



# New Britain Township Board of Supervisors

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## *Business Meeting*

Monday, June 17, 2024

7:00 PM – Business Meeting

### Agenda

1. Call to Order
2. Pledge of Allegiance
3. Chair Comments
  - A. The board met in Executive Session before this meeting to discuss personnel, and/or litigation matters.
4. Presentation/ Public Hearings/ Land Development
  - A. Lenape Valley Softball- Dugout Proposal
  - B. Emergency Operations Procedures
5. Motion to Consider Consent Agenda
  - A. Approve Minutes of June 3, 2024, Board of Supervisors Meeting.
  - B. Approve Regular Bills List Dated June 13, 2024, in the Amount of \$204,823.92.
  - C. Approve Prepaid Bill List as Follows:
    - Dated June 6, 2024, In the Amount of \$90,476.89.
    - Dated June 13, 2024, In the Amount of \$131,751.08.
6. Action Items
  - A. Consider a motion to approve LV/TNT Softball Tournament
  - B. Consider a motion to approve Resolution 2024-10, Final Land Development plan of Birch Run by Toll Brothers
  - C. Consider a motion to approve Curb Spraying quotes
  - D. Consider a motion to approve Line Striping and Thermo quotes
  - E. Consider a motion to approve Road Bid Award recommendation
  - F. Discussion on the following Zoning Hearing Board applications
    - 128 Hampshire Drive (Rush)
  - G. Consider a motion to authorize hiring an entry level Police Officer
  - H. Consider a motion to adopt Ordinance 2024-02 for the Verizon Franchise Agreement
  - I. Consider a motion to adopt Resolution 2024-11 for the EOP and Promulgation
  - J. Consider a motion to support the grant application from Giant
  - K. Consider a motion to approve Fuel Bid Award recommendation

## 7. Information Items

- A. Department's Reports
  - Finance
  - Police
  - Public Works
  - Park & Recreation
  - Planning & Zoning
- B. Engineer's Report
- C. Board of Supervisor's Comment

## 8. Public Comment

## 9. Announcements

- A. Park & Rec Meeting - Tuesday June 18<sup>th</sup> at 7pm
- B. Canceled - Veterans Committee Meeting – Wednesday June 19<sup>th</sup> at 6pm
- C. Canceled - Planning Commission Meeting – Monday June 25<sup>th</sup> at 7pm
- D. Environmental Advisory Council Meeting - Thursday June 27<sup>th</sup> at 7pm
- E. Zoning Hearing Board Meeting – Tuesday July 2<sup>nd</sup> at 7pm

## 10. Adjournment

*The Next Meeting of the Board of Supervisors of New Britain Township will take place on **Monday, July 1, 2024, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA. Agenda and meeting materials are posted to the Township website prior to the meeting date at [www.newbritaintownship.org](http://www.newbritaintownship.org).*



# MEMO

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**TO:** Board of Supervisors, Township Manager Dan Fox  
**FROM:** Bill May, Parks, and Recreation Coordinator/ Foreman  
**DATE:** June 3, 2024  
**RE:** Lenape Valley Softball, Dugout Proposal

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The Lenape Valley Softball Organization has been a part of the New Britain Township Community for decades. The three softball fields at North Branch Park have been, and still are regarded as their home fields.

On Tuesday May 21, 2024, at the Parks and Recreation Advisory Board meeting, Lenape Valley Softball President, Jeremy Motley, and representative Michael Orvat, requested the addition of six dugouts to the three softball fields (two per field) located at North Branch Park. The design would still allow a line of sight through the park, and would provide protection from the elements for the players, it would also add an upgrade to the existing fields. LV Softball will fund the entire project and would be solely responsible for acquiring all necessary permits and inspections.

## **STAFF RECOMMENDATION:**

The Parks and Recreation Advisory Board and New Britain Township Staff recommend the Board of Supervisors authorize the proposal for the addition of dugouts to the softball fields at North Branch Park. LV Softball has been instructed to present their proposal at a Board of Supervisors meeting.

**BOARD OF SUPERVISORS  
MEETING MINUTES  
June 3, 2024**

The Board of Supervisors Meeting of New Britain Township was held on Monday, June 3, 2024, at the Township Building, 207 Park Avenue, Chalfont, PA beginning at 7:00pm.

Present were Supervisors: Cynthia M. Jones, MaryBeth McCabe Bill Jones, Bridget Kunakorn, Stephanie Shortall. Also present were Dan Fox -Township Manager, Craig Kennard, Township Engineer, Chief Richard Clowser, Michael Lavin, Stand-In Township Solicitor, and Alexandria Mullin- Executive Administrative Assistant.

1. **Call to Order:** Cynthia Jones called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance:** Cynthia Jones led the Board and public in the Pledge of Allegiance.
3. **Chair Comments** Cynthia Jones stated that the Board met in Executive session, prior to this meeting, to discuss personnel matters and litigation items.
4. **Motion to Consider Consent Agenda**

Bill Jones moved, seconded by Bridget Kunakorn, to approve the Consent Agenda:

- A. Approve minutes of May 20, 2024, Board of Supervisors meeting.
- B. Approve regular bills list dated May 30, 2024, in the amount of \$28,495.75.
- C. Approve prepaid bill list as follows:
  - Dated May 23, 2024, in the amount of \$116,688.90.
  - Dated May 30, 2024, in the amount of \$15,672.15.
- D. Approve Escrow Release #4 at the Naplin One Limited Partnership, 4371 County Line Road.
- E. Neshaminy Greenway Trail – Payment #5 (Final) in the amount of \$61,999.48.

Marybeth McCabe stated that there was an incorrect invoice included with the regular bills list and that the Township was owed a refund from a PSATS class that she did not attend.

Dan Fox stated that he will be looking into this matter and have it resolved.

There was no public comment.

Motion carried 5-0.

## **5. Action Items**

### **A. Approve Verizon Franchise Agreement.**

Stephanie Shortall motioned to approve the request. Seconded by Marybeth McCabe.

There were no public comments.

All voted aye, motion carried 5-0.

### **B. Discuss Brittany Farms Streambank Stabilization Bid.**

Marybeth McCabe motioned to approve the request. Seconded by Bridget Kunakorn.

There were no public comments.

All voted aye, motion carried 5-0.

### **C. Approve purchase of Police Department office chairs in the amount of \$11,504.**

Stephanie Shortall motioned to approve the purchase of office chairs. Seconded by Bills Jones.

There were no public comments.

All voted aye, motion carried 5-0.

## **6. Information Items**

### **A. Engineer's Report**

Craig Kennard went over current projects and involvement that their firm has with the Township and the timeline of events that are set to occur over the next few weeks.

### **B. Board of Supervisor's Comment**

Bridget Kunakorn stated that the beautification of the Veterans Memorial was set to occur on June 8<sup>th</sup> at 8am and all are welcomed and encouraged to attend and lend a hand.

Marybeth McCabe commended the Chief for working hard to improve the safety and structure of the Township's Police Department.

## **7. Public Comment**

John Knomes from 113 North Lane wanted to discuss the issues they have been having with the homeowners at 104 S. Limekiln Pike. They wished to hear updates regarding any Zoning applications that home has filed and needed clarification on processes.

Dave Conroy explained the process regarding violations and what happens when a homeowner is in violation of an ordinance. He also explained the process of the Zoning Hearing Board applications and what the homeowners will need to do to become proactive in this type of situation.

Lisa Knomes from 113 North Lane also wanted to discuss processes and protocols regarding violations and asked Chief Clowser what steps she and/or they could take to make their living situation a little more bearable during this time.

Rob Merretti 116 North Lane had a question regarding the final decision-making process of Zoning ordinances. He inquired about whether that belongs to the Board of Supervisors or is it the Zoning Hearing Board.

Marybeth McCabe explained the different processes between the two boards and who can ultimately make decisions and who is able to appeal.

Dave Conroy explained that he serves as the Township liaison between residents and the Zoning Hearing Board.

Donna Gelert from 101 Devon Road wanted to discuss starting the process of getting an ordinance in place for the control and maintenance of feral cats throughout the Township. She requested help and guidance from the Board of Supervisors as to where to start and how to begin the process but felt like this problem needed to be addressed sooner rather than later. She supplied information on what other states have been doing and felt strongly that we should consider following suit.

**8. Announcements**

The Board of Supervisor's meetings for July 15<sup>th</sup> and August 19<sup>th</sup> will be canceled.

The next meeting of the Board of Supervisors of New Britain Township will take place on **Monday, June 17, 2024, 7:00 p.m.** at the New Britain Township Building, 207 Park Avenue, Chalfont, PA.

**9. Adjournment**

Marybeth McCabe moved, seconded by Bill Jones, to adjourn the meeting.

The Board unanimously adjourned the meeting at 7:41 pm.

**NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS**

\_\_\_\_\_  
Cynthia M. Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice-Chair

\_\_\_\_\_  
William B. Jones, III, Member

Attest: \_\_\_\_\_  
Dan Fox  
Township Manager

\_\_\_\_\_  
Stephanie Shortall, Member

\_\_\_\_\_  
Bridget Kunakorn, Member



# MEMO

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**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 13, 2024  
**SUBJECT:** Schedule of Bills - Regular

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Approve regular bills list dated June 13, 2024, in the amount of \$204,823.92.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_



P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All  
 Include Non-Budgeted: Y  
 Prior Year Only: N  
 Open: N  
 Paid: N  
 Held: Y  
 State: Y  
 Bid: Y  
 Void: N  
 Aprv: N  
 Other: Y  
 Exempt: Y  
 \* Means Prior Year Line

Rcvd Batch Id Range: KG0605RG to KG0605RG

Vendor # Name	PO # PO Date Description	Amount	Charge Account	Acct Type Description	Contract PO Type	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc
AHCOR010 A.H. CORNELL & SON INC.											
	24000766 06/04/24 NGT APPLICATION PAYMENT #3										
	1 NGT APPLICATION PAYMENT #3	8,455.50	07-454-320	E NESHAMINY GREENWAY TRAILS		R	06/04/24	06/04/24	060424	060424	N
	24000767 06/04/24 NGT APPLICATION PAYMENT #4										
	1 NGT APPLICATION PAYMENT #4	14,980.50	07-454-320	E NESHAMINY GREENWAY TRAILS		R	06/04/24	06/04/24	060424	060424	N
	24000768 06/04/24 NGT APPLICATION PAYMENT #5										
	1 NGT APPLICATION PAYMENT #5	61,999.48	07-454-320	E NESHAMINY GREENWAY TRAILS		R	06/04/24	06/04/24	060424	060424	N
	Vendor Total:	85,435.48									

Vendor # Name	PO # PO Date Description	Amount	Charge Account	Acct Type Description	Contract PO Type	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc
ACTION ACTION FLAG CO.											
	24000824 05/21/24 FOURTH OF JULY FLAGS										
	1 FOURTH OF JULY FLAGS	641.20	07-454-300	E ACTIVITIES/PROGRAMS		R	05/21/24	05/21/24	AF1458	AF1458	N
	Vendor Total:	641.20									

Vendor # Name	PO # PO Date Description	Amount	Charge Account	Acct Type Description	Contract PO Type	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc
ADVANT010 ADVANCED COLOR AND GRIND LLC											
	24000759 05/28/24 BLACK MULCH										
	1 BLACK MULCH	184.00	07-454-226	E FACILITIES MAINTENANCE		R	05/28/24	05/28/24	5668	5668	N
	Vendor Total:	184.00									

Vendor # Name	PO # PO Date Description	Amount	Charge Account	Acct Type Description	Contract PO Type	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc
ASSOC010 ASSOCIATED TRUCK PARTS											
	24000756 05/28/24 VEHICLE REPAIRS										
	1 VEHICLE REPAIRS	138.93	01-437-300	E VEHICLE REPAIRS		R	05/28/24	05/28/24	06P12175	06P12175	N

Vendor # Name	PO # PO Date Description	Amount	Charge Account	Acct Type Description	Contract PO Type	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc
	24000757 05/28/24 VEHICLE REPAIRS										
	1 VEHICLE REPAIRS	39.23	01-437-300	E VEHICLE REPAIRS		R	05/28/24	05/28/24	06P12149	06P12149	N







Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>EUREK010 EUREKA STONE QUARRY INC.</b>												
	24000791 05/31/24 PATCHING	1 PATCHING	442.06	01-438-820	E	PATCHING/CORE SAMPLES	R	05/31/24	05/31/24		606404	N
	Vendor Total:		442.06									
<b>GESTED10 G.E. STEEL INC.</b>												
	24000769 06/04/24 TAX REFUND 26-005-048	1 TAX REFUND 26-005-048	37.89	01-301-100	R	REAL ESTATE CURRENT YEAR	R	06/04/24	06/04/24		060424	N
	Vendor Total:		37.89									
<b>GANNED05 GANNETT PA LOCALIQ</b>												
	24000808 05/31/24 ADVERTISING	1 ADVERTISING	3,246.18	01-400-340	E	ADVERTISING/PRINTING	R	05/31/24	05/31/24		0006422746	N
	Vendor Total:		3,246.18									
<b>GENED10 GENERAL CODE</b>												
	24000780 06/05/24 ANNUAL MAINTENANCE	1 ANNUAL MAINTENANCE	1,195.00	01-400-301	E	COODIFICATION EXPENSES	R	06/05/24	06/05/24		GC00124930	N
	Vendor Total:		1,195.00									
<b>GILM010 GILMORE &amp; ASSOCIATES INC.</b>												
	24000823 06/13/24 ENGINEERING EXPENSES	1 ENGINEERING EXPENSES	45,319.82	90-414-311	E	ENGINEERING BILLED	R	06/13/24	06/13/24		042924 060224	N
		2 ENGINEERING EXPENSES	2,237.50	07-454-320	E	NESHAMINY GREENWAY TRAILS	R	06/13/24	06/13/24		042924 060224	N
		3 ENGINEERING EXPENSES	1,578.75	01-414-313	E	ENGINEERING PLANNING/ZONING	R	06/13/24	06/13/24		042924 060224	N
		4 ENGINEERING EXPENSES	4,056.25	35-439-320	E	HWY PROJECTS/STATE	R	06/13/24	06/13/24		042924 060224	N
		5 ENGINEERING EXPENSES	19,690.35	01-454-312	E	NORTH BRANCH PARK EXP	R	06/13/24	06/13/24		042924 060224	N
	Tracking Id: ARPA											
		6 ENGINEERING EXPENSES	4,191.06	18-454-700	E	CAPITAL IMPROVEMENTS/PURCHASES	R	06/13/24	06/13/24		042924 060224	N
		7 ENGINEERING EXPENSES	9,264.53	01-408-100	E	GENERAL ENGINEERING	R	06/13/24	06/13/24		042924 060224	N
	Vendor Total:		86,338.26									

Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Exc]
<b>GRAIN010 GRAINGER</b>												
	24000792	05/29/24 SUPPLIES										
	1	SUPPLIES	574.92		01-409-370	E BUILDING MAINTENANCE & REPAIRS	R	05/29/24	05/29/24	05/29/24	9134510503	N
	2	SUPPLIES	670.74		01-430-370	E BUILDING MAINTENANCE	R	05/29/24	05/29/24	05/29/24	9134510503	N
	3	SUPPLIES	269.85		01-409-370	E BUILDING MAINTENANCE & REPAIRS	R	05/29/24	05/29/24	05/29/24	9134829051	N
	4	SUPPLIES	269.85		01-430-370	E BUILDING MAINTENANCE	R	05/29/24	05/29/24	05/29/24	9134829051	N
			<u>1,785.36</u>									
		Vendor Total:	1,785.36									
<b>HKMAT010 H &amp; K MATERIALS</b>												
	24000760	05/25/24 MATERIALS - NGT										
	1	MATERIALS - NGT	172.81		07-454-320	E NESHAMINY GREENWAY TRAILS	R	05/25/24	05/25/24	05/25/24	43429	N
	24000803	05/31/24 MATERIALS - NGT										
	1	MATERIALS - NGT	527.91		07-454-320	E NESHAMINY GREENWAY TRAILS	R	05/31/24	05/31/24	05/31/24	43526	N
		Vendor Total:	700.72									
<b>HABER010 H.A. BERKHEIMER INC.</b>												
	24000805	05/31/24 COMMISSION FEE MAY 2024										
	1	COMMISSION FEE MAY 2024	13.95		04-403-370	E EIT TAX COLLECTOR EXPENSE	R	05/31/24	05/31/24	05/31/24	05T 053124	N
	24000806	05/31/24 COMMISSION FEE MAY 2024										
	1	COMMISSION FEE MAY 2024	57.10		01-403-370	E EIT/EMST COLLECTOR	R	05/31/24	05/31/24	05/31/24	EIT 053124	N
		Vendor Total:	71.05									
<b>HALL005 HALLMARK HOMES-MILL RIDGE, LLC</b>												
	24000770	06/04/24 TAX REFUND 26-005-003										
	1	TAX REFUND 26-005-003	396.70		01-301-100	R REAL ESTATE CURRENT YEAR	R	06/04/24	06/04/24	06/04/24	060424	N
		Vendor Total:	396.70									
<b>HOMED010 HOME DEPOT CREDIT SERVICES</b>												
	24000764	05/28/24 SUPPLIES										
	1	SUPPLIES	177.60		01-438-460	E GENERAL EXPENSE	R	05/28/24	05/28/24	05/28/24	3013600	N



Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>SMITH020 SMITH PRINTS INC.</b>												
	24000781	05/30/24 TWILL FLEXFIT 6-PANEL CAP										
	1	TWILL FLEXFIT 6-PANEL CAP	450.00		01-410-241	E UNIFORMS/VESTS	R	05/30/24	05/30/24		E30644	N
		Vendor Total:	450.00									
<b>STEPH045 STEPHENSON EQUIPMENT, INC.</b>												
	24000789	04/16/24 ROAD BANK MOWER REPAIRS										
	1	ROAD BANK MOWER REPAIRS	2,940.45		01-437-300	E VEHICLE REPAIRS	R	04/16/24	04/16/24		80058548	N
	2	ROAD BANK MOWER REPAIRS	7,148.60		01-437-300	E VEHICLE REPAIRS	R	04/16/24	04/16/24		80058458	N
		Vendor Total:	10,089.05									
	24000790	04/08/24 ROAD BANK MOWER REPAIRS										
	1	ROAD BANK MOWER REPAIRS	79.55		01-437-300	E VEHICLE REPAIRS	R	04/08/24	04/08/24		80058427	N
		Vendor Total:	10,168.60									
<b>THOMA100 THOMAS WEIDNER</b>												
	24000784	06/05/24 TRI-MUNICIPAL PARADE										
	1	TRI-MUNICIPAL PARADE	1,250.00		07-454-300	E ACTIVITIES/PROGRAMS	R	06/05/24	06/05/24		060524	N
		Vendor Total:	1,250.00									
<b>UNITE010 UNITED INSPECTION AGENCY INC.</b>												
	24000810	06/05/24 OUTSIDE INSPECTIONS										
	1	OUTSIDE INSPECTIONS	330.00		01-413-122	E OUTSIDE INSPECTIONS	R	06/05/24	06/05/24		154907	N
		Vendor Total:	330.00									
<b>VOLCA005 VOLCANIC PARTNERS LLC</b>												
	24000782	06/04/24 POLICE READY APB 29" BIKE										
	1	POLICE READY APB 29" BIKE	2,674.99		01-410-319	E MATERIAL AND SUPPLIES/EQUIP	R	06/04/24	06/04/24		16147	N
		Vendor Total:	2,674.99									
<b>WEHR010 WEHRUNG'S</b>												
	24000793	05/31/24 MATERIALS										
	1	MATERIALS	78.06		01-438-460	E GENERAL EXPENSE	R	05/31/24	05/31/24		24898	N



Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
WEHRU010 WEHRUNG'S												
24000793 05/31/24 MATERIALS												
Continued												
2 MATERIALS			63.45		01-438-460	E GENERAL EXPENSE	R	05/31/24	05/31/24	25119		N
3 MATERIALS			3.99		01-400-210	E MATERIALS/SUPPLIES	R	05/31/24	05/31/24	25121		N
4 MATERIALS			15.60		01-410-250	E GENERAL EXPENSE	R	05/31/24	05/31/24	25121		N
5 MATERIALS			25.98		01-438-460	E GENERAL EXPENSE	R	05/31/24	05/31/24	25124		N
6 MATERIALS			16.97		01-438-460	E GENERAL EXPENSE	R	05/31/24	05/31/24	24991		N
			<u>204.05</u>									
Vendor Total:			204.05									
NEWT0020 WORKPLACE CENTRAL												
24000763 05/30/24 ADMIN OFFICE SUPPLIES												
1 ADMIN OFFICE SUPPLIES			270.00		01-400-210	E MATERIALS/SUPPLIES	R	05/30/24	05/30/24	900367-0		N
Vendor Total:			270.00									
Total Purchase Orders:			52	Total P.O. Line Items:	72	Total List Amount:	204,823.92	Total Void Amount:	0.00			

Totals by Year-Fund		Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description								
GENERAL FUND:		4-01	59,323.67	0.00	59,323.67	923.03	0.00	60,246.70
LAND PRESERVATION FUND:		4-04	13.95	0.00	13.95	0.00	0.00	13.95
PARKS & RECREATION FUND:		4-07	90,996.14	0.00	90,996.14	0.00	0.00	90,996.14
CAPITAL IMPROVEMENT/EQUIPMENT FUND:		4-18	4,191.06	0.00	4,191.06	0.00	0.00	4,191.06
LIQUID FUELS FUND:		4-35	4,056.25	0.00	4,056.25	0.00	0.00	4,056.25
ESCROW:		4-90	45,319.82	0.00	45,319.82	0.00	0.00	45,319.82
Total of All Funds:			<u>203,900.89</u>	<u>0.00</u>	<u>203,900.89</u>	<u>923.03</u>	<u>0.00</u>	<u>204,823.92</u>

Totals by Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	59,323.67	0.00	59,323.67	923.03	0.00	60,246.70
LAND PRESERVATION FUND:	04	13.95	0.00	13.95	0.00	0.00	13.95
PARKS & RECREATION FUND:	07	90,996.14	0.00	90,996.14	0.00	0.00	90,996.14
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	18	4,191.06	0.00	4,191.06	0.00	0.00	4,191.06
LIQUID FUELS FUND:	35	4,056.25	0.00	4,056.25	0.00	0.00	4,056.25
ESCROW:	90	45,319.82	0.00	45,319.82	0.00	0.00	45,319.82
<b>Total of All Funds:</b>		<u>203,900.89</u>	<u>0.00</u>	<u>203,900.89</u>	<u>923.03</u>	<u>0.00</u>	<u>204,823.92</u>

Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	59,323.67	0.00	0.00	0.00	59,323.67
LAND PRESERVATION FUND:	4-04	13.95	0.00	0.00	0.00	13.95
PARKS & RECREATION FUND:	4-07	90,996.14	0.00	0.00	0.00	90,996.14
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	4,191.06	0.00	0.00	0.00	4,191.06
LIQUID FUELS FUND:	4-35	4,056.25	0.00	0.00	0.00	4,056.25
ESCROW:	4-90	45,319.82	0.00	0.00	0.00	45,319.82
<b>Total of All Funds:</b>		<b>203,900.89</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>203,900.89</b>

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 13, 2024  
**SUBJECT:** Schedule of Bills - Prepaid

---

Approve prepaid bills list dated June 6, 2024, in the amount of \$90,476.89.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_









Vendor # Name	PO # PO Date Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
UNIV010 UNIVERSAL ELECTRIC LLC											
	24000787 05/28/24 PD REPLACE WALL PACK AT GARAGE	275.00		01-409-370	E BUILDING MAINTENANCE & REPAIRS	R	05/28/24	05/28/24	17190		N
	1 PD REPLACE WALL PACK AT GARAGE	275.00									
	Vendor Total:	275.00									
VERI2010 VERIZON											
	24000752 05/27/24 INTERNET	110.99		01-430-320	E COMMUNICATIONS/MAINT	R	05/27/24	05/27/24	0001-98 052724		N
	1 INTERNET	110.99									
	Vendor Total:	110.99									
VERI2050 VERIZON WIRELESS											
	24000750 05/23/24 POLICE WIRELESS SERVICE	25.04		01-410-320	E COMMUNICATIONS	R	05/23/24	05/23/24	00001 052324		N
	1 POLICE WIRELESS SERVICE	25.04									
	Vendor Total:	25.04									
WILLI080 WILLIAM JONES											
	24000748 06/04/24 PSATS MILEAGE REIMBURSEMENT	163.90		01-400-330	E VEHICLE EXPENSE/ADMIN	R	06/04/24	06/04/24	060424		N
	1 PSATS MILEAGE REIMBURSEMENT	163.90									
	Vendor Total:	163.90									
<p>Total Purchase Orders: 20 Total P.O. Line Items: 34 Total List Amount: 90,476.89 Total Void Amount: 0.00</p>											

Totals by Year-Fund							
Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	4-01	85,974.88	0.00	85,974.88	0.00	0.00	85,974.88
STREET LIGHTING FUND:	4-02	50.72	0.00	50.72	0.00	0.00	50.72
PARKS & RECREATION FUND:	4-07	4,451.29	0.00	4,451.29	0.00	0.00	4,451.29
Total of All Funds:		<u>90,476.89</u>	<u>0.00</u>	<u>90,476.89</u>	<u>0.00</u>	<u>0.00</u>	<u>90,476.89</u>

Totals by Fund Fund Description	Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND:	01	85,974.88	0.00	85,974.88	0.00	0.00	85,974.88
STREET LIGHTING FUND:	02	50.72	0.00	50.72	0.00	0.00	50.72
PARKS & RECREATION FUND:	07	4,451.29	0.00	4,451.29	0.00	0.00	4,451.29
<b>Total of All Funds:</b>		<u>90,476.89</u>	<u>0.00</u>	<u>90,476.89</u>	<u>0.00</u>	<u>0.00</u>	<u>90,476.89</u>

Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	85,974.88	0.00	0.00	0.00	85,974.88
STREET LIGHTING FUND:	4-02	50.72	0.00	0.00	0.00	50.72
PARKS & RECREATION FUND:	4-07	4,451.29	0.00	0.00	0.00	4,451.29
Total of All Funds:		<u>90,476.89</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>90,476.89</u>

# MEMO

TOWNSHIP OF NEW BRITAIN



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter  
**DATE:** June 13, 2024  
**SUBJECT:** Schedule of Bills - Prepaid

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Approve prepaid bills list dated June 13, 2024, in the amount of \$131,751.08.

Attest: \_\_\_\_\_

Date: \_\_\_\_\_

P.O. Type: All  
 Range: First to Last  
 Format: Detail without Line Item Notes  
 Vendors: All  
 Include Non-Budgeted: Y  
 Prior Year Only: N  
 \* Means Prior Year Line

Rcvd Batch Id Range: KG0610PD to KG0610PD

Vendor # Name	PO # PO Date Description	Item Description	Amount	Charge Account	Contract PO Type	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>CRICH10 C. RICHARD WICHIE II</b>												
	24000825	06/12/24 2024 MEDICAL REIMBURSEMENT										
	1	2024 MEDICAL REIMBURSEMENT	75.65	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	06/12/24	06/12/24		061224	N
	Vendor Total:		75.65									
<b>CHAPW005 CHAPMAN FORD OF HORSHAM</b>												
	24000827	06/13/24 2024 F-350 REGULAR CAB 4X4										
	1	2024 F-350 REGULAR CAB 4X4	60,834.00	30-438-710		E MAJOR EQUIPMENT PURCHASE	R	06/13/24	06/13/24		PO #2024-08	N
	24000830	06/13/24 2024 FORD MAVERICK AWD										
	1	2024 FORD MAVERICK AWD	29,801.00	18-413-330		E VEHICLE EXPENSE/CODES	R	06/13/24	06/13/24		PO #2024-12	N
	2	2024 FORD MAVERICK AWD	29,801.00	18-413-330		E VEHICLE EXPENSE/CODES	R	06/13/24	06/13/24		PO #2024-12	N
	Vendor Total:		59,602.00									
	Vendor Total:		120,436.00									
<b>DANIE055 DANIEL SACKS</b>												
	24000796	06/07/24 2024 MEDICAL REIMBURSEMENT										
	1	2024 MEDICAL REIMBURSEMENT	55.80	01-486-157		E HEALTH & VISION REIMBURSEMENTS	R	06/07/24	06/07/24		060724	N
	Vendor Total:		55.80									
<b>EK051005 EK05 INC.</b>												
	24000826	05/31/24 FUEL SYSTEM										
	1	FUEL SYSTEM	5,076.00	30-437-740		E CAPITAL EXPENSE/SURPLUS EQUIP	R	05/31/24	05/31/24		217343	N
	Vendor Total:		5,076.00									

Vendor # Name	PO # PO Date Description	Item Description	Amount	Contract PO Type	Charge Account	Acct Type Description	Stat/Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
<b>LOUIS005 LOUIS GENTNER</b>												
	24000812	06/12/24 2024 MEDICAL REIMBURSEMENT										
	1	2024 MEDICAL REIMBURSEMENT	225.00		01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/12/24	06/12/24		061224	N
		Vendor Total:	225.00									
<b>MCCAL005 MCCALLION TEMPS, INC</b>												
	24000799	06/07/24 STAFFING SERVICES										
	1	STAFFING SERVICES	440.64		01-402-131	E SALARY/ADMIN ASST T.P.	R	06/07/24	06/07/24		11589	N
		Vendor Total:	440.64									
<b>PECOE020 PECO ENERGY-PAYMENT PROCESSING</b>												
	24000798	06/03/24 ELECTRIC										
	1	ELECTRIC	14.93		01-409-360	E UTILITIES	R	06/03/24	06/03/24		3126095000	N
		Vendor Total:	14.93									
<b>READY005 READY REFRESH BY NESTLE</b>												
	24000802	06/06/24 BOTTLED WATER										
	1	BOTTLED WATER	37.37		01-409-360	E UTILITIES	R	06/06/24	06/06/24		24E0436107759	N
	2	BOTTLED WATER	94.31		01-410-360	E UTILITIES	R	06/06/24	06/06/24		24E0436449664	N
			131.68									
		Vendor Total:	131.68									
<b>RICHA005 RICHARD CLOWSER</b>												
	24000797	06/10/24 2024 MEDICAL REIMBURSEMENT										
	1	2024 MEDICAL REIMBURSEMENT	2,500.00		01-486-157	E HEALTH & VISION REIMBURSEMENTS	R	06/10/24	06/10/24		061024	N
		Vendor Total:	2,500.00									
<b>RIGGI010 RIGGINS INC.</b>												
	24000813	06/06/24 POLICE FUEL										
	1	POLICE FUEL	479.84		01-410-224	E FUELS/OIL	R	06/06/24	06/06/24		75127033	N
	24000814	06/06/24 PW DIESEL										
	1	PW DIESEL	1,213.01		01-437-330	E FUEL & OIL EQUIP	R	06/06/24	06/06/24		75127036	N

Vendor # Name	PO # PO Date Description	Item Description	Amount	Charge Account	Contract PO Type	Acct Type Description	Stat./Chk	Enc Date	First Rcvd Date	Chk/Void Date	Invoice	1099 Excl
RIGG1010 RIGGINS INC. Continued												
	24000815	06/06/24 PW FUEL	348.09	01-437-330		E FUEL & OIL EQUIP	R	06/06/24	06/06/24		75127034	N
	1 PW FUEL											
	Vendor Total:		2,040.94									
STAND020 STANDARD DIGITAL IMAGING												
	24000800	06/03/24 COPIER CHARGE	375.74	01-400-740		E MAJOR EQUIPMENT LEASE/PURCHASE	R	06/03/24	06/03/24		93318	N
	1 COPIER CHARGE											
	24000801	06/03/24 COPIER CHARGE	375.73	01-410-226		E COPIER EXPENSES	R	06/03/24	06/03/24		93318	N
	1 COPIER CHARGE											
	Vendor Total:		751.47									
STEPH065 STEPHANIE SHORTALL												
	24000795	06/04/24 PSATS MILEAGE REIMBURSEMENT	2.97	01-400-330		E VEHICLE EXPENSE/ADMIN	R	06/04/24	06/04/24		060424	N
	1 PSATS MILEAGE REIMBURSEMENT											
	Vendor Total:		2.97									
Total Purchase Orders:			16	Total P.O. Line Items:	18	Total List Amount:	131,751.08	Total void Amount:	0.00			



Totals by Year-Fund		Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description								
GENERAL FUND:		4-01	6,239.08	0.00	6,239.08	0.00	0.00	6,239.08
CAPITAL IMPROVEMENT/EQUIPMENT FUND:		4-18	59,602.00	0.00	59,602.00	0.00	0.00	59,602.00
HIGHWAY EQUIPMENT FUND:		4-30	65,910.00	0.00	65,910.00	0.00	0.00	65,910.00
Total of All Funds:			<u>131,751.08</u>	<u>0.00</u>	<u>131,751.08</u>	<u>0.00</u>	<u>0.00</u>	<u>131,751.08</u>

Totals by Fund		Fund	Expend Rcvd	Expend Held	Expend Total	Revenue Total	G/L Total	Total
Fund Description								
GENERAL FUND:		01	6,239.08	0.00	6,239.08	0.00	0.00	6,239.08
CAPITAL IMPROVEMENT/EQUIPMENT FUND:		18	59,602.00	0.00	59,602.00	0.00	0.00	59,602.00
HIGHWAY EQUIPMENT FUND:		30	65,910.00	0.00	65,910.00	0.00	0.00	65,910.00
Total of All Funds:			<u>131,751.08</u>	<u>0.00</u>	<u>131,751.08</u>	<u>0.00</u>	<u>0.00</u>	<u>131,751.08</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND:	4-01	6,239.08	0.00	0.00	0.00	6,239.08
CAPITAL IMPROVEMENT/EQUIPMENT FUND:	4-18	59,602.00	0.00	0.00	0.00	59,602.00
HIGHWAY EQUIPMENT FUND:	4-30	65,910.00	0.00	0.00	0.00	65,910.00
Total of All Funds:		<u>131,751.08</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>131,751.08</u>



# MEMO

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**TO:** Board of Supervisors, Township Manager Dan Fox  
**FROM:** Bill May, Parks and Recreation Coordinator/ Foreman  
**DATE:** June 3, 2024  
**RE:** Lenape Valley/TNT Softball Tournament

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The Lenape Valley Softball Organization has been a part of the New Britain Township Community for decades, providing instructional softball and fundamentals to the youths of New Britain Township. Lenape Valley Softball has developed its own in-house travel team named TNT. Lenape Valley/TNT would again like to host another tournament at North Branch Park, as a showcase for college scouts for the under 18 age group.

On Tuesday May 21, 2024, at the Parks and Recreation Advisory board meeting, Lenape Valley/TNT coach, Chris Haney requested approval for a three-day tournament at North Branch Park on the dates of July 5, 6, and 7 from 8:00 a.m. to 6:00 p.m. Fields 1, 2, and 3 will be used. Approximately 18 teams are expected to participate. Arrangements with Lenape Valley Softball organization for the use of the three softball fields have been made and confirmed. The results of last year's tournament aided four players from the Central Bucks School District receiving athletic scholarships.

## **STAFF RECOMMENDATION:**

Upon review the Park & Recreation Department only requires an application fee. There are no outside vendors scheduled at this tournament. TNT will pay the \$125 fee for additional cleaning to existing bathrooms on site that New Britain Township will schedule.

New Britain Township Staff and the Parks & Recreation Board recommend the Board of Supervisors authorize the use of North Branch Park on the dates of July 5, 6, and 7, 2024 from 8:00 a.m. to 6:00 to the Lenape Valley/TNT Softball Organization for a tournament /college showcase. This tournament is similar to the all previously approved tournaments.

