate emergency vehicles and as approved by the Fire Marshall. "No Parking" signs shall be installed as directed by the Fire Marshall. The island shall have mountable curb unless otherwise approved for drainage. If no curb is proposed, there shall be a minimum 2% salt-tolerant vegetated slope for 5 feet for pavement support.

EAC Recommendations

EAC Recommendation 2:

Regarding incorporating Green Stormwater Infrastructures into parking lot designs, we recommend adding the following definitions:

Green (Stormwater) Infrastructure – Systems and practices that use or mimic natural processes to infiltrate, evapotranspire, or reuse stormwater on the site where it is generated.

Bioretention – A stormwater retention area that utilizes woody and herbaceous plants and soils to remove pollutants before infiltration occurs.

Bioswale – a swale that uses bioretention and often includes native plants to absorb runoff and pollutants.

Porous Pavement/Pavers – stormwater controls that allow stormwater to infiltrate through the surface of the pavement/pavers to the ground below.

Structural Soils – engineered soil generally made up of soil and crushed stone to provide a solid structural foundation for urban infrastructure while giving trees access to nutrient soil in tricky urban environments.

Rain Gardens - a stormwater treatment where water filters and settles out suspended solids and sediment at the mulch layer prior to entering the plant/soil/microbe complex media for infiltration and pollutant removal.

Suggested Ordinance Changes:

SALDO § 22-708.1 Parking Areas

1. General Standards.

- A. Parking areas shall be provided for all subdivisions and/or land developments in accordance with the Zoning Ordinance [Chapter 27] and retrofitted for projects where the building is proposed to be expanded by 50% or more of the existing building square footage to improve the performance of the existing parking lots in an equitable manner.
- B. Parking areas shall be designed to create a hierarchy of access drives and parking aisles to direct vehicular traffic from a public street. Parking areas shall also be designed to separate pedestrian and vehicular traffic.
- C. On-street parking shall be parallel parking only. No angular or perpendicular parking shall be permitted along streets.
- D. Parking areas shall be designed to permit access to each vehicle without the need to move other vehicles.
- E. Nonresidential parking areas shall be designed to prohibit vehicles backing directly into any street.
- F. Entrances and exists for off-street parking areas shall be located so as to avoid interference with street traffic.
- G. Parking lots shall integrate stormwater management and landscape design by the use of plants and soils to naturally detain, treat, and infiltrate runoff from impervious surfaces.
- H. Green parking lot standards are required to be met for all parking lots or expansions of 10 spaces or more.
- I. Grid/grass structures are encouraged in perimeter parking areas that are seldom used or used seasonably. Permeable pavement systems, including interlocking concrete pavers and grid systems, are encouraged in low-traffic areas such as parking bays, residential parking pads, driveways, and reserve areas or overflow parking areas.
- J. §22 Redevelopment of Existing Parking Lot – For projects where the building is being expanded by 50% or more of the existing building footprint, a minimum of 50% of the existing parking lot area shall be brought into compliance with these requirements.

...

6. Parking Area Design Standards

- J. Walkways shall be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian full view of oncoming vehicles with minimum interference from trees, shrubs, and parking cars.
- K. Where pedestrian circulation crosses vehicular routes, a crosswalk with a different material, pavement striping, speed tables, and/or signage shall be provided.

L. At least one pedestrian route shall be provided and aligned within the parking lot with the main entry of a building to facilitate pedestrian movement where the building is open to the public. Clear separation/division from vehicular areas with landscaping, grade change, or surface material change shall be provided.

SALDO § 22-713 Landscape Planting.

§ 22-713.4.B(1) Any lot with 30 parking spaces or more shall have landscaped areas within the paved area equal to a minimum of 5% of the total paved area. The total paved area shall exclude landscape strips around the perimeter.

§ 22-713.5.B (1) Off-Street Parking Areas. One deciduous or evergreen shrub densely planted with a mixture of evergreen and deciduous shrubs and grasses every five feet to create a screen along the perimeter of the parking area.

§ 22-713.6.E. To ensure plant diversity and the sustainability of the installation in parking lots, the following plant diversity is required, where 60% of trees in parking lots must be large shade tree species:

Plant Diversity Requirements		
Minimum Number of Required Trees	Minimum Number of Tree Species	Maximum % of any 1 species
0-5	1	100
6-15	2	50
16-30	3	40
31-50	5	30
51+	6	20

§ 22-713.6.F. No one tree or shrub shall comprise more than 25% of the total number of plants of the same species.

§ 22-713.5.B(1) (a) In addition to the above, for every parking lot buffer that abuts a sidewalk or a street, one of the options below shall be installed:

- (1) Option A: One (1) shade tree and 10 shrubs shall be planted for each 30 feet of buffer length and 1 square foot of perennial plantings for every linear foot of total buffer.
- (2) Option B: A low-wall fence or berm not to exceed 3 feet in height or 3:1 slope as measured from the adjoining sidewalk, along with 1 tree per 30 feet of buffer length and three shrubs for every 20 feet of buffer length.

SALDO § 22-714 Lighting

4. Parking Areas and Loading Facilities

D. All lighting fixtures shall be controlled by automatic photocells to regulate lighting between dawn and dusk. For all commercial, industrial, public recreational, and

institutional applications, a note shall be added to the record plan that all lighting fixtures shall be controlled by programmable timers that accommodate seasonal and annual variations and battery or mechanical (e.g. spring-wound) backup to permit extinguishing sources between 11 pm and dawn or within 1 hour of the close of business, whichever is earlier, to conserve energy and mitigate nuisance glare and sky lighting consequences. Security lighting may be permitted up to 25% of the total number of fixtures onsite.

F. Glare Control

2. All lighting fixtures shall meet all applicable IESNA cutoff criteria.

G. Any standard parking lot pole lighting shall be setback a minimum of 12 feet from any shade tree.

7. Where required by this chapter, illumination levels shall have intensities and uniformity ratios in accordance with recommended practices of the IESNA Lighting Handbook, 9th edition or most recent edition, relevant IESNA Recommended Practices. Handbook RP-20-98 ~~an dIESNA Handbook RP-8-00, as amended,~~ and in accordance with the minimum standards listed below:

EAC Recommendation 6: Regarding suitable surfaces for trails

Suggested Ordinance Changes:

§22-707.1.C. – Pedestrian Walkways, Recreational Trails and Bicycle Lanes

Construction Standards. As approved by the Board, pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas. Asphalt pedestrian walkways or recreational trails shall be constructed with 2 1/2 inches of wearing course and six inches of 2A stone subbase. Concrete pedestrian walkways or recreational trails shall be constructed with four-inch class 'AA' (3,500 PSI) concrete and four inches 2B (Clean) stone subbase. Pervious asphalt, concrete, or pavers may be installed for facilities to be privately owned.

New Britain Township – Green Stormwater Infrastructure Ordinance Evaluation
Pennsylvania Environmental Council (PEC)
August 2024

New Britain Township – Proposed Code and Policy Recommendations

Introduction

This report summarizes PEC’s proposed recommendations from a Barriers to Green Infrastructure evaluation of New Britain Township’s codes and policies. PEC staff, coordinating with New Britain’s professional planning staff (David Conroy), an elected official (Supervisor MaryBeth McCabe), and an Environmental Advisory board member (Kathleen Davis), undertook an analysis of the zoning code, subdivision and land development ordinance, stormwater ordinance, and other related plans and codes. The analysis followed a streamlined version of the green stormwater infrastructure (GSI) evaluation tool developed by the University of Wisconsin’s Sea Grant program.

The full University of Wisconsin’s GSI evaluation tool includes over 100 questions in 12 categories. PEC staff evaluated the tool, talked to its authors, and then adapted it for use for PA municipalities. Full audits were first conducted in four suburban Philadelphia municipalities. PEC analyzed the feedback from each audited municipality regarding the recommendations that were made and identified the top 12 topics/questions of interest. PEC focused on these top 12 questions during the review of New Britain Township’s codes and ordinances. We consolidated our responses on the parking lot and street-scaping GSI areas questions and therefore have summarized our recommendations under 10 question responses.

PEC aligned the question responses under topic areas identified in the University of Wisconsin’s evaluation tools, including **Construction Management, Design Standards, Education and Outreach, Landscaping, and Stormwater Management Standards**. The topic area questions are presented, associated New Britain Township codes and current practices are summarized, and recommendations to further enable GSI are provided. These recommendations are intended to assist Township staff and elected officials in evaluating and adopting updates to current code language or policies.

New Britain Township Green Stormwater Infrastructure Ordinance Language

A primary goal of the GSI evaluation is to establish the option to install GSI by right when conducting a land development project. New Britain Township has enabled this option through their Chapter 26 stormwater management ordinance, which requires that low impact development and GSI practices be used “To the maximum extent practicable”, or “utilized ... wherever possible”, or “justification must be included if BMPs other than GSI methods and LID practices are proposed”. These match the recommendations to use GSI made in the Pennsylvania Department of Environmental Protection’s 2022 Municipal Separate Storm Sewer System permit model stormwater ordinance. The Township’s Chapter 26 requirements are as follows, with the relevant requirements extracted from the full text of the ordinance:

26-121 General Requirements

- Section 8-C – To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.

26-123. Volume Control. [Ord. No. 2022-09-03, 9/26/2022]

- Section 2. The green infrastructure and low impact development practices provided in the BMP manual shall be utilized for all regulated activities wherever possible.

26-132. SWM Site Plan Requirements

- Section 2-C-11. A justification must be included in the SWM site plan if BMPs other than green infrastructure methods and LID practices are proposed to achieve the volume, rate and water quality controls under this Part.

26-134. Stormwater Management (SWM) Site Plan Review

- Section 3 - For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

By incorporating these GSI recommendations and requirements into their stormwater management code, the Township has achieved the primary goal of the GSI barrier review, requiring the use of GSI by right during the land development process.

The following questions and code summaries provide recommendations on how to further enable the implementation of GSI projects during the development process. Consideration of how the Township's Zoning code, Subdivision and Land Development Ordinance (SALDO) and other related development codes can further support the successful implementation of GSI practices are provided.

Topic 1 – Landscaping

Question 1: Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as stormwater control areas? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeters or islands?

Code Reference:

Chapter 22: Subdivision and Land Development

§ 22-708. Parking Areas

2. Parking Stalls.

- C. All proposed planting islands and strips shall be provided with curb.
- E. No parking area shall exceed 30 spaces in capacity, without being separated into smaller parking areas by ten-foot planting strips.
- G. To separate parking areas and access drives, planting islands, a minimum of 10 feet by 36 feet, shall be provided at the end of each row of parking stalls.

§ 22-713. Landscape Planting

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:

- A. Reduce soil erosion and protect surface water quality by minimizing stripping of existing woodlands or tree masses.
- B. Reduce stormwater runoff velocity and volume by providing planting areas where stormwater can infiltrate.

3. Parking Area Landscaping.

- A. Planting Islands. All ten 10 foot by thirty-six-foot planting islands shall contain two shade trees and all ten-foot by eighteen-foot planting islands shall contain one shade tree.
- B. Planting Strips. Planting strips shall be a minimum of 10 feet wide, and shall run the length of a parking row. Planting strips shall contain one shade tree at intervals of every 25 feet on average.
- C. All planting islands and strips shall be underlain by soil, not stone or bituminous material, and shall be graded not to exceed a slope of five horizontal to one vertical.
- E. Shade trees shall be selected from the List of Required Plant Material contained in the Appendix.
- F. All required parking area trees shall be in addition to any parking area trees required by the Zoning Ordinance [Chapter 27].

§ 22-722. Butler Avenue Corridor Overlay District.

D-Parking

- (8) Paved Area Landscaping.
 - (a) Any lot containing three or more parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.
 - (b) One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section of this Code. The trees shall be chosen from the list of street trees provided above. Where more than three trees are required, no more than 25% of any one species shall be used, and where three or fewer trees are required, each must be of a different species.
 - (c) At least 50% of the parking area trees required by Subsection 4D(8)(b) above shall be planted within the paved parking area within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing" and shall have a minimum interior dimension of five feet.
 - (d) For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this subsection, one fewer shade tree shall be required to be planted.

Chapter 27: Zoning

§ 27-2904. Design Standards for Off-Street Parking

- a. General requirements
 - 5. Defined Traffic Ways. All parking areas shall include clearly defined and marked traffic patterns. In any lot with more than 30 off-street parking spaces, raised curbs and landscaped areas shall be used to direct traffic within the lot.
- g. Paved Area Setbacks (including Off-Street Parking Setbacks).
 - 1. Setbacks are required to ensure that parked or moving vehicles do not obstruct sight distance or interfere with pedestrian traffic. The setbacks are also intended to aid in storm water management along streets.
 - 2. The setback areas required by this section shall be maintained in grass or other appropriate natural ground cover and shall not be covered with paving, except for approved driveway entrances and any concrete sidewalks of six feet wide or less. Storm water control facilities may be located within this setback area. No fence shall be located within the paved area setback.
 - 3. No off-street parking space nor outdoor display of vehicles or articles for sale shall be located within 10 feet of the ultimate right-of-way line of any street.
- h. Paved Area Landscaping.

- 1. Any lot that would include more than 30 parking spaces shall be required to provide landscaped areas within the paved area. This required landscaped area shall be equal to a minimum of 5% of the total paved area. A maximum of 15 consecutive and contiguous parking spaces in a row shall be allowed without being separated by a landscaped area.
- 2. One deciduous tree shall be required for every 4,000 square feet of paved area. This number of trees shall be in addition to any trees required by any other section or by the Subdivision and Land Development Ordinance [Chapter 22].
- 3. A substantial proportion of the trees required by this section should be planted within the parking lot within protected islands. These protected islands should be used to direct the flow of traffic through the parking lot in a smooth and safe manner to prevent "cross-taxing."
- 4. Existing Trees. For every existing tree on the lot that is preserved and maintained and that would generally meet the requirements of this section, one less shade tree shall be required to be planted.

Chapter 27: Zoning (Specific to Parking Minimums)

§ 27-2901. Off-Street Parking Requirements

- *includes a table listing parking space requirements for various land uses.*

§ 27-2903. Conditional Reduction in Off-Street Parking Area

(i.e., when minimal parking space requirements can be reduced to limit the amount of paved parking areas, preserve open space and limit storm water runoff).

- b. Following a review and recommendation by the Planning Commission, the Board of Supervisors may permit a reduction of the number of parking spaces to be initially developed as required by this Part, pursuant to the provisions of the Subdivision and Land Development Regulations, provided each of the following conditions as satisfied:
 - 1. The applicant shall demonstrate to the Board, using existing and projected (five years) employment, customer, resident or other relevant data, that a reduction in the off-street parking spaces to be initially developed as required by § 27-2902 is warranted.
 - 2. Plans.
 - (a) The applicant shall submit plans of the parking lot(s) which designate a layout for the total number of parking spaces needed to comply with the parking requirement in § 27-2901.
 - (b) The plans shall clearly designate which of these parking spaces are proposed immediate use and which spaces are proposed to be conditionally reserved for potential future use.
 - (c) The portion of the required parking spaces reserved for future use shall not be within the required buffer yards unless otherwise approved by the Township.
 - Agreements.

- (a) The applicant shall enter into an agreement with the Township requiring the applicant to maintain each conditionally reserved area as attractively landscaped open space and convert some or all of the conditionally reserved area to additional off-street parking if at any time the Board finds that additional parking is needed.
- (b) This agreement shall be recorded to the deed as a covenant running with the land.
- (c) The Zoning Officer shall bring the parking reduction agreement to the Board of Supervisors for reconsideration if the Zoning Officer determines that the reduced parking is not meeting actual needs, based upon field investigations.
- (d) This agreement shall include provisions for financial security and for the timing of the improvements.

Current Practice:

The New Britain Township SALDO and Zoning codes identify the use of parking lot landscaping areas for stormwater management. These codes establish the required dimensions of landscaping areas, the types of landscaping features (trees/grasses), and planting mediums (all planting islands and strips shall be underlain by soil, not stone or bituminous material). Minimum parking lot landscaping island sizes are set within the SALDO (10 feet x 36 feet between parking areas and access drives, 10 feet x 18 feet between parking rows). SALDO parking lot landscaping requirements include minimizing the stripping of existing woodlands/trees masses and providing planting areas where stormwater can infiltrate. The zoning code requires raised curbs and landscaping areas for parking lot with more than 30 spaces, with a maximum of 15 consecutive/contiguous parking spaces allowed without being separated by a landscaping island. The zoning code also requires setbacks (10 feet right of way line) between parking lots and streets that must be maintained as grass or other natural cover and can be used for stormwater management.

New Britain Township also allows minimum parking space requirements to be conditionally reduced, provided that data documenting the need for less space is provided and the conserved space realized through the reduction is parking is maintained as landscaped open space.

Recommendations:

The Township should consider clarifying the requirements in the SALDO and Zoning Code on the sizing of parking lot landscaping edges/islands and on the vegetation used within these features, with the goal of increasing the use of GSI and its successful establishment. The Township codes currently call for parking lot islands of either 10 feet x 36 feet (360 Ft²) or 10 feet x 18 feet (180 ft²) and references the use of raised curbs in the zoning code. The minimum size of landscape islands in setbacks between parking lots and street right of ways does not appear to be specified (i.e., a 10-foot minimum set-back is noted).

We recommend that the Township confirm and consider raising the minimum size of landscaping islands to enable the use of GSI such as bioswales and rain gardens. The Montgomery County Planning

Commission’s (MCPC’s) **Sustainable Green Parking Lot Guide** recommends minimum landscaping area sizes of 340 ft² to promote shading, the healthy, vigorous growth of larger shade trees, and to create generous physical space to accommodate rain gardens or depressed absorbent areas for stormwater detention and infiltration in the interior of the parking lot. New Britain references the minimum of 10 feet by 36 feet planting island between parking areas and access drives, which meets the MCPC size recommendation. New Britain also references the 10 feet by 18 feet island size (presumably between parking rows). Increasing landscaping island sizes to better allow for sustainable parking lot GSI features is recommended.

MCPC’s Parking Lot Guide also provides requirements for minimum soil volume and planted area dimensions needed to ensure adequate soil volume for tree health and adequate space for growth. All planting islands, strips, and bioretention areas should have soils improved to a depth of 30 inches. A soil improvement detail and notes, including the removal of all construction debris and existing compacted soil and the proposed soil improvement mix, should be provided with the landscape plan. The Guide recommends minimum soil volumes that can support the needs of canopy trees (for example, 1000 to 1,200 cubic feet to support large canopy trees). The Guide also recommends that parking lot planting areas have curb cuts and inlets to allow rainwater to enter the planting areas. New Britain code should clarify that recessed curbing is allowed to allow such inlets to parking lot landscaping features. And finally, the MCPC Guide recommends plant lists for green parking lots. Additional landscaping plan native plant requirements included in the **Lower Makefield Township SALDO** are referenced in the Appendix.

Regarding minimum parking space requirements, the Township does provide a conditional use process through which parking lot spacing can be reduced. The application of this conditional use process is encouraged to reduce the need for impervious parking spaces that are determined to be not required. The Township should consider initiatives to further reduce and/or eliminate minimum parking space requirements. The American Planning Association has provided “A Business Case for Dropping Parking Minimums” (see reference in Appendix). The article references a Parking Reform Network and a map of cities and towns in the United States and elsewhere that have eliminated parking lot minimums.

****See Appendix for above-referenced guidance documents/other information.***

Why: Establish minimum area, volume, and retention of existing trees/vegetation standards so that parking lot landscaping areas can be adopted for stormwater/GSI features at sizes that allow native trees and other vegetation to withstand/thrive in the harsh conditions that can be associated with parking lot landscaping islands/perimeter swales.



Figure 1. Shade trees planted in rain garden with shrubs and perennials to enhance growing conditions Montgomery County Community College West Campus, Pottstown Borough

Question 2: Is there a process or standard to waive numerical, spacing, and species requirements from stormwater-control measure in required landscape areas?

Code References:

Chapter 22: Subdivision and Land Development

§ 22-713. Landscape Planting

1. Purpose. It is the purpose of these planting requirements to conserve existing healthy plant communities such as woodlands and to require new landscape plantings in critical areas of new developments in order to:

- E. Provide planted buffers for subdivisions and/or land developments, which act to visually integrate a development into the existing landscape.



Figure 2. A rain garden manages stormwater runoff in Philadelphia's Germantown section.

5. Landscaped Buffer and Screens.

- A. All subdivisions and/or land developments shall comply with the buffer yard requirements of the Township Zoning Ordinance [Chapter 27].
- B. Landscaped buffers and screens shall be required for proposed land developments to screen or delineate the following site elements:
 - (1) Off-Street Parking Areas. One deciduous or evergreen shrub planted every five feet along the perimeter of the parking area.
 - (3) Detention/Retention Basins. One deciduous or evergreen tree planted every 20 feet, plus one deciduous or evergreen shrub every 10 feet along the basin perimeter, planted in an informal arrangement.
 - (6) Multifamily Residential Units. A berm varying in height from three to five feet, with one ornamental or evergreen tree for every 20 feet, plus one deciduous or evergreen shrub for every 10 feet, planted in an informal arrangement along the perimeter of the property being subdivided. The maximum side slopes of the berm shall be four horizontal to one vertical.
 - (7) Active Recreational Areas and Facilities. A berm varying in height from three to five feet, with one ornamental or evergreen tree for every 20 feet, plus one deciduous or evergreen shrub for every 10 feet, planted in an informal arrangement along the perimeter of the property being subdivided. The maximum side slopes of the continuous berm shall be four horizontal to one vertical. The Board may require

fencing depending on the type of proposed recreational facilities and/or adjacent land uses.

§ 22-722. Butler Avenue Corridor Overlay District

C. Site Layout

- (7) Buffering and Landscaping.
 - (e) Along any property line which adjoins an existing residential zoning district or use, a buffer planting strip of not less than 45 feet in depth shall be planted and maintained in accordance with the buffer requirements set forth in Chapter 27, Zoning.

Chapter 27: Zoning

27-2801. Minimum Buffer Area Widths

- *sets buffer widths for zoning districts, ranging from 25 to 75 feet.*

27-2802. Content of Planting Strips.

- a. The following minimum spacing and composition are required for planting strips:
 - 1. Each strip shall contain two staggered rows of evergreens or a combination of trees and shrubs listed below.
 - 2. Where rows of evergreens are being planted, each row shall be no greater than 20 feet apart, and the plants in each row shall be planted at a density of one plant every nine linear feet.
 - 3. Where a combination of trees and shrubs is being planted, this mixture of plants shall be chosen and planted in such a fashion and density as to provide the required screening of the neighboring properties. The table below indicates the minimum amount of plant material that is required per linear foot of buffer length. (Table provides plant types/spacing requirements for buffer widths).
- b. Plant Diversity. To promote diversity and minimize the impact of disease on tree, shrub, and plant populations, the following tables shall be followed to determine the number of different genera (plural of the taxonomic rank genus) to be planted (chart requiring species diversity based on number of plants required).
- c. Plant materials shall be selected from the following list (lists of plants, EAC reviewed focusing on inclusion of native species and the removal of nonnative species).