**RESOLUTION NO. 2024 - 10**

**NEW BRITAIN TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA**

A RESOLUTION OF THE BOARD OF SUPERVISORS OF NEW BRITAIN TOWNSHIP GRANTING FINAL LAND DEVELOPMENT APPROVAL TO TOLL BROTHERS, INC. FOR THE FINAL SUBDIVISION OF TAX PARCEL #26-006-101, 26-006-101-003, 26-006-101-004 LOCATED AT OR NEAR COUNTY LINE ROAD, WHICH SAID PLANS WERE PREPARED BY ESE CONSULTANTS, INC., DATED OCTOBER 6, 2023, AND LAST REVISED APRIL 11, 2024, CONSISTING OF 45 SHEETS, WHICH PROPOSE THE CONSTRUCTION OF A 44-UNIT TOWNHOUSE DEVELOPMENT

**WHEREAS**, Toll Brothers, Inc. ("*Applicant*") have submitted an application for Final Land Development Approval which proposes the construction of a 44- Unit Townhouse Development ("*Project*") on a parcel located at or near County Line Road, New Britain Township, Bucks County, Pennsylvania, further identified as Tax Map Parcel Nos. 26-006-101, 26-006-101-003 and 26-006-101-004 ("*Property*"); and

**WHEREAS**, this proposal is reflected on a plan entitled Final Subdivision Plans of Birch Run at New Britain, prepared by ESE Consultants, Inc., dated October 6, 2023, last revised April 11, 2024, consisting of forty-five (45) sheets ("*Plan*"); and

**WHEREAS**, the New Britain Township Board of Supervisors held a Hearing on the Preliminary Subdivision Plans on March 18, 2024 and voted to approve the Preliminary Subdivision Application as evidenced by Resolution 2024-09; and

**WHEREAS**, the New Britain Township Planning Commission recommended the Project for Preliminary and Final Approval at its February 27, 2024 Meeting;

**NOW THEREFORE, BE IT ADOPTED AND RESOLVED**, that the Board of Supervisors of New Britain Township hereby grants Final Land Development Approval to the Project subject to Applicant's compliance with the following conditions:

1. Applicant shall comply with all requirements and recommendations of the Gilmore and Associates Review Letter of June 3, 2024 unless herein modified. A true and correct copy of this letter is attached hereto and incorporated herein as Exhibit "A".
2. Applicant shall comply with all comments, requirements and conditions contained in Resolution 2024-09. A true and correct copy of this Resolution is

attached hereto and incorporated herein as Exhibit "B".

3. Applicant shall comply with all requirements contained in Resolution 2023-16, evidencing the Adjudication of the Conditional Use Application of Toll Mid-Atlantic LP Company, Inc. A true and correct copy of this Resolution is attached hereto and incorporated herein as Exhibit "C".
4. Applicant has requested, and the Board of Supervisors does hereby Grant waiver from the following provisions of the Subdivision and Land Development Ordinance:
  - a. §22-705.13.D. – A waiver is requested to permit the driveway aprons to exceed a change in grade of 6% and a slope of 8%.
5. Applicant shall comply with any other technical design comments from the Township Engineer prior to the recording of the Record Plans.
6. Applicant shall construct the modern architectural option for the proposed buildings.
7. Applicant shall consult with the Township Fire Marshal on the naming of the internal roadways.
8. Applicant shall modify the walkway design to County Line Road to add additional landscaping, crosswalks and signage, to the satisfaction of the Township Engineer.
9. All street lights shall be in accordance with the Township's Butler Avenue Corridor Overlay District Street Light Detail.
10. An inspection report shall be completed for the existing detention basin. The basin shall be maintained and repaired as necessary to insure it is functioning as intended. The Township shall be notified once any maintenance or remedial work is completed.
11. Applicant shall construct all public improvements shown on the approved Final Plan, including, but not limited to, water and sewer facilities, stormwater facilities, street trees, roadway widening, installation of curbs and sidewalks, and roadway milling and overlay.
12. Applicant shall execute the required Stormwater Maintenance Agreement in a form approved by the Township Solicitor. Applicant shall pay a required stormwater fee to be based on \$0.25 per every square foot of net increase of impervious area proposed.
9. Applicant shall obtain all required approvals from various agencies having jurisdiction over the Project, including, but not limited to: Pennsylvania Department of Environmental Protection ("DEP") NPDES Permit, DEP Sewage Facilities Planning Module, Bucks County Health Department,

Bucks County Conservation District E & S Permit, and Pennsylvania Department of Transportation Highway Occupancy Permit.

10. Applicant shall submit to the Township Engineer for review all necessary legal descriptions and construction cost estimates of the site improvements.
11. Applicant shall execute Development and Financial Security Agreements and all other development documents (including all necessary guarantees, agreements, easements, deeds, and declarations), all in a form and manner to be approved by the Township Solicitor; Applicant shall post sufficient financial security in a form acceptable to the Township; Applicant shall provide proof of sufficient insurance coverage to the Township.
12. Applicant shall execute all deeds of dedication, legal descriptions of rights-of-way, access easement descriptions, lot descriptions, notes, etc., all in a form and manner to be approved by the Township Solicitor. These deeds shall be accompanied by title insurance to the benefit of the Township indicating that title to these areas is free and clear of all liens, encumbrances and restrictions that could adversely affect the use of these dedicated for roadways and other proper purposes.
13. Applicant shall pay all appropriate fees applicable to this Project including all outstanding bills from the Township's professional consultants.
14. All documentation shall be executed prior to recording of Record Plans.
15. Applicant and its professionals shall execute, notarize and seal the Final Record Plan.
16. Applicant shall comply with all other applicable Township, County, State, and Federal rules, regulations, codes, ordinances, and statutes.
17. The plans shall be ADA compliant, if applicable.

**BE IT FINALLY RESOLVED** that the conditions of approval have been made known to Applicant, and this Final Land Development Approval is to be deemed expressly contingent upon Applicant's affirmative written acceptance of the said conditions on a form prescribed by the Township within 30 days of the approval of this Resolution. If an unconditional acceptance of the conditions is not received in writing by that date, the application for Final plan approval shall be deemed denied based upon Applicant's failure to agree to and/or fulfill the said conditions.

**THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK.**

NEW BRITAIN TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA  
**RESOLUTION NO. 2024-**

**DULY ADOPTED**, this \_\_\_\_ day of \_\_\_\_\_, 2024, by the Board of Supervisors of New Britain Township, in lawful session duly assembled.

ATTEST:

\_\_\_\_\_  
Dan Fox, Township Manager

\_\_\_\_\_  
Cynthia M. Jones, Chair

\_\_\_\_\_  
MaryBeth McCabe, Vice-Chair

\_\_\_\_\_  
Stephanie Shortall, Supervisor

\_\_\_\_\_  
William Jones, III, Supervisor

\_\_\_\_\_  
Bridget Kunakorn, Supervisor



**APPLICANT'S ACCEPTANCE OF THE RESOLUTION'S CONDITIONS**

Applicant agrees to the above terms and conditions contained in Resolution 2024-\_\_\_\_  
this the \_\_\_\_ day of \_\_\_\_\_, 2024.

APPLICANT:  
TOLL BROTHERS, INC.

\_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

# ESE CONSULTANTS

ENGINEERING · PLANNING · SURVEYING · ENVIRONMENTAL

June 11, 2024

New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

Dear Dave Conroy, Director of Planning and Zoning:

On behalf of the applicant, Toll Bros., Inc., please accept this response letter for use in the meeting packet for the June BOS Twp meeting.

This response letter includes responses to the review letters by Gilmore & Associates, Inc., dated June 3, 2024.

## Gilmore & Associates, Inc., dated June 3, 2024

### III. Review Comments

#### A. Preliminary Plan Resolution #2024-09

1. The Applicant received Preliminary Land Development Approval subject to the Applicant's compliance with certain conditions. While most of the conditions are administrative, we recommend the sidewalk layout per Conditions 4 and 5 be discussed:
  - a. The Applicant was granted a waiver from §§22-706.2.B from installing sidewalk along the frontage of County Line Road conditioned on providing a walkway to County Line Road. While a sidewalk is proposed from the development to the County Line Road right-of-way, we recommend additional improvements be provided as follows:

- 1.) A Property-Entry Improvements Sketch Plan dated September 8, 2022, was previously submitted showing additional landscaping. Unless the landscaping unless in conflict with sightlines or parking requirements, we recommend additional landscaping be provided. The existing shrubs along the access drive on the CTP property shall also be added to the plans to determine if they are impacted by the proposed improvements.

***Response: The landscaping from the September 8, 2022 sketch will be added to the plans. The existing shrubs along the access drive will be added to the existing features plan.***

- 2.) We recommend the parking islands be extended and/or crosswalks provided across the existing driveways to CTP.

***Response: The plans near the access road will be revised to show a crosswalk connecting the handicap ramps coming from County Line Road and connecting with the cross walks near the intersection with the Access Road and Brianna Court.***

- 3.) We recommend the grading be revised to round out the contours at the tie-in locations.

***Response: The grading in the islands along the Access Road will be revised to round out the contour connections with the tie-in locations.***

- 4.) We recommend a post be installed with a "No Pedestrian" sign and "Sidewalk Closed" sign centered at the end of the sidewalk.

***Response: A post with the requested signage will be posted at the end of the sidewalk near the intersection of County Line Road and the Access Road.***

- b. A waiver was granted to allow substitutions for certain buffering and landscaping, and streetlights as approved by the Township Engineer. §22-722.4.C.(7) & 4.E. We note that there are several

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non-native species proposed, i.e. Autumn Gold Maidenhair Tree, White Spruce, and London Plane Tree, which are not on the Township's proposed Plant List. These trees should be substituted with native species. In addition, to establish a consistent design scheme along the Butler Avenue Corridor Overlay District, we recommend the streetlight details on sheets 25 and 42 of 43 be removed and replaced with the attached detail.

**Response: The proposed trees that are non-native species will be updated for trees that are on the Township's proposed plant list. The street light detail on sheets 25 and 43 will be updated with the detail that is attached to this review letter.**

2. Condition 9 – Upon Final Approval, Applicant shall obtain all required approvals. Any correspondence regarding the Planning Module from PADEP shall be forwarded to the Township and our office.

**Response: Any correspondence from the DEP for the planning module will be forwarded to the Township and Township Engineer, once received.**

## B. Subdivision and Land Development Ordinance

1. §22-705.13.D – All driveways shall not exceed a change in grade of 6% nor slopes over 8%. The change in grade includes the transition between the cross slope of the roadway and driveway and the driveway and sidewalk. Note 15.B on Sheet 5 indicates the driveway aprons may exceed 8% slope and 6% grade change. The driveway grading and driveway apron detail should be revised.

**Response: A waiver is being requested from this section to allow a change in grade of greater than 6% going into and exiting the driveway apron area. Also in the driveway apron length a slope greater than 8% (+/- 12.5% proposed) is being requested. The applicant has previously received waivers from sections 22-705.13.C and 22-705.13.D for other aspects of the driveway configuration.**

## C. Stormwater Management Ordinance

1. §22-712.13.C – When an applicant retains ownership of any stormwater facility, such entity shall be responsible for its repair and maintenance. The existing stormwater basin is overgrown, and the inlet and discharge pipes were inaccessible. The existing facilities shall be inspected to determine if the facilities are functioning properly and in need of maintenance or repair.

**Response: There is a current stormwater O&M recorded as part of the approval for the Wawa parcel. Any maintenance agreement will be revised to include the residential applicant responsibilities.**

2. §26-123.2.C.(6) – The test pit for Basin 1 noted bedrock from elevation 362.5 to 366 or 2.5 feet to 6 feet higher than the bottom excavation elevation of 360.00. In addition, the test pit for Basin 2 noted bedrock at an elevation of 364, or 3 feet higher than the bottom excavation elevation of 361.00. The basin excavations may require blasting. We recommend the Applicant verify whether blasting is proposed and if so, consider revising the basin design to stay above the bedrock.

**Response: The applicant will be setting up test drilling prior to the start of construction to determine what the excavation method will be in deeper areas. If blasting is required, the contractor will follow all Township requirements, obtain a State permit from DEP, and provide all required notifications and pre-blast surveys. In addition, if needed, a seismograph will be on site to confirm vibration levels and below required maximums.**


# ESE CONSULTANTS

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**A formal submission of the responses and plansets will be done in the future.**

Thank you for your attention and anticipated cooperation regarding the above. Should you have any questions, comments, or require additional information please contact me at your convenience.

Sincerely,

A handwritten signature in cursive script that reads "Jeff Madden".

Jeff Madden, PE  
Regional Director of Engineering  
ESE Consultants, Inc.

# ESE CONSULTANTS

ENGINEERING · PLANNING · SURVEYING · ENVIRONMENTAL

To: Mike Downs, Brian Thierrin, Nate Fox

From: Jeff Madden

Cc: Luke Piotrowicz,

Date: June 11, 2024

Re: SALDO Design Relief Required for New Britain CTP Subdivision Plans (TBI #8363)

---

**Please find following an additional list of the SALDO waivers required for the New Britain CTP Subdivision Plan:**

- 1) Section 22-705.13.D All access drive and driveway construction shall be designed in accordance with the details listed in the Appendix and the following criteria:

Residential driveways shall have a width of 12' (16' for shared), minimum radius of 10', maximum grade of 8%, and maximum change of grade is 6%.

*Relief to provide a driveway apron at a slope to meet with the sidewalk (+/- 12.5%) for 5' from edge of cartway. This will allow the sidewalk to be the same elevation relationship to the curb height, throughout the site, and not depress in the driveway areas. If the sidewalk is depressed for a lesser driveway apron than requested, there is a chance for the stormwater in the front yard to collect and funnel down the driveway if the stormwater can not flow over the curb.*

The Board of Supervisors previously approved some additional waivers during the meeting on March 18, 2024 thru resolution no. 2024-09.

---

ESE Consultants, Inc.

1140 Virginia Drive - Fort Washington, PA 19034

(215) 914-2050

# FINAL SUBDIVISION PLANS BIRCH RUN AT NEW BRITAIN

(AKA NEW BRITAIN CTP PROPERTY)  
 TMP #26-06-101, #26-06-101-003, #26-06-101-004  
 COUNTY LINE ROAD AND WEST BUTLER AVENUE  
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

OWNER OF RECORD  
 CTP MANAGEMENT LLC  
 4121 CREAMERY ROAD  
 CREAMERY, PA 19430  
 610-489-2122

EQUITABLE OWNER/APPLICANT  
 TOLL MID-ATLANTIC LP COMPANY, INC.  
 1140 VIRGINIA DRIVE  
 FORT WASHINGTON, PA 19034  
 215-318-8000

ENGINEER, PLANNER, LANDSCAPE ARCHITECT  
 ESE CONSULTANTS, INC.  
 307 WASHINGTON PA  
 FORT WASHINGTON, PA 19034  
 215-814-2050

BETH BARRETT, PLA, ACP  
 PLANNER & LANDSCAPE ARCHITECT

#### SITE IMPACT NOTES:

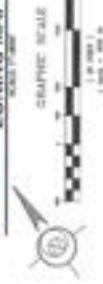
- THE EXISTING CANALS AND DRAINAGE STRUCTURES, SHOWN ON THE MAPS, SHALL REMAIN UNLESS OTHERWISE NOTED.
- IF THE MAPS INDICATE ANY CHANGES TO THE DRAINAGE SYSTEMS, SUCH AS DRAINAGE STRUCTURES OR CANALS, SUCH CHANGES SHALL BE NOTED AND THE CANALS SHALL REMAIN UNLESS OTHERWISE NOTED.
- THE MAPS SHOWN ON THESE PLANS REPRESENT THE BEST AVAILABLE INFORMATION AND ARE BASED ON THE EXISTING INFORMATION AND FIELD SURVEY DATA. THE APPLICANT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FIELD SURVEY DATA. THE APPLICANT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FIELD SURVEY DATA. THE APPLICANT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FIELD SURVEY DATA.
- THE MAPS SHOW THE EXISTING AND PROPOSED SUBDIVISION LOTS AND ARE NOT INTENDED TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION AND FIELD SURVEY DATA.

#### GENERAL NOTES:

- THE SUBDIVISION PLANS SHALL BE CONSIDERED VALID ONLY WHEN APPROVED BY THE BOARD OF SUPERVISORS AND THE BOARD OF COUNTY MANAGERS OF THE COUNTY OF BUCKS. THE BOARD OF SUPERVISORS AND THE BOARD OF COUNTY MANAGERS SHALL HAVE THE FINAL AUTHORITY IN ALL MATTERS RELATING TO THE SUBDIVISION PLANS.
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ZONING MAP



LOCATION MAP



#### SHEET INDEX

SHEET NO.	TITLE	DATE
1	GENERAL NOTES	06/10/2026
2	PRELIMINARY LOTS	06/10/2026
3	PROPOSED LOTS	06/10/2026
4	PROPOSED LOTS (CONT'D)	06/10/2026
5	PROPOSED LOTS (CONT'D)	06/10/2026
6	PROPOSED LOTS (CONT'D)	06/10/2026
7	PROPOSED LOTS (CONT'D)	06/10/2026
8	PROPOSED LOTS (CONT'D)	06/10/2026
9	PROPOSED LOTS (CONT'D)	06/10/2026
10	PROPOSED LOTS (CONT'D)	06/10/2026
11	PROPOSED LOTS (CONT'D)	06/10/2026
12	PROPOSED LOTS (CONT'D)	06/10/2026
13	PROPOSED LOTS (CONT'D)	06/10/2026
14	PROPOSED LOTS (CONT'D)	06/10/2026
15	PROPOSED LOTS (CONT'D)	06/10/2026
16	PROPOSED LOTS (CONT'D)	06/10/2026
17	PROPOSED LOTS (CONT'D)	06/10/2026
18	PROPOSED LOTS (CONT'D)	06/10/2026
19	PROPOSED LOTS (CONT'D)	06/10/2026
20	PROPOSED LOTS (CONT'D)	06/10/2026

#### SHEET INDEX

SHEET NO.	TITLE	DATE
21	PROPOSED LOTS (CONT'D)	06/10/2026
22	PROPOSED LOTS (CONT'D)	06/10/2026
23	PROPOSED LOTS (CONT'D)	06/10/2026
24	PROPOSED LOTS (CONT'D)	06/10/2026
25	PROPOSED LOTS (CONT'D)	06/10/2026
26	PROPOSED LOTS (CONT'D)	06/10/2026
27	PROPOSED LOTS (CONT'D)	06/10/2026
28	PROPOSED LOTS (CONT'D)	06/10/2026
29	PROPOSED LOTS (CONT'D)	06/10/2026
30	PROPOSED LOTS (CONT'D)	06/10/2026

#### SHEET INDEX

SHEET NO.	TITLE	DATE
31	PROPOSED LOTS (CONT'D)	06/10/2026
32	PROPOSED LOTS (CONT'D)	06/10/2026
33	PROPOSED LOTS (CONT'D)	06/10/2026
34	PROPOSED LOTS (CONT'D)	06/10/2026
35	PROPOSED LOTS (CONT'D)	06/10/2026
36	PROPOSED LOTS (CONT'D)	06/10/2026
37	PROPOSED LOTS (CONT'D)	06/10/2026
38	PROPOSED LOTS (CONT'D)	06/10/2026
39	PROPOSED LOTS (CONT'D)	06/10/2026
40	PROPOSED LOTS (CONT'D)	06/10/2026

#### SHEET INDEX

SHEET NO.	TITLE	DATE
41	PROPOSED LOTS (CONT'D)	06/10/2026
42	PROPOSED LOTS (CONT'D)	06/10/2026

# PRELIMINARY/FINAL SUBDIVISION PLANS BIRCH RUN AT NEW BRITAIN

(AKA NEW BRITAIN CTP PROPERTY)  
TMP #26-06-101-004  
COUNTY LINE ROAD AND WEST BUTLER AVENUE  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DIVISION OF RECORDS  
1717 MARKET STREET  
PHILADELPHIA, PA 19103  
610-257-2122

ENGINEER SURVEYOR PLANNER LANDSCAPE ARCHITECT  
1140 VICTORIA DRIVE  
FORT WASHINGTON, PA 19054  
215-331-4200

**ZONING**  
LOCAL GOVERNMENT: BUCKS COUNTY  
PROPOSED MAP: BIRCH RUN AT NEW BRITAIN CTP PROPERTY  
OFFICE: 1140 VICTORIA DRIVE, FORT WASHINGTON, PA 19054  
PHONE: 215-331-4200

**ZONING REQUIREMENTS - C1 COMMERCIAL**

REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
MIN. LOT WIDTH	30 FT.	30 FT.
MIN. LOT DEPTH	100 FT.	100 FT.
MIN. FRONT SETBACK	10 FT.	10 FT.
MIN. SIDE SETBACK	5 FT.	5 FT.
MIN. REAR SETBACK	5 FT.	5 FT.

**ZONING REQUIREMENTS - B1 SINGLE FAMILY ATTACHED**

REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
MIN. LOT WIDTH	30 FT.	30 FT.
MIN. LOT DEPTH	100 FT.	100 FT.
MIN. FRONT SETBACK	10 FT.	10 FT.
MIN. SIDE SETBACK	5 FT.	5 FT.
MIN. REAR SETBACK	5 FT.	5 FT.

**CERTIFICATE OF ZONING COMPLIANCE**  
I, the undersigned, being duly sworn, depose and say that the above information is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the State of Pennsylvania.



**GENERAL NOTES**  
1. THE PROPOSED SUBDIVISION IS SUBJECT TO THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND TO ANY OTHER APPLICABLE REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.  
2. THE PROPOSED SUBDIVISION IS SUBJECT TO THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND TO ANY OTHER APPLICABLE REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.  
3. THE PROPOSED SUBDIVISION IS SUBJECT TO THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND TO ANY OTHER APPLICABLE REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.  
4. THE PROPOSED SUBDIVISION IS SUBJECT TO THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND TO ANY OTHER APPLICABLE REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.

**PROPOSED USE**

REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
MIN. LOT WIDTH	30 FT.	30 FT.
MIN. LOT DEPTH	100 FT.	100 FT.
MIN. FRONT SETBACK	10 FT.	10 FT.
MIN. SIDE SETBACK	5 FT.	5 FT.
MIN. REAR SETBACK	5 FT.	5 FT.

**CONDITIONAL USE APPLICATION APPROVED BY NEW BRITAIN BOARD OF SUPERVISORS ON JULY 17, 2023**  
1. THE BOARD OF SUPERVISORS HAS REVIEWED THE PROPOSED SUBDIVISION AND HAS DETERMINED THAT THE PROPOSED SUBDIVISION IS IN CONFORMANCE WITH THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND WITH THE ZONING REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.  
2. THE BOARD OF SUPERVISORS HAS DETERMINED THAT THE PROPOSED SUBDIVISION IS IN CONFORMANCE WITH THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND WITH THE ZONING REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.

**AREA TABULATION - BIRCH RUN AT NEW BRITAIN**

AREA	AREA NO.	AREA TYPE	AREA AREA (SQ. FT.)	AREA PERCENT (%)
1	1	RESIDENTIAL SINGLE-FAMILY	10,000	100.00

**RECORD PLAN**  
RECORD SHEET 1 OF 3  
BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

**PROFESSIONAL ENGINEER CERTIFICATION**  
I, the undersigned, being duly sworn, depose and say that the above information is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the State of Pennsylvania.

**WETLAND CERTIFICATION**  
I, the undersigned, being duly sworn, depose and say that the above information is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the State of Pennsylvania.

**LET OF VARIANCES GRANTED ON 6/15/18 BY THE ZONING BOARD**  
1. THE BOARD OF SUPERVISORS HAS REVIEWED THE PROPOSED SUBDIVISION AND HAS DETERMINED THAT THE PROPOSED SUBDIVISION IS IN CONFORMANCE WITH THE ZONING REGULATIONS OF THE BUCKS COUNTY ZONING ORDINANCE, AS AMENDED, AND WITH THE ZONING REGULATIONS OF THE COMMONWEALTH OF PENNSYLVANIA.

**PROFESSIONAL ENGINEER CERTIFICATION**  
I, the undersigned, being duly sworn, depose and say that the above information is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the State of Pennsylvania.

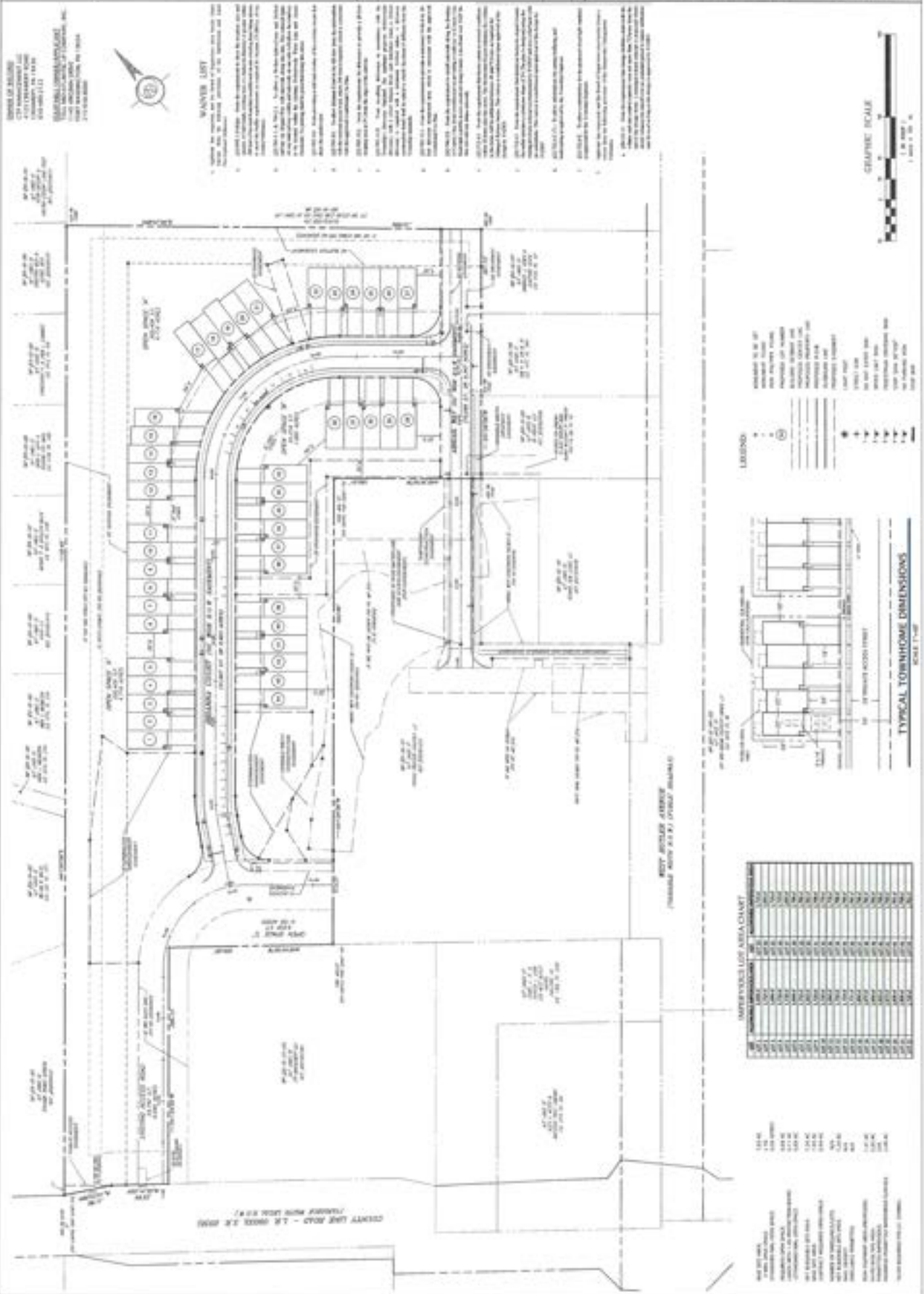
**PROFESSIONAL ENGINEER CERTIFICATION**  
I, the undersigned, being duly sworn, depose and say that the above information is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the State of Pennsylvania.

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**PROFESSIONAL ENGINEER CERTIFICATION**  
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LOCALITY MAP

RESIDENTIAL TRAILER SIZES

TRAILER SIZE	TRAILER TYPE	AREA
10' x 30'	TRAILER	300
10' x 36'	TRAILER	360
10' x 42'	TRAILER	420
10' x 48'	TRAILER	480
10' x 54'	TRAILER	540
10' x 60'	TRAILER	600
10' x 66'	TRAILER	660
10' x 72'	TRAILER	720
10' x 78'	TRAILER	780
10' x 84'	TRAILER	840
10' x 90'	TRAILER	900
10' x 96'	TRAILER	960
10' x 102'	TRAILER	1020
10' x 108'	TRAILER	1080
10' x 114'	TRAILER	1140
10' x 120'	TRAILER	1200
10' x 126'	TRAILER	1260
10' x 132'	TRAILER	1320
10' x 138'	TRAILER	1380
10' x 144'	TRAILER	1440
10' x 150'	TRAILER	1500
10' x 156'	TRAILER	1560
10' x 162'	TRAILER	1620
10' x 168'	TRAILER	1680
10' x 174'	TRAILER	1740
10' x 180'	TRAILER	1800
10' x 186'	TRAILER	1860
10' x 192'	TRAILER	1920
10' x 198'	TRAILER	1980
10' x 204'	TRAILER	2040
10' x 210'	TRAILER	2100
10' x 216'	TRAILER	2160
10' x 222'	TRAILER	2220
10' x 228'	TRAILER	2280
10' x 234'	TRAILER	2340
10' x 240'	TRAILER	2400
10' x 246'	TRAILER	2460
10' x 252'	TRAILER	2520
10' x 258'	TRAILER	2580
10' x 264'	TRAILER	2640
10' x 270'	TRAILER	2700
10' x 276'	TRAILER	2760
10' x 282'	TRAILER	2820
10' x 288'	TRAILER	2880
10' x 294'	TRAILER	2940
10' x 300'	TRAILER	3000

PERMITS REQUIRED FOR THIS PROJECT

PERMIT TYPE	STATUS	ISSUANCE DATE
1. SITE PLAN PERMIT	ISSUED	08/15/2024
2. ZONING PERMIT	ISSUED	08/15/2024
3. UTILITY PERMIT	ISSUED	08/15/2024
4. ENVIRONMENTAL PERMIT	ISSUED	08/15/2024
5. TRAILER PERMIT	ISSUED	08/15/2024
6. ROADWAY PERMIT	ISSUED	08/15/2024
7. FLOODPLAIN PERMIT	ISSUED	08/15/2024
8. HISTORIC PRESERVATION PERMIT	ISSUED	08/15/2024
9. AIR QUALITY PERMIT	ISSUED	08/15/2024
10. OTHER PERMIT	ISSUED	08/15/2024

PERMITS REQUIRED FOR THIS PROJECT

PERMIT TYPE	STATUS	ISSUANCE DATE
1. SITE PLAN PERMIT	ISSUED	08/15/2024
2. ZONING PERMIT	ISSUED	08/15/2024
3. UTILITY PERMIT	ISSUED	08/15/2024
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8. HISTORIC PRESERVATION PERMIT	ISSUED	08/15/2024
9. AIR QUALITY PERMIT	ISSUED	08/15/2024
10. OTHER PERMIT	ISSUED	08/15/2024

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



PERMITS REQUIRED FOR THIS PROJECT

PERMIT TYPE	STATUS	ISSUANCE DATE
1. SITE PLAN PERMIT	ISSUED	08/15/2024
2. ZONING PERMIT	ISSUED	08/15/2024
3. UTILITY PERMIT	ISSUED	08/15/2024
4. ENVIRONMENTAL PERMIT	ISSUED	08/15/2024
5. TRAILER PERMIT	ISSUED	08/15/2024
6. ROADWAY PERMIT	ISSUED	08/15/2024
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8. HISTORIC PRESERVATION PERMIT	ISSUED	08/15/2024
9. AIR QUALITY PERMIT	ISSUED	08/15/2024
10. OTHER PERMIT	ISSUED	08/15/2024

**GENERAL NOTES:**

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PERMITS REQUIRED FOR THIS PROJECT

PERMIT TYPE	STATUS	ISSUANCE DATE
1. SITE PLAN PERMIT	ISSUED	08/15/2024
2. ZONING PERMIT	ISSUED	08/15/2024
3. UTILITY PERMIT	ISSUED	08/15/2024
4. ENVIRONMENTAL PERMIT	ISSUED	08/15/2024
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7. FLOODPLAIN PERMIT	ISSUED	08/15/2024
8. HISTORIC PRESERVATION PERMIT	ISSUED	08/15/2024
9. AIR QUALITY PERMIT	ISSUED	08/15/2024
10. OTHER PERMIT	ISSUED	08/15/2024

**ESE CONSULTANTS**  
 ENGINEERING - PLANNING - DESIGN - SURVEYING - ENVIRONMENTAL  
 200 Columbia Ave.  
 10000 Columbia Ave.  
 10000 Columbia Ave.