Current Practices:

Overall, zoning buffer requirements set buffer sizes and general planting and berming requirements focused on spacing for evergreen/deciduous trees and shrubs. Buffer width requirements range from 25 to 75 feet depending on land use. Plant diversity and material specifications are prescribed (PEC noted

that the Township EAC has reviewed the buffer plant list focusing on inclusion of native species and removal of non-native species).

Recommendation:

Modify SALDO and zoning buffer codes to allow for stormwater treatment buffers as an option which may include a combination of fencing and plant material for both screening and stormwater treatment. Buffers can include stormwater management features that support wildlife where visual screening is still achieved. Require use of native plants in the prescribed mix of evergreen/deciduous tree and shrub buffers. Add provision allowing alternative spacing if used as stormwater control measure. The Chester County Planning Commission's **Conservation Subdivision Design Guide** provides general buffer/screening standards and recommends use of native plants.

During previous ordinance evaluations conducted by PEC, Township staff did note that consideration should be given to the loss of open space if the buffer is combined with a stormwater management feature (i.e., the combined features include less open space than if they are two separate features). If the loss of open space could occur with these buffer requirement changes (for example, if developer would not be agreeable to exceeding stormwater management requirements through the addition of stormwater features in buffer areas), then consider requiring nature-based landscaping in buffers to provide other environmental and conservation benefits such as wildlife/pollinator habitat.

See Appendix for above-referenced guidance document.

Why: Codes often require buffers between properties or uses to be composed of a "dense evergreen hedge", a berm, or similar. Codes can be modified to provide an option for integrating vegetated stormwater-control measures or other natural landscaping features using a combination of fencing and plants for screen and buffer areas.

Question 3: Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

Code Reference:

Chapter 10 Health and Safety – Part 2 Restricting Height of Vegetation

§ 10-201- Vegetative Growth a Nuisance under Certain Conditions

- No person, firm or corporation owning or occupying any property within New Britain Township shall permit any grass or weeds or any vegetation whatsoever, not ordinarily edible or planted for some useful or ornamental purposes to grow or remain upon such premises so as to exceed a height of six inches within 200 feet of any residential dwelling. Any grass, weeds or other vegetation growing upon any premises in New Britain Township in violation of any of the provisions of this section is hereby declared to be a nuisance and detrimental to the health, safety, cleanliness and comfort of the inhabitants of New Britain Township. Properties defined as wildlife refuge, wetlands, detention basin areas, woodlands, environmentally sensitive areas or other areas which removal would not be appropriate shall not be in violation of any provisions of this section.

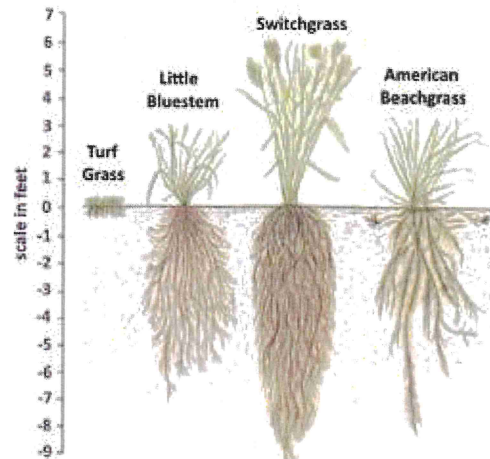


Figure 3. Native Plants vs. Turf Grass Root Depths (Mass.Gov)

Current Practice:

There is currently not any language located in the code explicitly encouraging the use of deep-rooted plants in-lieu of turfgrass. Turfgrass seems to be the standard for new subdivisions and construction and Chapter 10 Health and Safety actively discourages this with their regulations on the height of vegetation. Most deep-rooted species will far exceed the six-inch height limit, so this creates a real barrier to any effort to cut down on the amount of turfgrass used in subdivisions.

Recommendation:

Overall, consider updates to the SALDO that require the use of deep-rooted native plants and that limit the use of turf grass to appropriate areas such as for outdoor recreation and gathering. We recommend the use of native plant species, and the limitation of turf lawn areas, to be more broadly adopted in the SALDO ordinances. For example, consider adopting language such as that used **by Lower Makefield Township (Section 178.80 Landscape Plan Requirements)** that requires native plants be used for landscape plans in areas such as: minimization of site disturbance, street trees, buffers, parking area landscaping, preservation of trees in the right-of-way, tree protection during grading, and construction and planting in conjunction with stormwater management. To further enable lawn to meadow/native plant conversions, include lists of native plants in the ordinances that include tree, shrub, and forb species

and state that they be used as default/priority choices of plant palettes in the designated landscaping areas.

The Township Health and Safety Ordinance “Chapter 10-201 Vegetative Growth a Nuisance Under Certain Conditions” does not allow for *grass or weeds or any vegetation whatsoever, not ordinarily edible or planted for some useful or ornamental purposes to grow or remain upon such premises so as to exceed a height of six inches within 200 feet of any residential dwelling*. Understanding that residential area landscaping typically includes extensive turf grass cover, and that the transition of turf grass lawns to native plants such as meadow flowers and grasses may be challenged, the Township should consider adopting language in this ordinance or elsewhere that enables taller native plant species. Examples of other townships that have established such ordinances such as Lower Merion Township, Cheltenham Township, and Springfield Township are included in the Appendix. What is typically required are setbacks from streets, structures, and/or adjacent properties, in some cases requirements to register or otherwise have a landscaping plan for the lawn to meadow conversion, and the continued control of invasive species/invasive plants.

In the Township’s amendments to the Appendix D Required Plant Material List for SALDO, continue to be mindful of native species when providing recommendations for specific plants, and consider expanding the selection to native grasses as well. Providing a list of native, deep-rooted plants will help to enable the planting of these species with new development. Refer to the aforementioned **Lower Makefield Township list of native plants** and **the Philadelphia Water Department’s Stormwater Management Guidance Manual** for more examples of native and non-invasive deep-rooted plants.

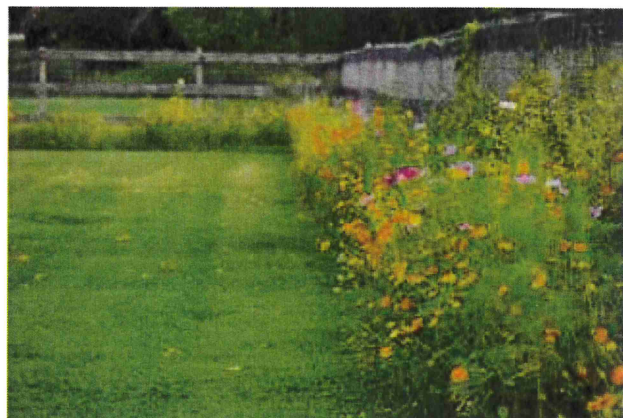


Figure 4. Native planting buffer in residential yard
(American Meadows Blog)

****See Appendix for above-referenced code/guidance documents.***

Why: Native plants are well adapted to local conditions and upon establishment can thrive, providing multiple benefits ranging from stormwater management to wildlife and pollinator habitat, to urban heat island affect mitigation. Conversely, turf grass/sod, while a necessary amenity for areas used for recreation and gathering areas, does not provide stormwater management and related benefit, so its use should be minimized. Reducing the footprint of turf grass lawns will slow down and infiltrate stormwater runoff and provide habitat for native birds, butterflies, and other pollinator species.

Question 4: Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

Code Reference:

Chapter 22: Subdivision and Land Development

§ 22-705. Streets

8. Permanent Cul-de-Sac Streets

- C. Cul-de-sac streets shall be provided with a left side turnaround configuration at the closed end with a minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet.
- F. A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.

Current Practice:

The code does not specifically call out for the integration of stormwater management in cul-de-sacs or medians. The required size of the cul-de-sac would allow for the integration of a stormwater management island as documented in the recommendation section.

Recommendation:

Amend SALDO and Stormwater Management Codes to include stormwater treatment within cul-de-sac islands as an allowable use. Address Public Works requirements (e.g., for snow plowing and fire truck access). The Chester County Planning Commission, **Municipal Corner, Conservation Subdivision Design Guide** provides samples ordinance language for cul-de-sac turnarounds. The cul-de-sac turnaround shall have a right-of-way radius of fifty-five (55) feet and an outer paving radius of forty-five (45) feet. The moving lane around the center island shall have a paved width of twenty (20) feet. The City of Philadelphia (*PWD Plan Review: Chapter 6 – Utilizing Existing Site Features*) does not encourage cul-de-sacs and other “dead ends”. But the City recognizes that when cul-de-sacs are unavoidable, they can be designed with central islands that reduce impervious area and to allow for infiltration of stormwater runoff. **Philadelphia Code (§14-2104)** stipulates, “Cul-de-sacs, permanently designed as such shall have at the closed end a turn-around containing a right-of-way having an outside radius of not less than 50 feet, which shall be paved to a radius of 40 feet.” A cul-de-sac can be designed to meet these standards and still provide stormwater management. An island can be designed in the center of a cul-de-sac that provides a sufficient travel lane but reduces impervious area and manages stormwater from the street and adjacent properties. The entire street should be graded to the central island to the extent that surrounding topography allows. The island would be designed like a bioretention facility and runoff can enter the island through curb openings or a curb-less design.

Current New Britain code provides adequate dimensions for stormwater features within a cul-de-sac (minimum right-of-way radius of 60 feet and a minimum paving radius of 50 feet). Whereas PEC noted

that cul-de-sacs are allowed and present in the township, the inclusion of stormwater management islands should be integrated into the cul-de-sac design.

The current New Britain ordinance also requires an easement for snow storage (15 foot by 20 foot). No bio-infiltration stormwater control measure should be installed in the snow storage easement area.

****See Appendix for above-referenced code and other guidance documents***

Why: If standard specifications do not allow for different engineering designs, some variance procedure or alternative standard may be needed.

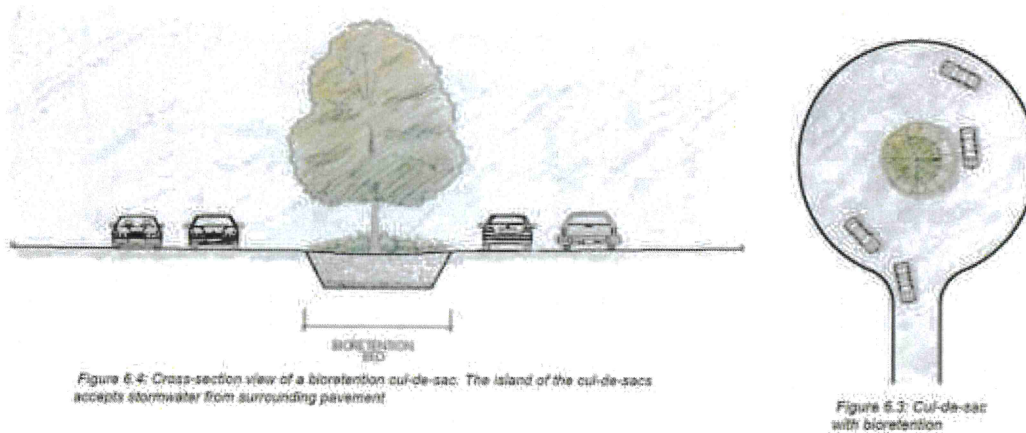


Figure 5. Section and Plan: cul-de-sac with bioretention (Philadelphia Water Department)

Question 5: Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on site plans?

Code Reference:

Chapter 21: Streets and Sidewalks

§ 21-403. Winter Storms.

1. Ice and Snow Removal.

- Sections A through D provide general requirements for property owner snow removal.

2. Improper Ice and Snow Removal.

- A. No snow or ice shall be plowed, pushed, thrown, or cleared from private property onto a public street, sidewalk, bike path, pedestrian path, gutter, or swale.
- B. No snow or ice shall be plowed, pushed, thrown, or cleared from private property onto a neighboring property without the express permission of the owner of the neighboring property.

- C. No person shall deposit or cause to be deposited any snow or ice on or immediately next to a fire hydrant.

Chapter 22: Subdivision and Land Development

§ 22-705. Streets

8. Permanent Cul-de-Sac Streets

- F. A fifteen-foot by twenty-foot snow storage easement shall be required along the right-of-way of the cul-de-sac bulb at a location approved by the Board.

Chapter 27: Zoning

§ 27-305. Use Definitions and Regulations.

B - Residential Uses

- B10. Village House Development.
 - b. dimensional standards
 - 14. Snow Removal: All common areas shall have a blanket easement for the deposit of snow. One area of 10 feet by 15 feet per 20 dwelling units or portion thereof will be eased in areas designated by the Public Works Superintendent for deposit of snow.

Current Practice:

The Township has a general ice and snow removal ordinance for property owners. It also has ordinances specifying 10 feet by 15 feet easements for snow disposal associated with cul-de-sacs (in SALDO) and with the B10. Village House Development (in Zoning).

Recommendation:

Consider any further need for specific snow storage areas, where those storage areas should be located, and how they should be managed. If larger volume snow storage is occurring, require that stormwater site plan requirements include locations of existing and proposed snow storage areas. The Appendix includes guidance document references on the siting and management of snow storage areas, focusing on protecting water supply areas/aquifers/waterbodies and other salt vulnerable areas such as wetlands. Specific areas of concerns in New Britain Township in addition to cul-de-sac and Village House Development areas could be commercial and parking lot areas where snow stockpiling is more likely to occur. The protection of dedicated stormwater management bioretention areas in such areas should also be considered. Upon the dedication of specific snow storage areas, add requirement to include existing/proposed areas dedicated for snow storage on SALDO plan(s).

****See Appendix for guidance document references.***

Why: Snow storage should be located in areas where melting and infiltration can occur without affecting the performance of stormwater treatment practices or leading to sedimentation and pollution in adjacent streams/wetlands/water supply areas.

Topic 2 – Design Standards

Question 6: Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

Code Reference:

Chapter 22: Subdivision and Land Development (SALDO)

§ 22-705. Streets

15. Crosswalks.

- A. Crosswalks shall be required at intersections and at other locations where necessary to facilitate pedestrian circulation and to provide access to community facilities.
- B. Crosswalks shall be a minimum of five feet in width and shall be constructed in accordance with PennDOT standards.
- C. The Board may require bollards, special paving material, striping, signage or lighting to improve the function of a crosswalk.
- D. Crosswalks shall consist of brick red thermoplastic street imprint with herringbone pattern and six-inch white stripes, unless otherwise approved by the Board of Supervisors



Figure 6. High density green infrastructure integration (Sasaki)

§ 22-713. Landscape Planting

4. Street Trees.

- A. Street trees shall be planted every 30 feet along all proposed streets and existing streets when they abut or lie within the proposed subdivision and/or land development.
- B. Street trees shall be planted between three and five feet outside the ultimate right-of-way line, and as an alternative, the same quantity of trees may be planted in an informal arrangement along the perimeter of the street, when approved by the Board.
- C. Street trees shall be selected from the List of Required Plant Material listed in the Appendix.

§ 22-722. Butler Avenue Corridor Overlay District

4. Standards for Development Within the Corridor Overlay District

- C. Site Layout

▪ (7) Buffering and Landscaping.

- a. Along every public and private public street, a mixture of street trees from the following list shall be planted 50 feet on center:
- b. All street trees shall be planted in the planting strip located between the curblineline and the sidewalk. See the "Typical Plan View" illustration in Subsection 4D(7).
- c. The street trees shall be planted in a proper location for the chosen species (i.e., the level of sunlight, type of soils, size of planting area, distances to buildings and utilities, etc.). For example, where there may be conflict with overhead utility wires, the shorter tree species should be used.
- d. Where more than three trees are required, no more than 25% of any one species shall be used. Where three or less trees are required, each must be of a different species.
- e. Along any property line which adjoins an existing residential zoning district or use, a buffer planting strip of not less than 45 feet in depth shall be planted and maintained in accordance with the buffer requirements set forth in Chapter 27, Zoning. Sidewalks are permitted to cross this strip.

Chapter 26: Stormwater; Water; Wells

C Stormwater Management

§ 26-121. General Requirements

8. All regulated activities shall include measures as necessary to:

- To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.

D. Stormwater Management (SWM) Site Plan Requirements

§ 26-134. Stormwater Management (SWM) Site Plan Review

- 3. For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

Current Practice:

While the use of GSI and LID is required in general terms for stormwater management unless adequate justification is given (outlined in Chapter 26: Stormwater; Water; Wells) there is no language within SALDO or Zoning which designates green infrastructure as being allowed or encouraged in streetscapes specifically. There is also no specification of whether these practices are permitted to extend into the ROW or onto the sidewalks. However, SALDO does currently have a section on street trees that could be expanded to encompass GSI along streetscapes including Stormwater Trees, Stormwater Tree Trenches as well as other types of GSI. There is no writing in the code on traffic calming or how these traffic calming measures can also be co-designed as stormwater control measures.

Recommendation:

The Township should consider encouraging GSI in streetscape design through amendments within the SALDO ordinances. Language specific to streetscape GSI will help strengthen and clarify the current code within Chapter 26 and provide guidance on integrating GSI with streetscapes. In addition, the township should explore how GSI implementation would interact with street ROW and sidewalks. Low-impact development best practices should be specifically allowed to extend into the public right of way, unless deemed inappropriate by the Town Manager. Stormwater Control Measures such as planter boxes or cisterns should be allowed to extend into the public right of way, unless deemed inappropriate by the Township Manager.

The Montgomery County Planning Commission’s (MCPC’s) **Green Streets Guide** outlines several design alternatives to traditional streetscape stormwater runoff management. These include Stormwater Curb Extensions, Stormwater Planters, Vegetated Swales, and Rain Gardens. Additionally, the City of Philadelphia **Green Streets Design Manual** outlines Stormwater Trees and Stormwater Tree Trenches which would be helpful as design alternatives as well. We recommend listing and defining these GSI practices within the code in the SALDO 22-202 as well as amending and expanding SALDO 22-713: Street Trees to include streetscape GSI. SALDO 22-713 requires that street trees be planted along all streets where suitable street trees do not exist. As mentioned before, this does not include GSI, but provides the opportunity for overlap considering the integral role that trees can play in many stormwater management strategies. Alternatively, a new section specific to GSI could be developed and situated within SALDO 22-713, recommending the stormwater runoff management alternatives outlined in the Green Streets resources above. These streetscape alternatives should be



Figure 7. Rain Garden along tree lawn (BioCycle)

recommended, or even required on municipality roads, focusing on the larger scale residential and commercial developments/streetscapes that have more impervious surfaces. These practices should also be recommended for applicable roads maintained by PennDOT, if possible.

Several of the design guidelines and general recommendations related to parking lots can also be applied in streetscape design (refer to Montgomery County Planning Commission's (MCPC's) **Sustainable Green Parking Lot Guide** and the recommendations for parking lots within Topic 1 - Landscaping). We recommend that this information be added to the revised SALDO ~~105-48~~. Additionally, design guidelines for specific GSI strategies can be found in the City of Philadelphia **Green Streets Design Manual Appendix**. This document includes technical information and mock construction drawings that provide specifics on these GSI strategies could influence the writing within SALDO itself but will be most helpful in providing guidance and reference for specific types of GSI and how they fit into streetscape design.

GSI practices such as traffic bump-outs and curb extensions may be used as traffic calming measures to increase pedestrian safety in addition to managing stormwater along streets. This helps to reduce crossing distances for pedestrians, slow down vehicle speed, and increase awareness of crosswalk locations for drivers. The township should consider amending and expanding SALDO 22-705 Crosswalks to include information on traffic calming initiatives and encourage them to be constructed around crosswalks, when possible, to improve safety. Specifics on traffic calming strategies, design specifications, case studies, and implementation guidance is provided within **Pennsylvania's Traffic Calming Handbook**, produced by PennDOT. Consider adding these practices to the Butler Avenue Corridor Overlay District as well, if cooperation from PennDOT is possible when addressing roads owned and maintained by the state. Additionally, define any terms such as traffic bump outs and curb extensions in the definitions portion of the code. Clarify that, when possible, these traffic calming initiatives should utilize GSI practices that are outlined in the Stormwater; Water; and Wells code. It may be helpful to include reference and design standards for green stormwater management for traffic calming measures. The township should also consider incentives for projects that go beyond minimum infiltration standards.

In looking to encourage or require GSI within streetscape design, the township should decide how much design specification information they want to include within the SALDO code. While establishing some standards can be helpful, like has been done for parking lots, but getting too specific within the municipal code can be counterproductive, as the applications of each of these strategies will be different based on the site conditions, size and type of streets, utilities, and more. Reference the above resources located in the appendix for more information.

**See Appendix for referenced guidance documents and additional information.*

Why: Streetscape standards may not enable stormwater trees, sidewalk bioretention, or curb bump-outs in new or renovated streetscapes. Most zoning ordinances specify what elements (ex. Awnings, signs) may extend into ROW. Planter boxes and cisterns often need to be added to the list and permitted to extend at least 24 inches into the ROW.



Figure 8. Traffic Bump Out - City of Philadelphia

Topic 3 – Construction Management

Question 7: Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

Code Reference:

Chapter 22: Subdivision and Land Development

§ 22-505. Community Impact Assessment Report

- D. Physical Resources Inventory. Physical resources such as topography and shall be described in a narrative and mapped at a scale not exceeding one inch equals 100 feet.
 - (2) The hydrological characteristics of the tract, including the following:
 - (3) Surface water resources and their drainage characteristics, including creeks, streams, ponds, lakes, springs, wetlands, watersheds, flood-plains and man-made structures and impoundments. The existing and proposed surface runoff from the tract shall be calculated, including the potential development of the remainder of the watershed. The flow, depth, capacity and quality of the receiving waters shall be investigated.

§ 22-701. General Standards

- 5. Applicants shall preserve scenic areas, historic sites, other community assets and landmarks and natural amenities such as trees and waterways.

Chapter 26 Stormwater; Water; Wells

§ 26-132. SWM Site Plan Requirements.

- B. Plans. SWM site plans shall provide the following information:
 - (b) Natural Site Conditions
 - 1) An existing resource and site analysis map (ERSAM) showing environmentally sensitive areas including, but not limited to:
 - Steep slopes.
 - Ponds.
 - Lakes.
 - Streams.
 - Wetlands.
 - Hydric soils.
 - Hydrologic soil groups A and B.
 - Vernal pools.
 - Stream buffers.
 - Open channels.
 - Existing recharge areas.
 - Floodplains.

The area of each of these sensitive areas shall be calculated and should be consistent with the runoff volume calculation § 26-123, Subsection 2C(1).

Current Practice:

SALDO outlines the different resources that must be identified on preliminary plans or reviews. These include stream channels, floodplains, wet soils, swales, springs, and other lowland areas, but does not currently include historic stream channels and waterways. There is also no definition of historic stream channels and waterways in the code.