PROJECT INFORMATION

PROJECT NAME	BIRCH RUN AT NEW BRITAIN
PROJECT NUMBER	TMP #26-06-101-004
DATE	08/15/2024
DRAWN BY	J. SMITH
CHECKED BY	M. JONES
SCALE	AS SHOWN

**BIRCH RUN AT NEW BRITAIN**  
 TMP #26-06-101-004  
 EXISTING FEATURES/RSAP PLAN  
 NEW BRITAIN TOWNSHIP, WISCONSIN COUNTY, WISCONSIN

DATE

DATE	08/15/2024
DATE	08/15/2024
DATE	08/15/2024
DATE	08/15/2024
DATE	08/15/2024

SCALE: 1" = 40'

DATE: 06/10/04

PROJECT: BIRCH RUN AT NEW BRITAIN

CLIENT: NEW BRITAIN TOWNSHIP

DRAWN BY: J. H. HARRIS

CHECKED BY: J. H. HARRIS

**ESE CONSULTANTS**

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

222 CHURCH ST. S.

NEW BRITAIN, TN 37050

TEL: 615-396-1100

FAX: 615-396-1101

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/10/04
2	ISSUED FOR PERMITS	06/10/04
3	ISSUED FOR PERMITS	06/10/04
4	ISSUED FOR PERMITS	06/10/04
5	ISSUED FOR PERMITS	06/10/04
6	ISSUED FOR PERMITS	06/10/04
7	ISSUED FOR PERMITS	06/10/04
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9	ISSUED FOR PERMITS	06/10/04
10	ISSUED FOR PERMITS	06/10/04

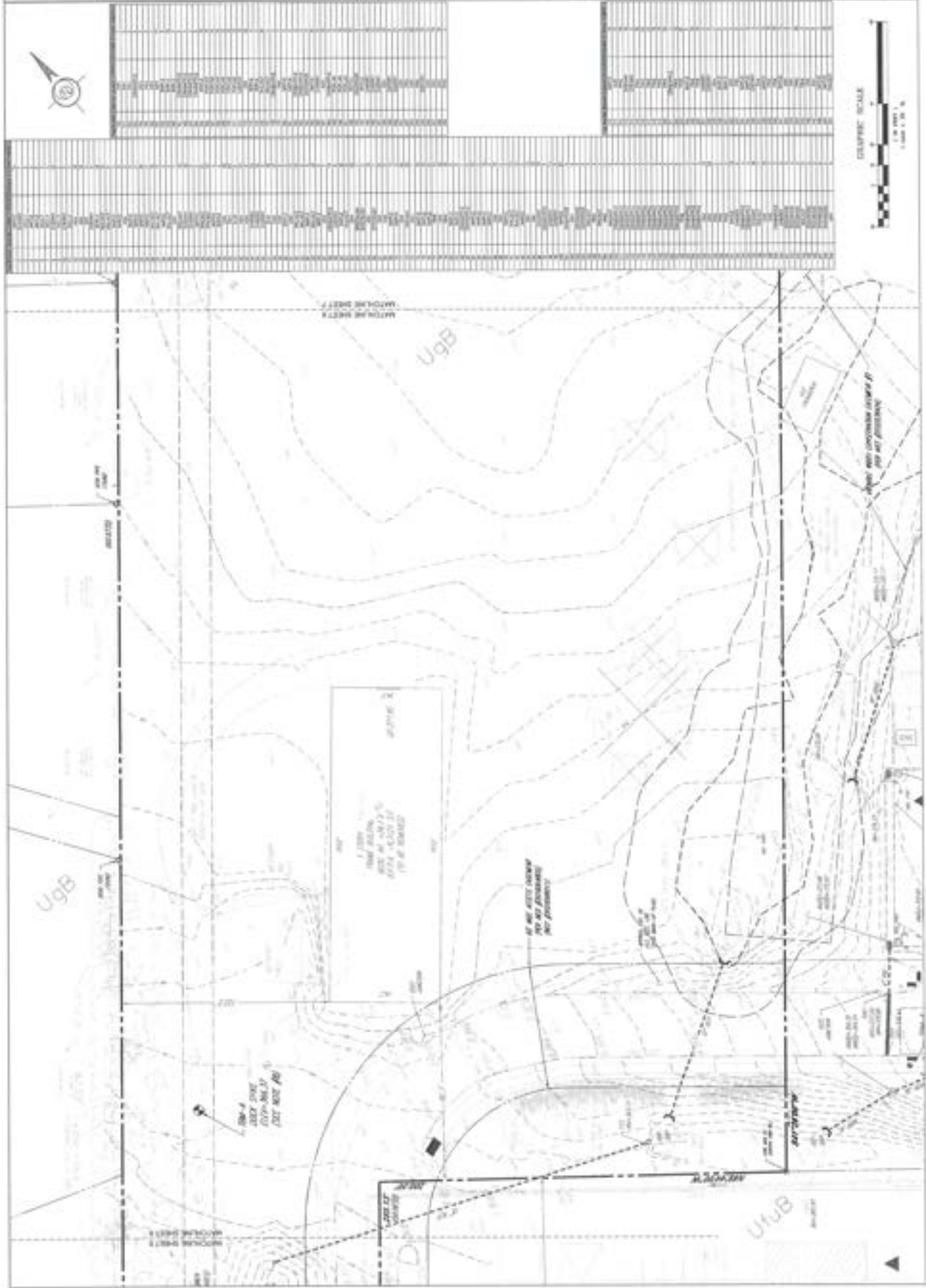
EXISTING FEATURES/ERSAP PLAN

TWP #26-06-101-004

BIRCH RUN AT NEW BRITAIN

NEW BRITAIN TOWNSHIP, BLOOM COUNTY, PENNSYLVANIA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/10/04
2	ISSUED FOR PERMITS	06/10/04
3	ISSUED FOR PERMITS	06/10/04
4	ISSUED FOR PERMITS	06/10/04
5	ISSUED FOR PERMITS	06/10/04
6	ISSUED FOR PERMITS	06/10/04
7	ISSUED FOR PERMITS	06/10/04
8	ISSUED FOR PERMITS	06/10/04
9	ISSUED FOR PERMITS	06/10/04
10	ISSUED FOR PERMITS	06/10/04



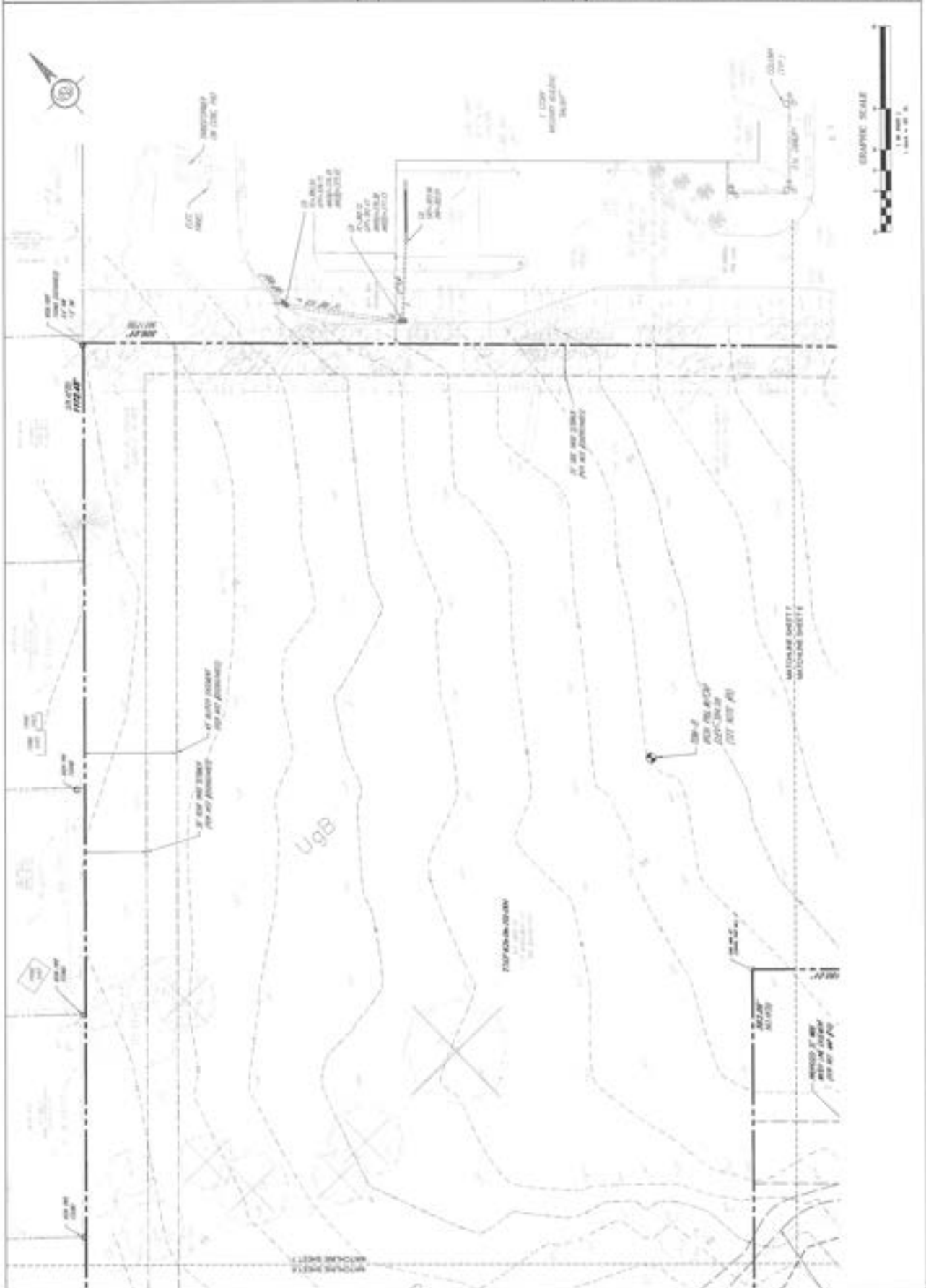
DATE: 08/11/2024  
 PROJECT: BIRCH RUN AT NEW BRITAIN  
 SHEET: 7 OF 43

**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • ENVIRONMENTAL  
 1000 W. 10th Street, Suite 100  
 New Britain, ND 58053  
 Phone: (701) 251-1111  
 Fax: (701) 251-1112  
 Email: info@eseconsultants.com

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMITTING	08/11/2024	J. SMITH	M. JONES
2	REVISED PER COMMENTS	08/15/2024	J. SMITH	M. JONES
3	REVISED PER COMMENTS	08/20/2024	J. SMITH	M. JONES
4	REVISED PER COMMENTS	08/25/2024	J. SMITH	M. JONES
5	REVISED PER COMMENTS	09/05/2024	J. SMITH	M. JONES

**BIRCH RUN AT NEW BRITAIN**  
 TRP #26-00-101-004  
 EXISTING FEATURES/ERSAP PLAN  
 NEW BRITAIN TOWNSHIP, BROWN COUNTY, NORTH DAKOTA

DATE	08/11/2024
PROJECT	BIRCH RUN AT NEW BRITAIN
SHEET	7 OF 43
SCALE	AS SHOWN



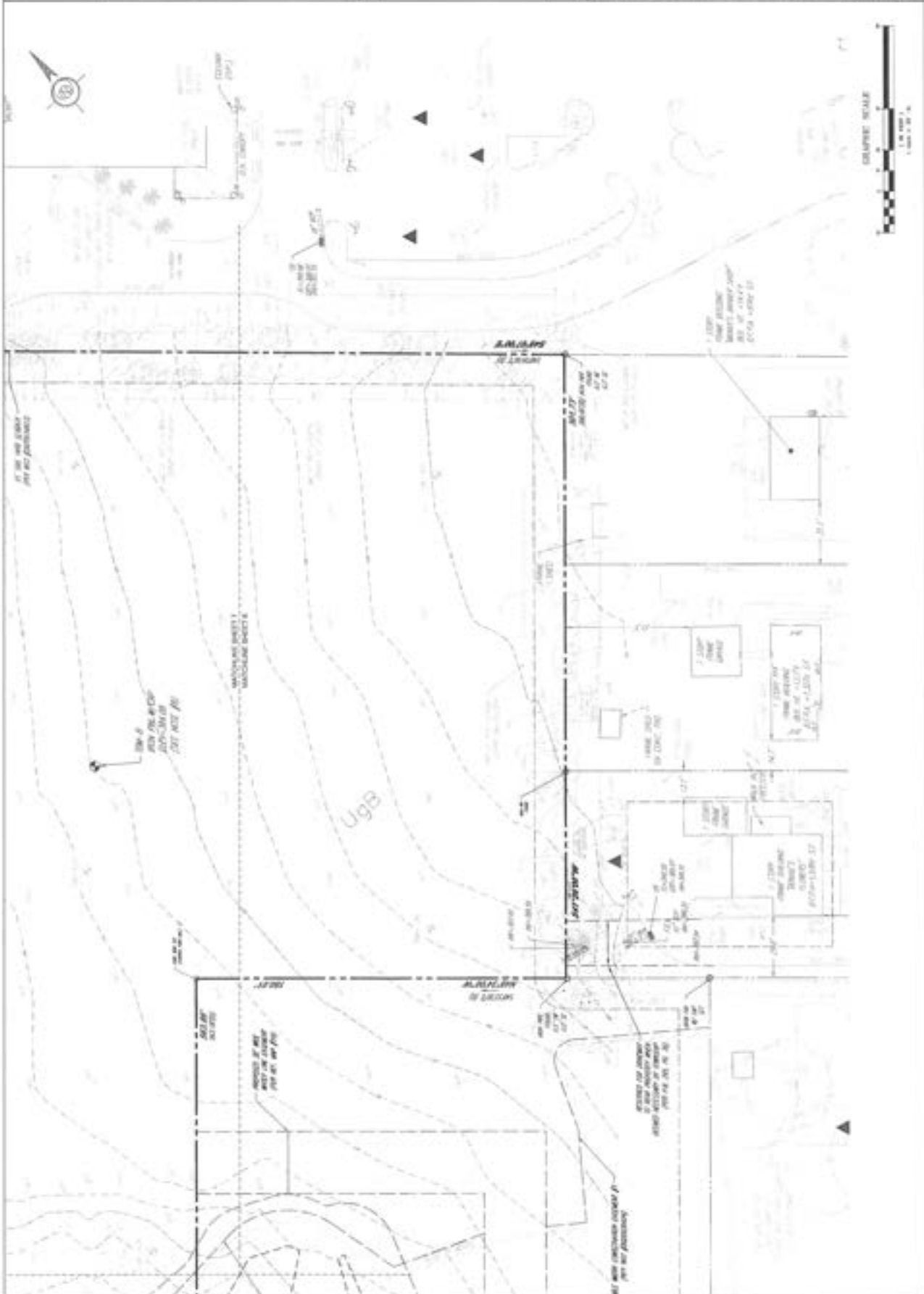
WORKS & RECORDS  
THE ENGINEER'S OFFICE  
1300 WEST 17TH AVENUE, SUITE 300  
DENVER, COLORADO 80202  
PHONE 303.733.1111  
FAX 303.733.1112

**ESE CONSULTANTS**  
ENGINEERING • PLANNING • DESIGN • ENVIRONMENTAL

NO. 01	SHEET TITLE	EXISTING FEATURES/ERSAP PLAN
NO. 02	DATE	10/11/06
NO. 03	PROJECT	BIRCH RUN AT NEW BRITAIN
NO. 04	CLIENT	TRP #26-06-101-004
NO. 05	SCALE	
NO. 06	DRAWN BY	
NO. 07	CHECKED BY	
NO. 08	APPROVED BY	
NO. 09		
NO. 10		

EXISTING FEATURES/ERSAP PLAN  
TRP #26-06-101-004  
BIRCH RUN AT NEW BRITAIN

SCALE	1" = 100'
DATE	10/11/06
PROJECT	BIRCH RUN AT NEW BRITAIN
CLIENT	TRP #26-06-101-004
DESIGNER	ESE CONSULTANTS



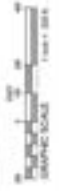


**ESE CONSULTANTS**  
ENGINEERING • PLANNING • DESIGN • SURVEYING  
2500 BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN, OHIO 43055  
740.245.5000  
www.eseconsultants.com

NO.	DATE	REVISION

**BIRCH RUN AT NEW BRITAIN**  
NEW BRITAIN TOWNSHIP, BRUNSWICK COUNTY, VIRGINIA  
AERIAL MAP

NO.	DATE	REVISION



SCALE: AS SHOWN  
DATE: 08/14/2009

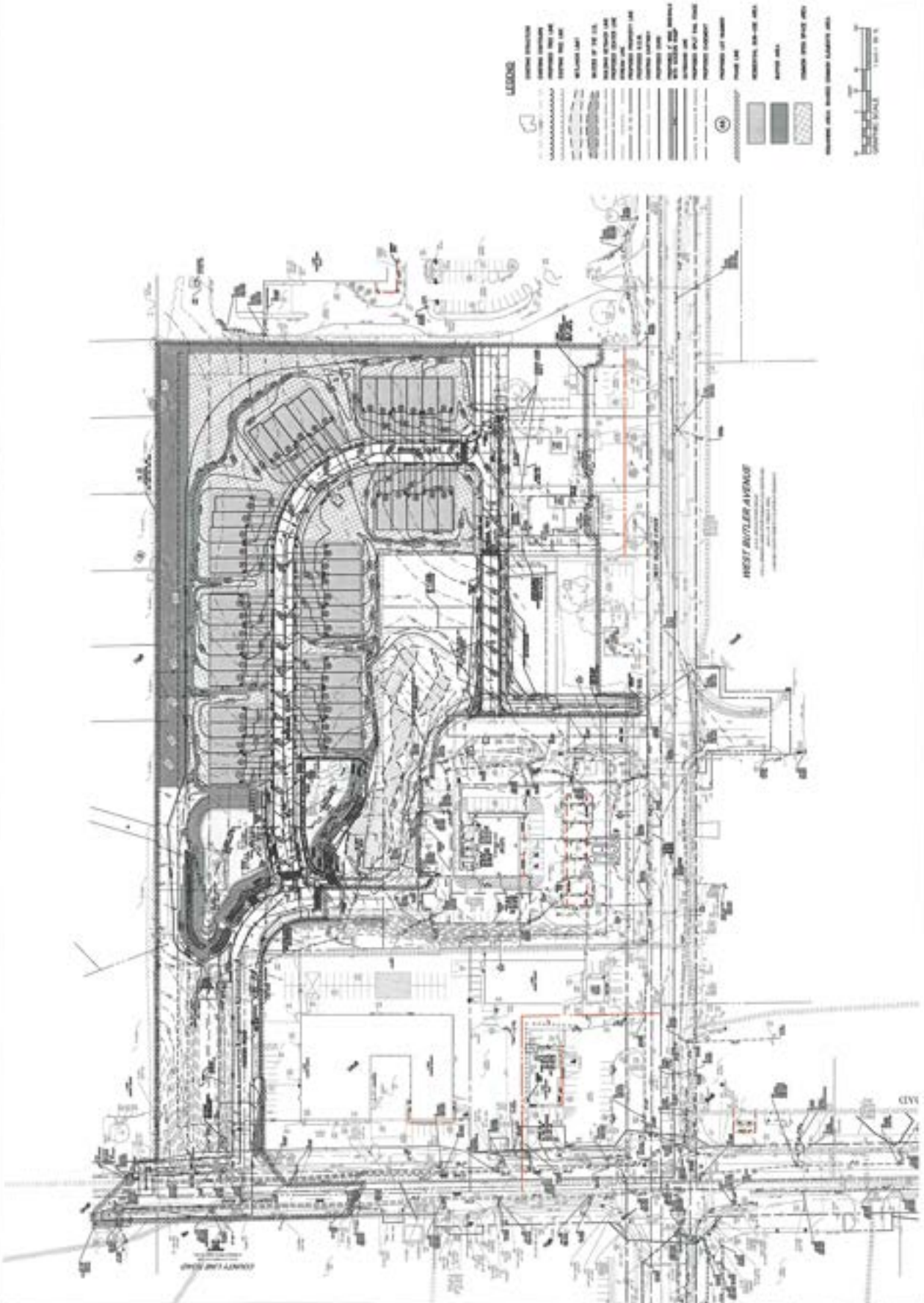


**ESE CONSULTANTS**  
 CONSULTANTS IN ARCHITECTURE, ENGINEERING, PLANNING & ENVIRONMENTAL DESIGN  
 2500 W. BEAVER CREEK RD., SUITE 200  
 DENVER, CO 80202  
 TEL: 303.733.8000  
 WWW.ESECONSULTANTS.COM

NO.	DATE	DESCRIPTION

**OVERALL SITE PLAN**  
 BIRCH RUN AT NEW BRITAIN  
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE	
DRAWN	
CHECKED	
SCALE	
TITLE	
PROJECT NO.	





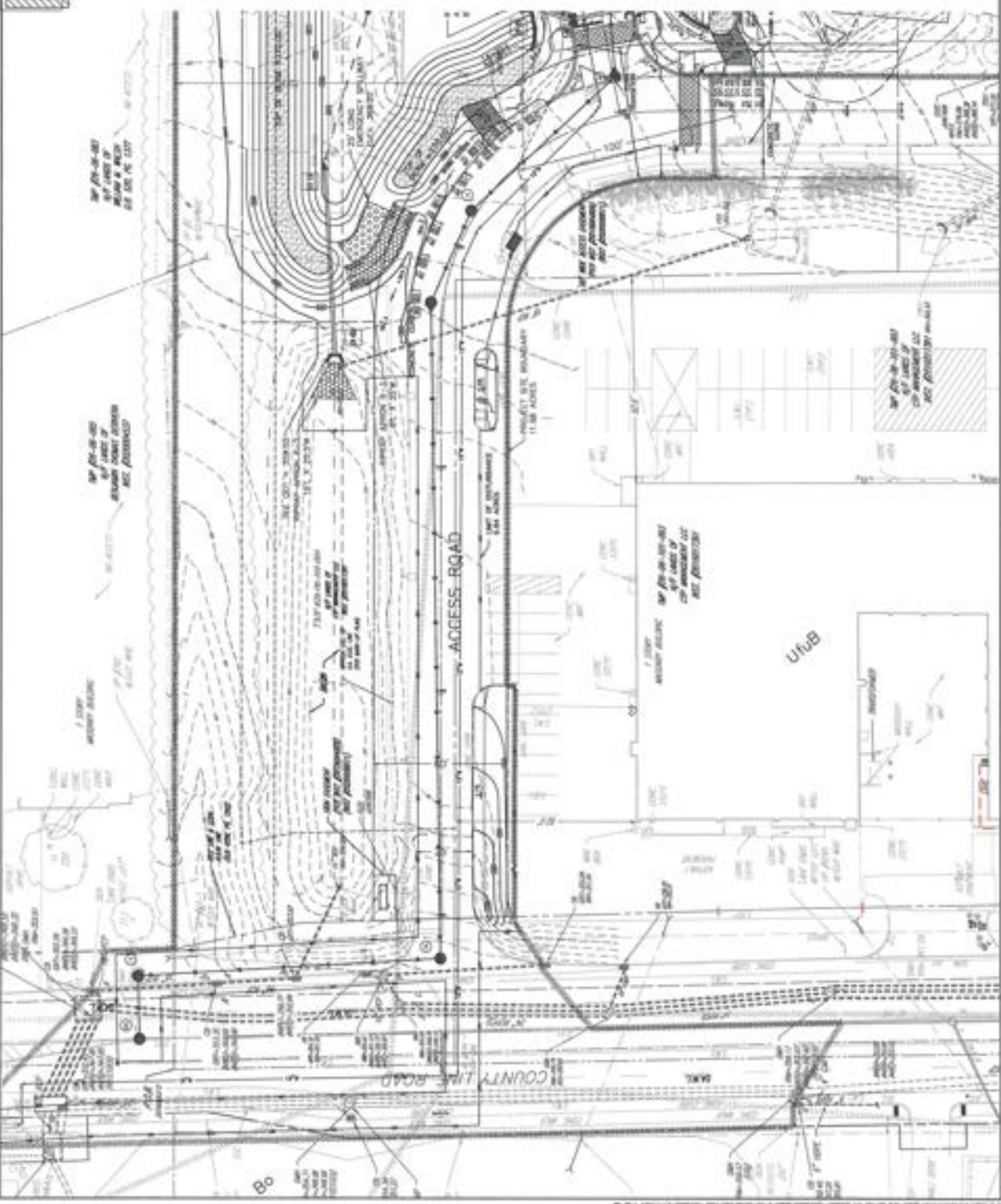


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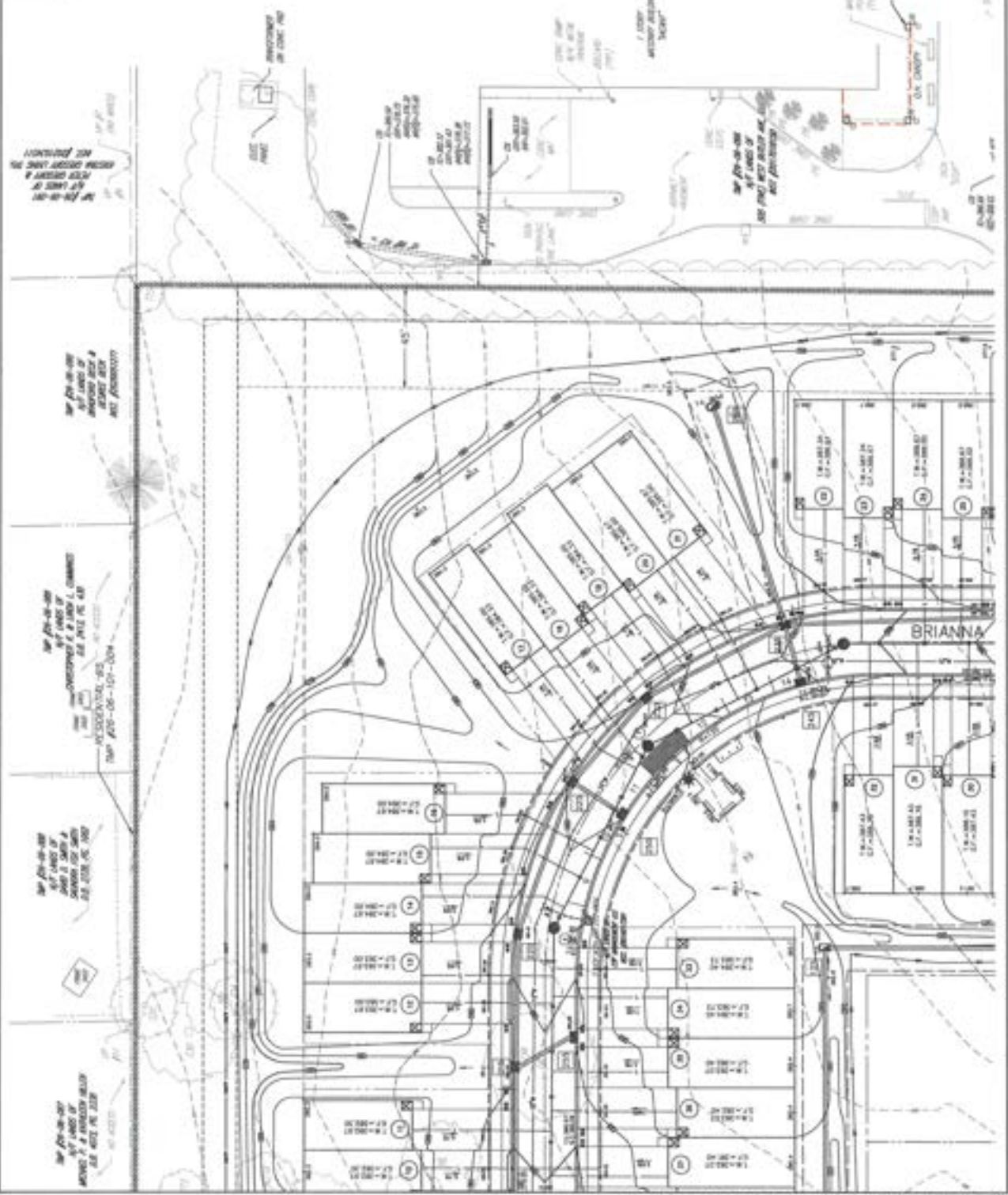
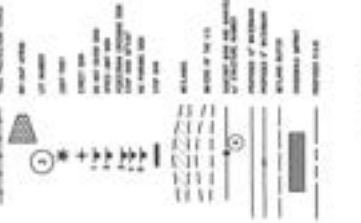
3000 CHURCH, NW  
COLUMBIA, MO 65203  
TEL: 636-947-0000

**LEGEND**

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED GRADE WITH 1% SLOPE
- PROPOSED GRADE WITH 2% SLOPE
- PROPOSED GRADE WITH 3% SLOPE
- PROPOSED GRADE WITH 4% SLOPE
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- PROPOSED GRADE WITH 97% SLOPE
- PROPOSED GRADE WITH 98% SLOPE
- PROPOSED GRADE WITH 99% SLOPE
- PROPOSED GRADE WITH 100% SLOPE









**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL  
 2880 GARDENWAY, SUITE 100, WILSONVILLE, OR 97150  
 TEL: 503.670.0000 FAX: 503.670.0001  
 WWW.ESECONSULTANTS.COM

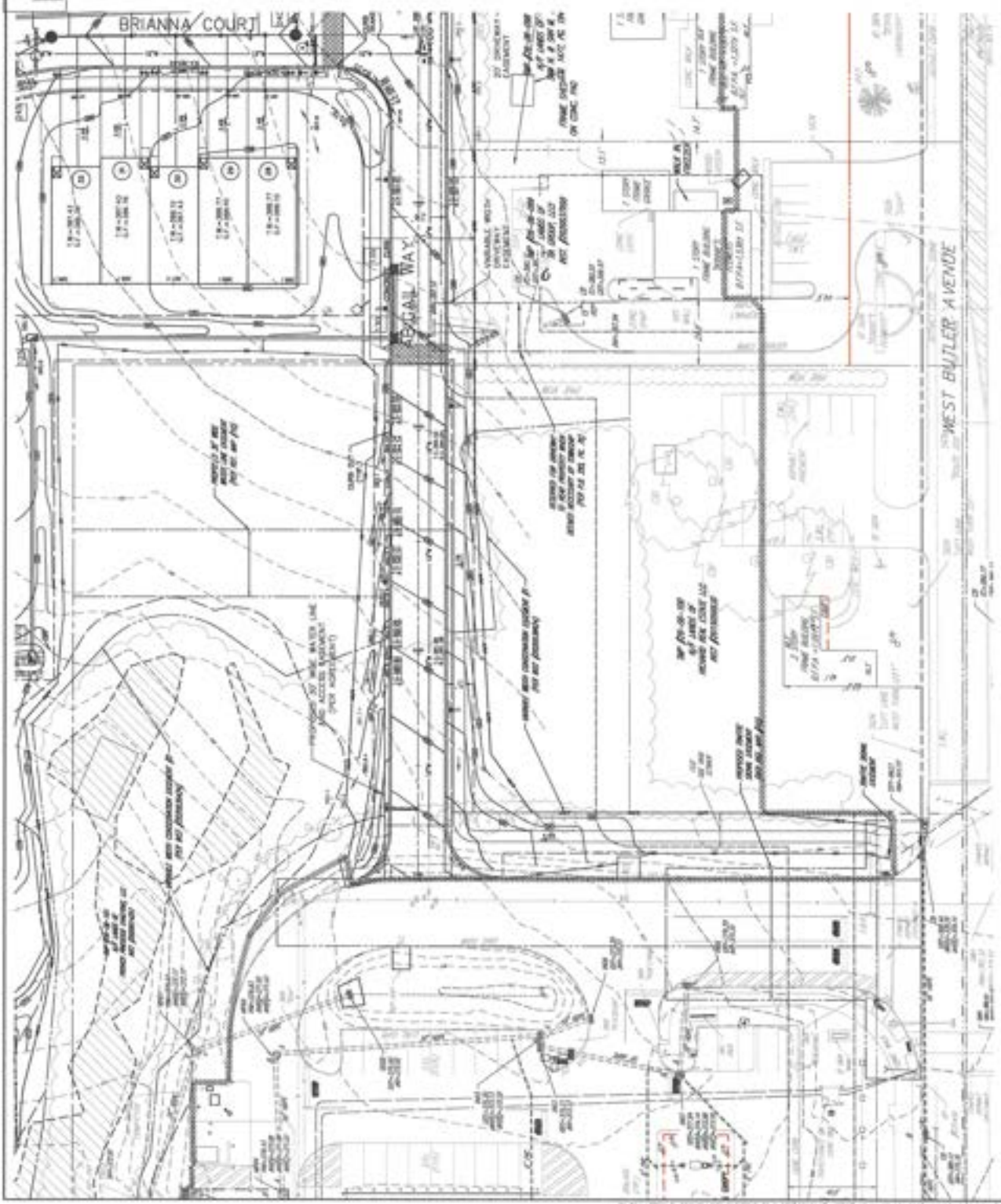
**GRADING PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TOWNSHIP, BOONE COUNTY, KENTUCKY, USA

PROJECT NO.	2014-04
DATE	04/14/14
SCALE	AS SHOWN
DRAWN BY	J. H. HARRIS
CHECKED BY	J. H. HARRIS
DATE	04/14/14
DATE	04/14/14
DATE	04/14/14

**LEGEND**

- 1. 1" = 10' VERTICAL SCALE
- 2. 1" = 10' HORIZONTAL SCALE
- 3. 1" = 10' GRADE
- 4. 1" = 10' ELEVATION
- 5. 1" = 10' DISTANCE
- 6. 1" = 10' WIDTH
- 7. 1" = 10' LENGTH
- 8. 1" = 10' AREA
- 9. 1" = 10' VOLUME
- 10. 1" = 10' WEIGHT
- 11. 1" = 10' FORCE
- 12. 1" = 10' MOMENT
- 13. 1" = 10' ENERGY
- 14. 1" = 10' POWER
- 15. 1" = 10' TEMPERATURE
- 16. 1" = 10' PRESSURE
- 17. 1" = 10' DENSITY
- 18. 1" = 10' VISCOSITY
- 19. 1" = 10' SURFACE TENSION
- 20. 1" = 10' CAPILLARITY
- 21. 1" = 10' PERMEABILITY
- 22. 1" = 10' POROSITY
- 23. 1" = 10' COEFFICIENT OF FRICTION
- 24. 1" = 10' COEFFICIENT OF RESTITUTION
- 25. 1" = 10' COEFFICIENT OF COLLISION
- 26. 1" = 10' COEFFICIENT OF ELASTICITY
- 27. 1" = 10' COEFFICIENT OF THERMAL EXPANSION
- 28. 1" = 10' COEFFICIENT OF CONTRACTION
- 29. 1" = 10' COEFFICIENT OF ABSORPTION
- 30. 1" = 10' COEFFICIENT OF REFRACTION
- 31. 1" = 10' COEFFICIENT OF REFLECTION
- 32. 1" = 10' COEFFICIENT OF TRANSMISSION
- 33. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 34. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 35. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 36. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 37. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 38. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 39. 1" = 10' COEFFICIENT OF TRANSMITTANCE
- 40. 1" = 10' COEFFICIENT OF TRANSMITTANCE

**KEY MAP**





**ESE CONSULTANTS**  
 ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL  
 1000 GARDEN ST. SUITE 1000  
 NEW BRITAIN, CT 06053-1000  
 TEL: (860) 639-1000

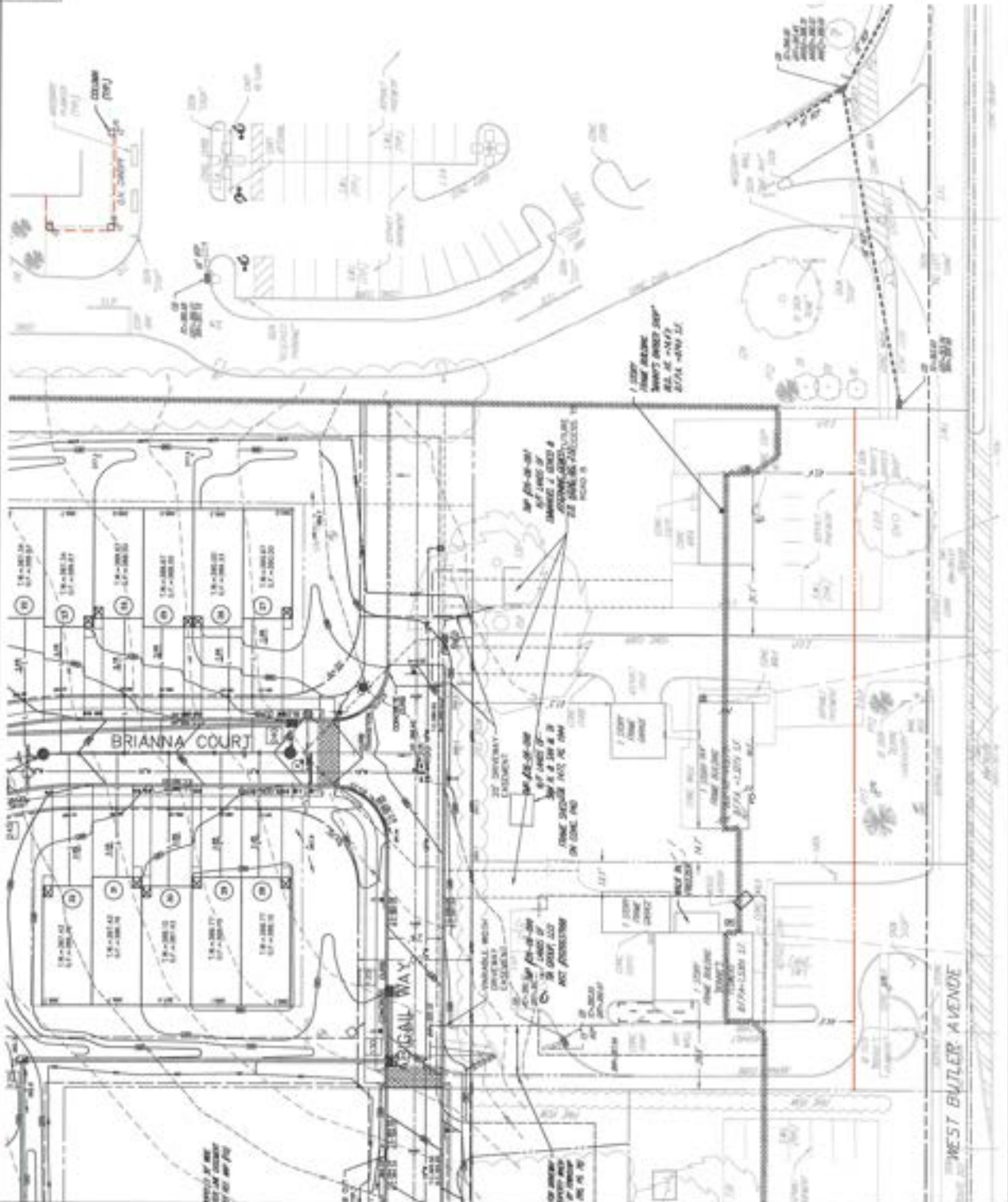
**GRADING PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TOWNSHIP, BRIDGE COUNTY, CONNECTICUT

DATE	NO.
11/20/00	1
12/15/00	2
01/20/01	3
03/20/01	4
05/20/01	5
07/20/01	6
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11/20/19	116
01/20/20	117
03/20/20	118
05/20/20	119
07/20/20	120

**KEY MAP**

**LEGEND**

- PROPOSED DRIVE
- EXISTING DRIVE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED LANDSCAPING
- EXISTING LANDSCAPING
- PROPOSED GRADING
- EXISTING GRADING
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED UTILITY
- EXISTING UTILITY
- PROPOSED EROSION CONTROL
- EXISTING EROSION CONTROL
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHTING
- EXISTING LIGHTING
- PROPOSED BIKEWAY
- EXISTING BIKEWAY
- PROPOSED TRAIL
- EXISTING TRAIL
- PROPOSED PLAY AREA
- EXISTING PLAY AREA
- PROPOSED BENCH
- EXISTING BENCH
- PROPOSED TREE
- EXISTING TREE
- PROPOSED SHRUB
- EXISTING SHRUB
- PROPOSED FLORAL
- EXISTING FLORAL
- PROPOSED MULCH
- EXISTING MULCH
- PROPOSED SOIL
- EXISTING SOIL
- PROPOSED SAND
- EXISTING SAND
- PROPOSED GRAVEL
- EXISTING GRAVEL
- PROPOSED ASPHALT
- EXISTING ASPHALT
- PROPOSED CONCRETE
- EXISTING CONCRETE
- PROPOSED BRICK
- EXISTING BRICK
- PROPOSED STONE
- EXISTING STONE
- PROPOSED METAL
- EXISTING METAL
- PROPOSED PLASTER
- EXISTING PLASTER
- PROPOSED PAINT
- EXISTING PAINT
- PROPOSED GLASS
- EXISTING GLASS
- PROPOSED WOOD
- EXISTING WOOD
- PROPOSED RUBBER
- EXISTING RUBBER
- PROPOSED FABRIC
- EXISTING FABRIC
- PROPOSED METAL
- EXISTING METAL
- PROPOSED PLASTER
- EXISTING PLASTER
- PROPOSED PAINT
- EXISTING PAINT
- PROPOSED GLASS
- EXISTING GLASS
- PROPOSED WOOD
- EXISTING WOOD
- PROPOSED RUBBER
- EXISTING RUBBER
- PROPOSED FABRIC
- EXISTING FABRIC



**BRIANNA COURT**  
**LEGAL WAY**  
**WEST BUTLER AVENUE**



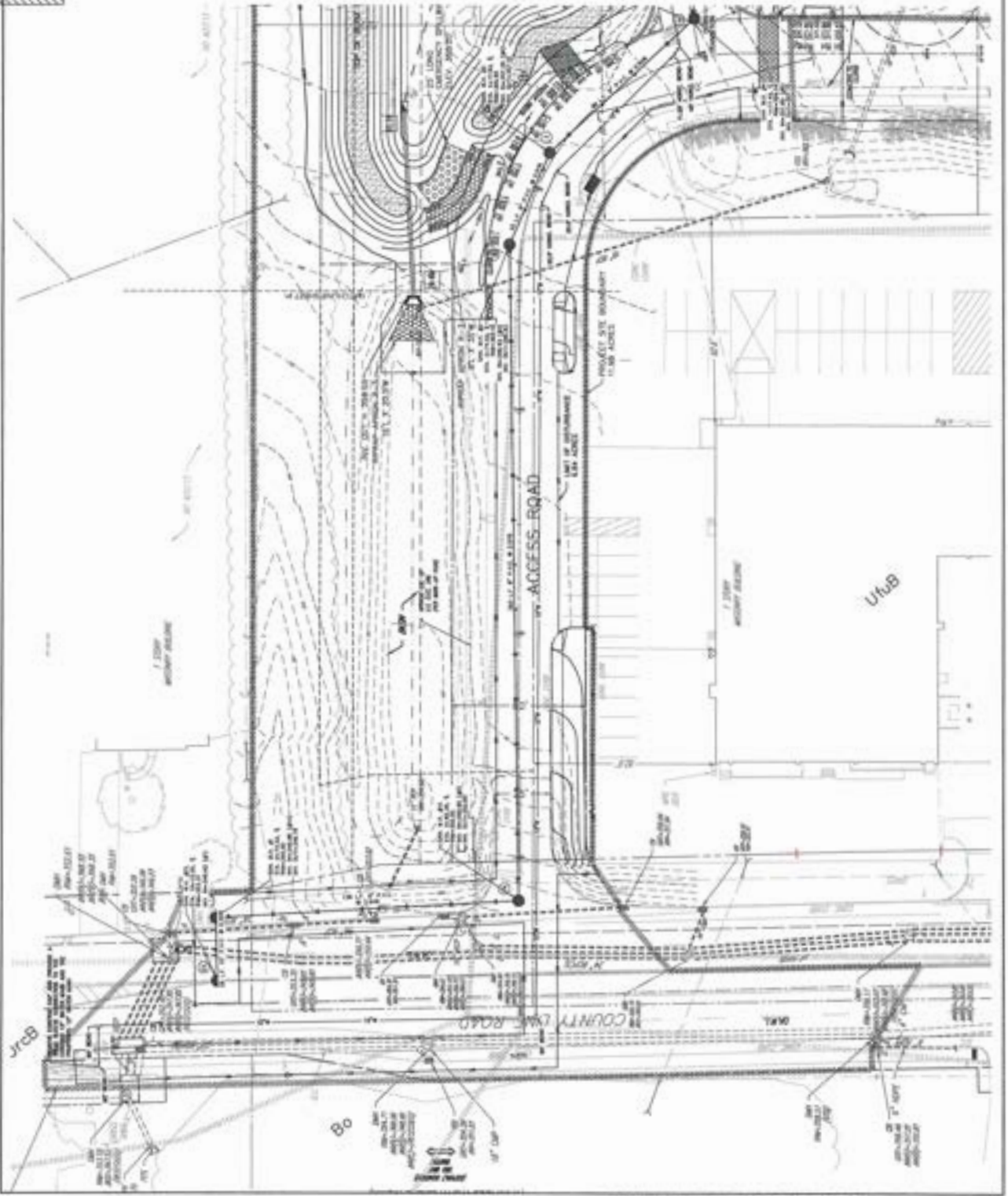
**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

2020-2021  
1000 Birch Run Road, Suite 100  
New Britain, PA 17828  
Tel: 717-261-0000

**LEGEND**

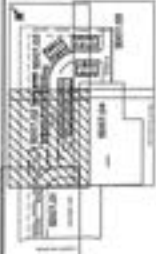
1	EXISTING UTILITY
2	PROPOSED UTILITY
3	PROPOSED UTILITY WITH PROTECTIVE ZONE
4	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL
5	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL
6	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING
7	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING
8	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE
9	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE
10	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING
11	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT
12	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES
13	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL
14	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE
15	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE
16	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE AND GAS
17	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE AND GAS AND WATER
18	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE AND GAS AND WATER AND SEWER
19	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE AND GAS AND WATER AND SEWER AND SANITATION
20	PROPOSED UTILITY WITH PROTECTIVE ZONE AND EROSION CONTROL AND FLOOD CONTROL AND LANDSCAPING AND LIGHTING AND SIGNAGE AND FURNITURE AND PLANTING AND PAINT AND LIGHTING FIXTURES AND ELECTRICAL AND TELEPHONE AND CABLE AND GAS AND WATER AND SEWER AND SANITATION AND POWER

GRAPHIC SCALE  
1" = 20'

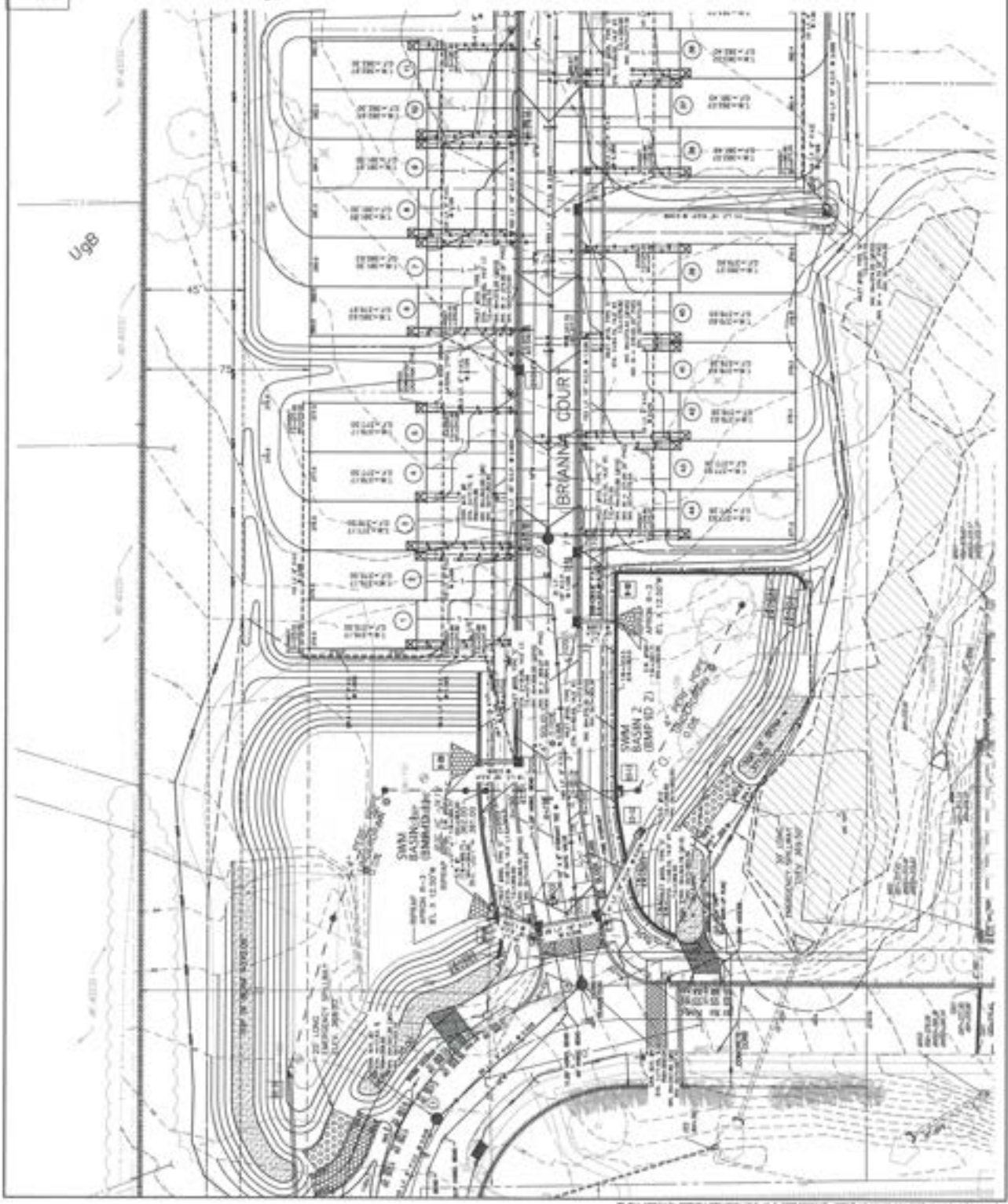




UTILITY PLAN



- LEGEND**
- EXISTING SANITARY MAIN
  - EXISTING WATER MAIN
  - EXISTING GROUNDWATER MONITORING POINT
  - EXISTING FIRE HYDRANT
  - EXISTING SLOPE
  - EXISTING ELEVATION
  - EXISTING LOT
  - EXISTING CURB
  - EXISTING DRIVE
  - EXISTING SIDEWALK
  - EXISTING WALKWAY
  - EXISTING BIKEWAY
  - EXISTING TRAIL
  - EXISTING PATH
  - EXISTING FENCE
  - EXISTING WALL
  - EXISTING POLE
  - EXISTING LIGHT FIXTURE
  - EXISTING SIGN
  - EXISTING TREE
  - EXISTING SHRUB
  - EXISTING GRASS
  - EXISTING PAVEMENT
  - EXISTING ASPHALT
  - EXISTING CONCRETE
  - EXISTING BRICK
  - EXISTING BLOCK
  - EXISTING STONE
  - EXISTING MASONRY
  - EXISTING METAL
  - EXISTING WOOD
  - EXISTING PLASTER
  - EXISTING GYPSUM
  - EXISTING CEILING
  - EXISTING FLOOR
  - EXISTING WALL
  - EXISTING ROOF
  - EXISTING WINDOW
  - EXISTING DOOR
  - EXISTING RAMP
  - EXISTING STAIR
  - EXISTING ELEVATOR
  - EXISTING HATCH
  - EXISTING SLOPE
  - EXISTING ELEVATION
  - EXISTING LOT
  - EXISTING CURB
  - EXISTING DRIVE
  - EXISTING SIDEWALK
  - EXISTING WALKWAY
  - EXISTING BIKEWAY
  - EXISTING TRAIL
  - EXISTING PATH
  - EXISTING FENCE
  - EXISTING WALL
  - EXISTING POLE
  - EXISTING LIGHT FIXTURE
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  - EXISTING WALL
  - EXISTING ROOF
  - EXISTING WINDOW
  - EXISTING DOOR
  - EXISTING RAMP
  - EXISTING STAIR
  - EXISTING ELEVATOR
  - EXISTING HATCH





**ESE CONSULTANTS**  
 200 Chatham St.  
 1st Floor  
 100 Victoria Park - Scarborough, ON M1B 4W6  
 (416) 291-8888

ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL

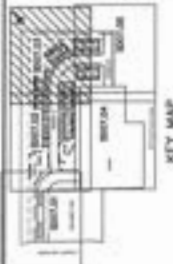
NO.	DATE	DESCRIPTION

**UTILITY PLAN**

**BIRCH RUN AT NEW BRITAIN**

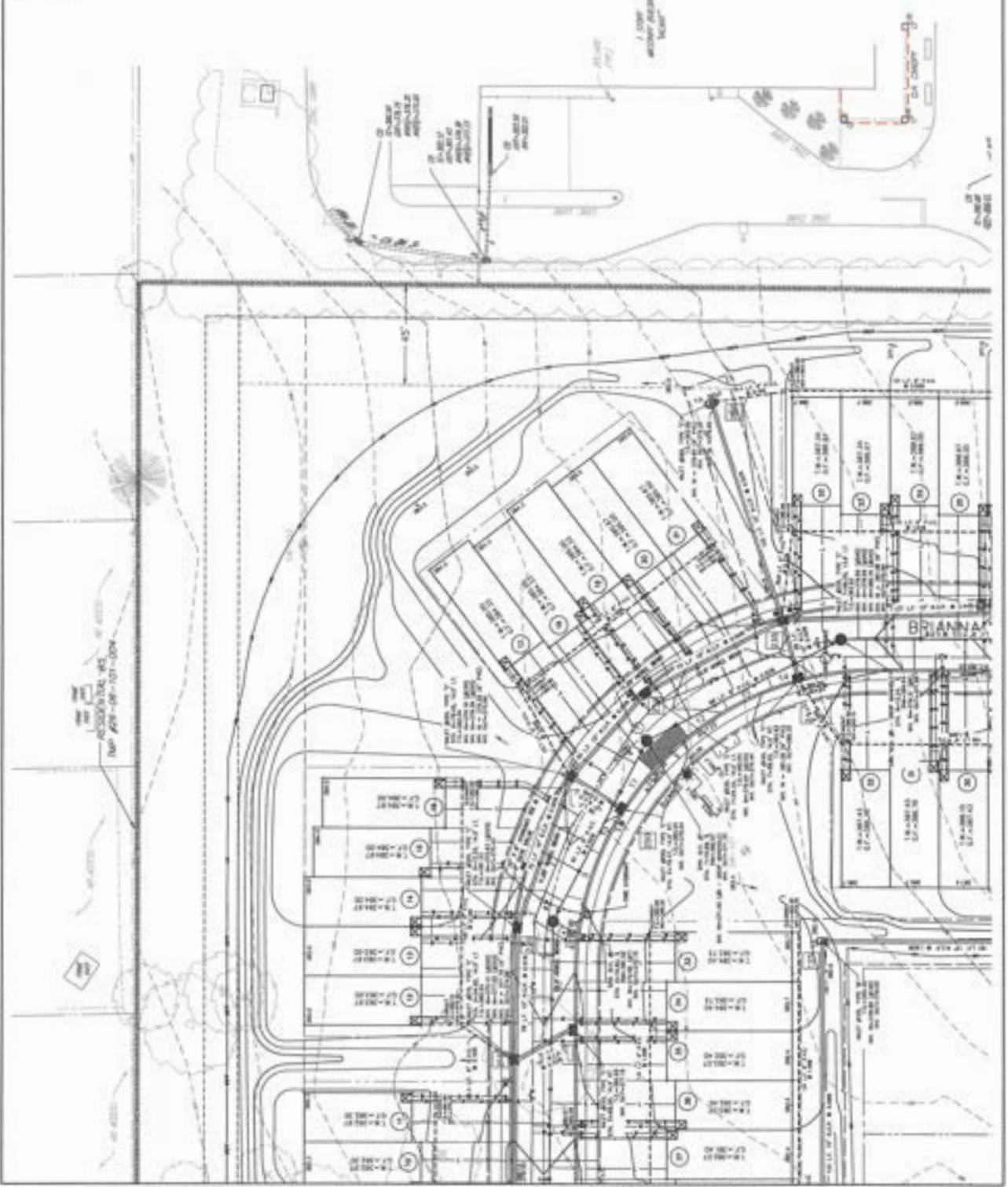
NEW BRITAIN TOWNSHIP, BRUCE COUNTY, ONTARIO

PROJECT NO.	3007.03
DATE	18 - 43
SCALE	1" = 100'
DRAWN BY	
CHECKED BY	
DATE	



**LEGEND**

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. ALL UTILITIES SHOWN ARE TO BE MAINTAINED AT ALL TIMES.
3. ALL UTILITIES SHOWN ARE TO BE MAINTAINED AT ALL TIMES.
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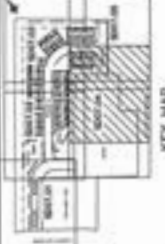
222 Conestoga Road, Suite 100, North York, Ontario M2H 3Y3

416-491-1111

BIRCH RUN AT NEW BRITAIN

UTILITY PLAN

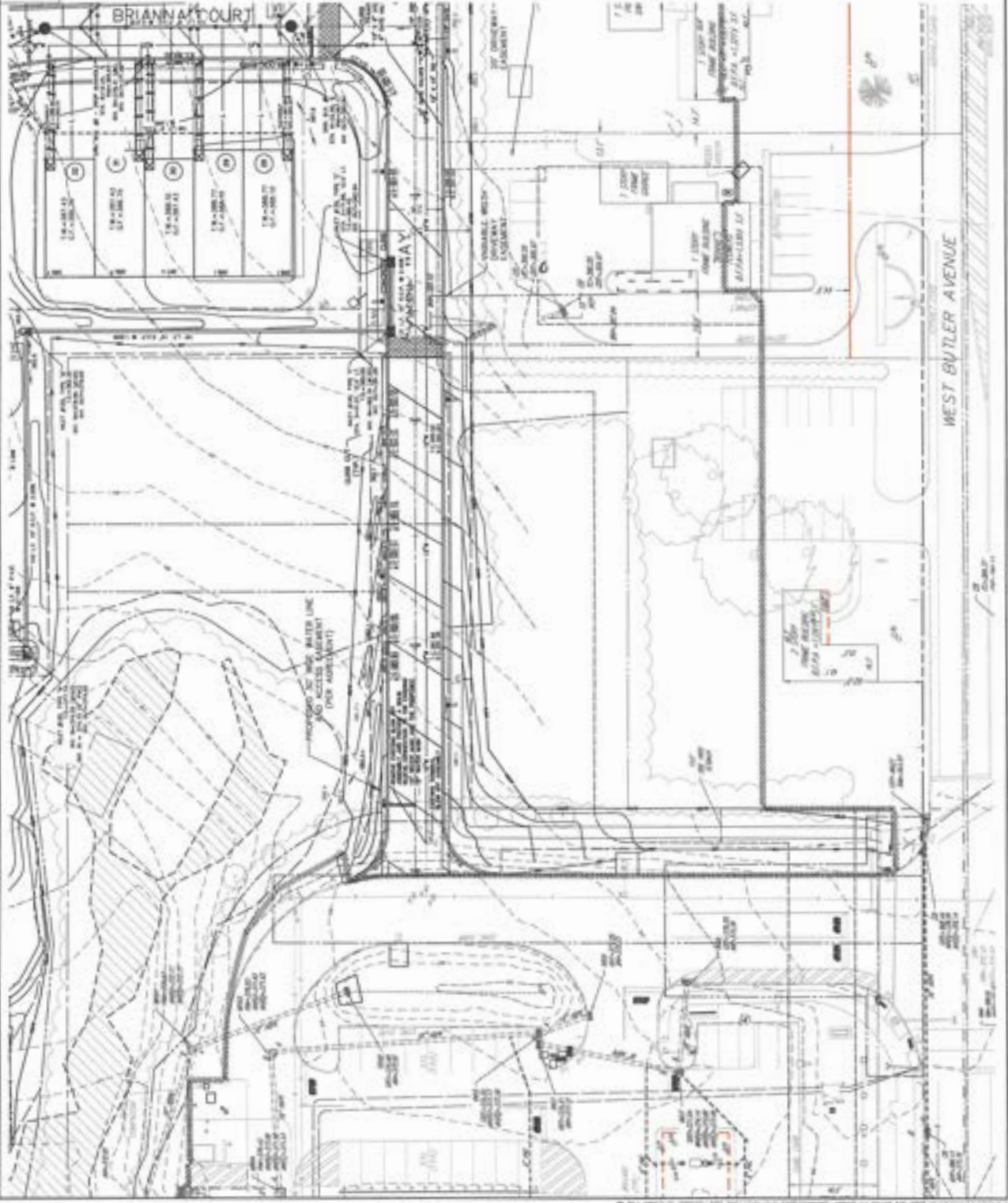
DATE	NO.	BY
2014-01-15	1	J.M.
2014-02-10	2	J.M.
2014-03-10	3	J.M.
2014-04-10	4	J.M.
2014-05-10	5	J.M.
2014-06-10	6	J.M.
2014-07-10	7	J.M.
2014-08-10	8	J.M.
2014-09-10	9	J.M.
2014-10-10	10	J.M.
2014-11-10	11	J.M.
2014-12-10	12	J.M.
2015-01-10	13	J.M.
2015-02-10	14	J.M.
2015-03-10	15	J.M.
2015-04-10	16	J.M.
2015-05-10	17	J.M.
2015-06-10	18	J.M.
2015-07-10	19	J.M.
2015-08-10	20	J.M.
2015-09-10	21	J.M.
2015-10-10	22	J.M.
2015-11-10	23	J.M.
2015-12-10	24	J.M.
2016-01-10	25	J.M.
2016-02-10	26	J.M.
2016-03-10	27	J.M.
2016-04-10	28	J.M.
2016-05-10	29	J.M.
2016-06-10	30	J.M.
2016-07-10	31	J.M.
2016-08-10	32	J.M.
2016-09-10	33	J.M.
2016-10-10	34	J.M.
2016-11-10	35	J.M.
2016-12-10	36	J.M.
2017-01-10	37	J.M.
2017-02-10	38	J.M.
2017-03-10	39	J.M.
2017-04-10	40	J.M.
2017-05-10	41	J.M.
2017-06-10	42	J.M.
2017-07-10	43	J.M.



THE INFORMATION CONTAINED HEREIN IS FOR THE USE OF THE CLIENT ONLY AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ESE CONSULTANTS.

LEGEND

- 1. 12" WATER MAIN
- 2. 12" SANITARY SEWER
- 3. 12" GAS
- 4. 12" ELECTRIC
- 5. 12" FIBER OPTIC
- 6. 12" RAINWATER
- 7. 12" CULVERT
- 8. 12" DRAINAGE
- 9. 12" STORMWATER
- 10. 12" TELEPHONE
- 11. 12" CABLE TV
- 12. 12" COAXIAL
- 13. 12" FIBER OPTIC
- 14. 12" RAINWATER
- 15. 12" CULVERT
- 16. 12" DRAINAGE
- 17. 12" STORMWATER
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- 98. 12" TELEPHONE
- 99. 12" CABLE TV
- 100. 12" COAXIAL



WEST BUTLER AVENUE

BRIANNA COURT

PROPOSED 12" WATER LINE  
NO ACCESS (ADJACENT  
ONLY ADJACENT)

12" RAINWATER  
12" CULVERT

VARIABLE WIDTH  
UNIVERSITY  
EASEMENT

20' DRIVEWAY  
EASEMENT

12" RAINWATER  
12" CULVERT

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12" CULVERT





**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL  
 200 Water Street • New Britain, CT 06110  
 Tel: 860.486.1000

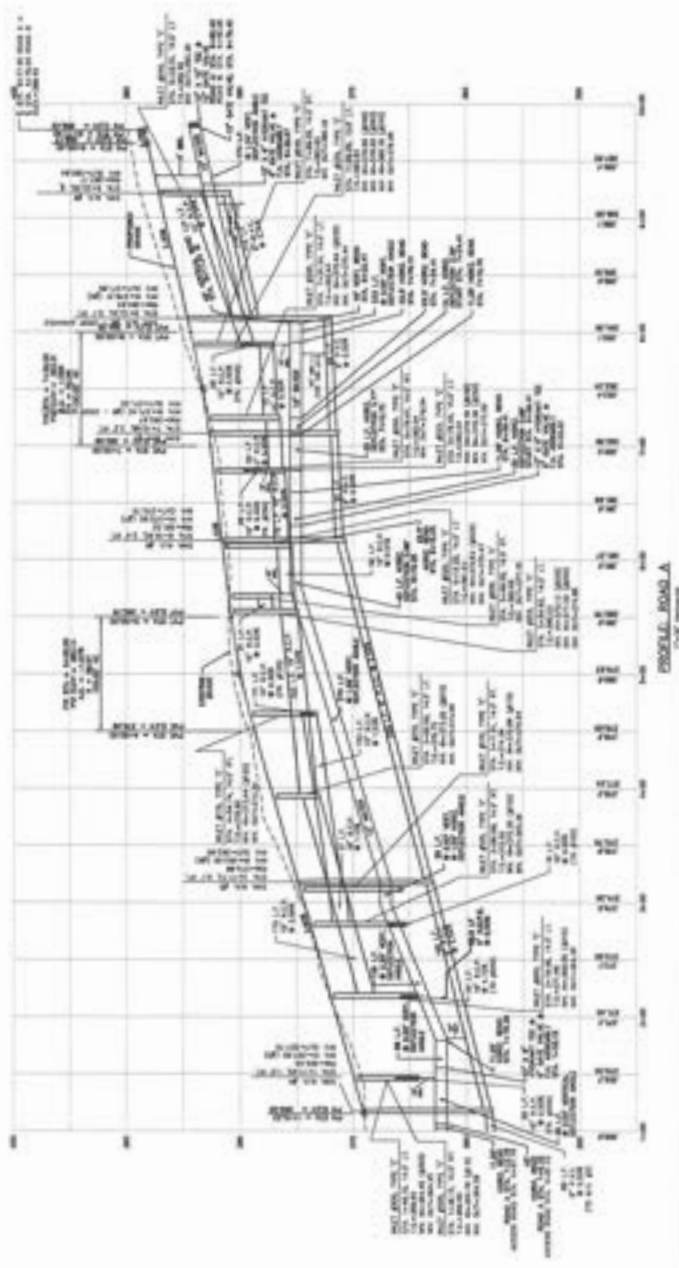
DATE	11/11/03
BY	J. J. ...
CHECKED	J. J. ...
APPROVED	J. J. ...
SCALE	AS SHOWN
PROJECT	NEW BRITAIN TOWNSHIP, BRIDGE COUNTY, CONNECTICUT
DESCRIPTION	ROAD A STA. 1+00 TO 9+77.40

**PLAN AND PROFILE**  
 ROAD A STA. 1+00 TO 9+77.40  
 NEW BRITAIN TOWNSHIP, BRIDGE COUNTY, CONNECTICUT

DATE: 11/11/03  
 BY: J. J. ...  
 CHECKED: J. J. ...  
 APPROVED: J. J. ...  
 SCALE: AS SHOWN  
 PROJECT: NEW BRITAIN TOWNSHIP, BRIDGE COUNTY, CONNECTICUT  
 DESCRIPTION: ROAD A STA. 1+00 TO 9+77.40

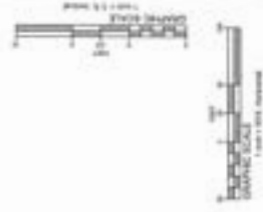


PLAN ROAD A  
 STA. 1+00 TO 9+77.40



PROFILE ROAD A  
 STA. 1+00 TO 9+77.40

STATION	PROPOSED GRADE	EXISTING GRADE	VERTICAL CLEARANCE
1+00	100.00	100.00	0.00
1+10	100.00	100.00	0.00
1+20	100.00	100.00	0.00
1+30	100.00	100.00	0.00
1+40	100.00	100.00	0.00
1+50	100.00	100.00	0.00
1+60	100.00	100.00	0.00
1+70	100.00	100.00	0.00
1+80	100.00	100.00	0.00
1+90	100.00	100.00	0.00
2+00	100.00	100.00	0.00
2+10	100.00	100.00	0.00
2+20	100.00	100.00	0.00
2+30	100.00	100.00	0.00
2+40	100.00	100.00	0.00
2+50	100.00	100.00	0.00
2+60	100.00	100.00	0.00
2+70	100.00	100.00	0.00
2+80	100.00	100.00	0.00
2+90	100.00	100.00	0.00
3+00	100.00	100.00	0.00
3+10	100.00	100.00	0.00
3+20	100.00	100.00	0.00
3+30	100.00	100.00	0.00
3+40	100.00	100.00	0.00
3+50	100.00	100.00	0.00
3+60	100.00	100.00	0.00
3+70	100.00	100.00	0.00
3+80	100.00	100.00	0.00
3+90	100.00	100.00	0.00
4+00	100.00	100.00	0.00
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7+90	100.00	100.00	0.00
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9+40	100.00	100.00	0.00
9+50	100.00	100.00	0.00
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9+70	100.00	100.00	0.00
9+77.40	100.00	100.00	0.00



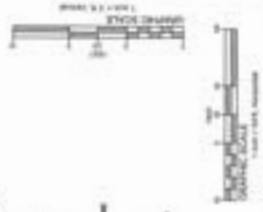
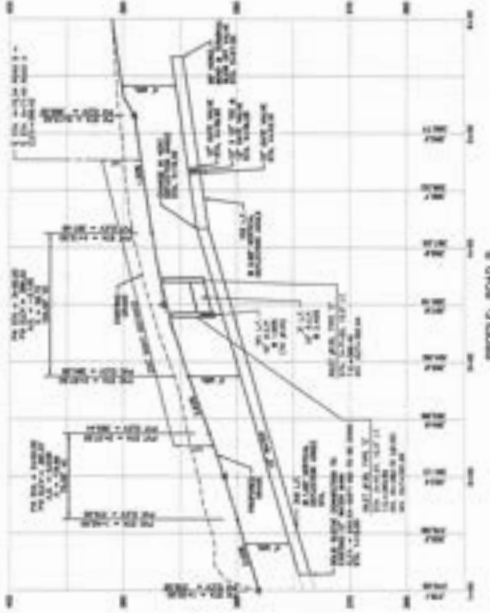
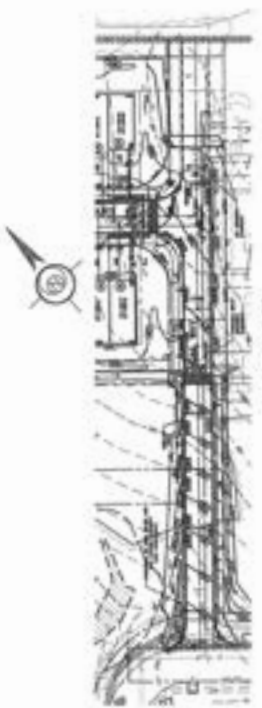
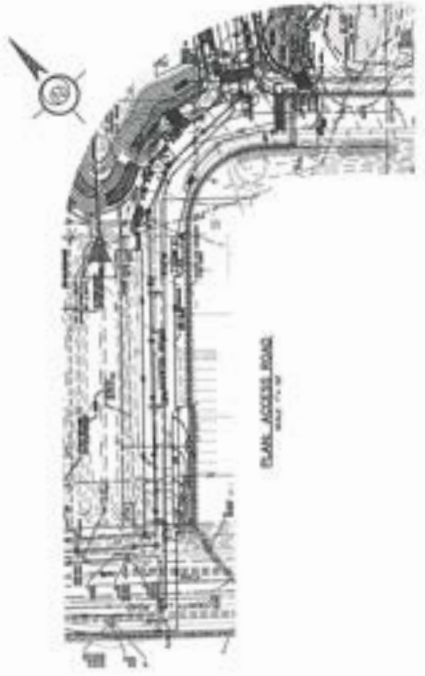


**ESE CONSULTANTS**  
 ENGINEERS • PLANNING • SURVEYING • ENVIRONMENTAL  
 225 Chesham Way  
 The Heights, Basingstoke, Hampshire, RG24 0BA  
 Tel: 01256 333333

DATE:	
BY:	
CHECKED:	
APPROVED:	
SCALE:	
PROJECT:	
SHEET:	
TOTAL:	