Recommendation:

Township should consider adding language specific to historic stream channels and water bodies to ensure they are identified during site development with opportunities for GSI implementation within these areas. Amend SALDO 22-505 to include historic stream channels and water bodies in the list of surface water resources within the Physical Resources inventory. Amend SALDO 22-701 to include these in the general standards for preservation as well. Amend Stormwater; Water; Wells 26-132 to include historic stream channels and water bodies as natural site conditions to be required in the existing resource and site analysis map. Historic stream channel data is available via the **PA Spatial Data Access Portal**. Further information can be found on the **Bucks County Geospatial Data Hub**. For additional guidance on how local regulation fits into historic preservation see **WeConservePA**.

****See Appendix for referenced data portals/hubs.***

Wherever specification of these historic stream channels and water bodies is added into the ordinance, a definition should be added within the definitions section of this term. The suggested definition is as follows:

A historic stream channel is the route that a currently existing stream, or an extinct stream, used to follow at a certain point in history. The stream channel may have been altered over time through natural means, or due to human intervention. These historic stream channels can indicate flood prone areas to be mindful of during construction or development.

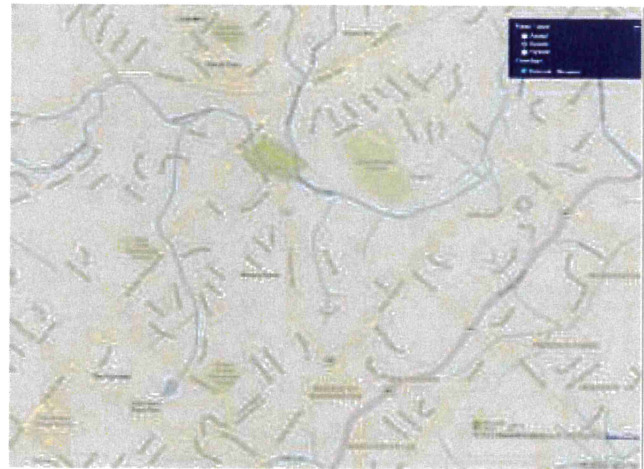


Figure 9. PASDA Historic Streams Map

Why: Areas where historic stream channels and ponds have been filled in or modified are often prone to flooding. They may be good areas to incorporate into stormwater management features, open space, or landscaping. Adding to sketch plan requirement carries through to preliminary and final subdivision plan submissions.

Topic 4 – Education and Outreach

Question 8: Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

Code Reference:

Chapter 26: Stormwater; Water; Wells

§ 26-172. Roof Drains

- Roof drains and sump pumps shall discharge to infiltration or vegetative BMPs and to the maximum extent practicable satisfy the criteria for disconnected impervious areas (DIAs).

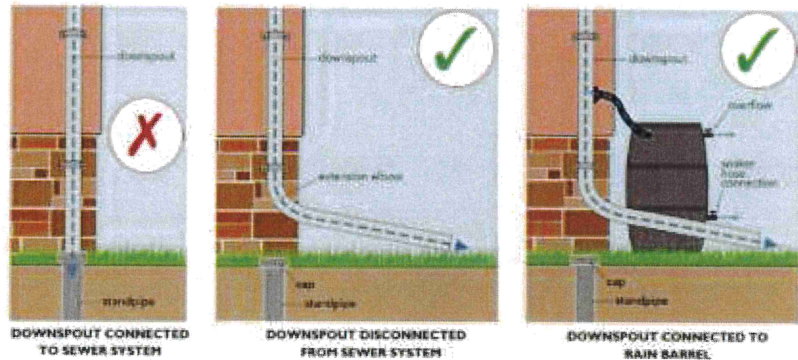


Figure 10. Downspout Disconnection Program (DC Water.Com)

New Britain Township Website

"Educating yourself on where rainwater and snowmelt flow on your property when it doesn't get absorbed into the ground is a huge first step. Implementing best management practices (BMP) to reduce runoff and to make sure that it is clean when it leaves your property is the next step. Best Management Practices (BMP) include Rain Gardens, seepage pits, rain barrels, and more."

Current Practice:

The Township already requires that roof drains and sump pumps discharge to infiltration or vegetative BMPs wherever possible. However, there is no mention of downspout disconnections or rain barrels in the Township's code. The Township's website includes rain barrels as a BMP for rainwater and stormwater and links to the DEP and EPA general BMP pages.

Recommendation:

The Township should build off of the requirements they already have made in Chapter 26 and provide more resources on rain barrels and downspout connections to the existing stormwater page on the township's website. Consider adding additional resources catering to the installation and maintenance of rain barrels as well, refer to the **American Water Rain Barrel Installation Guide** as an example. It would also be helpful to provide a few municipality-endorsed rain barrel options for residents to choose from, like the list provided on the **Whitemarsh Township website**. If there is a dedicated contact for those

interested in rain barrels and other BMPs, add that information for those who may request additional assistance. All of this will help provide education on what rain barrels are, how they function, how they can be installed, and ultimately make it as easy as possible for residents to be able to install these on their own properties. This will eliminate education gaps, simplify the decision-making process, and dissolve any other barriers that may dissuade residents from installing rain barrels on their properties. Consider collaborating with local organizations such as the Neshaminy Watershed Association and Penn State Extension to see what information and resources they already have for distribution. These resources should be added to the website, made into pamphlets or brochures, or distributed by other means to ensure that it reaches the most community members.

Consider adding specific guidance for residents for personal downspout disconnection projects such as the **Pennsylvania American Water: Downspout Disconnection Instructions** that utilize types of GSI other than rain barrels such as rain gardens or bioswales to reduce the amount and slow the speed of water runoff. More information on how these GSI components can interact with downspouts within Stormwater; Water; Wells 26-172 Roof Drains would be helpful.

****See Appendix for above-reference guidance document and additional information.***

Why: Having a written procedure (even if not formally adopted) for common requests facilitates the use of these techniques and helps manage neighbor inquiries and public concerns.

Question 9: Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

Code Reference:

- There is no current language located in the municipal code related to rain garden construction or the planting of native plants in yards of lawns.

New Britain Township Website

- On the Township site, under the Stormwater section, rain gardens are mentioned as a BMP with links to the Department of Environmental Protection (DEP) as well as the Environmental Protection Agency (EPA)

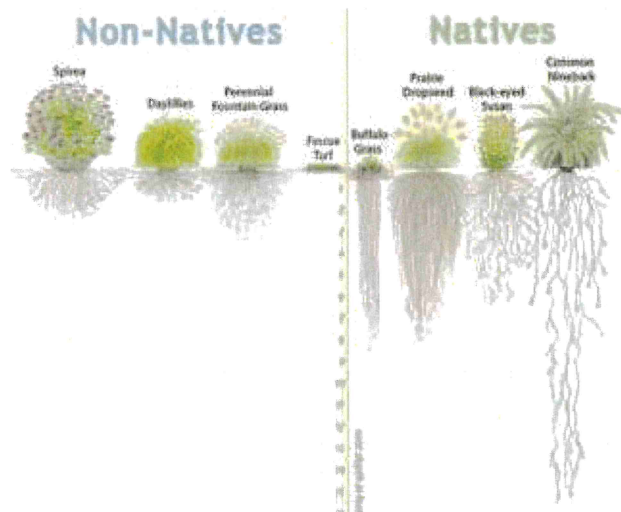


Figure 11. Native vs. Non-Native plant profiles (Reduce Your Storm)

Current Practice:

There is no current procedure for review. Other resources on stormwater BMPs including rain gardens are referenced on the municipality website.

Recommendation:

The Township should provide or make available simple, small project design guidance for homeowner rain gardens and other small scale or residential green stormwater infrastructure. Additionally, resources on native plantings and recommended planting practices should be provided by the Township for residents working on small GSI projects of their own. This typically come into play when considering smaller projects (0 to 1,000 square feet of proposed impervious surface requiring volume control under Section 26.106 of Stormwater code). The Wissahickon Act 167 Plan has a model stormwater ordinance, entitled the **Wissahickon Creek Watershed Stormwater Management Ordinance**. This includes a small project site plan ordinance within **Appendix B Small Project Stormwater Management (SWM) Site Plan for Residential Development**. The Township should develop their own version of this small project ordinance and include it as an appendix within Chapter 26: Stormwater; Water; Wells.

For resources for residents, The Penn State Extension provides simple, yet informative resources such as **Rain Gardens - the Basics** and **Rain Gardens - the Plants** that would be helpful for reference by the Township and individual residents. Refer to Topic 1 – Landscaping, Question 4 for additional recommendations regarding native and deep-rooted plantings, which are often planted in rain gardens.

We also recommend establishing workforce development training in partnership with local watershed groups/PEC, the Planning Commission & Engineering Consultant who can provide resource guidance on design, construction, and maintenance of residential GSI. The Neshaminy Watershed Association and the Master Watershed Stewards through Penn State Extension are active locally and have many resources that would help educate and guide individuals on rain garden construction and the planting of native species. Like the recommendation made above regarding rain barrels and downspout disconnections, these resources should be shared on the municipality website, made into pamphlets/brochures, or other formats so they are easily accessible to residents.

Note: individual homeowners are responsible for implementation and maintenance of GSI on private properties.

****See Appendix for referenced documents and additional resources.***

Why: Having a written procedure (even if not formally adopted) for common requests facilitates the use of these techniques and helps manage neighbor inquiries and public concerns.

Topic 5 – Stormwater Management Standard

Question 10: Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

Code Reference:

Chapter 26: Stormwater; Water; Wells

C Stormwater Management

§ 26-121. General Requirements

8. All regulated activities shall include measures as necessary to:

- To the maximum extent practicable, incorporate the techniques for low impact development practices (e.g., protecting existing trees, reducing area of impervious surface cluster development, and protecting open space) described in the Pennsylvania Stormwater Best Management Practices Manual; Pennsylvania Department of Environmental Protection (PADEP) No. 363-0300-002 (2006). If methods other than green infrastructure and LID methods are proposed to achieve the volume and rate controls required under this Part, the SWM site plan must include a detailed justification demonstrating that the use of LID and green infrastructure is not practicable.



Figure 12. Stormwater tree trench (Philadelphia Water Department)

D. Stormwater Management (SWM) Site Plan Requirements

§ 26-134. Stormwater Management (SWM) Site Plan Review

- 3. For any SWM site plan that proposes to use any BMPs other than green infrastructure and LID practices to achieve the volume and rate controls required under this Part, the municipality will not approve the SWM site plan unless it determines that green infrastructure and LID practices are not practicable.

No incentive language was noted in the development codes for overall impervious surface reduction and conservation of natural areas.

Current Practice:

No incentive requirement needed for GSI, as it is required.

During PEC meetings with New Britain Township, Township representatives noted that incentives are provided in the form of accelerated project review timelines and waivers for building requirements. PEC did not observe waiver procedures in our code review.

Recommendation:

Consider the implementation of incentives for reduced impervious cover and increased open space in residential and commercial zoning districts that would benefit the most from these features. General examples of incentive programs are provided by the Montgomery County **Transit-Oriented Development Model Ordinance**, the Chester County Planning Commission, **Municipal Corner, Conservation Subdivision Design Guide**, and the U.S. EPA guidance on **Managing Wet Weather with Green Infrastructure, Municipal Handbook, Incentive Mechanisms**. The Commonwealth of **Virginia's Soil and Water Conservation Districts** offer impervious surface reduction bonuses; incentive payments are offered based on a rate of \$5.00 per square foot of treated area with a maximum payment of \$20,000.00.

****See Appendix for additional information.***

Why: Incentives can be more effective than intervention in encouraging implementation of public benefits.