**PLAN AND PROFILE**  
**ROAD B AND ACCESS ROAD**  
 NEW BRITAIN TOWNSHIP, BRACKEN COUNTY, MISSOURI, USA

SCALE:	1" = 40'
DATE:	
BY:	
CHECKED:	
APPROVED:	
PROJECT:	
SHEET:	22
TOTAL:	43





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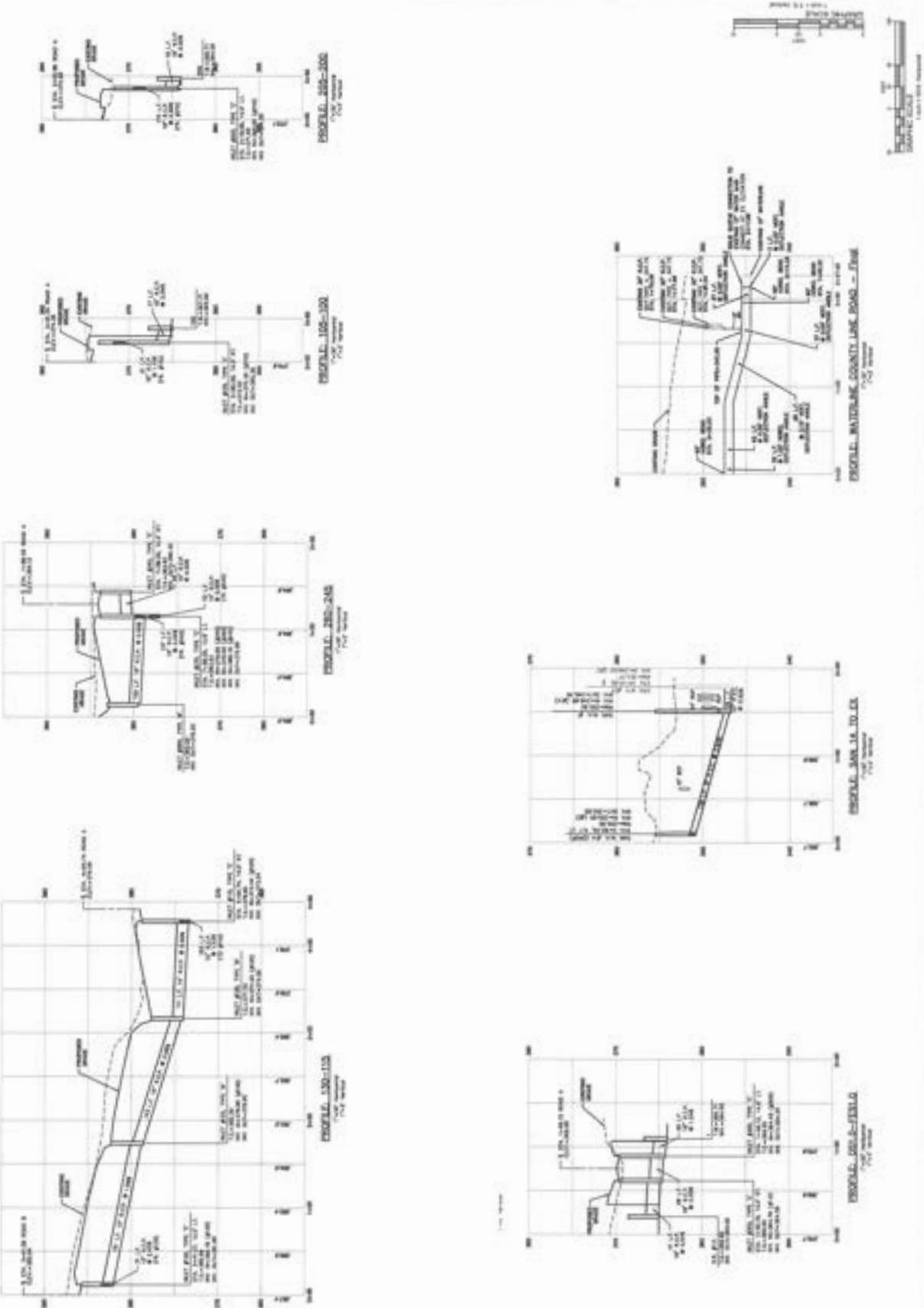
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New Britain, CT 06108  
Tel: (860) 339-1111

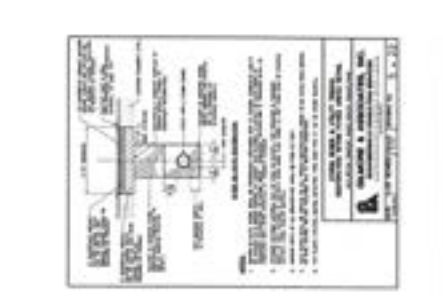
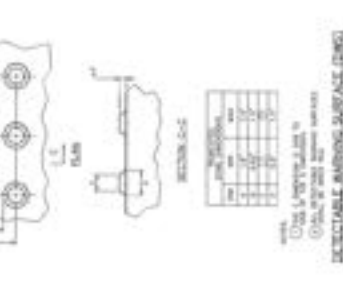
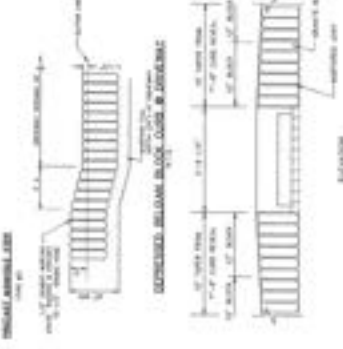
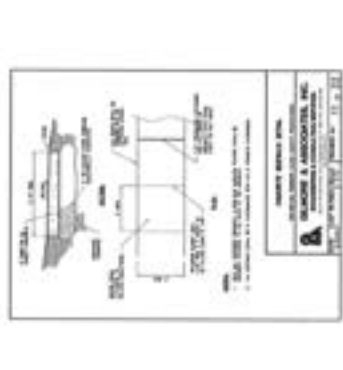
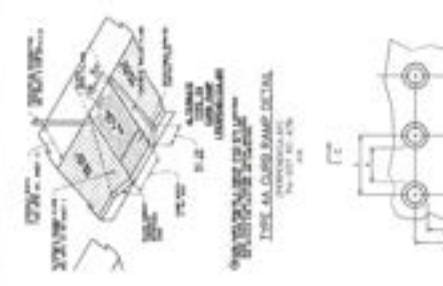
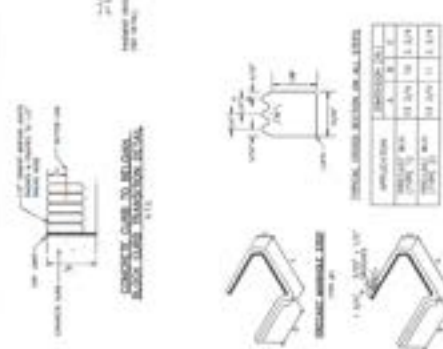
EASEMENT PROFILES

BIRCH RUN AT NEW BRITAIN  
NEW BRITAIN TOWNSHIP, BLOOMFIELD COUNTY, PENNSYLVANIA

DATE	NO.	BY	CHKD.
10/20/03	1	...	...
10/20/03	2	...	...
10/20/03	3	...	...
10/20/03	4	...	...
10/20/03	5	...	...

SEP 23, 2003  
8:3008.03







**PEDESTRIAN CROSSING SIGN**  
 (W1-2)  
 SEE NOTE



**LET AND RIGHT, DIAGONAL, ARROW PLASQUE DETAIL**  
 (W4-1) (W4-2)  
 SEE NOTE



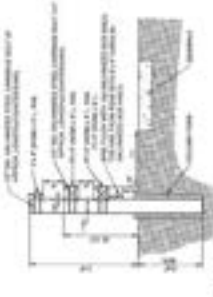
**RESTRICTION AHEAD**  
 (W1-3)  
 SEE NOTE



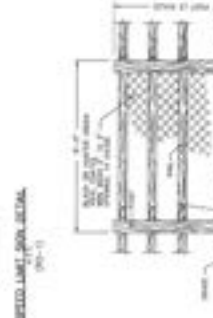
**STREET SIGN**  
 SEE NOTE



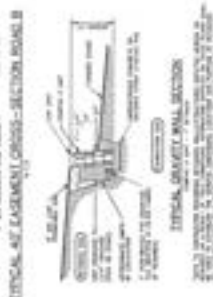
**SPEED LIMIT 25**  
 (W1-1)



**PRESSURE TREATED WALKER ORISLAM**  
 (W1-4)  
 SEE NOTE



**SPLIT-RAIL FENCE DETAIL**  
 SEE NOTE



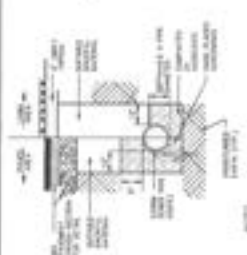
**TYPICAL GRANITE WALL SECTION**  
 SEE NOTE



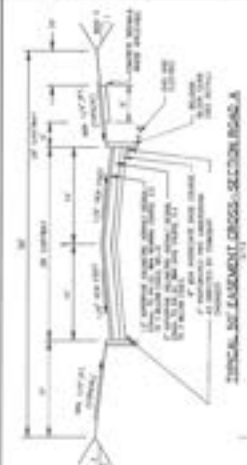
**TYPICAL REINFORCED WALL SECTION**  
 SEE NOTE



**TYPICAL RET LACEMENT CROSS-SECTION ROAD B**  
 SEE NOTE



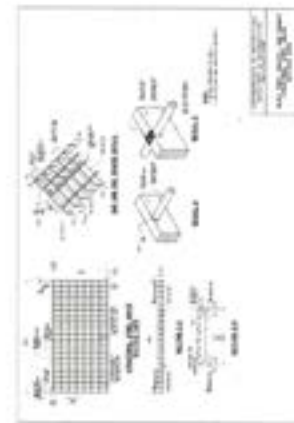
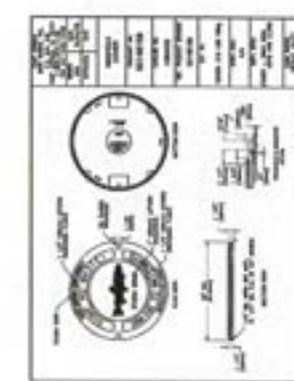
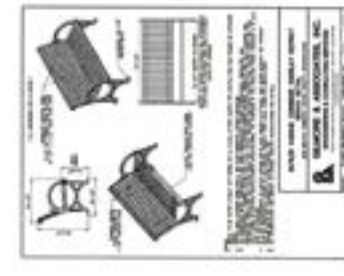
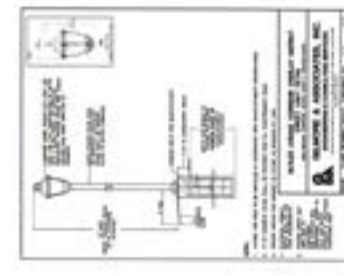
**STORM SEWER PIPE TRENCH DETAIL**  
 SEE NOTE



**TYPICAL RET LACEMENT CROSS-SECTION ROAD A**  
 SEE NOTE



**TYPICAL RET LACEMENT CROSS-SECTION ROAD B**  
 SEE NOTE







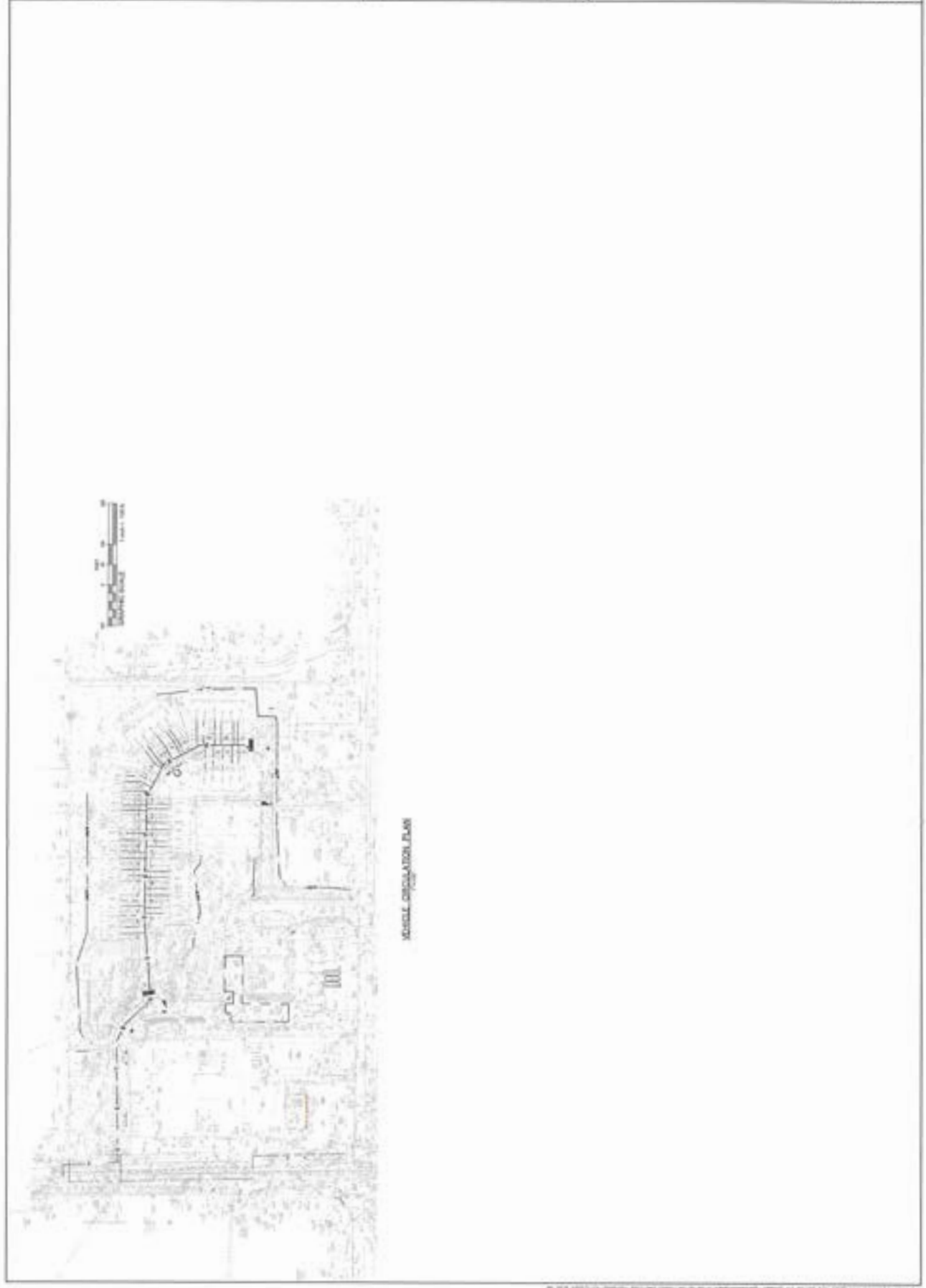


**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL  
 13500 WEST 12TH AVENUE, SUITE 100, DENVER, CO 80202  
 TEL: 303.733.4700 FAX: 303.733.4701

NO.	REVISION	DATE	BY	CHECKED

**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TOWNSHIP, BUCK COUNTY, PENNSYLVANIA  
 CONSTRUCTION DETAILS  
 VEHICLE CIRCULATION PLAN

PROJECT NO.	SD09.04
DATE	08/11/09
SCALE	AS SHOWN
DRAWN BY	
CHECKED BY	
DATE PLOTTED	
27 - 43	



VEHICLE CIRCULATION PLAN



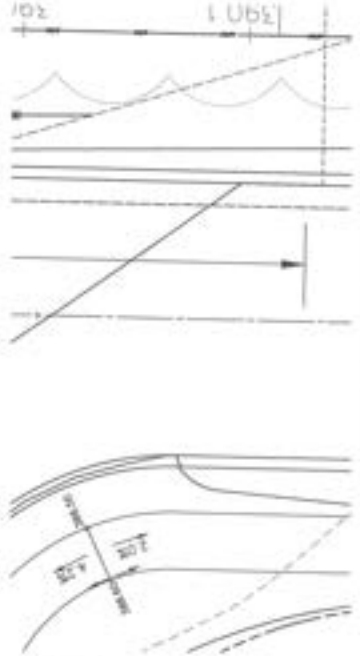
**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • DESIGN • ENVIRONMENTAL  
 2000 4th Street, Suite 100, New Britain, CT 06053  
 (860) 439-6600

**CONSTRUCTION DETAILS**  
 ADA HANDICAP RAMP GRADING  
 NEW BRITAIN TOWN, BRIDGE COUNTY, CONNECTICUT

DATE	NO.
11/11/2011	1
11/11/2011	2
11/11/2011	3
11/11/2011	4
11/11/2011	5
11/11/2011	6
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11/11/2011	100



BRIANNA COURT NEAR INTERSECTION WITH ABIGAIL WAY



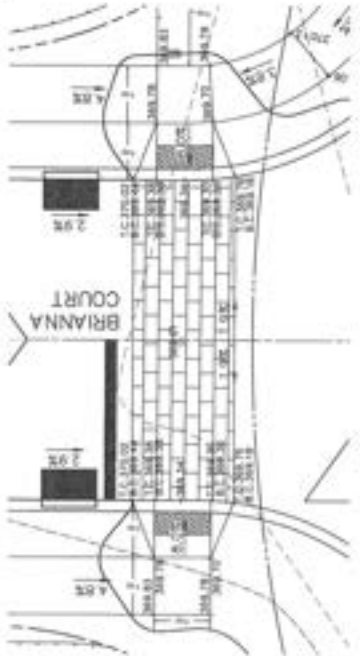
ABIGAIL WAY NEAR INTERSECTION WITH BRIANNA COURT



ABIGAIL WAY NEAR INTERSECTION WITH WEST BUTLER AVE. ACCESS ROAD



COUNTY LINE ROAD ACCESS DRIVE NEAR INTERSECTION WITH BRIANNA COURT



BRIANNA COURT NEAR INTERSECTION WITH ACCESS ROAD



BRIANNA COURT NEAR WALKING CLUSTER & SEATING AREA

NOTE: ALL ADA HANDICAP RAMP SHALL BE GRADED WITH A MAXIMUM CROSS SLOPE OF 1:20.

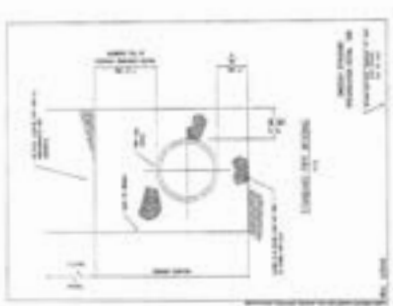
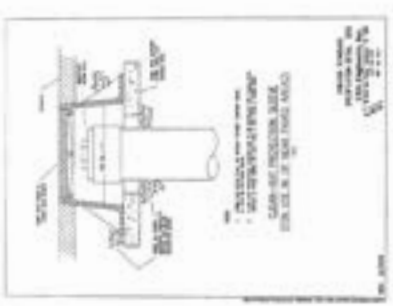
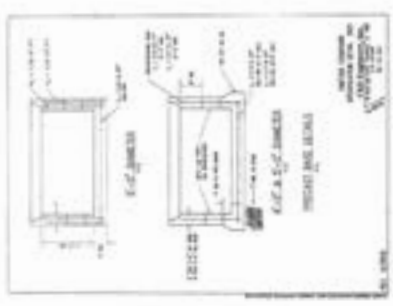
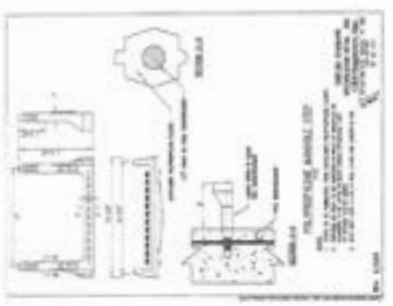
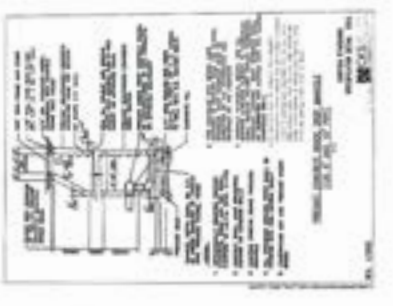
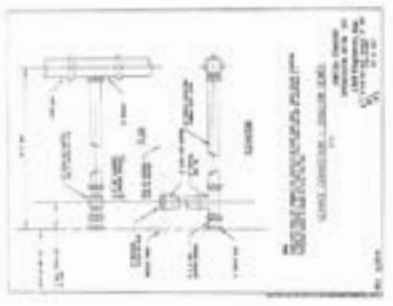
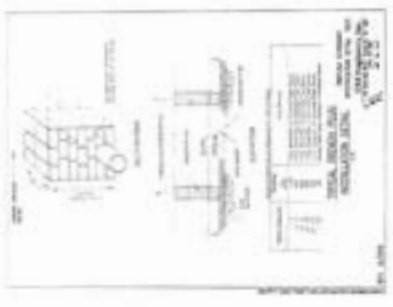




**ESE CONSULTANTS**  
ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL  
222 CHANDLER ST.  
SUITE 200  
NEW BRITAIN, CT 06053  
TEL: (860) 682-1111  
FAX: (860) 682-1112

**SANITARY DETAILS**  
NEW BRITAIN TOWNSHIP, BRIDGE COUNTY, CONNECTICUT  
BIRCH RUN AT NEW BRITAIN

DATE	NO.
10/15/01	1
11/15/01	2
12/15/01	3
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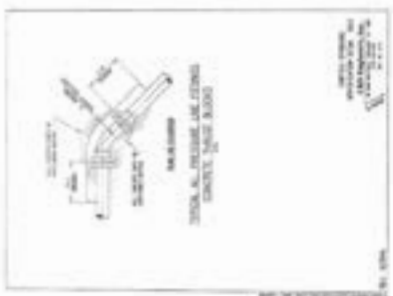
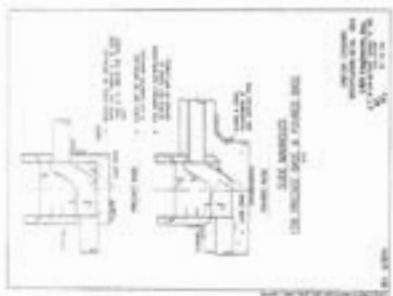


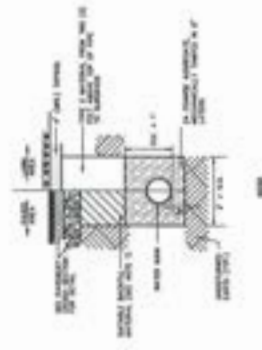
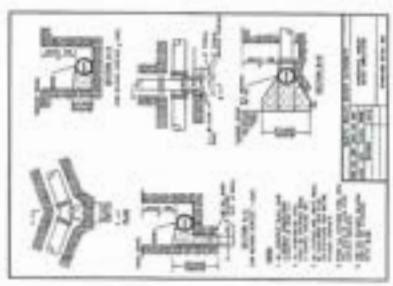
**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL  
 200 KING STREET WEST, SUITE 200, TORONTO, ONTARIO, CANADA M5H 1K5  
 TEL: (416) 967-8810 FAX: (416) 967-8811

NO.	REVISION
1	ISSUED FOR PERMIT
2	REVISED FOR PERMIT
3	REVISED FOR PERMIT
4	REVISED FOR PERMIT
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**SANITARY DETAILS**  
**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TOWNSHIP, BUCKINGHAM COUNTY, PENNSYLVANIA

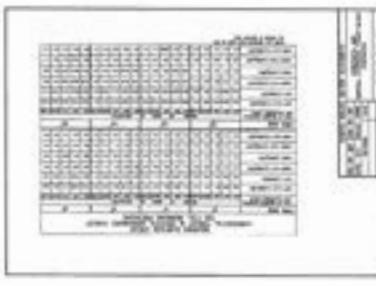
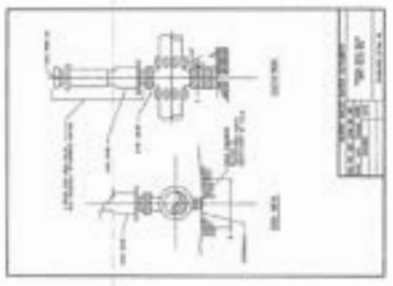
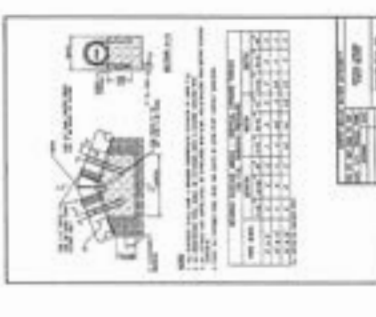
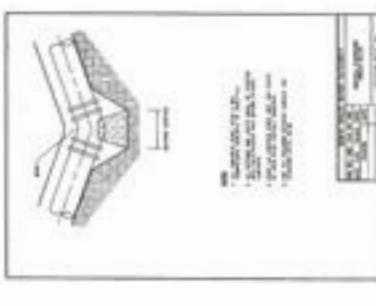
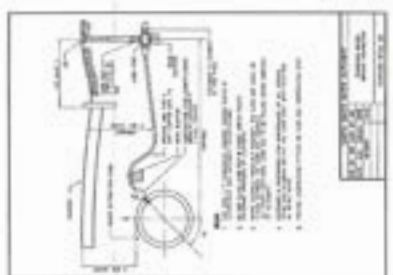
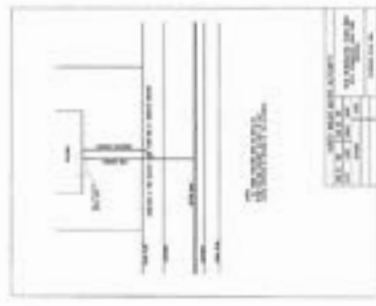
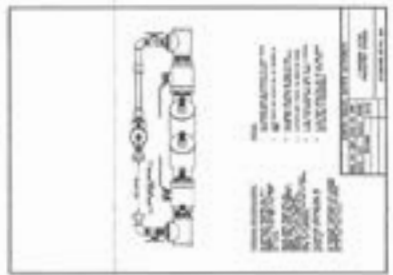
DATE	2012.07.02
BY	J.H. [signature]
CHECKED BY	J.H. [signature]
SCALE	AS SHOWN
DRAWING NO.	8009.07
SHEET NO.	36 OF 43





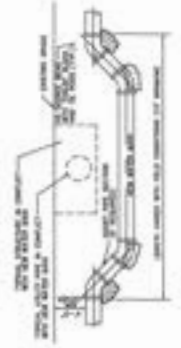
**WATER MAIN TRENCH DETAIL**

1. WATER MAIN SHALL BE 12" DIA. OF APPROX. 150# RATED PIPE WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER. MANHOLE SHALL BE 48" DIA. WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER. MANHOLE SHALL BE 48" DIA. WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER.



**WATER MAIN APPURTENANCES TABLE**

ITEM NO.	QUANTITY	UNIT	DESCRIPTION
1	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
2	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
3	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
4	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
5	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
6	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
7	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
8	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
9	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
10	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
11	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
12	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
13	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
14	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
15	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
16	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
17	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
18	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
19	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER
20	1	NO.	12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER



**WATER MAIN TRENCH DETAIL**

1. WATER MAIN SHALL BE 12" DIA. OF APPROX. 150# RATED PIPE WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER. MANHOLE SHALL BE 48" DIA. WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER. MANHOLE SHALL BE 48" DIA. WITH 12" DIA. MANHOLE ACCESS WITH 12" DIA. MANHOLE COVER.

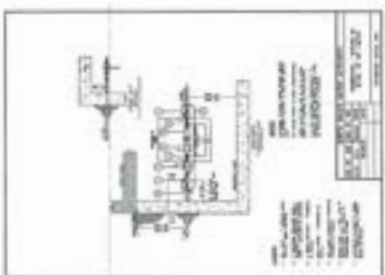
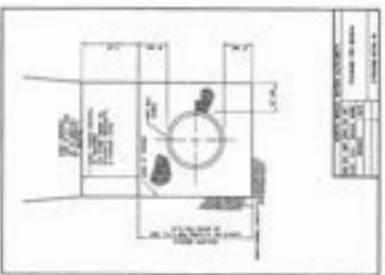
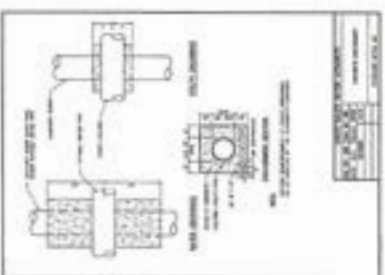
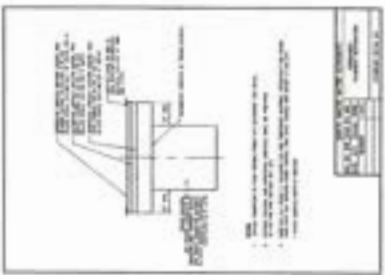
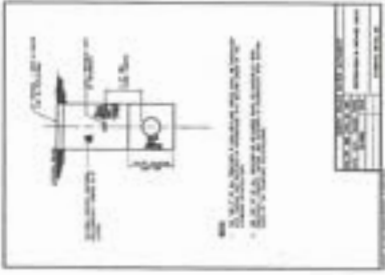


**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • DESIGN • ASSESSMENT • ENVIRONMENTAL  
 122-04-0000  
 4500 North Central Expressway, Suite 200  
 Houston, Texas 77060

NO.	DATE	DESCRIPTION

**WATER DETAILS**  
**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TOWNSHIP, SIOUX COUNTY, IOWA

CD: 32 - 43  
 E: SD009.00  
 SHEET NO. 1  
 OF 1





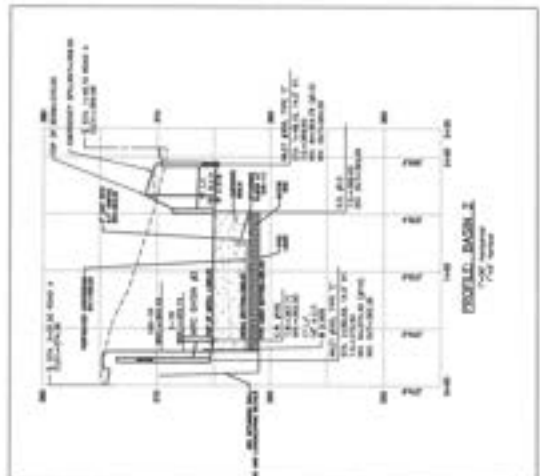
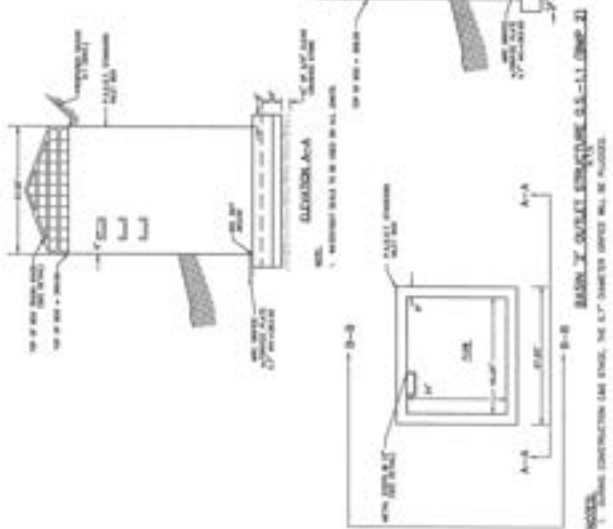
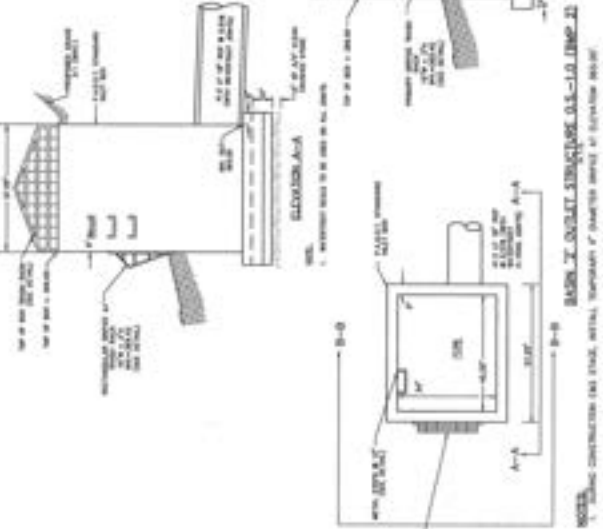


**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • ARCHITECTURE • ENVIRONMENTAL  
 2000 W. 10th Street, Suite 100, Anchorage, Alaska 99503  
 Phone: (907) 562-1111 Fax: (907) 562-1112

**BASIN DETAILS**  
 BASIN #2  
 BIRCH RUN AT NEW BRITAIN  
 NEW BRITAIN TOWNSHIP, BRONX COUNTY, PENNSYLVANIA

DATE: 08/11/11  
 DRAWN BY: J. J. [unreadable]  
 CHECKED BY: [unreadable]  
 PROJECT NO.: 51009.11  
 SHEET NO.: 34 OF 43

**GENERAL NOTES:**  
 1. SEE GENERAL NOTES TO SHEET 33.  
 2. SEE GENERAL NOTES TO SHEET 35.  
 3. SEE GENERAL NOTES TO SHEET 36.  
 4. SEE GENERAL NOTES TO SHEET 37.  
 5. SEE GENERAL NOTES TO SHEET 38.  
 6. SEE GENERAL NOTES TO SHEET 39.  
 7. SEE GENERAL NOTES TO SHEET 40.  
 8. SEE GENERAL NOTES TO SHEET 41.  
 9. SEE GENERAL NOTES TO SHEET 42.  
 10. SEE GENERAL NOTES TO SHEET 43.

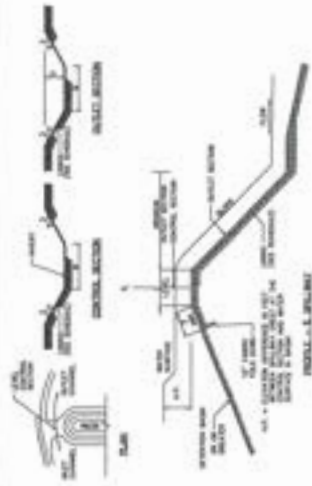


**PLANT SCHEDULE BASIN #2**

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	100	CY
2	STEEL REINFORCEMENT	100	LB
3	FORMWORK	100	SQ. YD.
4	PAINT	100	SQ. YD.
5	SEED MIXTURE	100	SQ. YD.
6	GRASS SEED	100	SQ. YD.
7	SOIL	100	CY
8	ROCK	100	CY
9	GRAVEL	100	CY
10	SAND	100	CY

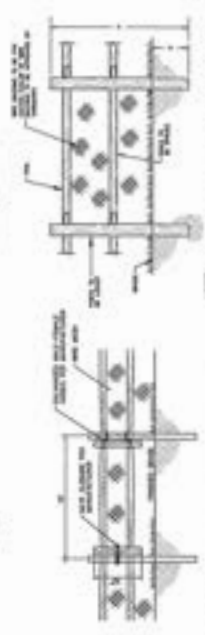
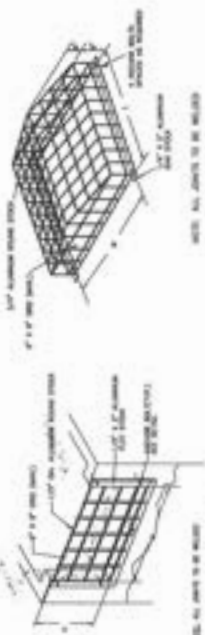
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 1. SEED MIXTURE (SEE SPEC.)  
 2. SEED MIXTURE (SEE SPEC.)  
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 4. SEED MIXTURE (SEE SPEC.)  
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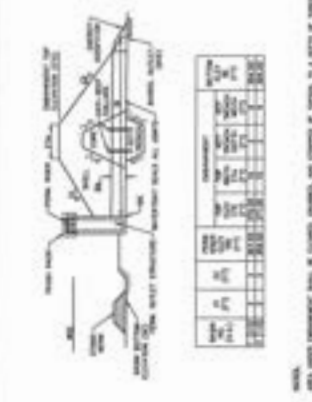
**EMERGENCY SPILLWAY SCHEDULE**

NO.	DESCRIPTION	QUANTITY	UNIT	NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD	1	STEEL	100	TONS
2	FORMWORK	1000	SQ YD	2	WOOD	100	CU YD
3	REINFORCING	1000	CU YD	3	STEEL	100	TONS
4	PAINT	1000	SQ YD	4	WOOD	100	CU YD
5	LABOR	1000	HOURS	5	STEEL	100	TONS
6	CONCRETE	1000	CU YD	6	STEEL	100	TONS
7	FORMWORK	1000	SQ YD	7	WOOD	100	CU YD
8	REINFORCING	1000	CU YD	8	STEEL	100	TONS
9	PAINT	1000	SQ YD	9	WOOD	100	CU YD
10	LABOR	1000	HOURS	10	STEEL	100	TONS



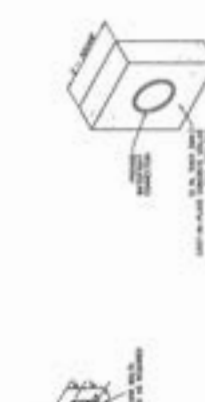
**SPILLWAY FENCE GATE DETAIL**

NOTES:  
 1. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 2. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 3. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 4. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.



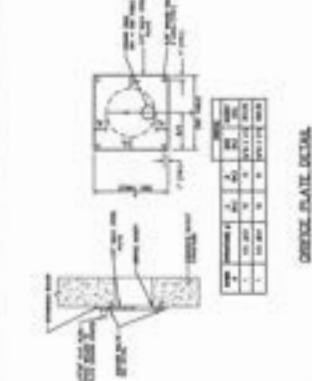
**Basin Schedule**

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	FORMWORK	1000	SQ YD
3	REINFORCING	1000	CU YD
4	PAINT	1000	SQ YD
5	LABOR	1000	HOURS



**SPILLWAY FENCE DETAIL**

NOTES:  
 1. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
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 4. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.



**Circular Structure Schedule**

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	FORMWORK	1000	SQ YD
3	REINFORCING	1000	CU YD
4	PAINT	1000	SQ YD
5	LABOR	1000	HOURS



**Basin Section Detail**

NOTES:  
 1. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
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 3. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 4. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.



**Circular Structure Schedule**

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	FORMWORK	1000	SQ YD
3	REINFORCING	1000	CU YD
4	PAINT	1000	SQ YD
5	LABOR	1000	HOURS



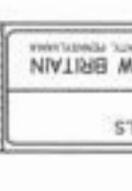
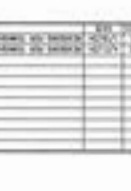
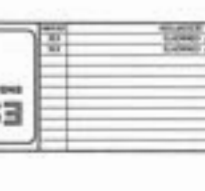
**Basin Section Detail**

NOTES:  
 1. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 2. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 3. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.  
 4. GATE SHALL BE ANCHORED TO CONCRETE BY A BOLT.



**Circular Structure Schedule**

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	FORMWORK	1000	SQ YD
3	REINFORCING	1000	CU YD
4	PAINT	1000	SQ YD
5	LABOR	1000	HOURS



**Basin Section Detail**

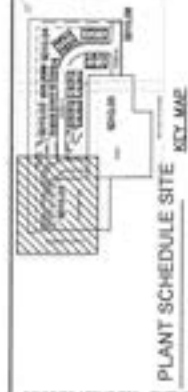
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 202 Chestnut St. Philadelphia, PA 19106  
 TEL: 215-561-0200

LANDSCAPE PLAN  
 BIRCH RUN AT NEW BRITAIN  
 NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 12/15/2011  
 DRAWN BY: J. [unreadable]  
 CHECKED BY: [unreadable]  
 PROJECT NO.: SDD10.02  
 SHEET NO.: 36 of 43



**PLANT SCHEDULE SITE KEY MAP**

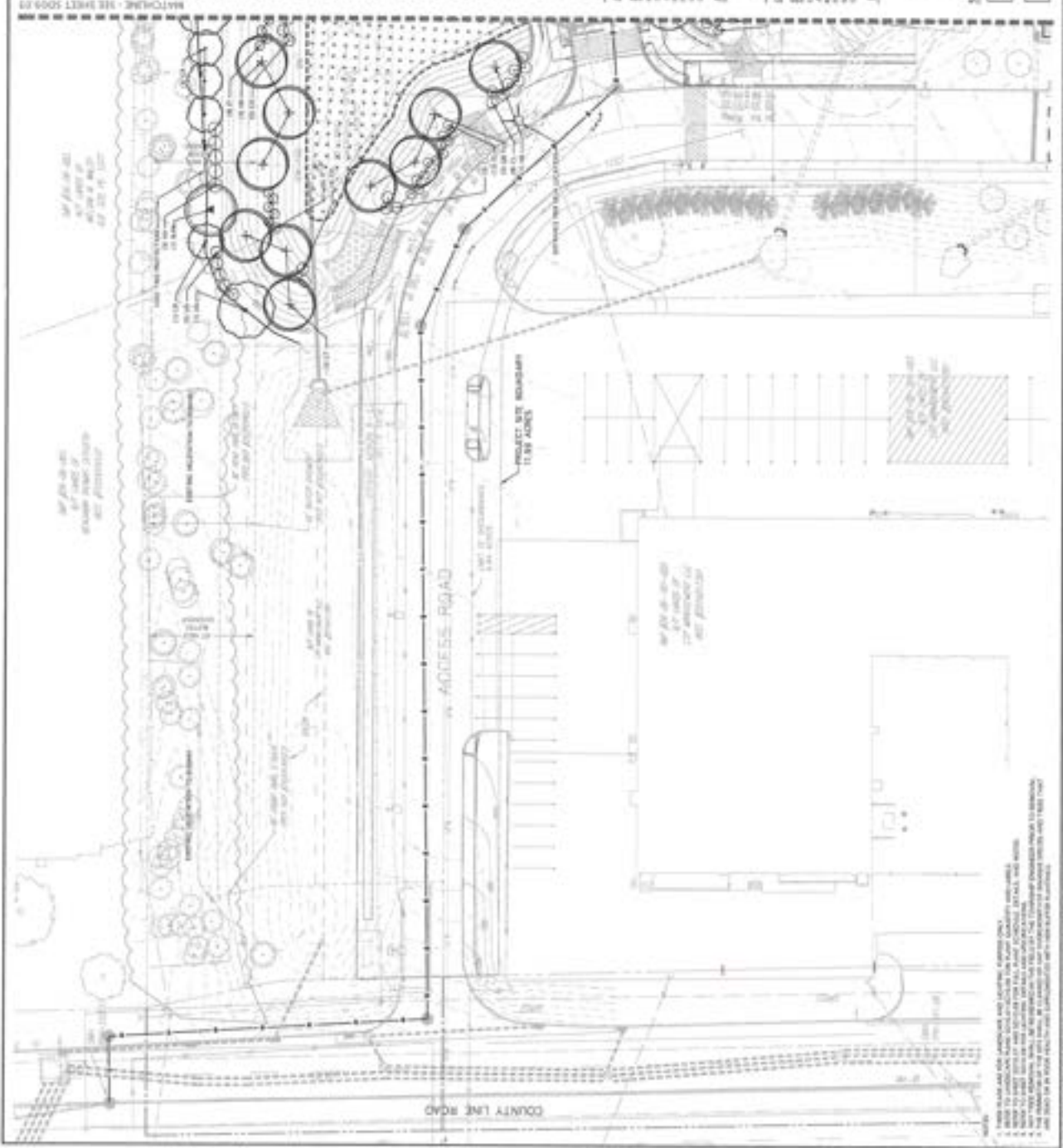
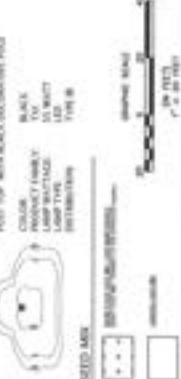
- DATE: 12/15/2011  
 DRAWN BY: J. [unreadable]  
 CHECKED BY: [unreadable]
- PLANT SCHEDULE SITE KEY MAP**
- 1. PLANT SCHEDULE SITE KEY MAP
  - 2. PLANT SCHEDULE BASIN #1
  - 3. PLANT SCHEDULE BASIN #2
  - 4. PROPOSED STREET LIGHT

**PLANT SCHEDULE BASIN #1**

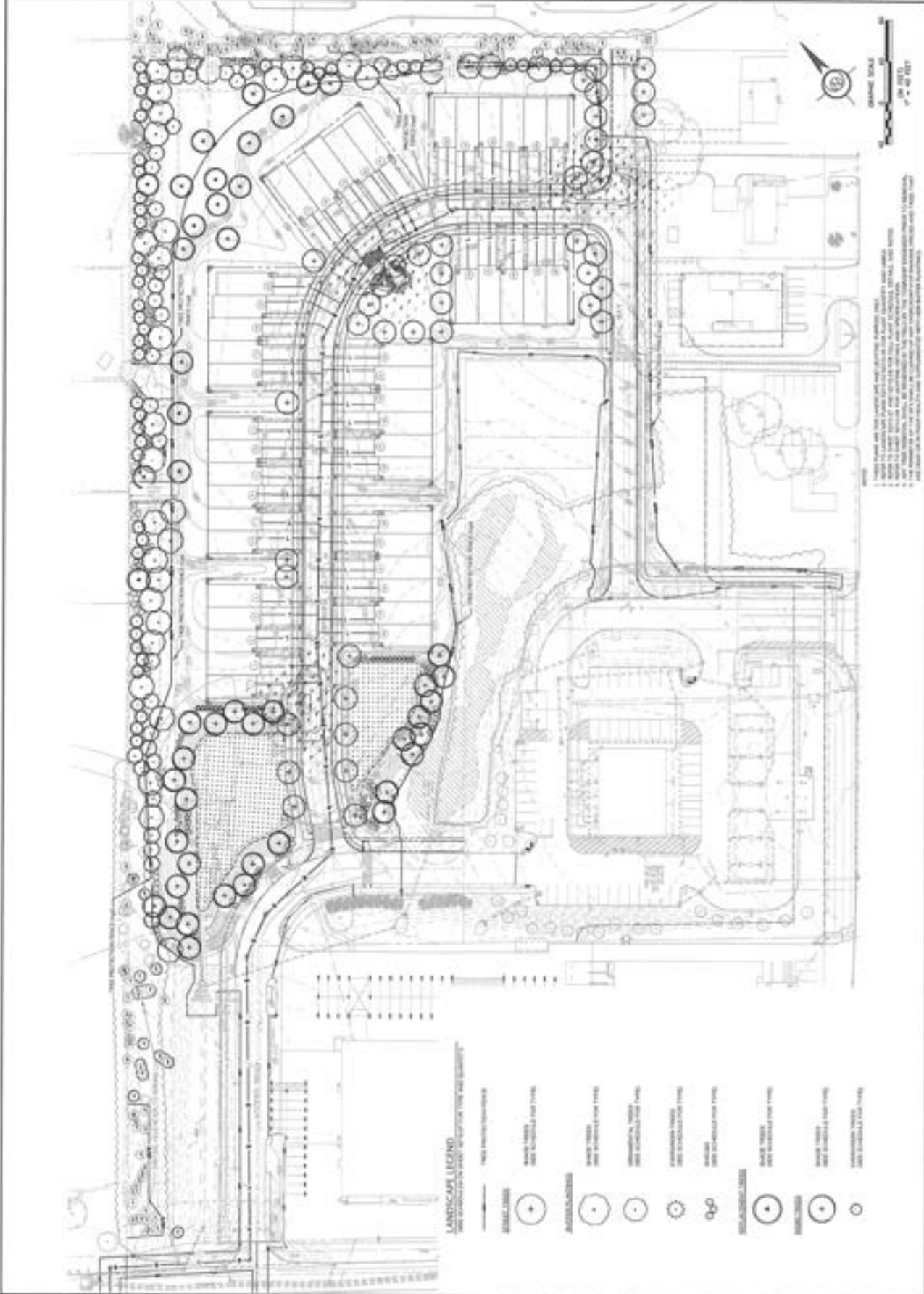
- DATE: 12/15/2011  
 DRAWN BY: J. [unreadable]  
 CHECKED BY: [unreadable]
- PLANT SCHEDULE BASIN #1**
- 1. PLANT SCHEDULE BASIN #1
  - 2. PLANT SCHEDULE BASIN #2
  - 3. PROPOSED STREET LIGHT

**PLANT SCHEDULE BASIN #2**

- DATE: 12/15/2011  
 DRAWN BY: J. [unreadable]  
 CHECKED BY: [unreadable]
- PLANT SCHEDULE BASIN #2**
- 1. PLANT SCHEDULE BASIN #1
  - 2. PLANT SCHEDULE BASIN #2
  - 3. PROPOSED STREET LIGHT



1. THIS PLAN AND SPECIFICATIONS ARE PRELIMINARY. THE USER SHALL VERIFY ALL INFORMATION AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



**NOTES:**

1. REFER TO ALL OTHER LAYOUTS FOR SITE SPECIFIC INFORMATION.
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**LANDSCAPE LEGEND**  
 SEE SCHEDULE TO ALL LAYOUTS FOR TREE AND SHRUB SPECIES

- |  |               |
|--|---------------|
|  | TREE          |
|  | SHRUB         |
|  | GRASS         |
|  | WATER FEATURE |
|  | PATH          |
|  | FENCE         |
|  | WALL          |
|  | RAMP          |
|  | DECK          |
|  | PERGOLA       |
|  | GAZEBO        |
|  | BENCH         |
|  | LIGHT FIXTURE |
|  | FIRE PIT      |
|  | PLANTER       |
|  | WALL          |
|  | RAMP          |
|  | DECK          |
|  | PERGOLA       |
|  | GAZEBO        |
|  | BENCH         |
|  | LIGHT FIXTURE |
|  | FIRE PIT      |
|  | PLANTER       |





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 200 Conventry Rd  
 Birmingham, B3 7YU, UK  
 Tel: 0121 717 2000  
 Fax: 0121 717 2001  
 Email: info@ese.co.uk

**LANDSCAPE PLAN**  
**BIRCH RUN AT NEW BRITAIN**  
 NEW BRITAIN TRADING BLOCK CLANN, NEWBRITAIN

DATE: 20/01/2010  
 DRAWN BY: J. BROWN  
 CHECKED BY: M. JONES  
 PROJECT NO: 10/001  
 SHEET NO: 38 OF 43



**PLANT SCHEDULE SITE**

**KEY: MAZ**

**LEGEND:**

- 1. MAZ
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**PROPOSED STREET LIGHT**

INDICATED BY NUMBER / SYMBOL (SEE PLAN) FOR POSITION AND SPECIFICATIONS

**LEGEND:**

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MATCHLINE - SEE SHEET 37 OF 43

MATCHLINE - SEE SHEET 39 OF 43



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 222 CHATELAIN, SUITE 200, WESTMONTANA, BC V3T 2K7  
 TEL: 604-441-1000 FAX: 604-441-1001

**LANDSCAPE PLAN**  
 BIRCH RUN AT NEW BRITAIN  
 NEW BRITAIN TOWNSHIP, BIRCH COURT, BRITISH COLUMBIA

DATE	NO.	DESCRIPTION
2010.05	39	REVISED
2010.05	38	REVISED
2010.05	37	REVISED
2010.05	36	REVISED
2010.05	35	REVISED
2010.05	34	REVISED
2010.05	33	REVISED
2010.05	32	REVISED
2010.05	31	REVISED
2010.05	30	REVISED
2010.05	29	REVISED
2010.05	28	REVISED
2010.05	27	REVISED
2010.05	26	REVISED
2010.05	25	REVISED
2010.05	24	REVISED
2010.05	23	REVISED
2010.05	22	REVISED
2010.05	21	REVISED
2010.05	20	REVISED
2010.05	19	REVISED
2010.05	18	REVISED
2010.05	17	REVISED
2010.05	16	REVISED
2010.05	15	REVISED
2010.05	14	REVISED
2010.05	13	REVISED
2010.05	12	REVISED
2010.05	11	REVISED
2010.05	10	REVISED
2010.05	9	REVISED
2010.05	8	REVISED
2010.05	7	REVISED
2010.05	6	REVISED
2010.05	5	REVISED
2010.05	4	REVISED
2010.05	3	REVISED
2010.05	2	REVISED
2010.05	1	REVISED



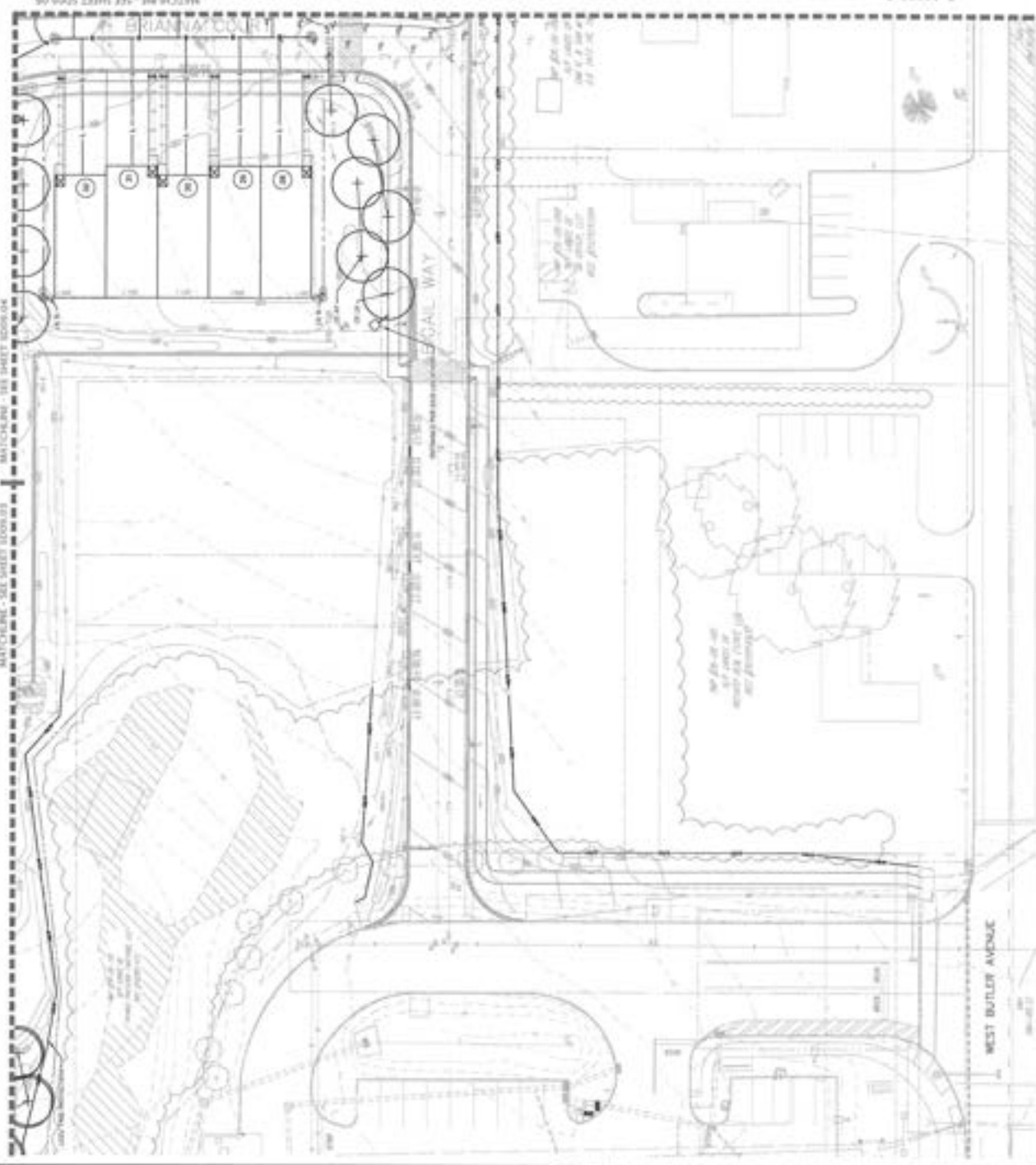
**PLANT SCHEDULE SITE**

- 1. 10' x 10' PLANTER
- 2. 10' x 10' PLANTER
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- 50. 10' x 10' PLANTER



**NOTES**

1. ALL PLANTING IS TO BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
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MATCHLINE - SEE SHEET 30.04

MATCHLINE - SEE SHEET 30.03

MATCHLINE - SEE SHEET 30.05



**PLANT SCHEDULE SITE**

NO.	SYM.	COMMON NAME	HEIGHT	SPACING	DATE	NO.	SYM.	COMMON NAME	HEIGHT	SPACING	DATE
1	101	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12	11	101	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
2	102	RED BIRCH	12-15'	10' x 10'	10/15/12	12	102	RED BIRCH	12-15'	10' x 10'	10/15/12
3	103	WHITE BIRCH	12-15'	10' x 10'	10/15/12	13	103	WHITE BIRCH	12-15'	10' x 10'	10/15/12
4	104	YELLOW BIRCH	12-15'	10' x 10'	10/15/12	14	104	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
5	105	PALE BIRCH	12-15'	10' x 10'	10/15/12	15	105	PALE BIRCH	12-15'	10' x 10'	10/15/12
6	106	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12	16	106	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
7	107	RED BIRCH	12-15'	10' x 10'	10/15/12	17	107	RED BIRCH	12-15'	10' x 10'	10/15/12
8	108	WHITE BIRCH	12-15'	10' x 10'	10/15/12	18	108	WHITE BIRCH	12-15'	10' x 10'	10/15/12
9	109	YELLOW BIRCH	12-15'	10' x 10'	10/15/12	19	109	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
10	110	PALE BIRCH	12-15'	10' x 10'	10/15/12	20	110	PALE BIRCH	12-15'	10' x 10'	10/15/12
11	111	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12	21	111	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
12	112	RED BIRCH	12-15'	10' x 10'	10/15/12	22	112	RED BIRCH	12-15'	10' x 10'	10/15/12
13	113	WHITE BIRCH	12-15'	10' x 10'	10/15/12	23	113	WHITE BIRCH	12-15'	10' x 10'	10/15/12
14	114	YELLOW BIRCH	12-15'	10' x 10'	10/15/12	24	114	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
15	115	PALE BIRCH	12-15'	10' x 10'	10/15/12	25	115	PALE BIRCH	12-15'	10' x 10'	10/15/12
16	116	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12	26	116	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
17	117	RED BIRCH	12-15'	10' x 10'	10/15/12	27	117	RED BIRCH	12-15'	10' x 10'	10/15/12
18	118	WHITE BIRCH	12-15'	10' x 10'	10/15/12	28	118	WHITE BIRCH	12-15'	10' x 10'	10/15/12
19	119	YELLOW BIRCH	12-15'	10' x 10'	10/15/12	29	119	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
20	120	PALE BIRCH	12-15'	10' x 10'	10/15/12	30	120	PALE BIRCH	12-15'	10' x 10'	10/15/12

**PLANT SCHEDULE BASIN #1**

NO.	SYM.	COMMON NAME	HEIGHT	SPACING	DATE
1	101	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
2	102	RED BIRCH	12-15'	10' x 10'	10/15/12
3	103	WHITE BIRCH	12-15'	10' x 10'	10/15/12
4	104	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
5	105	PALE BIRCH	12-15'	10' x 10'	10/15/12
6	106	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
7	107	RED BIRCH	12-15'	10' x 10'	10/15/12
8	108	WHITE BIRCH	12-15'	10' x 10'	10/15/12
9	109	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
10	110	PALE BIRCH	12-15'	10' x 10'	10/15/12
11	111	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
12	112	RED BIRCH	12-15'	10' x 10'	10/15/12
13	113	WHITE BIRCH	12-15'	10' x 10'	10/15/12
14	114	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
15	115	PALE BIRCH	12-15'	10' x 10'	10/15/12
16	116	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
17	117	RED BIRCH	12-15'	10' x 10'	10/15/12
18	118	WHITE BIRCH	12-15'	10' x 10'	10/15/12
19	119	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
20	120	PALE BIRCH	12-15'	10' x 10'	10/15/12

**PLANT SCHEDULE BASIN #2**

NO.	SYM.	COMMON NAME	HEIGHT	SPACING	DATE
1	101	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
2	102	RED BIRCH	12-15'	10' x 10'	10/15/12
3	103	WHITE BIRCH	12-15'	10' x 10'	10/15/12
4	104	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
5	105	PALE BIRCH	12-15'	10' x 10'	10/15/12
6	106	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
7	107	RED BIRCH	12-15'	10' x 10'	10/15/12
8	108	WHITE BIRCH	12-15'	10' x 10'	10/15/12
9	109	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
10	110	PALE BIRCH	12-15'	10' x 10'	10/15/12
11	111	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
12	112	RED BIRCH	12-15'	10' x 10'	10/15/12
13	113	WHITE BIRCH	12-15'	10' x 10'	10/15/12
14	114	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
15	115	PALE BIRCH	12-15'	10' x 10'	10/15/12
16	116	AMERICAN BIRCH	12-15'	10' x 10'	10/15/12
17	117	RED BIRCH	12-15'	10' x 10'	10/15/12
18	118	WHITE BIRCH	12-15'	10' x 10'	10/15/12
19	119	YELLOW BIRCH	12-15'	10' x 10'	10/15/12
20	120	PALE BIRCH	12-15'	10' x 10'	10/15/12



**OPEN SPACE PLAN**  
SCALE: 1" = 10'

**LANDSCAPE NOTES**

1. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
2. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
3. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
4. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
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7. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
8. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
9. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
10. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
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17. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
18. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
19. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.
20. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S CONSULTANTS.

NOTE: THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.



**TYPICAL UNIT PLANTING NOTES:**

- LANDSCAPE PLANTING SHALL BE CONCEPTUAL AND MAY VARY DUE TO COMPLEXITY WITH EXISTING UTILITIES AND/OR EXISTING UTILITIES SHALL BE SHOWN TO ENSURE SUPPORTABILITY OF PLANT.
- SHRUBS SHALL BE PLANTED IN GROUPS OF THE SAME SPECIES (3-5 PLANTS) TO MAINTAIN BALANCE THROUGHOUT THE GARDEN.
- TRANSPLANT PLANTS ARE IN ADDITION TO AND ARE TO BE COORDINATED WITH PROPOSED STREET TREES, OPEN SPACE PLANTING AND EXISTING VEGETATION TO REMAIN.
- QUALITY OF PLANT SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK.
- PLANTINGS ARE TO BE APPROVED BY THE ARCHITECT AND TOWN REPRESENTATIVE PRIOR TO PLANTING.



**DETAILED TYPICAL UNIT PLANTING SPECIFICATIONS**

**INTERIOR UNIT 'A'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'W'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'V'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'C'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**END UNIT 'B'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**TYPICAL UNIT FOUNDATION PLANTING**  
 SCALE 1" = 1'-0"

**DETAILED TYPICAL UNIT PLANTING SPECIFICATIONS**

**INTERIOR UNIT 'A'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'W'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'V'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'C'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**END UNIT 'B'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**PLANT SPECIFICATIONS**

**SHRUBS**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**PERENNIALS**

- 1. PERENNIALS - 1.5M x 1.5M x 1.5M
- 2. LAWN - 1.5M x 1.5M x 1.5M

**LAWN**

- 1. LAWN - 1.5M x 1.5M x 1.5M



**TYPICAL BENCH**  
 NOT TO SCALE

**TRASH RECEPTACLE**  
 NOT TO SCALE

**PET WASTE STATION**  
 NOT TO SCALE



**MAILBOX CLUSTER UNIT**  
 NOT TO SCALE

**BIKE RACK**  
 NOT TO SCALE

**LIGHT POLE FOUNDATION DETAIL**  
 NOT TO SCALE

**NOTE: THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.**

**TYPICAL UNIT PLANTING NOTES:**

- LANDSCAPE PLANTING SHALL BE CONCEPTUAL AND MAY VARY DUE TO COMPLEXITY WITH EXISTING UTILITIES AND/OR EXISTING UTILITIES SHALL BE SHOWN TO ENSURE SUPPORTABILITY OF PLANT.
- SHRUBS SHALL BE PLANTED IN GROUPS OF THE SAME SPECIES (3-5 PLANTS) TO MAINTAIN BALANCE THROUGHOUT THE GARDEN.
- TRANSPLANT PLANTS ARE IN ADDITION TO AND ARE TO BE COORDINATED WITH PROPOSED STREET TREES, OPEN SPACE PLANTING AND EXISTING VEGETATION TO REMAIN.
- QUALITY OF PLANT SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK.
- PLANTINGS ARE TO BE APPROVED BY THE ARCHITECT AND TOWN REPRESENTATIVE PRIOR TO PLANTING.



**DETAILED TYPICAL UNIT PLANTING SPECIFICATIONS**

**INTERIOR UNIT 'A'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'W'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'V'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'C'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**END UNIT 'B'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**TYPICAL UNIT FOUNDATION PLANTING**  
 SCALE 1" = 1'-0"

**DETAILED TYPICAL UNIT PLANTING SPECIFICATIONS**

**INTERIOR UNIT 'A'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**INTERIOR UNIT 'W'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
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**INTERIOR UNIT 'V'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

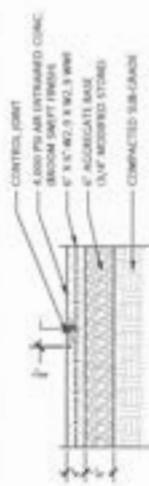
**INTERIOR UNIT 'C'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**END UNIT 'B'**

- 1. SHRUBS - 1.5M x 1.5M x 1.5M
- 2. PERENNIALS - 1.5M x 1.5M x 1.5M
- 3. LAWN - 1.5M x 1.5M x 1.5M

**NOTE: THESE PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.**



**CONCRETE PAVING - CONTROL JOINT**  
 SCALE: 1" = 1"

NOTE: EDGE OF SLAB TO BE FINISHED WITH 1/4" RADIUS (TYP.)  
 CONTROL JOINTS SET 5' O.C. (TYP.)



**CONCRETE PAVING - EXPANSION JOINT**  
 SCALE: 1" = 1"



**CONCRETE PAVING - END SECTION**  
 SCALE: 1" = 1"

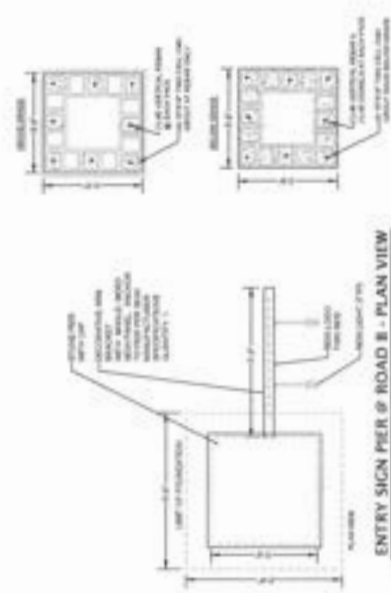
NOTE: EXPANSION JOINTS SHALL BE USED BETWEEN PAVING/AMBIT BUILDING SLAB



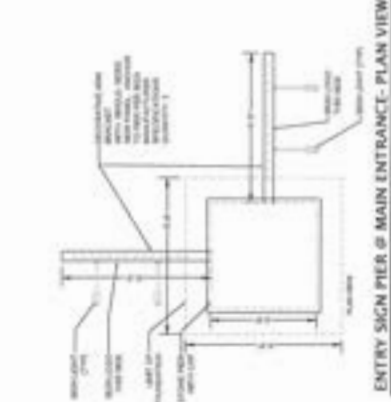
**STREAMLINE WALL MOUNT SINGLE PADDLE SPOTLIGHT**

The Streamline Wall Mount Single Paddle Spotlight is a high quality, adjustable spotlight that is designed to provide a wide range of lighting options. The spotlight is made of high quality materials and is designed to be durable and long-lasting. The spotlight is adjustable and can be rotated to provide a wide range of lighting options. The spotlight is also available in a variety of colors and finishes. The spotlight is a great choice for anyone looking for a high quality, adjustable spotlight.

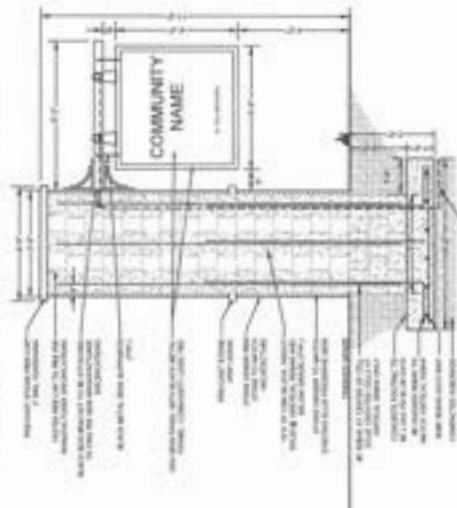
**SIGN LIGHT (Or Approved Equal)**  
 SCALE: NTS



**ENTRY SIGN PIER @ ROAD B - PLAN VIEW**  
 SCALE: 1" = 2"



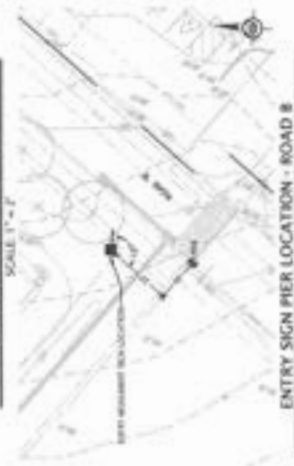
**ENTRY SIGN PIER @ MAIN ENTRANCE - PLAN VIEW**  
 SCALE: 1" = 2"



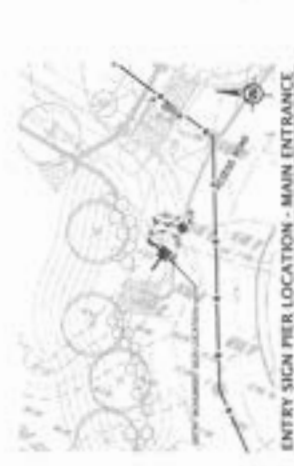
**ENTRY SIGN PIER DETAIL**  
 SCALE: 1" = 2"



**ENTRY SIGN PIER ELEVATION**  
 SCALE: 1" = 2"



**ENTRY SIGN PIER LOCATION - ROAD B**  
 SCALE: 1" = 20'



**ENTRY SIGN PIER LOCATION - MAIN ENTRANCE**  
 SCALE: 1" = 20'



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

June 3, 2024

File No. 2201266

Dave Conroy, Director of Planning and Zoning  
New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

Reference: Birch Run at New Britain (Toll Brothers, Inc.) – Final Plan Review 1

Dear Dave:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the following documents of the Preliminary/Final Plan submission for the above-referenced project:

I. Submission

- Final Subdivision Plans of Birch Run at New Britain, prepared by ESE Consultants, Inc., consisting of forty-five (45) sheets dated October 6, 2023, last revised April 11, 2024.
- Vehicle Circulation Plans of Birch Run at New Britain, prepared by ESE Consultants, Inc., consisting of five (5) sheets dated April, 2024.
- Stormwater Management Narrative for Birch Run at New Britain (AKA New Britain CTP Property), prepared by ESE Consultants, Inc., dated October 2023, last revised March 2024.
- Response Letter for Birch Run at New Britain (AKA New Britain CTP Property), prepared by ESE Consultants, Inc., dated April 17, 2024.