New Britain Township – Green Stormwater Infrastructure Ordinance Evaluation
Pennsylvania Environmental Council (PEC)
August 2024

APPENDIX

Topic 1 – Landscaping

Question 1: Do parking lot edge landscaping requirements (islands, edges) specifically allow or encourage use as stormwater control areas? Is a standard adopted? Are flush curbs and/or curb cuts allowed to direct runoff into vegetated landscaped islands? Are there minimum landscaping requirements/sizes for parking lot perimeters or islands?

Example Guidance and Code Language:

Montgomery County Planning Commission Sustainable Green Parking Lot Guide (see https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web) *Parking lot landscaped areas shall be designed to accept stormwater runoff and be designed as bioretention area if site conditions are appropriate. The bioretention area should have an inverted slope to allow infiltration and ponding of water. Curbs separating landscape areas from parking shall have cuts or other features to allow stormwater to flow to the bioretention area. Proposed bioretention area or other vegetated stormwater management features shall be depicted on the site development plans, along with enough details (area, depth of soil, plant species) to establish the viability of the proposed features. Plans should show how these stormwater management features within the parking lot are integrated with other stormwater management elements for the entire site.*

Lower Makefield Township SALDO, Article X1, Landscape and Open Lane Requirements, Section 178.80 (see <https://ecode360.com/11225201>) addresses the conservation of the natural landscape to enhance the development and to protect surrounding areas. All required plants shall be native plants. The basic goal is to preserve the native flora by mimicking the localized native plant community.

Lower Makefield Township list of native plants required to be included in SALDO landscape plans (see <https://ecode360.com/attachment/LO1561/LO1561-178a%20Exhibit%201.pdf>):

City of Lancaster Ordinances:

Chapter 202 Parking Lot Ordinance: <https://ecode360.com/8118669>

Chapter 202-3-F: Landscaping and screening. *All surface parking lots shall be designed and effectively landscaped and screened in accordance with standards for landscaping and screening in the Parking Lots Supplemental Specifications in addition to the following:*

New Britain Township GSI Evaluation – August 2024 Draft Appendix

(1) General landscaping standards and guidelines.

(a) Landscaping shall be provided in low-lying or depressed perimeter landscape strips, interior planting islands and divider strips, as applicable, to minimize noise, glare and other nuisances as well as to enhance the environment and ecology of the site and surrounding area.

(b) Landscape areas shall be designed and constructed to provide stormwater management. Landscape areas shall incorporate green infrastructure (stormwater management) in order to comply with § 202-4, herein. Acceptable designs shall be consistent with Chapter 260, Stormwater Management, of the Code of the City of Lancaster.

(c) All landscape areas shall include a combination of trees, shrubs and ground covers.

(d) To the maximum extent practicable, native species of trees and other plant materials shall be provided.

(e) All trees shall be sited and planted in accordance with Chapter 273, Trees, of the Code of the City of Lancaster.

(f) Shrubs, ground covers and perennials used below shade trees within parking lots shall be of species able to withstand the harsh conditions and runoff of a parking lot. Plant selection should take into consideration tree growth and canopy cover and should be partially shade tolerant species.

(g) Provisions to prevent conflicts with the opening and closing of automobile doors and to reduce damage from automobile overhang.

(h) Trees shall be placed in order to avoid conflict with light standards and the effectiveness of light fixtures.

(i) Plantings required within the parking areas are exclusive of other planting requirements such as street trees.

(j) All damaged and dead landscape plantings, including trees, shall be replaced upon notice by the City.

(k) Continuous curbing including but not limited to formed concrete and rolled asphalt shall not be installed to impede the flow of stormwater into landscaped areas. The use of depressed concrete curbs is permitted.

(l) Replacement of trees. Where one or more required shade trees are proposed to be removed, they shall be replaced by new shade trees meeting City requirements, and the new locations and species shall be approved by the City. The Zoning Officer may require that the City Shade Tree Commission and/or the City Arborist be provided with an opportunity for a review. This provision does not apply to required street trees.

(m) Raised landscape and planting beds may be allowed upon permission of the City Engineer when used for accenting vehicle and pedestrian access points.

(2) Perimeter landscape strips shall be required for all surface parking lots with frontage on a public street and/or adjacent to residential dwellings.

(3) Planting islands shall be required for all surface parking lots containing 40 or more parking spaces.

(4) Vegetated divider strips may be utilized in surface parking lots with 100 or more spaces in lieu of planting islands. However, divider strips shall be used in all surface parking lots with double-loaded parking rows that exceed 40 spaces.

(5) In the event the tree planting or landscaping requirements in this subsection would result in the loss of the required number of off-street parking spaces as set forth in Article VIII of the City of Lancaster Zoning



Ordinance, the number of trees and the area of landscaping may be reduced in accordance with the following:

- (a) Enhanced SWM facilities shall be designed and constructed to reduce stormwater runoff by no less than an additional 20% above the amount required in § 202-4, herein; and
- (b) There is no reduction in the number of off-street parking spaces as required in Article VIII of Chapter 300, Zoning, of the Code of the City of Lancaster.

Chapter 202-4: Adequate drainage:

- A. All accessory and commercial surface parking lots shall be drained in a manner which is consistent with the City's Stormwater Management Ordinance, Chapter 260 of the Code of the City of Lancaster.
- B. Stormwater management facilities shall be installed and maintained in accordance with all applicable governmental and manufacturer's standards.
- C. All new or reconstructed surface parking lots shall be designed to incorporate stormwater management BMPs that permanently remove stormwater runoff in accordance with Chapter 260, Stormwater Management, of the Code of the City of Lancaster.
 - (1) Any combination of SWM facilities may be incorporated for the control and management of stormwater runoff, including green infrastructure/low-impact development best management practices in accordance with the PA BMP Manual and the City Specifications Manual.
 - (2) SWM facilities, including green infrastructure, may be installed in series.
 - (3) Stormwater shall not be permitted to enter the sewer system in any area of the City of Lancaster with a combined sewer system without approval from the City Engineer.
- D. All surface parking lots shall be properly graded and maintained to prevent conditions which may lead to water flowing over public sidewalks, standing water, ice or other conditions deemed to pose a threat to the public health, safety, and welfare.
 - (1) Paved surfaces, including but not limited to parking spaces and drive aisles, shall be graded and sloped in such a way for directing stormwater into landscaped areas or other stormwater management facilities.
 - (2) Stormwater flows onto adjacent property shall in conformance with the performance standards in the City of Lancaster Stormwater Management Ordinance.

Raleigh, North Carolina ordinance (Identified through web search which noted Tetra Tech had helped the city create ordinances including GSI):

The City's [Unified Development Ordinance, 13th Supplement, August 2021 \(cld.bz\)](#) link to the Section 7.1.7 Vehicle Parking Lot Landscaping requirements (<https://user-2081353526.cld.bz/UnifiedDevelopmentOrdinance/227/>) provides details for perimeter, interior, and median islands including tree coverage.

Additional Parking Space Minimum Guidance

American Planning Association, [A Business Case for Dropping Parking Minimums](#), June 1, 2022, <https://www.planning.org/planning/2022/spring/a-business-case-for-dropping-parking-minimums/>

Parking Reform Network, <https://parkingreform.org/about/>



Parking Reform Network Map, <https://parkingreform.org/resources/mandates-map/>

NAIOP - Commercial Real Estate Development Association, *As More Cities Eliminate Parking Minimums, What Happens Next?*, Summer 2023 Issue - <https://www.naiop.org/research-and-publications/magazine/2023/Summer-2023/development-ownership/as-more-cities-eliminate-parking-minimums-what-happens-next/>

Sustainable Development Code - **Eliminate or Reduce Parking Minimums in Areas with Access to Transit-Oriented Development**, Bryce Grame (author), Jonathan Rosenbloom, Sarah Church, Bradley Adams (editors), August 2024 access date - <https://sustainablecitycode.org/brief/eliminate-or-reduce-parking-minimums-in-areas-with-access-to-transit-oriented-development-4/>

Question 2: Is there a process or standard to waive numerical, spacing, and species requirements from stormwater-control measure in required landscape areas?

Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide - <https://www.chescoplanning.org/municorner/conservationsubdivision/03-Screening.cfm>
Design Elements – Screening – Provides general screening standards and recommends use of native plants.

Question 3: Is turfgrass required in new subdivisions or construction? Could deep-rooted plants be substituted?

Ordinance addressing use of native plants in open space areas (e.g., parking lot islands, buffers)

Lower Makefield Township SALDO, Article X1, Landscape and Open Lane Requirements, Section 178.80 (see <https://ecode360.com/11225201>) addresses the conservation of the natural landscape to enhance the development and to protect surrounding areas. All required plants shall be native plants. The basic goal is to preserve the native flora by mimicking the localized native plant community.

Example Native Plant Lists:

Philadelphia Water Department's Stormwater Management Guidance Manual, Version 3.3, July 2023, Appendix I: Lists of native and recommended non-invasive plants and prohibited invasive plants and noxious weeds. See Manual at [Stormwater Management Guidance Manual – Development Services \(phila.gov\)](#), and native plant list at [Microsoft Word - Appendix I - Table I-1_20150608 \(phila.gov\)](#).

Lower Makefield Township list of native plants required to be included in SALDO landscape plans (see <https://ecode360.com/attachment/LO1561/LO1561-178a%20Exhibit%201.pdf>): Includes trees, shrubs,



ferns, grasses, herbaceous perennials and herbaceous emergent. Identifies light and moisture requirements and if street tree.

Montgomery County Planning Commission Sustainable Green Parking Lots Guidebook (see https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web) Includes recommended plant lists for green parking lots starting on Page 52, including:

- Trees and shrubs for tree islands and planting strips with raised curbing
- Trees for bioretention areas and moist soil areas
- Shrubs – deciduous and evergreen suitable for bioretention areas and absorbent parking lot islands
- Grasses and sedges for meadows, bioswales, and bioretention areas
- Perennials for meadows, bioswales, and bioretention areas

Code addressing plantings in stormwater management basins:

Lower Merion Township Stormwater Management Code, Chapter 121-4, Section G language addresses landscaping of stormwater management facilities and related natural resources. The code emphasizes native plants (e.g., wet meadows on basin floors planted with wildflowers and nonaggressive grasses; wet edges planted with wildflowers, grasses, and shrubs; wooded areas plantings that provide for wildlife habitat; slopes with grasses/wildflowers; steeper slopes with shrubs; and buffers that provide food and shelter for wildlife). Non-native plants and trees should require justification for why they are selected rather than a native alternative. See Lower Merion Township Code for more details at <https://ecode360.com/6529398>

Examples of municipal ordinances allowing lawn to meadow installations: The installation of native plants/meadows on front lawns can be complicated by township weed ordinances that require cutting of vegetation over a certain height. Some townships have addressed this issue with ordinances that provide exceptions for managing lawns in a more naturalized state. Examples include:

Cheltenham Township, Montgomery County, PA, Vegetation Ordinance 188-2

(<https://ecode360.com/6443661>) – provides exceptions for wildflower meadows & stream buffers, but location of meadow is restricted (set-backs of 50’ from street, 25’ from structure/neighbor).

Ordinance - It is hereby declared a health hazard and nuisance and it shall be unlawful for any person to permit any of the following vegetation to grow or the cuttings, clippings and trimmings therefrom to remain uncollected on any lot or tract of ground in the Township:

(1) Any and all weeds, tall grasses or noxious plants exceeding 12 inches in height, with the following exceptions:

(a) Areas of any lot utilized for or managed as wildflower meadows, naturalized areas, or other no-mow zones, provided:

- [1] The property owner has a documented and demonstrated management program, including at a minimum one mowing per year; and
- [2] A minimum of 50 feet from all property lines abutting a public or private street is maintained free of weeds, grasses and noxious plants exceeding 12 inches; and
- [3] A minimum of 25 feet abutting the property lines abutting developed lots is maintained free of weeds, grasses and noxious plants exceeding 12 inches; and



[4] All premises and exterior property within 25 feet of any structure or building or between the structure or building and the property line, whichever is less, is maintained free of weeds, grasses and noxious plants exceeding 12 inches.