II. Reference Documents

- A. Conditional Use Adjudication for Provco Pineville Acquisitions, LLC Order dated August 6, 2018, establishing the Property with a J31 Planned Community Center Mixed Use (PCCM).
- B. Conditional Use Adjudication for Toll Mid-Atlantic LP Company, Inc. Order dated July 17, 2023, to construct a 44-unit B5 Single-family Attached Dwelling use as part of the PCCM.
- C. Resolution 2024-09 for Preliminary Land Development Approval dated April 1, 2024.

III. Review Comments

A. Preliminary Plan Resolution #2024-09

1. The Applicant received Preliminary Land Development Approval subject to the Applicant's compliance with certain conditions. While most of the conditions are administrative, we recommend the sidewalk layout per Conditions 4 and 5 be discussed:
  - a. The Applicant was granted a waiver from §§22-706.2.B from installing sidewalk along the frontage of County Line Road conditioned on providing a walkway to County Line Road. While a sidewalk is proposed from the development to the County Line Road right-of-way, we recommend additional improvements be provided as follows:

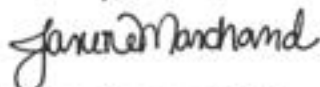
BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901  
Phone: 215-345-4330 | Fax: 215-345-8606  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)

- 1.) A Property-Entry Improvements Sketch Plan dated September 8, 2022, was previously submitted showing additional landscaping. Unless the landscaping unless in conflict with sightlines or parking requirements, we recommend additional landscaping be provided. The existing shrubs along the access drive on the CTP property shall also be added to the plans to determine if they are impacted by the proposed improvements.
  - 2.) We recommend the parking islands be extended and/or crosswalks provided across the existing driveways to CTP.
  - 3.) We recommend the grading be revised to round out the contours at the tie-in locations.
  - 4.) We recommend a post be installed with a "No Pedestrian" sign and "Sidewalk Closed" sign centered at the end of the sidewalk.
- b. A waiver was granted to allow substitutions for certain buffering and landscaping, and streetlights as approved by the Township Engineer. §22-722.4.C.(7) & 4.E. We note that there are several non-native species proposed, i.e. Autumn Gold Maidenhair Tree, White Spruce, and London Plane Tree, which are not on the Township's proposed Plant List. These trees should be substituted with native species. In addition, to establish a consistent design scheme along the Butler Avenue Corridor Overlay District, we recommend the streetlight details on sheets 25 and 42 of 43 be removed and replaced with the attached detail.
2. Condition 9 – Upon Final Approval, Applicant shall obtain all required approvals. Any correspondence regarding the Planning Module from PADEP shall be forwarded to the Township and our office.
- B. Subdivision and Land Development Ordinance
1. §22-705.13.D – All driveways shall not exceed a change in grade of 6% nor slopes over 8%. The change in grade includes the transition between the cross slope of the roadway and driveway and the driveway and sidewalk. Note 15.B on Sheet 5 indicates the driveway aprons may exceed 8% slope and 6% grade change. The driveway grading and driveway apron detail should be revised.
- C. Stormwater Management Ordinance
1. §22-712.13.C – When an applicant retains ownership of any stormwater facility, such entity shall be responsible for its repair and maintenance. The existing stormwater basin is overgrown, and the inlet and discharge pipes were inaccessible. The existing facilities shall be inspected to determine if the facilities are functioning properly and in need of maintenance or repair.
  2. §26-123.2.C.(6) – The test pit for Basin 1 noted bedrock from elevation 362.5 to 366 or 2.5 feet to 6 feet higher than the bottom excavation elevation of 360.00. In addition, the test pit for Basin 2 noted bedrock at an elevation of 364, or 3 feet higher than the bottom excavation elevation of 361.00. The basin excavations may require blasting. We recommend the Applicant verify whether blasting is proposed and if so, consider revising the basin design to stay above the bedrock.

If you have any questions regarding the above, please contact this office.

Sincerely,



Janene Marchand, P.E.  
Gilmore & Associates, Inc.  
Township Engineers

JM/tw

Attachment

cc: Daniel Fox Township Manager  
Randy Teschner, Fire Marshal  
Scott Holbert, Esq. Flager & Associates, PC  
Nate Fox, Esq., Obermayer, Rebmann, Maxwell & Hippel, LLP  
Brian Thierrin, Toll Brothers, Inc.  
Jeff Madden, P.E., ESE Consultants, Inc.  
Robert Bender, Executive Director, NWWA  
John Larson, Executive Director, CNBJSA  
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.



# New Britain Township

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## *Public Works*

**TO:** Board of Supervisors & Dan Fox, Township Manager  
**FROM:** Ryan Cressman, Public Works Superintendent  
**DATE:** June 6, 2024  
**RE:** Curblin Weed Control

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In the beginning of summer, New Britain Township requests services for Curblin Weed Control from multiple contractors. There is approximately 180,000 LF of curblin throughout New Britain Township.

This year's quotes:

- Moyer and Son- N/A, No longer provide Roadside Weed Control
- Moran's Landscaping- \$7,000
- Integrated Turf Management- \$6,885

**Staff Recommendation:** To allow Integrated Turf Management to complete Curblin Weed Control throughout New Britain Township for \$6,885. Integrated Turf Management also provides Spring and Fall fertilizer applications at all Township Parks.



Re: Moyer - roadside veg control

Ryan Cressman <rCressman@nbtpa.us>

Thu 5/16/2024 10:12 AM

To: Wes Schaffer <wesley.schaffer@emoyer.com>

Thank you for the response, much appreciated.



*Ryan Cressman / Public Works Superintendent  
New Britain Township*

[www.newbritaintownship.org](http://www.newbritaintownship.org)

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**From:** Wes Schaffer <wesley.schaffer@emoyer.com>

**Sent:** Thursday, May 16, 2024 8:25 AM

**To:** Ryan Cressman <rCressman@nbtpa.us>

**Subject:** Moyer - roadside veg control

Ryan,

Thanks for reaching out to Moyer. Unfortunately, Moyer is no longer spraying roadside vegetation control.



**Wes Schaffer**  
Account Representative  
Lawn Care

wesley.schaffer@emoyer.com

215-799-2000 x3202

215-872-8706

emoyer.com





531 Creek Road  
Doylestown, Pennsylvania 18901  
267-261-8339  
Jcm5118@gmail.com

## Moran's Landscaping



# Proposal



<b>To:</b>	New Britain Twp Curb Spraying	<b>From:</b>	Moran's Landscaping
<b>Street:</b>	NBT	<b>Job Name:</b>	Curb Spraying
<b>City, State Zip Code :</b>	New Britain PA, 18914	<b>Job : Location</b>	New Britain
<b>Job : Phone</b>	267-261-8339	<b>Date:</b>	18 May 2024

We hereby submit specifications and estimates for :

All township curbs spraying with contact weed control killer and pre-emergence weed control. 180,000 LF or Curblin

2 men and tractor 5 days \$7,000.00

Specticle herbicide- pre emergence weed control

Ranger Pro Herbicide- contact weed control.

Morans Landscaping License BU #3750

Jonathan Moran License #711237

We propose hereby to furnish material and labor—complete in accordance with above specifications, for the sum:

Dollars ( 7,000.00 )

Payment to be made as follows: Upon Completion

Signature: Jonathan C Moran

Acceptance of Proposal -The above prices, specifications

And conditions are satisfactory and hereby accepted. You are authorized

Signature: \_\_\_\_\_

to do the work as specified. Payment will be made as outlined above.

Signature: \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

**INTEGRATED TURF MANAGEMENT INC.**

**P.O. Box 5006  
New Britain, PA. 18901  
(267) 638 8550**

Ryan Cressman  
New Britain Twp. Public Works Superintendent  
207 Park Ave.  
Chalfont, PA. 18914

Township wide curb & sidewalk weed control  
5-25-2024  
[rcressman@nbtpa.us](mailto:rcressman@nbtpa.us)  
267-718-5091

Ryan, below please find our price to apply non-selective weed controls to designated curbs, and sidewalks for New Britain township according to the attached map. Materials to be applied are Glyphosate or equal with a surfactant based upon weather and site conditions.

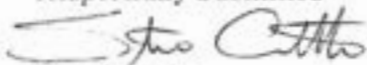
We reviewed the hyper sensitivity list to identify any residence within 500 feet of application that would need to be notified. There are none, 9 Sunnybrook Drive is currently not on list. However, there was a home owner on Harvest Hill rd that gave us some issues with regards to curb spraying in front of her property last year. We have identified this location and will avoid any treatment.

Having performed this work last year gives us a better idea of the potential vegetative growth especially in older neighborhoods with sidewalk issues. This is the expensive part of the application. We really should be increasing our price based upon time and materials used last year but in the interest of maintaining a good customer we are going to leave the price where it is.

Therefore considering all aspects of this project our price to complete this work is \$6,885.

Should you have any additional comments or questions please do not hesitate to contact me.

Respectfully Submitted

  
Steve Cataldo

# MEMO



**TO:** Board of Supervisors & Dan Fox, Township Manager  
**FROM:** Ryan Cressman, Public Works Superintendent  
**DATE:** June 13, 2024  
**RE:** Pavement Markings: Line Striping/ Long Lines

---

On June 06, 2024, New Britain Township requested quotes for the annual Line Striping/ Long Line Pavement Markings of Township roadways from three contractors: Guidemark Inc., A-1 Traffic Control, and Alpha Space Control.

- Guidemark, Inc. \$16,447.80
- A-1 Traffic Control \$20,248.73
- Alpha Space Control \$16,447.80

Both Guidemark, Inc. and Alpha Space Control provided identical quotes for Line Striping at **\$16,447.80**.

**Staff Recommendation:** To award the Line Striping/ Long Line project to Guidemark, Inc. as they were tied for the lowest estimate received and we have used them in prior years with no issues.



## Quote

**To:** New Britain Township**Attn:** Ryan Cressman**From:** Bill Jefferson**Phone:** (215) 822-3698**E-Mail:** bjefferson@guidemarkinc.com**Date:** June 10, 2024**Pages:** 1 Total Pages**Project:** Township Roads – 2024

(Various Road)

New Britain Township, Bucks County, PA

Pavement Marking as per PennDOT spec., Waterborne Paint

**Quote:** Long Lines**Take Off:** Quantities provided by Contractor, Email 6/6/2024**Pavement Marking:** All Long Lines – Waterborne Paint, One Application,

124,257/LF (+/-) - 4" Yel Single Line, Waterborne Paint ----- @ \$ 0.10/LF = \$ 12,425.70

37,425/LF (+/-) - 4" Wht Single Line, Waterborne Paint ----- @ \$ 0.10/LF = \$ 3,742.50

2,330/LF (+/-) - 6" Wht Single Line, Waterborne Paint ----- @ \$ 0.12/LF = \$ 279.60

**Total Unit Pricing \$ 16,447.80****Conditions:**

\$ 800.00 minimum amount of work required per mobilization.

Guidemark, Inc. waives all liability for markings that are required to be placed outside of specification and the manufacturer's recommendation. If repair work is required, all repair work will be invoiced directly to the General Contractor.

Thank You,

Signature


  
Bill Jefferson

**A-1  
TRAFFIC CONTROL PRODUCTS**

430 Hallman Road  
Douglassville, PA 19518

(610) 326-6902  
FAX (610) 326-2510

EMAIL: kocurtkd@ptd.net

# QUOTATION

8736

PLEASE INDICATE THE ABOVE NUMBER WHEN ORDERING

TO

ATTN: RYAN CRESSMAN  
NEW BRITAIN TOWNSHIP

QUOTATION DATE 6-12-2024	SALESPERSON WILLIAM J. KOCUR
INQUIRY DATE	INQUIRY NUMBER

(O) 215-822-3698  
(F) 215-822-3624

ASAP	OUR TRUCK	JOBSITE	NET 30 DAYS
------	-----------	---------	-------------

**Project: 2024 Line Painting**

- Various Roads
- New Britain Township, Bucks County, PA

**Pavement Marking- All Long Lines**

124,257 LF 4" Yellow Single Line, Traffic Zone Paint

*Handwritten: \$ .14/LF*

37,425 LF 4" White Single Line, Traffic Zone Paint

*Handwritten: \$ .07/LF*

2,330 LF 6" White Single line, Traffic Zone Paint

*Handwritten: \$ .10/LF*

*Handwritten: \$ 20,248.73*

WE ARE PLEASED TO SUBMIT THE ABOVE QUOTATION FOR YOUR CONSIDERATION. SHOULD YOU PLACE AN ORDER, BE ASSURED IT WILL RECEIVE OUR PROMPT ATTENTION. THIS QUOTATION IS SUBJECT TO THE CONDITIONS PRINTED ON REVERSE SIDE, AND IS VALID FOR 20 DAYS. THEREAFTER IT IS SUBJECT TO CHANGE WITHOUT NOTICE.

*Handwritten Signature*

ACCEPTED

DATE

SIGN AND RETURN YELLOW ACCEPTANCE COPY WHEN ORDERING.

*Thank You!*



**ALPHA SPACE CONTROL, LLC**

1580 GABLER ROAD  
CHAMBERSBURG, PA 17201  
PH: (717) 263-0182  
F: (717) 263-1193

WWW.ALPHASPACECONTROL.COM

# Estimate

DATE	PRO/SALES ORD...
6/13/2024	24-641

NAME / ADDRESS
NEW BRITAIN TOWNSHIP BUCKS COUNTY 207 PARK AVENUE CHALFONT, PA 18914 ATTN: RYAN

JOB:	2024 TRAFFIC MARKINGS 24-641
ADDRESS:	
CITY/ST:	CHALFONT, PA

TERMS
Net 30

CUSTOMER P.O. NO.	TERMS	SALES REP:
	NET 30	RICH

QTY	DESCRIPTION	COST	TOTAL
	ROAD STRIPING:		
124,257	LF OF 4" SINGLE YELLOW LINE (PAINT)	0.10	12,425.70
37,425	LF OF 4" SINGLE WHITE LINE (PAINT)	0.10	3,742.50
2,330	LF OF 6" SINGLE WHITE LINE (PAINT)	0.12	279.60
	PENNSYLVANIA SALES TAX	6.00%	0.00

<b>TOTAL</b>	<b>\$16,447.80</b>
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IF THE ABOVE IS AGREED TO, PLEASE SIGN, DATE AND RETURN ORIGINAL COPY.  
RETAIN DUPLICATE COPY FOR YOUR FILES. WE RESERVE THE RIGHT TO WITHDRAW  
THIS PROPOSAL IF NOT ACCEPTED IN 30 DAYS.

SIGN/DATE

\_\_\_\_\_



# MEMO

---

**TO:** Board of Supervisors & Dan Fox, Township Manager  
**FROM:** Ryan Cressman, Public Works Superintendent  
**DATE:** June 13, 2024  
**RE:** Pavement Markings:Thermo/ Short lines

---

On June 06, 2024, New Britain Township requested quotes for the annual Thermo/ Short Line Pavement Markings of Township roadways from three contractors: Guidemark Inc., A-1 Traffic Control, and Alpha Space Control.

- Guidemark, Inc. \$7,874.00
- A-1 Traffic Control \$14,848.00
- Alpha Space Control \$10,108.20

Guidemark, Inc. provided the lowest estimate for Thermo/ Short Lines at **\$7,874.00**

**Staff Recommendation:** To award the Thermo/ Short Lines project to Guidemark, Inc. as they were the lowest estimate received and we have used them in prior years with no issues.





## Quote

**To:** New Britain Township**Attn:** Ryan Cressman**From:** Bill Jefferson**Phone:** (215) 822-3698**E-Mail:** bjefferson@guidemarkinc.com**Date:** June 10, 2024**Pages:** 2 Total Pages**Project:** Township Roads – 2024

(Various Road)

New Britain Township, Bucks County, PA

Pavement Marking as per PennDOT spec., Thermoplastic

**Quote:** Short Lines**Take Off:** Quantities provided by Contractor, Email 6/6/2024.**Pavement Marking:** All Short Lines & Pavement Marking Legends – Hot Thermoplastic

121/LF (+/-) - 24" Wht Thermoplastic (Stop Bars) ----- @ \$ 8.00/LF = \$ 968.00

100/LF (+/-) - 24" Wht Thermoplastic (Crosswalks) ----- @ \$ 8.00/LF = \$ 800.00

603/LF (+/-) - 6" Wht Thermoplastic - (Crosswalks) ----- @ \$ 2.00/LF = \$ 1,206.00

300/LF (+/-) - 4" Wht Thermoplastic - (Parking Stalls) ----- @ \$ 1.00/LF = \$ 300.00

200/LF (+/-) - 12" Wht Thermoplastic (Vascar) ----- @ \$ 4.00/LF = \$ 800.00

400/LF (+/-) - 24" Wht Thermoplastic (Vascar) ----- @ \$ 8.00/LF = \$ 3,200.00

2/EA (+/-) - Handi-cap Symbol Preformed ----- @ \$ 300.00/EA = \$ 600.00

**Total Unit Pricing \$ 7,874.00**

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**Conditions:**

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**\$ 800.00** minimum amount of work required per mobilization.

Guidemark, Inc. waives all liability for markings that are required to be placed outside of specification and the manufacturer's recommendation. If repair work is required, all repair work will be invoiced directly to the General Contractor.

---

Thank You,

Signature



Bill Jefferson

**A-1  
TRAFFIC CONTROL PRODUCTS**

430 Hallman Road  
Douglassville, PA 19518

(610) 326-6902  
FAX (610) 326-2510

EMAIL: kocurtkd@ptd.net

# QUOTATION

8735

PLEASE INDICATE THE ABOVE NUMBER WHEN ORDERING

TO

ATTN: RYAN CRESSMAN  
NEW BRITAIN TOWNSHIP

QUOTATION DATE 6-12-2024	SALESPERSON WILLIAM J. KOCUR
INQUIRY DATE	INQUIRY NUMBER

(O) 215-822-3698  
(F) 215-822-3624

ASAP	OUR TRUCK	JOBSITE	NET 30 DAYS
<b>Project: 2024 Hot Thermoplastic</b> <ul style="list-style-type: none"> <li>• Various Roads</li> <li>• New Britain Township, Bucks County, PA</li> </ul>			
<b><u>Pavement Marking- All Short Lines and Legends</u></b>			
121 LF	24" White Thermo, Stop Bars	Q	\$ 16.00/LF
100 LF	24" White Thermo, Crosswalks	Q	16.00/LF
603 LF	6" White Thermo, Crosswalks	Q	4.00/LF
300 LF	4" White Thermo, Parking Stalls	Q	3.00/LF
200 LF	12" White Thermo, Vascar Lines	Q	8.00/LF
400LF	24" White Thermo, Vascar Lines	Q	16.00/LF
2	3M In-layed Handi-cap Legends	Q	150.00/EA
			\$14,848

WE ARE PLEASED TO SUBMIT THE ABOVE QUOTATION FOR YOUR CONSIDERATION. SHOULD YOU PLACE AN ORDER, BE ASSURED IT WILL RECEIVE OUR PROMPT ATTENTION. THIS QUOTATION IS SUBJECT TO THE CONDITIONS PRINTED ON REVERSE SIDE, AND IS VALID FOR 20 DAYS. THEREAFTER IT IS SUBJECT TO CHANGE WITHOUT NOTICE.

BY  ACCEPTED \_\_\_\_\_ DATE \_\_\_\_\_

IGN AND RETURN YELLOW ACCEPTANCE COPY WHEN ORDERING.

Thank You!



**ALPHA SPACE CONTROL, LLC**  
 1580 GABLER ROAD  
 CHAMBERSBURG, PA 17201  
 PH: (717) 263-0182  
 F: (717) 263-1193  
 WWW.ALPHASPACECONTROL.COM

# Estimate

DATE	PRO/SALES ORD...
6/13/2024	24-639

NAME / ADDRESS
NEW BRITAIN TOWNSHIP BUCKS COUNTY 207 PARK AVENUE CHALFONT, PA 18914 ATTN: RYAN

JOB:	2024 TRAFFIC MARKINGS 24-639
ADDRESS:	
CITY/ST:	CHALFONT, PA

TERMS
Net 30

CUSTOMER P.O. NO.	TERMS	SALES REP:
	NET 30	RICH

QTY	DESCRIPTION	COST	TOTAL
	ROAD STRIPING:		
	EXTRUDED THERMOPLASTIC		
132	LF OF 24" WHITE EXTRUDE THERMOPLASTIC (90 MIL) STOP BARS	13.00	1,716.00
312	LF OF 24" WHITE EXTRUDE THERMOPLASTIC (90 MIL) CROSSWALKS	13.00	4,056.00
290	LF OF 6" WHITE EXTRUDE THERMOPLASTIC (90 MIL) CROSSWALKS	3.10	899.00
112	LF OF 6" WHITE EXTRUDE THERMOPLASTIC (90 MIL) LANE LINE	3.10	347.20
5	PENNDOT LEFT ARROW EXTRUDE THERMOPLASTIC (90 MIL)	235.00	1,175.00
1	PENNDOT RIGHT ARROW EXTRUDE THERMOPLASTIC (90 MIL)	235.00	235.00
6	8" ONLY LEGEND EXTRUDE THERMOPLASTIC (90 MIL)	280.00	1,680.00
	PENNSYLVANIA SALES TAX	6.00%	0.00

<b>TOTAL</b>	<b>\$10,108.20</b>
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 RETAIN DUPLICATE COPY FOR YOUR FILES. WE RESERVE THE RIGHT TO WITHDRAW  
 THIS PROPOSAL IF NOT ACCEPTED IN 30 DAYS.

SIGN/DATE

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**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

June 11, 2024

File No.: 2307051

Daniel Fox, Township Manager  
New Britain Township  
207 Park Avenue  
Chalfont, PA 18914

Reference: NBT 2024 Road Program  
Bid Award Recommendation

Dear Dan:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the seven (7) bids submitted for the above referenced project received on May 29, 2024 at 10:00 a.m. A copy of the complete bid tabulation has been attached for your review. Upon examination, we have determined that Harris Blacktopping, Inc. is the lowest responsible and responsive bidder for the project. All the required bid documents were properly completed, and a Bid Bond was included in the amount of 10% of the bid. Harris Blacktopping, Inc. has been awarded several paving projects in the area in the past. We recommend that the contract for the NBT Road Program be awarded to **Harris Blacktopping, Inc.** for all items included in the Base and Alternate Bids in the amount of **\$410,795.90**.

We note that the quantity for curb replacement cannot be quantified until the July 20th deadline is up for the residents to replace their curb, so the bid assumes all the deficient curbing is replaced as part of the Road Program. It is likely that a number of residents will have the curb replaced prior to the Road Program. In addition, the road base repair line items assumed 5% base repair for each road. Payments for these line items, however, will be based on actual quantities installed in the field once the roads are each milled and evaluated.

Based on the current quantities, approximately \$302,000 of the project contract qualifies for liquid fuels funding. The Township will be responsible for the remaining \$109,000 for the concrete work not covered under liquid fuels. However, the curb replacement work will be assessed to the adjoining property owners that do not replace their deficient curb before the paving work begins. If you have any questions regarding the above, please contact this office.

Sincerely,

Janene Marchand P.E.  
Project Engineer  
Gilmore & Associates, Inc.

JM/tw

Enclosure: As referenced

cc: Ryan Cressman, Public Works Superintendent  
Dave Conroy, New Britain Township  
Craig D. Kennard, P.E., E.V.P., Gilmore & Associates, Inc.

BUILDING ON A FOUNDATION OF EXCELLENCE

**G GILMORE & ASSOCIATES, INC.  
& A BED TABULATION**

CLIENT: NEW BRITAIN TOWNSHIP  
PROJECT NAME: 2024 PAVING PROGRAM  
CONTRACT NUMBER: 23-0701  
PROJECT BID DATE: May 28, 2024 @ 10:00 A.M.

#	QUANTITY & UNITS	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
<b>Base Bed</b>														
<b>Break Lane - From Sufferville Rd to End of Calhoun (E-24)</b>														
1	2444 SY	1.5 in. Roadway Milling	2.61	6,329.64	3.90	9,609.00	4.00	9,784.00	2.25	5,514.00	3.00	7,332.00	4.00	9,784.00
2	74 TN	0.5 in. WMA Scratch/Leveling Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% recycled asphalt material or less virgin asphalt content	100.00	7,400.00	100.00	7,400.00	112.00	8,288.00	100.00	7,400.00	116.00	8,584.00	98.11	7,263.10
3	222 TN	1.2 in. WMA Wearing Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% or less recycled material and virgin asphalt content	113.75	25,252.50	116.00	25,752.00	119.00	26,418.00	101.25	22,477.50	106.00	23,532.00	108.40	23,932.20
4	173 SY	Preventive Seal Repair - 4.5 in. WMA Base Course 2 Seams, PG 645-22, 0.3-10 million ESALS, containing 15% or less recycled material and virgin asphalt content	60.00	10,380.00	25.00	4,325.00	65.00	11,275.00	38.00	6,574.00	40.42	7,012.14	35.00	6,078.00
5	2444 SY	Track Coat	0.45	1,098.00	0.70	1,710.80	0.75	1,833.00	0.50	1,222.00	0.35	862.40	0.55	1,355.20
6	415.5 LF	Reinforce and Replace Concrete Curb (17 and Where Directed)	115.50	47,932.25	75.10	31,204.65	100.00	41,550.00	121.20	50,347.20	151.00	62,746.50	128.00	53,104.00
7	246 LF	Reinforce and Replace Curb Ramp (2)	26.40	6,506.40	46.90	11,336.40	26.00	6,404.00	45.40	11,127.60	50.00	12,300.00	47.25	11,626.00
8	40 LF	Reinforce and Replace Curb for Curb Ramp	99.00	3,960.00	150.00	6,000.00	115.00	4,600.00	161.00	6,440.00	171.00	6,840.00	180.25	7,209.00
<b>Glens Drive - From Sufferville Rd to New Calhoun Rd (L-24)</b>														
9	1808 SY	1.5 in. Roadway Milling	2.65	4,771.20	3.90	7,051.20	4.00	7,232.00	2.25	4,068.00	3.00	5,424.00	4.00	7,232.00
10	173 TN	0.5 in. WMA Scratch/Leveling Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% RAP or less virgin asphalt content	100.00	17,300.00	100.00	17,300.00	112.00	19,416.00	100.00	17,300.00	116.00	20,068.00	98.11	17,176.23
11	323 TN	1.2 in. WMA Wearing Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% or less recycled material and virgin asphalt content	113.75	36,746.25	116.00	37,488.00	119.00	38,637.00	101.25	32,703.75	106.00	34,242.00	108.40	35,083.20
12	246 SY	Preventive Seal Repair - 4.5 in. WMA Base Course 2 Seams, PG 645-22, 0.3-10 million ESALS, containing 15% or less recycled material and virgin asphalt content	60.00	14,760.00	25.00	6,150.00	65.00	15,990.00	38.00	9,402.00	40.42	9,963.72	35.00	8,629.20
13	1808 SY	Track Coat	0.45	831.60	0.70	1,265.60	0.75	1,356.00	0.50	924.00	0.35	650.80	0.55	1,000.80
14	348 LF	Reinforce and Replace Concrete Curb (17 and Where Directed)	115.50	40,114.00	86.60	30,136.80	100.00	34,908.00	121.20	42,177.60	151.00	52,508.40	128.00	44,592.00
15	1024 LF	Reinforce and Replace Curb Ramp (3)	26.40	27,033.60	31.80	32,563.20	26.00	26,624.00	42.42	43,438.08	50.00	51,200.00	47.25	48,584.00
16	160 LF	Reinforce and Replace Curb for Curb Ramp	99.00	15,840.00	150.00	24,000.00	115.00	18,400.00	161.00	25,760.00	171.00	27,372.00	180.25	28,840.00
<b>Marshall Clerk - From Glens Drive to End of Calhoun (E-24)</b>														
17	1408 SY	1.5 in. Roadway Milling	2.65	3,731.20	3.90	5,491.20	4.00	5,632.00	2.25	3,168.00	3.00	4,224.00	4.00	5,632.00
18	43 TN	0.5 in. WMA Scratch/Leveling Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% RAP or less virgin asphalt content	100.00	4,300.00	100.00	4,300.00	112.00	4,816.00	100.00	4,300.00	120.00	5,160.00	98.11	4,226.43
19	127 TN	1.2 in. WMA Wearing Course 8 Seams, PG 645-22, 3.0-10 million ESALS, 90%-95% containing 15% or less recycled material and virgin asphalt content	113.75	14,446.25	116.00	14,732.00	119.00	15,173.00	101.25	12,856.25	106.00	13,498.00	108.40	13,776.20
20	70 SY	Preventive Seal Repair - 4.5 in. WMA Base Course 2 Seams, PG 645-22, 0.3-10 million ESALS, containing 15% or less recycled material and virgin asphalt content	60.00	4,200.00	25.00	1,750.00	65.00	4,550.00	38.00	2,660.00	40.42	2,829.40	35.00	2,495.00
21	1408 SY	Track Coat	0.45	633.60	0.70	985.60	0.75	1,056.00	0.50	704.00	0.35	492.80	0.55	774.40
22	73 LF	Reinforce and Replace Concrete Curb (17 and Where Directed)	115.50	8,390.50	104.10	7,600.70	100.00	7,365.00	121.20	8,846.76	151.00	11,005.50	128.00	9,344.00
<b>TOTAL</b>														

**G GILMORE & ASSOCIATES, INC.**  
**& A BID TABULATION**

CLIENT:  
 NEW BRITAIN TOWNSHIP  
 PROJECT NAME:  
 204 PAVING PROGRAM  
 CONTRACT NUMBER:  
 24-01833  
 PROJECT BID DATE: May 29, 2024 @ 10:09 A.M.

#	DESCRIPTION	QUANTITY & UNITS	HERNS BLACKTOPPING, INC.		JAMES D. MARRIOTT, INC.		T. SCHUBER CONTRACTORS, INC.		BEYBROTHERS, INC.		GERT'EM INC.		BLOOMING GLEN CONTRACTORS, INC.		A.M. CORNELL	
			UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
23	British Waste Circle - From County Line Rd through Clark (E-449)	2640 SY	2.40	6,336.00	3.90	10,296.00	4.00	10,560.00	2.25	5,940.00	2.75	7,280.00	4.45	11,662.00	3.85	10,164.00
	1.5 in. Roadway Milling															
24	0.5 in. WMA Screen/Leaving Course 9.5mm, PG 648-22, 2.6-10 million ESALS, SRI-LR, containing 17% RAP or less virgin asphalt cement	80 TNS	100.00	8,000.00	114.00	9,120.00	115.00	9,200.00	100.00	8,000.00	120.00	9,600.00	98.15	7,852.00	115.00	9,200.00
25	1.5 in. WMA Wearing Course 9.5mm, PG 648-22, 3-19 million ESALS, SRI-LR, containing 15% or less recycled material and virgin asphalt cement	238 TNS	113.75	27,072.50	116.00	27,608.00	119.00	28,322.00	101.25	24,097.50	128.00	30,464.00	106.40	25,342.80	120.00	28,560.00
26	Pavement Base Rogers - 4.2 in. WMA Base Course 25mm, PG 645-22, 8.5-30 million ESALS, containing 15% or less recycled material and virgin asphalt cement	117 SY	50.00	5,850.00	25.00	2,925.00	45.00	5,265.00	10.00	1,170.00	15.00	1,755.00	31.40	3,682.80	35.00	4,095.00
27	Back Coat	2640 SY	0.45	1,188.00	0.70	1,848.00	0.75	1,980.00	0.50	1,320.00	0.75	1,980.00	0.55	1,452.00	0.75	1,980.00
28	Remove and Replace Concrete Curb (17 and Where Disposed)	143.5 LF	115.00	16,502.50	90.00	12,915.00	100.00	14,350.00	172.20	24,792.60	155.00	22,147.50	178.00	25,536.00	125.00	17,937.50
29	Remove and Replace Concrete Curb (2)	256 LF	26.40	6,758.40	43.40	11,110.40	26.00	6,656.00	45.45	11,635.20	30.00	7,680.00	47.25	12,096.00	35.00	8,960.00
30	Remove and Replace Curb for Curb Ramp	46 LF	99.00	4,554.00	114.00	5,248.00	115.00	5,290.00	202.00	19,912.00	175.00	8,025.00	189.75	8,708.25	125.00	5,800.00
<b>Base Bid Subtotal:</b>				<b>\$ 388,983.96</b>		<b>\$ 398,913.24</b>		<b>\$ 454,178.00</b>		<b>\$ 413,387.83</b>		<b>\$ 449,646.98</b>		<b>\$ 447,643.28</b>		<b>\$ 484,887.98</b>
<b>Alternates 1 - W. Fairwood Drive (T-561) and Park Avenue (R-405)</b>																
31	Remove and Replace Concrete Sidewalk (1')	602 SF	24.20	14,568.40	23.20	13,966.40	20.00	12,040.00	18.38	11,064.36	28.50	17,163.00	44.81	26,842.20	35.00	21,230.00
32	Remove and Replace Concrete Sidewalk (2')	128 SF	26.40	3,379.20	78.20	10,009.60	26.00	3,328.00	49.45	6,329.70	30.00	3,840.00	51.15	6,603.20	55.00	7,040.00
33	Remove and Replace Curb for Curb Ramp	28 LF	99.00	2,772.00	300.00	27,000.00	115.00	3,230.00	232.20	22,215.60	175.00	4,900.00	219.40	6,143.20	125.00	3,500.00
<b>Alternates 1 Subtotal:</b>				<b>\$ 24,137.60</b>		<b>\$ 34,136.00</b>		<b>\$ 18,608.00</b>		<b>\$ 35,285.56</b>		<b>\$ 25,921.00</b>		<b>\$ 41,237.48</b>		<b>\$ 32,368.00</b>
<b>Alternates 2 - 2M12M Concrete Drive (E-871)</b>																
34	Remove and Replace Concrete Sidewalk (1')	12 SF	24.20	290.40	96.00	1,152.00	20.00	240.00	272.20	3,266.40	50.00	1,200.00	318.40	3,820.80	35.00	420.00
<b>Alternates 2 Subtotal:</b>				<b>\$ 75.48</b>		<b>\$ 1,100.80</b>		<b>\$ 480.00</b>		<b>\$ 4,532.80</b>		<b>\$ 1,200.00</b>		<b>\$ 4,351.20</b>		<b>\$ 420.00</b>
<b>Total Amount Base Bid &amp; Alternates #1 &amp; 2:</b>				<b>\$ 418,795.08</b>		<b>\$ 433,190.04</b>		<b>\$ 472,846.00</b>		<b>\$ 453,583.19</b>		<b>\$ 477,168.98</b>		<b>\$ 488,880.76</b>		<b>\$ 521,675.98</b>
<b>Total Amount Base Bid</b>				<b>\$ 388,983.96</b>		<b>\$ 398,913.24</b>		<b>\$ 454,178.00</b>		<b>\$ 413,387.83</b>		<b>\$ 449,646.98</b>		<b>\$ 447,643.28</b>		<b>\$ 484,887.98</b>

**COMPLETENESS REVIEW**  
 A. Bidder's Action/Response Form  
 B. Bid Bond  
 C. Agreement of Surety  
 D. Bidder Qualification Statement  
 E. Non-Collusion Affidavit  
 F. Public Works Verification Form

COMPLETENESS REVIEW	HERNS BLACKTOPPING, INC.	JAMES D. MARRIOTT, INC.	T. SCHUBER CONTRACTORS, INC.	BEYBROTHERS, INC.	GERT'EM INC.	BLOOMING GLEN CONTRACTORS, INC.	A.M. CORNELL
A. Bidder's Action/Response Form	X	X	X	X	X	X	X
B. Bid Bond	X	X	X	X	X	X	X
C. Agreement of Surety	X	X	X	X	X	X	X
D. Bidder Qualification Statement	X	X	X	X	X	X	X
E. Non-Collusion Affidavit	X	X	X	X	X	X	X
F. Public Works Verification Form	X	X	X	X	X	X	X





# NEW BRITAIN TOWNSHIP

207 Park Avenue • Chalfont, PA 18914 • Telephone: (215) 822-1391

## ZONING HEARING BOARD APPEAL APPLICATION

### Please Note:

It is the applicant's responsibility to complete all pertinent sections of this form. Please contact the Zoning Officer prior to submittal if you need any assistance.