(b) Plant materials grown or placed for ornamental purposes.

(c) Riparian buffers as defined in Chapter 295, Article XXXIV, Riparian Corridor Conservation District, of the Cheltenham Township Code.

Overall, the regulations do not apply to open space conservation areas along stream banks; Township parkways, parks, or bird sanctuaries; or to heavily wooded or compost areas.

Springfield Township, Montgomery County, PA, Ordinance Chapter 11-1 - Accumulation of objectionable vegetation prohibited ([Township of Springfield, PA Brush, Grass and Weeds \(ecode360.com\)](https://www.springfieldpa.org/DocumentCenter/View/3581/Ordinance-No-399-Meadows)).

- “No person, firm, or corporation in the township shall permit that growth or accumulation of weeds, tall grasses, or other objectionable vegetation...”
- Section D exemption - The following areas shall be exempt from the requirements of this chapter except that noxious weeds shall be controlled within those areas: woodlands, wildflower gardens, meadows, steep slopes, wetlands, floodplains, riparian corridors, areas within 15 feet of a watercourse, pond or lake, an active farm field, pasture, and areas where stormwater management or conservation management plans have been established.

Whitpain Township, Montgomery County, PA Ordinance No. 399

([https://www.whitpaintownship.org/DocumentCenter/View/3581/Ordinance-No-399—Meadows](https://www.whitpaintownship.org/DocumentCenter/View/3581/Ordinance-No-399-Meadows))

- *Ordinance No 399 amends Chapter 155: Weeds and Vegetation*
- Defines *Natural Landscape* as “a meadow or other landscaping that includes herbaceous material”
 - Mix of native grasses, native plants, and wildflowers 3-12 inches
- *A Natural Landscape Permit* must be obtained by a property owner
- < 3-acre property
 - May only be in the rear or side yard
 - If a corner lot, may only be facing the street in the front yard with 10 ft mow strip
- > 3-acre property
 - May be in the front yard, provided a mow strip of 20 ft

East Coventry Township Brush, Chester County, PA, Weeds, Grass, and Dumping ordinance

(<https://ecode360.com/33321684>)

The following types of land or uses shall be exempt from the requirements that weeds, vines, grasses or other vegetation (but not including shrubs, bushes, native perennial plants and trees) shall not exceed 12 inches in height:

C. Seasonal and ornamental grasses, provided they are at least four feet from neighboring property boundaries;

I. Best management practice facilities designed to meet the requirements of the East Coventry Township Stormwater Management Ordinance



K. Areas within required riparian buffers planted to comply with the specifications outlined in the East Coventry Township Zoning Ordinance (Chapter [27](#)), the East Coventry Township Subdivision and Land Development Ordinance (Chapter [22](#)), or the East Coventry Township Stormwater Management Ordinance (Chapter [9](#), Part [1](#)); and

L. Any managed meadow as defined in Chapters [22](#) and [27](#). (MEADOW -A plant community or area of vegetation dominated by grasses and/or forbs, often managed through annual or seasonal mowing).

Ferguson Township, Centre County, PA – Manage Natural Landscapes

(<https://ecode360.com/31006295#31006296>)

- *Ordinance 10-103-105 - Managed Natural Landscapes*
- **Recognizes benefits**
 - Calls out potential impacts
 - Property values
 - Human health or safety
- Threat to agricultural activity
- Provides definitions (e.g., managed natural area)
- **Requires landowner to**
 - **Register natural landscape,**
 - **Manage noxious weeds**
 - **Provide plan (size, species, O/M)**

Pennsylvania State University Extension guidance - *Neighborly Natural Landscaping in Residential Areas*

Homeowners across America are changing the face of the typical American lawn. Learn strategies for the natural landscape homeowner who is looking for neighborly ways to garden for nature. See [Neighborly Natural Landscaping in Residential Areas \(psu.edu\)](#)

Question 4: Can landscaped islands for stormwater treatment be created within cul-de-sac or medians?

Example Code/Guidance:

Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide -

<https://www.chescoplanning.org/municipalcorner/conservationsubdivision/23-Culdesacs.cfm>

Sample Ordinance Language for Cul-de-sac Turnarounds - Boulevards may be provided as the primary entrance into a proposed development and shall meet the following design standards:

- Cul-de-sac turnarounds shall be designed with a landscaped center island.
 - The island shall be landscaped with a permanent groundcover to be shown on the landscaping plan submitted with the preliminary plan.
 - The center island shall have mountable curbs unless otherwise approved to accommodate alternative stormwater best management practices.

- Maintenance responsibility of such islands shall be determined prior to final plan approval and recorded on the deed.
- The cul-de-sac turnaround shall have a right-of-way radius of fifty-five (55) feet and an outer paving radius of forty-five (45) feet. The moving lane around the center island shall have a paved width of twenty (20) feet.
- The cul-de-sac turnaround shall have a maximum grade of four (4) percent. The minimum grade around the curbing shall not be less than one (1) percent.
- *Note: These radii are only appropriate for a cul-de-sac with a center island. If the center island requirement were to be waived, the right-of-way and paved radius should be reduced to 50 feet and 40 feet respectively.

From PWD Plan Review: Chapter 6 – Utilizing Existing Site Features

Though cul-de-sacs and ‘dead ends’ are not encouraged in urban street design, they do exist within urban areas. In Philadelphia, dead end streets are prohibited, except as short stubs to permit future street extension into adjoining tracts, or when designed as a cul-de-sac. (§14-2104. Subdivision Design Standards.) Where cul-de-sacs are unavoidable, they can be designed with central islands that reduce impervious area and to allow for infiltration of stormwater runoff.

Design Overview

Careful cul-de-sac design can greatly reduce total impervious area and can create a stormwater management facility. Philadelphia Code stipulates, “Cul-de-sacs, permanently designed as such be of reasonable length, not exceeding 500 feet, and shall have at the closed end a turn-around containing a right-of-way having an outside radius of not less than 50 feet, which shall be paved to a radius of 40 feet.” (§14-2104)

https://codelibrary.amlegal.com/codes/philadelphia/0e6b48f3-e095-484d-8733-9e5ef9fc1f65/philadelphia_pa_zoningOLD/0-0-0-18703

A cul-de-sac can be designed to meet these standards and still provide stormwater management. An island can be designed in the center of a cul-de-sac that provides a sufficient travel lane but reduces impervious area and manages stormwater from the street and adjacent properties. The entire street should be graded to the central island to the extent that surrounding topography allows. The island would be designed like a bioretention facility and runoff can enter the island through curb openings or a curb less design.

Design elements:

- Bioretention islands capture stormwater runoff.
- Flow controls direct stormwater from street and adjacent properties into the island.

From Viktor NY: https://www.victorny.org/DocumentCenter/View/809/Appendix-X_Jan-23-2012_Green-Infrastructure-Practices?bidId=

Another option for designing cul-de-sacs involves the placement of a pervious island in the center. Vehicles only travel along the outside of the cul-de-sac when turning, leaving an unused “island” of pavement in the center. These islands can be attractively landscaped and designed as bioretention areas to treat stormwater.



U.S. EPA, Stormwater Best Management Practice - Alternative Turnarounds

<https://www.epa.gov/system/files/documents/2021-11/bmp-alternative-turnarounds.pdf>

Provides overview and specification for cul-de-sacs and lists impervious area requirements for various types of turnarounds (notes hammerhead option requires lesser amount of impervious surface).

Question 5: Is snow storage in bioretention areas prohibited or discouraged unless the area is specifically designed for snow storage? Are snow storage areas required to be shown on site plans?

Examples of guidance document references on the siting and management of snow storage areas, focusing on protecting water supply areas/aquifers/waterbodies and other salt vulnerable areas such as wetlands.

Massachusetts Department of Environmental Protection, Bureau of Water Resources, Snow Disposal Guidance, December 11, 2020. [download \(mass.gov\)](#)

Syntheses of Best Practices, Road Salt Management, Transportation Association of Canada, April 2013. [salt-1-plan.pmd \(tac-atc.ca\)](#)



Topic 2 – Design Standards

Question 6: Are green infrastructure practices suitable for high-density areas (ex. Tree boxes, sidewalk bioretention areas, curb bump-outs) allowed or encouraged in streetscapes? Are these practices allowed to extend into the ROW or onto sidewalks? Are street trees required or encouraged along streets? Can traffic calming measures be co-designed as stormwater control measures?

Montgomery County, PA Green Streets Guide

<https://www.montgomerycountypa.gov/DocumentCenter/View/3016/Green-St-Double-pg-spreadweb?bidid=>

Green Streets are an innovative design concept that can transform our streets into appealing landscaped areas while managing stormwater runoff. Designed to be attractive as well as functional, green streets use vegetation and soil to capture, slow, filter, and infiltrate stormwater runoff. They manage stormwater, provide environmental benefits, beautify our streetscapes, add greenery to urban areas, enhance pedestrian and bicycle safety, and provide habitat. The greatest benefit of green streets is their ability to meet multiple community goals.

This Green Streets Guide produced by Montgomery County outlines four design alternatives to conventional stormwater systems, including Stormwater Curb Extensions, Stormwater Planters, Vegetated Swales, and Rain Gardens. A curb extension or bump out is typically a paved area that extends into the street and is used to help calm traffic and increase pedestrian safety. A stormwater planter is similar to a curb extension except it is located between the curb and the sidewalk. Vegetated swales are another design technique that is most appropriate when used along streets in lower-density residential areas and utilize a narrow, shallow landscaped depression with a slight slope to direct water. A rain garden is a large, shallow landscaped depression designed to detain and infiltrate stormwater runoff. More information on each of these can be found within the link above.

City of Philadelphia, Green Streets Design Manual

https://www.mapc.org/wp-content/uploads/2017/10/GSDM_FINAL_20140211.pdf

Montgomery County Sustainable Parking Lot Guide

https://www.montgomerycountypa.gov/DocumentCenter/View/3017/Green_Parking_08_29_2011



City of Philadelphia, Green Streets Design Manual: Design Details Appendix
http://archive.phillywatersheds.org/doc/GSI/GSDM_Appendix_FINAL_2014.pdf

This is the appendix of the above-listed Green Streets Design Manual. This document included guidelines and technical recommendations for designers as well as mock construction documents for each of the listed types of GSI. This document provides much more technical information than the writing within the general Green Streets Design Manual.

Pennsylvania's Traffic Calming Handbook
<https://www.dot.state.pa.us/public/PubsForms/Publications/PUB%20383.pdf>

This handbook outlines the traffic calming strategies that the Pennsylvania Department of Transportation has put together. This document provides extensive information on these strategies, their effectiveness, case studies, mock construction documents, and more, which will prove helpful when looking to introduce more of these to New Britain Township. There is also information lawing out the study and approval process, which could guide any traffic calming installation project that the municipality chooses to pursue.



Topic 3 – Construction Management

Question 7: Has the community identified historic stream channels and waterways? Are any of these features protected from modification or development?

Resources for identifying and locating historic stream channels:

PA Spatial Access Portal: <https://www.pasda.psu.edu/uci/DataSummary.aspx?dataset=1233>

Bucks County Geospatial Data Hub: <https://dataportal-bucksgis.opendata.arcgis.com/>

WeConservePA: <https://library.weconservepa.org/guides/87-local-regulation-for-historic-preservation>



Topic 4 – Education and Outreach

Question 8: Is a review or procedure in place for downspout or foundation drain disconnection and rain barrel installation?

Sample guidance for downspout disconnection and rain barrel installation:

3 Rivers Wet Weather: <https://www.3riverswetweather.org/green/green-solution-disconnected-downspout>

Pennsylvania American Water: Downspout Disconnection Instructions: <https://www.amwater.com/paaw/Water-Wastewater-Information/green-infrastructure/downspout-disconnection-instructions>

Pennsylvania American Water: Rain Barrel Installation: Step-by-Step Instructions: <https://www.amwater.com/paaw/Water-Wastewater-Information/green-infrastructure/rain-barrel-step-by-step>

DC Water Downspout Disconnection Program: <https://www.dewater.com/projects/downspout-disconnection-program>

Whitemarsh Township website: <https://www.whitemarsh.org/DocumentCenter/View/301/Types-of-Rain-Barrels-PDF?bidId=>

Question 9: Is a review or procedure in place for rain garden construction and planting native plants in yards and lawns?

Wissahickon Creek Act 167 Stormwater Management Ordinance, Appendix B Small Project Stormwater Management (SWM) Site Plan for Residential Development:
http://archive.phillywatersheds.org/doc/Wissahickon_Ordinance_Nov2014.pdf

This Small Project SWM Site Plan is included as an option for municipalities to adopt to give small, regulated activities the opportunity to submit a non-engineered stormwater management plan. It addresses rain garden designs and other residential scale GSI.

Sample Guidance for Personal Rain Garden Installation

Penn State Extension: Rain Garden Guide: <https://extension.psu.edu/rain-gardens-the-basics>



Penn State Extension: Rain Garden Plants: <https://extension.psu.edu/rain-gardens-the-plants>

Topic 5 – Stormwater Management Standard

Question 10: Are incentives provided to developers who reduce impervious cover, conserve natural areas, or implement stormwater reduction practices like green roofs, rain barrels and rain gardens?

Chester County Planning Commission, Municipal Corner, Conservation Subdivision Design Guide – provides guidance on establishing incentives
(<https://www.chescoplanning.org/municorner/conservationsubdivision/14-DensityBonuses.cfm>)

U.S. EPA guidance on Managing Wet Weather with Green Infrastructure, Municipal Handbook, Incentive Mechanisms

Example incentive types:

Stormwater Fee Discount: Require a stormwater fee that is based on impervious surface area. If property owners reduce need for service by reducing impervious area and the volume of runoff discharged from the property, the municipality reduces the fee.

Development Incentives: Offered to developers during the process of applying for development permits. Examples include zoning upgrades, expedited permitting, reduced stormwater requirements, and increases in floor area ratios.

Grants: Provide direct funding to property owners and/or community groups for implementing a range of green infrastructure projects and practices.

Rebates & Installation Financing: Provide funding, tax credits or reimbursements to property owners who install specific practices. Often focused on practices needed in certain areas or neighborhoods.

Awards & Recognition Programs: Provide marketing opportunities and public outreach for exemplary projects. May include monetary awards.

Source: US EPA, Managing Wet Weather with Green Infrastructure: Municipal Handbook, Incentive Mechanisms. EPA-833-F-09-001. 2009
https://www.epa.gov/sites/default/files/2015-10/documents/gi_munichandbook_incentives.pdf

Commonwealth of Virginia Soil and Water Conservation District Incentives -
<https://vaswcd.org/impervious-surface-removal/>

IMAGE CREDITS

Commented [PR1]: Confirm figures

Figure 1: Montgomery County Planning Commission, PA. "Green Sustainable Parking Lot Guide" Accessed July 1, 2024 https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web?bidId=

Figure 2: Yale School of the Environment. "With a Green Makeover, Philadelphia is Tackling Its Stormwater Problem" Accessed July 1, 2024. <https://e360.yale.edu/features/with-a-green-makeover-philadelphia-tackles-its-stormwater-problem>

Figure 3: "StormSmart Properties Fact Sheet 3: Planting Vegetation to Reduce Erosion and Storm Damage Mass.Gov." Accessed September 12, 2021. <https://www.mass.gov/doc/stormsmart-properties-fact-sheet-3-planting-vegetation-to-reduce-erosion-and-storm-damage>

Figure 4: "Low Maintenance Landscaping with Wildflowers." Accessed March 3, 2022. <https://www.americanmeadows.com/blog/2016/09/26/low-maintenance-landscaping-with-wildflowers> .

Figure 5: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>.

Figure 6: Sasaki. "Stormwater as an Asset on Urban Campuses." Accessed October 1, 2021. <https://www.sasaki.com/voices/stormwater-as-an-asset-on-urban-campuses/>.

Figure 7: BioCycle. "Recycled Organics Make Splash In Green Infrastructure," March 14, 2012. <https://www.biocycle.net/recycled-organics-make-splash-in-green-infrastructure/>.

Figure 8: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>.

Figure 9: PA Spatial Access Portal. Accessed August 13, 2024. <https://www.pasda.psu.edu/uci/DataSummary.aspx?dataset=1233>

Figure 10: "Downspout Disconnection Program | DCWater.Com." Accessed March 3, 2022. <https://www.dewater.com/projects/downspout-disconnection-program> .

Figure 11: National Wildlife Federation "Native Plants" Accessed July 1, 2024. <https://www.nwf.org/Garden-for-Wildlife/about/native-plants>

Figure 12: City of Philadelphia. "Philadelphia Water Department | Homepage." Accessed October 1, 2021. <https://www.phila.gov/departments/philadelphia-water-department/>.

Image credits



New Britain Township

Environmental Advisory Council

To: New Britain Township Board of Supervisors (BOS)
From: Environmental Advisory Council (EAC)
Re: Parking Ordinance Revisions
Date: July 25, 2024

Please find below the Environmental Advisory Council's recommendation regarding New Britain Township's revision of its parking requirements and regulations. We have carefully examined the amendments forwarded to us on February 23, 2024, and applaud the improvements proposed. We recommend, in addition, a more comprehensive approach that integrates green stormwater infrastructure design.

The EAC recognizes that while parking lots are a necessity, their expanses of impermeable surface generate stormwater runoff, pollute our air and water, intensify flooding, and aggravate the heat island effect. They also detract from the beauty of our landscape. Recent innovations in "Green Parking Lot" design can offset these problems and result in more environmentally sustainable, cooler, safer, and more beautiful parking areas, whether large or small.

New Britain Township can already boast of such a parking lot: the Madison Apartments on County Line Rd. has been touted as a model Green Parking Lot for Pennsylvania (see the Penn State video "Green Parking Lots Part 1" <https://www.youtube.com/watch?v=sIMgo3MF0IA>). Our neighboring Montgomery County has produced the gold standard handbook, "Sustainable Green Parking Lots Guidebook" (https://www.montgomerycountypa.gov/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web?bidId=). For planting islands, we wish to emphasize the importance of curb cuts, large shade trees, dense plantings, and improved soil uninterrupted by hard scape such as paved walkways. Through targeted revision of its parking ordinances New Britain Township can reduce its intensifying stormwater problems and improve its residents' quality of life by requiring such green infrastructure design.

Therefore, the EAC advises that the BOS *require*, not simply recommend, significant implementation of green design in all new parking lots and all redevelopment of 51% or more. We recommend that these requirements follow the guidelines on pages 41-49 of the "Sustainable Green Parking Lots Guidebook" cited above (these pages are also attached here). We also recommend that, when possible, the Township provide incentives for retrofitting parking lots in cases of redevelopment below 51%. The EAC further advises that whenever practical the BOS reduce the minimum parking required by use. The space required saved shall be devoted to enhancing the green infrastructure design.

We recognize that implementing these guidelines may require revision of other ordinances, such as those addressing Stormwater Management. We further recognize that the Township is engaged in an ordinance review with the Pennsylvania Environmental Council (PEC). The EAC's recommendation should not be construed to limit the Township's adoption of PEC's recommendations in any way.



New Britain Township

Environmental Advisory Council

To: New Britain Township Board of Supervisors
From: Environmental Advisory Council
Re: SALDO Revision Recommendation - Lighting

Please find below the Environmental Advisory Council's recommendation regarding SALDO § 22-714, Lighting [Ord. 2002-05-02, 5/20/2002, § 714].

The EAC advises the BOS to update SALDO § 22-714 - Lighting, primarily because recommendations by lighting experts and professionals have changed since 2002.

In addition, the EAC recognizes the following as environmental concerns:

- Energy waste and carbon emissions - From an energy perspective, too much lighting can be wasteful as lighting is often oversized when installed for many applications.
- Negative Effects on flora, fauna, and humans - Excessive artificial light can harm wildlife species, especially nesting birds and animals that move nocturnally. Excessive artificial light has also been shown to negatively affect natural sleep patterns and increase the risk of cancer, diabetes and cardiovascular heart disease in humans.

References:

<http://www.polcouncil.org/>

<https://darksky.org/resources/guides-and-how-tos/outdoor-lighting-for-policy-makers/>

<https://library.weconservepa.org/guides/10>



New Britain Township

Environmental Advisory Council

To: New Britain Township Board of Supervisors (BOS)
From: Environmental Advisory Council (EAC)
Re: Miscellaneous Subdivision and Land Development Ordinance Amendments (SALDO)
Date: September 4, 2024

Please find below the Environmental Advisory Council's recommendation regarding New Britain Township's miscellaneous SALDO amendments. We have examined the amendments forwarded to us on August 19, 2024, and we are happy to see many changes that benefit the environment. We make only the following suggestions.

Section 22-202 Definitions

The definition of IMPERVIOUS SURFACE states that "all buildings, parking areas, driveways, roads, sidewalks" shall be considered impervious.

We recommend removing the word "all" in order to accommodate residential properties built prior to the implementation of ordinance 27-2108, Bifurcation of Restrictions. We suggest permitting residents impacted by unusually constrained impervious area limits to construct patios and sidewalks with pervious materials, as approved by the engineer.

Section 22-401.8. The proposed amendment reduces the requirement to notify surrounding property owners of a proposed development from those within 1,000 feet to those within 500 feet. The purpose of this change is to make the ordinance consistent with the Zoning Hearing Board (ZHB) application. We recommend that the ZHB application be altered to match the ordinance, and that if possible the 1,000 foot requirement be increased, rather than decreased. The environmental effects of development upon a neighborhood — with flooding being a prime example — are not restricted to immediately adjacent properties.

Section 22-502.1D.(12) The proposed amendment increases the amount of time for a field survey from 2 yer to 5 years (from the date of the application). There is no rationale for this change. We recommend the existing timeframe remain unchanged.

Section 22-707.1.C. The current ordinance states that "pedestrian walkways or recreational trails shall be constructed of concrete or asphalt, unless more suitable materials are required in environmentally sensitive areas." Concrete and asphalt are fully impervious and require heavy construction. Rather than setting concrete and asphalt as the default, we recommend permitting a range of surfaces suitable for different settings and uses, including some pervious surfaces.



New Britain Township

Environmental Advisory Council

Section 22-714.4.4.F.(20) There is a comment to consider revising this section: "Consider revising to require a BUG (Backlight, Uplight, Glare) rating of 0 which meets full cutoff criteria. Update streetlight specifications accordingly." We agree. The EAC has previously recommended the NBT lighting ordinance (SALDO section 22-714, updated 5/20/2002) be revised, because recommendations by lighting experts and professionals have changed significantly since 2002.

The EAC also recommends the NBT SALDO Appendices Combined document be updated to match other township ordinance changes, as applicable (e.g. Lighting SALDO section 22-714 and Butler Avenue Corridor Overlay District SALDO section 22-722).