### TOWNSHIP USE ONLY

Application #: \_\_\_\_\_  
Date Filed: 5/30/24 cc;D  
Payment: 800  
Check #: 102  
Receipt #: 15984

1. Date: 5/23/24
2. Classification of Appeal/Application (Check one or more if applicable):  
 A. Request for Variance  
 B. Request for Special Exception  
 C. Other \_\_\_\_\_
3. Applicant:
  - (a) Name: Benjamin Rush
  - (b) Mailing Address: 128 Hampshire Dr  
Chalfont, PA 18914
  - (c) Phone Number: 484-919-5400
  - (d) State whether owner of legal title, owner of equitable title, or tenant with the permission of owner of legal title:  
Owner of legal title

\*Proof of title of the property affected must be available to the Zoning Hearing Board at all hearings.

4. Applicant's attorney, if applicable:
  - (a) Name: \_\_\_\_\_
  - (b) Mailing Address: \_\_\_\_\_
  - (c) Phone Number: \_\_\_\_\_
  - (d) Email Address: \_\_\_\_\_
5. Property:
  - (a) Present Zoning Use Classification: RR-Residential
  - (b) Tax Parcel Number: 26-008-080
  - (c) Location (With reference to nearby intersections or prominent features):  
Corner of Hampshire Dr & Devon Rd
6. Proposed use of property/construction:  
Single Family Residential
7. Cite specific section(s) of Zoning Ordinance from which relief is being requested:  
27-902 b Area & Dimensional requirements  
Front & Rear yard setbacks

8. Has any previous application/appeal been filed concerning the subject of this appeal?  
If yes, specify:  Yes  No

\_\_\_\_\_

9. Signs: If appeal is for a commercial use, will a variance for a sign be necessary?  
If yes, specify:  Yes  No

\_\_\_\_\_

10. List names and addresses of all property owners whose properties are within 500 feet of the property in question.  
(Supplemental sheets of the same size may be attached)

See attached.

\_\_\_\_\_

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.



Signature

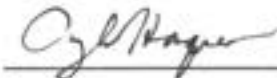
Signature

Commonwealth of Pennsylvania } SS.  
County of Bucks

Benjamin Rush, being duly sworn, according to law, deposes and says that he is the above-named Applicant; that he is authorized to, and does, take this Affidavit on behalf of the Owner, and that the foregoing facts are true and correct.



Sworn to and described before me This  
29th day of May 2024



Notary Public

My Commission expires: Feb <sup>9th</sup> 2028

Commonwealth of Pennsylvania - Notary Seal  
Azhar Haque, Notary Public  
Bucks County  
My commission expires February 9, 2028  
Commission number 1443427  
Member, Pennsylvania Association of Notaries



The Zoning Hearing Board functions are as follows:

To hear and decide appeals from a decision or determination of any administrative official in the enforcement of the Zoning Ordinance and its amendments. Such appeals must be made within 30 days after the date of the decision.

To hear and decide Special Exceptions to the terms of the Zoning Ordinance and its amendments as specifically set forth and permitted by the ordinance(s).

To authorize, upon application/appeal, in specific cases, such variance from the terms of the Zoning Ordinance and its amendments, as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the Zoning Ordinance will result in unnecessary hardship and so that the spirit of the Ordinance will be observed and substantial justice done. The burden of proof of the "unnecessary hardship" as defined by the courts shall rest on the applicant. The circumstances must be unique and applicable to the applicant's particular property and no other. The possibility of the applicant's earning a greater financial return if a variance were granted does not in itself constitute sufficient reason for such a variance.

**Instructions:**

- (1) For 2(A) or (B), one (1) copy of the plan (if size 8 1/2" x 11") or eight (8) copies (if larger than size 8 1/2" x 11") must be attached to the appeal. The plan should be prepared by a professional engineer or surveyor, but the Board will accept any plan which is complete and accurate, provided that if not prepared by a professional engineer or surveyor, the person who prepared the plan must be prepared to state under oath at the formal hearing that the plan is complete and accurate. The plan must contain all information relevant to the appeal, including but not limited to, the following: the property related to a street, the dimensions and area of the lot, the dimensions and location of existing buildings or improvements, the dimensions and locations of proposed uses, buildings or improvements.
- (2) An application fee must accompany this Application/Appeal and is not returnable once it is accepted.

Residential Application Fee Request for Continuance Fee	\$800.00 \$200.00*
Non-residential Application Fee Request for Continuance Fee	\$1,200.00 \$200.00*

\*A fee of \$200.00 is required for each applicant requested postponement or continuance

- (3) Submit copy of deed with application.
- (4) This application must be filed with the Township Office by the 3<sup>rd</sup> Friday of the month to be on the agenda for the following month.
- (5) Applicant must be present at hearing otherwise the petition will be dismissed unless postponed by the Zoning Hearing Board upon cause shown or upon their motion.
- (6) All meetings of the Zoning Hearing Board shall be open to the public.
- (7) No decision by the Zoning Hearing Board shall relieve any applicant from the responsibility of obtaining any required permits in the manner prescribed by the Zoning Ordinance.
- (8) Once the application is approved by the Zoning Hearing Board, the time limit for the commencement of improvements is one year.



**List of Properties within 500 feet of 128 Hampshire Drive Chalfont PA 18914**

1. WOODS, DAVID N & WICKHAM, DIANE C: 126 HAMPSHIRE DR CHALFONT PA 18914
2. CICHON, JACOB & AMBER: 123 DEVON RD CHALFONT PA 18914
3. HOUK, JOHN: 125 HAMPSHIRE DR CHALFONT PA 18914
4. BARNYOCK, JOSEPH P & GLORIA J: 127 HAMPSHIRE DR CHALFONT PA 18914
5. BENSON, DOLORES M & KATHLEEN L: 129 HAMPSHIRE DR CHALFONT PA 18914
6. NOBLE, MARTIN T & DIETTERICH, REBECCA ANNE: 130 HAMPSHIRE DR CHALFONT PA 18914
7. QUINN, THOMAS J & HAYES, KRISTA L: 122 DEVON RD CHALFONT PA 18914
8. ZIYADINOV, MARLEN: 120 DEVON RD CHALFONT PA 18914
9. MALONE, BRADLEY R & INGRID: 118 DEVO RD CHALFONT PA 18914
10. GRAMMEL, ERIC W, MARQUEZ-HERNANDEZ, ROMMY A, 116 DEVON RD CHALFONT PA 18914
11. CARTER, LEE: 114 DEVON RD CHALFONT PA 18914
12. ARNOLD, MATTHEW & KARYN: 112 DEVON RD CHALFONT PA 18914
13. DUNN, DIANA: 110 DEVON RD CHALFONT PA 18914
14. SIDEBOTHAM, ROBERT & DANIELLE: 108 DEVON RD CHALFONT PA 18914
15. ZWICK, OLESYA & ANTHONY M: 121 DEVON RD CHALFONT PA 18914
16. HOFSTAEDTER, FRANCIS G & FRANCHI, DONNA MARIE: 119 DEVON RD CHALFONT PA 18914
17. CRAWFORD, JOHN & GINA: 117 DEVON RD CHALFONT PA 18914
18. OMALLEY, KEVIN M & SUZANNE L: 115 DEVON RD CHALFONT PA 18914
19. MCELROY, MARY A & SEAN M: 113 DEVON RD CHALFONT PA 18914
20. MALLIMACI, PASQUALE & ROMEO, NADIA C: 124 HAMPSHIRE DR CHALFONT PA 18914
21. BENSE, KATHLEEN M: 122 HAMPSHIRE DR CHALFONT PA 18914
22. SMITH, TIMOTHY & AMANDA: 120 HAMPSHIRE DR CHALFONT PA 18914
23. GABA, NATASHA & KOCO & EDGAR: 118 HAMPSHIRE DR CHALFONT PA 18914
24. MARCHESI, LEEANN E: 123 HAMPSHIRE DR CHALFONT PA 18914
25. MCDERMOTT, MARK C & MAUREEN E: 121 HAMPSHIRE DR CHALFONT PA 18914
26. DURIE, JOHN J & KIMBERLY M: 119 HAMPSHIRE DR CHALFONT PA 18914
27. MURPHY, KEVIN & CHANCE-JOHNSON, JENNIFER: 117 HAMPSHIRE DR CHALFONT PA 18914
28. WHALEN, BRENDAN M & KELSEY C: 131 HAMPSHIRE DR CHALFONT PA 18914
29. OFSHARICK, DUSTIN & COLLINS, JOCELYN: 133 HAMPSHIRE DR CHALFONT PA 18914
30. KILLIAN, DONNA J: 135 HAMPSHIRE DR CHALFONT PA 18914
31. SCHIELD, JOAN E & SMITH, SANDRA J & TODD C: 137 HAMPSHIRE DR CHALFONT PA 18914
32. DIDOMENICO, DEANNE & VICENT P & WANNETTA D: 132 HAMPSHIRE DR CHALFONT PA 18914
33. MORRISSEY, ROBERT A & MARY P: 134 HAMPSHIRE DR CHALFONT PA 18914
34. WEEKS, MATTHEW & SMITH, KALEY: 136 HAMPSHIRE DR CHALFONT PA 18914
35. KOKIKO, JODY BLEAM: 125 DOLLY LN CHALFONT PA 18914
36. REILLY, JAMES A & CRESENCIA M: 123 DOLLY LN CHALFONT PA 18914
37. EYRICH, SHIRLEY A: 121 DOLLY LN CHALFONT PA 18914
38. PRENDERGAST, SCOTT M & USA A: 119 DOLLY LN CHALFONT PA 18914
39. RODRIGUEZ, ALVARO: 117 DOLLY LN CHALFONT PA 18914
40. MCBREARTY, MARYANNE T: 115 DOLLY LN CHALFONT PA 18914
41. KARIMOV, MALIK: 113 DOLLY LN CHALFONT PA 18914
42. KAUFMAN, ALEXANDER & KELLY ANN: 111 DOLLY LN CHALFONT PA 18914
43. TUCKER, ZACHARY ROBERT & HAVILAND, LAUREN ANN: 109 DOLLY LN CHALFONT PA 18914
44. ADELMAN, DENISE M: 122 BATES DR CHALFONT PA 18914
45. SANTORO, DENISE M: 124 BATES DR CHALFONT PA 18914
46. FRIEL, MATTHEW J & JOANNE M: 126 BATES DR CHALFONT PA 18914
47. LACOTTA, JEROME M & BRENDA M: 128 BATES DR CHALFONT PA 18914

48. WOOD, CHRISTIANA & COLLEEN M: 130 BATES DR CHALFONT PA 18914
49. ROSS HAROLD D & CHARILEEN T: 132 BATES DR CHALFONT PA 18914
50. CORRIGAN, MARIAN G: 134 BATES DR CHALFONT PA 18914
51. ALEXANDER, JOHN & ROSANNE: 21 E CORNWALL DR CHALFONT PA 18914

Prepared By:  
Dana Shields  
1 Mortgage Way, Mount Laurel, NJ 08054

Return To:  
Coldwell Banker Home Loans  
6 Campus Circle Floor 1, Westlake TX 76262

Parcel Number: 26-8-80

Premises:  
128 Hampshire Drive  
Chalfont, PA 18914

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(100) 30yr Fixed P&I Conf Mortgage

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MIN 100187571343679810

**Definitions**

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 16.

- (A) "Security Instrument" means this document, which is dated August 18, 2015, together with all Riders to this document.
- (B) "Borrower" is Benjamin P Rush, AN UNMARRIED MAN

Borrower is the mortgagor under this Security Instrument.

(C) **"MERS"** is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. **MERS is the mortgagee under this Security Instrument.** MERS is organized and existing under the laws of Delaware, and MERS has a mailing address of P.O. Box 2026, Flint, MI 48501-2026 and a street address of 1901 E Voorhees Street, Suite C, Danville, IL 61834. The MERS telephone number is (888) 679-MERS.

(D) **"Lender"** is **Coldwell Banker Home Loans**

Lender is a **Limited Liability Company**  
organized and existing under the laws of **Delaware**  
Lender's address is **1 Mortgage Way, Mount Laurel, NJ 08054**

(E) **"Note"** means the promissory note signed by Borrower and dated **August 18, 2015**

The Note states that Borrower owes Lender

**Two Hundred Thousand Dollars and Zero Cents**

**Dollars (U.S. \$200,000.00** ) plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than **September 01, 2045**

(F) **"Property"** means the property that is described below under the heading "Transfer of Rights in the Property."

(G) **"Loan"** means the debt evidenced by the Note, plus interest, any prepayment charges and late charges due under the Note, and all sums due under this Security Instrument, plus interest.

(H) **"Riders"** means all Riders to this Security Instrument that are executed by Borrower. The following Riders are to be executed by Borrower [check box as applicable]:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Adjustable Rate Rider | <input type="checkbox"/> Condominium Rider              | <input type="checkbox"/> Second Home Rider  |
| <input type="checkbox"/> Balloon Rider         | <input type="checkbox"/> Planned Unit Development Rider | <input type="checkbox"/> 1-4 Family Rider   |
| <input type="checkbox"/> VA Rider              | <input type="checkbox"/> Biweekly Payment Rider         | <input type="checkbox"/> Other(s) [specify] |

(I) **"Applicable Law"** means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

7134367981

PENNSYLVANIA - Single Family - Fannie Mae/Freddie Mac UNIFORM INSTRUMENT WITH MERS  
VMP 6  
Worries Kluwe Financial Services

Form 3029 1.01  
VMFA(PA) (1002)  
Page 2 of 20

- (J) **"Community Association Dues, Fees, and Assessments"** means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.
- (K) **"Electronic Funds Transfer"** means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.
- (L) **"Escrow Items"** means those items that are described in Section 3.
- (M) **"Miscellaneous Proceeds"** means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.
- (N) **"Mortgage Insurance"** means insurance protecting Lender against the nonpayment of, or default on, the Loan.
- (O) **"Periodic Payment"** means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.
- (P) **"RESPA"** means the Real Estate Settlement Procedures Act (12 U.S.C. Section 2601 et seq.) and its implementing regulation, Regulation X (12 C.F.R. Part 1024), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Loan does not qualify as a "federally related mortgage loan" under RESPA.
- (Q) **"Successor in Interest of Borrower"** means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

#### **Transfer of Rights in the Property**

This Security Instrument secures to Lender: (i) the repayment of the Loan, and all renewals, extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower does hereby mortgage, grant and convey to MERS (solely as nominee for Lender and Lender's successors and assigns) and to the successors and assigns of MERS, the following described property located in the **County** [Type of Recording Jurisdiction]

7134367981

PENNSYLVANIA - Single Family - Fannie Mae/Freddie Mac UNIFORM INSTRUMENT WITH MERS  
VMP®  
Wolters Kluwer Financial Services

Form 3039 1/01  
VMPSA(PA) (1302)  
Page 3 of 20



of **BUCKS**  
See Attached Legal Description

[Name of Recording Jurisdiction]

which currently has the address of **128 Hampshire Drive**

**CHALFONT**  
("Property Address"):

[City], Pennsylvania **18914**

[Street]  
[Zip Code]

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property." Borrower understands and agrees that MERS holds only legal title to the interests granted by Borrower in this Security Instrument, but, if necessary to comply with law or custom, MERS (as nominee for Lender and Lender's successors and assigns) has the right: to exercise any or all of those interests, including, but not limited to, the right to foreclose and sell the Property; and to take any action required of Lender including, but not limited to, releasing and canceling this Security Instrument.

BORROWER COVENANTS that Borrower is lawfully seised of the estate hereby conveyed and has the right to mortgage, grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.

THIS SECURITY INSTRUMENT combines uniform covenants for national use and non-uniform covenants with limited variations by jurisdiction to constitute a uniform security instrument covering real property.

UNIFORM COVENANTS. Borrower and Lender covenant and agree as follows:

- 1. Payment of Principal, Interest, Escrow Items, Prepayment Charges, and Late Charges.**  
Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any prepayment charges and late charges due under the Note. Borrower shall also pay funds for

Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

Payments are deemed received by Lender when received at the location designated in the Note or at such other location as may be designated by Lender in accordance with the notice provisions in Section 15. Lender may return any payment or partial payment if the payment or partial payments are insufficient to bring the Loan current. Lender may accept any payment or partial payment insufficient to bring the Loan current, without waiver of any rights hereunder or prejudice to its rights to refuse such payment or partial payments in the future, but Lender is not obligated to apply such payments at the time such payments are accepted. If each Periodic Payment is applied as of its scheduled due date, then Lender need not pay interest on unapplied funds. Lender may hold such unapplied funds until Borrower makes payment to bring the Loan current. If Borrower does not do so within a reasonable period of time, Lender shall either apply such funds or return them to Borrower. If not applied earlier, such funds will be applied to the outstanding principal balance under the Note immediately prior to foreclosure. No offset or claim which Borrower might have now or in the future against Lender shall relieve Borrower from making payments due under the Note and this Security Instrument or performing the covenants and agreements secured by this Security Instrument.

2. **Application of Payments or Proceeds.** Except as otherwise described in this Section 2, all payments accepted and applied by Lender shall be applied in the following order of priority: (a) interest due under the Note; (b) principal due under the Note; (c) amounts due under Section 3. Such payments shall be applied to each Periodic Payment in the order in which it became due. Any remaining amounts shall be applied first to late charges, second to any other amounts due under this Security Instrument, and then to reduce the principal balance of the Note.

If Lender receives a payment from Borrower for a delinquent Periodic Payment which includes a sufficient amount to pay any late charge due, the payment may be applied to the delinquent payment and the late charge. If more than one Periodic Payment is outstanding, Lender may apply any payment received from Borrower to the repayment of the Periodic Payments if, and to the extent that, each payment can be paid in full. To the extent that any excess exists after the payment is applied to the full payment of one or more Periodic Payments, such excess may be applied to any late charges due. Voluntary prepayments shall be applied first to any prepayment charges and then as described in the Note.

Any application of payments, insurance proceeds, or Miscellaneous Proceeds to principal due under the Note shall not extend or postpone the due date, or change the amount, of the Periodic Payments.

3. **Funds for Escrow Items.** Borrower shall pay to Lender on the day Periodic Payments are due under the Note, until the Note is paid in full, a sum (the "Funds") to provide for payment of amounts due for: (a) taxes and assessments and other items which can attain priority over this Security Instrument as a lien or encumbrance on the Property; (b) leasehold payments or ground rents on the Property, if any; (c) premiums for any and all insurance required by Lender under Section 5; and (d) Mortgage Insurance premiums, if any, or any sums payable by Borrower to Lender in lieu of the payment of Mortgage Insurance premiums in accordance with the provisions of Section 10. These items are called "Escrow Items." At origination or at any time during the term of the Loan, Lender may require that Community Association Dues, Fees, and Assessments, if any, be escrowed by Borrower, and such dues, fees and assessments shall be an Escrow Item. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this Section. Borrower shall pay Lender the Funds for Escrow Items unless Lender waives Borrower's obligation to pay the Funds for any or all Escrow Items. Lender may waive Borrower's obligation to pay to Lender Funds for any or all Escrow Items at any time. Any such waiver may only be in writing. In the event of such waiver, Borrower shall pay directly, when and where payable, the amounts due for any Escrow Items for which payment of Funds has been waived by Lender and, if Lender requires, shall furnish to Lender receipts evidencing such payment within such time period as Lender may require. Borrower's obligation to make such payments and to provide receipts shall for all purposes be deemed to be a covenant and agreement contained in this Security Instrument, as the phrase "covenant and agreement" is used in Section 9. If Borrower is obligated to pay Escrow Items directly, pursuant to a waiver, and Borrower fails to pay the amount due for an Escrow Item, Lender may exercise its rights under Section 9 and pay such amount and Borrower shall then be obligated under Section 9 to repay to Lender any such amount. Lender may revoke the waiver as to any or all Escrow Items at any time by a notice given in accordance with Section 15 and, upon such revocation, Borrower shall pay to Lender all Funds, and in such amounts, that are then required under this Section 3.

Lender may, at any time, collect and hold Funds in an amount (a) sufficient to permit Lender to apply the Funds at the time specified under RESPA, and (b) not to exceed the maximum amount a lender can require under RESPA. Lender shall estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with Applicable Law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is an institution whose deposits are so insured) or in any Federal Home Loan Bank. Lender shall apply the Funds to pay the Escrow Items no later than the time specified under RESPA. Lender shall not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays

Borrower interest on the Funds and Applicable Law permits Lender to make such a charge. Unless an agreement is made in writing or Applicable Law requires interest to be paid on the Funds, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender can agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds as required by RESPA.

If there is a surplus of Funds held in escrow, as defined under RESPA, Lender shall account to Borrower for the excess funds in accordance with RESPA. If there is a shortage of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the shortage in accordance with RESPA, but in no more than 12 monthly payments. If there is a deficiency of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the deficiency in accordance with RESPA, but in no more than 12 monthly payments.

Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender.

4. **Charges; Liens.** Borrower shall pay all taxes, assessments, charges, fines, and impositions attributable to the Property which can attain priority over this Security Instrument, leasehold payments or ground rents on the Property, if any, and Community Association Dues, Fees, and Assessments, if any. To the extent that these items are Escrow Items, Borrower shall pay them in the manner provided in Section 3.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender, but only so long as Borrower is performing such agreement; (b) contests the lien in good faith by, or defends against enforcement of the lien in, legal proceedings which in Lender's opinion operate to prevent the enforcement of the lien while those proceedings are pending, but only until such proceedings are concluded; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which can attain priority over this Security Instrument, Lender may give Borrower a notice identifying the lien. Within 10 days of the date on which that notice is given, Borrower shall satisfy the lien or take one or more of the actions set forth above in this Section 4.

Lender may require Borrower to pay a one-time charge for a real estate tax verification and/or reporting service used by Lender in connection with this Loan.

5. **Property Insurance.** Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage," and any other hazards including, but not limited to, earthquakes and floods, for which Lender requires

insurance. This insurance shall be maintained in the amounts (including deductible levels) and for the periods that Lender requires. What Lender requires pursuant to the preceding sentences can change during the term of the Loan. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's right to disapprove Borrower's choice, which right shall not be exercised unreasonably. Lender may require Borrower to pay, in connection with this Loan, either: (a) a one-time charge for flood zone determination, certification and tracking services; or (b) a one-time charge for flood zone determination and certification services and subsequent charges each time remappings or similar changes occur which reasonably might affect such determination or certification. Borrower shall also be responsible for the payment of any fees imposed by the Federal Emergency Management Agency in connection with the review of any flood zone determination resulting from an objection by Borrower.

If Borrower fails to maintain any of the coverages described above, Lender may obtain insurance coverage, at Lender's option and Borrower's expense. Lender is under no obligation to purchase any particular type or amount of coverage. Therefore, such coverage shall cover Lender, but might or might not protect Borrower, Borrower's equity in the Property, or the contents of the Property, against any risk, hazard or liability and might provide greater or lesser coverage than was previously in effect. Borrower acknowledges that the cost of the insurance coverage so obtained might significantly exceed the cost of insurance that Borrower could have obtained. Any amounts disbursed by Lender under this Section 5 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

All insurance policies required by Lender and renewals of such policies shall be subject to Lender's right to disapprove such policies, shall include a standard mortgage clause, and shall name Lender as mortgagee and/or as an additional loss payee. Lender shall have the right to hold the policies and renewal certificates. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. If Borrower obtains any form of insurance coverage, not otherwise required by Lender, for damage to, or destruction of, the Property, such policy shall include a standard mortgage clause and shall name Lender as mortgagee and/or as an additional loss payee.

In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower. Unless Lender and Borrower otherwise agree in writing, any insurance proceeds, whether or not the underlying insurance was required by Lender, shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such insurance proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work

is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such insurance proceeds, Lender shall not be required to pay Borrower any interest or earnings on such proceeds. Fees for public adjusters, or other third parties, retained by Borrower shall not be paid out of the insurance proceeds and shall be the sole obligation of Borrower. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such insurance proceeds shall be applied in the order provided for in Section 2.

If Borrower abandons the Property, Lender may file, negotiate and settle any available insurance claim and related matters. If Borrower does not respond within 30 days to a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may negotiate and settle the claim. The 30-day period will begin when the notice is given. In either event, or if Lender acquires the Property under Section 22 or otherwise, Borrower hereby assigns to Lender (a) Borrower's rights to any insurance proceeds in an amount not to exceed the amounts unpaid under the Note or this Security Instrument, and (b) any other of Borrower's rights (other than the right to any refund of unearned premiums paid by Borrower) under all insurance policies covering the Property, insofar as such rights are applicable to the coverage of the Property. Lender may use the insurance proceeds either to repair or restore the Property or to pay amounts unpaid under the Note or this Security Instrument, whether or not then due.

6. **Occupancy.** Borrower shall occupy, establish, and use the Property as Borrower's principal residence within 60 days after the execution of this Security Instrument and shall continue to occupy the Property as Borrower's principal residence for at least one year after the date of occupancy, unless Lender otherwise agrees in writing, which consent shall not be unreasonably withheld, or unless extenuating circumstances exist which are beyond Borrower's control.
7. **Preservation, Maintenance and Protection of the Property; Inspections.** Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate or commit waste on the Property. Whether or not Borrower is residing in the Property, Borrower shall maintain the Property in order to prevent the Property from deteriorating or decreasing in value due to its condition. Unless it is determined pursuant to Section 5 that repair or restoration is not economically feasible, Borrower shall promptly repair the Property if damaged to avoid further deterioration or damage. If insurance or condemnation proceeds are paid in connection with damage to, or the taking of, the Property, Borrower shall be responsible for repairing or restoring the Property only if Lender has released proceeds for such purposes. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. If the insurance or condemnation proceeds are not sufficient to repair or restore the Property, Borrower is not relieved of Borrower's obligation for the completion of such repair or restoration.

Lender or its agent may make reasonable entries upon and inspections of the Property. If it has reasonable cause, Lender may inspect the interior of the improvements on the Property. Lender shall give Borrower notice at the time of or prior to such an interior inspection specifying such reasonable cause.

8. **Borrower's Loan Application.** Borrower shall be in default if, during the Loan application process, Borrower or any persons or entities acting at the direction of Borrower or with Borrower's knowledge or consent gave materially false, misleading, or inaccurate information or statements to Lender (or failed to provide Lender with material information) in connection with the Loan. Material representations include, but are not limited to, representations concerning Borrower's occupancy of the Property as Borrower's principal residence.
9. **Protection of Lender's Interest in the Property and Rights Under this Security Instrument.** If (a) Borrower fails to perform the covenants and agreements contained in this Security Instrument, (b) there is a legal proceeding that might significantly affect Lender's interest in the Property and/or rights under this Security Instrument (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture, for enforcement of a lien which may attain priority over this Security Instrument or to enforce laws or regulations), or (c) Borrower has abandoned the Property, then Lender may do and pay for whatever is reasonable or appropriate to protect Lender's interest in the Property and rights under this Security Instrument, including protecting and/or assessing the value of the Property, and securing and/or repairing the Property. Lender's actions can include, but are not limited to: (a) paying any sums secured by a lien which has priority over this Security Instrument; (b) appearing in court; and (c) paying reasonable attorneys' fees to protect its interest in the Property and/or rights under this Security Instrument, including its secured position in a bankruptcy proceeding. Securing the Property includes, but is not limited to, entering the Property to make repairs, change locks, replace or board up doors and windows, drain water from pipes, eliminate building or other code violations or dangerous conditions, and have utilities turned on or off. Although Lender may take action under this Section 9, Lender does not have to do so and is not under any duty or obligation to do so. It is agreed that Lender incurs no liability for not taking any or all actions authorized under this Section 9.

Any amounts disbursed by Lender under this Section 9 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

**10. Mortgage Insurance.** If Lender required Mortgage Insurance as a condition of making the Loan, Borrower shall pay the premiums required to maintain the Mortgage Insurance in effect. If, for any reason, the Mortgage Insurance coverage required by Lender ceases to be available from the mortgage insurer that previously provided such insurance and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to obtain coverage substantially equivalent to the Mortgage Insurance previously in effect, at a cost substantially equivalent to the cost to Borrower of the Mortgage Insurance previously in effect, from an alternate mortgage insurer selected by Lender. If substantially equivalent Mortgage Insurance coverage is not available, Borrower shall continue to pay to Lender the amount of the separately designated payments that were due when the insurance coverage ceased to be in effect. Lender will accept, use and retain these payments as a non-refundable loss reserve in lieu of Mortgage Insurance. Such loss reserve shall be non-refundable, notwithstanding the fact that the Loan is ultimately paid in full, and Lender shall not be required to pay Borrower any interest or earnings on such loss reserve. Lender can no longer require loss reserve payments if Mortgage Insurance coverage (in the amount and for the period that Lender requires) provided by an insurer selected by Lender again becomes available, is obtained, and Lender requires separately designated payments toward the premiums for Mortgage Insurance. If Lender required Mortgage Insurance as a condition of making the Loan and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to maintain Mortgage Insurance in effect, or to provide a non-refundable loss reserve, until Lender's requirement for Mortgage Insurance ends in accordance with any written agreement between Borrower and Lender providing for such termination or until termination is required by Applicable Law. Nothing in this Section 10 affects Borrower's obligation to pay interest at the rate provided in the Note.

Mortgage Insurance reimburses Lender (or any entity that purchases the Note) for certain losses it may incur if Borrower does not repay the Loan as agreed. Borrower is not a party to the Mortgage Insurance.

Mortgage insurers evaluate their total risk on all such insurance in force from time to time, and may enter into agreements with other parties that share or modify their risk, or reduce losses. These agreements are on terms and conditions that are satisfactory to the mortgage insurer and the other party (or parties) to these agreements. These agreements may require the mortgage insurer to make payments using any source of funds that the mortgage insurer may have available (which may include funds obtained from Mortgage Insurance premiums).

As a result of these agreements, Lender, any purchaser of the Note, another insurer, any reinsurer, any other entity, or any affiliate of any of the foregoing, may receive (directly or indirectly) amounts that derive from (or might be characterized as) a portion of Borrower's payments for Mortgage Insurance, in exchange for sharing or modifying the mortgage insurer's risk, or reducing losses. If such agreement provides that an affiliate of Lender takes a share of the insurer's risk in exchange for



a share of the premiums paid to the insurer, the arrangement is often termed "captive reinsurance." Further:

- (a) Any such agreements will not affect the amounts that Borrower has agreed to pay for Mortgage Insurance, or any other terms of the Loan. Such agreements will not increase the amount Borrower will owe for Mortgage Insurance, and they will not entitle Borrower to any refund.
- (b) Any such agreements will not affect the rights Borrower has - if any - with respect to the Mortgage Insurance under the Homeowners Protection Act of 1998 or any other law. These rights may include the right to receive certain disclosures, to request and obtain cancellation of the Mortgage Insurance, to have the Mortgage Insurance terminated automatically, and/or to receive a refund of any Mortgage Insurance premiums that were unearned at the time of such cancellation or termination.

**11. Assignment of Miscellaneous Proceeds; Forfeiture.** All Miscellaneous Proceeds are hereby assigned to and shall be paid to Lender.

If the Property is damaged, such Miscellaneous Proceeds shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such Miscellaneous Proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may pay for the repairs and restoration in a single disbursement or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such Miscellaneous Proceeds, Lender shall not be required to pay Borrower any interest or earnings on such Miscellaneous Proceeds. If the restoration or repair is not economically feasible or Lender's security would be lessened, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such Miscellaneous Proceeds shall be applied in the order provided for in Section 2.

In the event of a total taking, destruction, or loss in value of the Property, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the Miscellaneous Proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the partial taking, destruction, or loss in value divided by (b) the fair market value of the

Property immediately before the partial taking, destruction, or loss in value. Any balance shall be paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is less than the amount of the sums secured immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the Opposing Party (as defined in the next sentence) offers to make an award to settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the Miscellaneous Proceeds either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due. "Opposing Party" means the third party that owes Borrower Miscellaneous Proceeds or the party against whom Borrower has a right of action in regard to Miscellaneous Proceeds.

Borrower shall be in default if any action or proceeding, whether civil or criminal, is begun that, in Lender's judgment, could result in forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. Borrower can cure such a default and, if acceleration has occurred, reinstate as provided in Section 19, by causing the action or proceeding to be dismissed with a ruling that, in Lender's judgment, precludes forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. The proceeds of any award or claim for damages that are attributable to the impairment of Lender's interest in the Property are hereby assigned and shall be paid to Lender.

All Miscellaneous Proceeds that are not applied to restoration or repair of the Property shall be applied in the order provided for in Section 2.

- 12. Borrower Not Released; Forbearance By Lender Not a Waiver.** Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to Borrower or any Successor in Interest of Borrower shall not operate to release the liability of Borrower or any Successors in Interest of Borrower. Lender shall not be required to commence proceedings against any Successor in Interest of Borrower or to refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand made by the original Borrower or any Successors in Interest of Borrower. Any forbearance by Lender in exercising any right or remedy including, without limitation, Lender's acceptance of payments from third persons, entities or Successors in Interest of Borrower or in amounts less than the amount then due, shall not be a waiver of or preclude the exercise of any right or remedy.

- 13. Joint and Several Liability; Co-signers; Successors and Assigns Bound.** Borrower covenants and agrees that Borrower's obligations and liability shall be joint and several. However, any Borrower who co-signs this Security Instrument but does not execute the Note (a "co-signer"): (a) is co-signing this Security Instrument only to mortgage, grant and convey the co-signer's interest in the Property under the terms of this Security Instrument; (b) is not personally obligated to pay the sums secured by this Security Instrument; and (c) agrees that Lender and any other Borrower can agree to extend, modify, forbear or make any accommodations with regard to the terms of this Security Instrument or the Note without the co-signer's consent.

Subject to the provisions of Section 18, any Successor in Interest of Borrower who assumes Borrower's obligations under this Security Instrument in writing, and is approved by Lender, shall obtain all of Borrower's rights and benefits under this Security Instrument. Borrower shall not be released from Borrower's obligations and liability under this Security Instrument unless Lender agrees to such release in writing. The covenants and agreements of this Security Instrument shall bind (except as provided in Section 20) and benefit the successors and assigns of Lender.

- 14. Loan Charges.** Lender may charge Borrower fees for services performed in connection with Borrower's default, for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument, including, but not limited to, attorneys' fees, property inspection and valuation fees. In regard to any other fees, the absence of express authority in this Security Instrument to charge a specific fee to Borrower shall not be construed as a prohibition on the charging of such fee. Lender may not charge fees that are expressly prohibited by this Security Instrument or by Applicable Law.

If the Loan is subject to a law which sets maximum loan charges, and that law is finally interpreted so that the interest or other loan charges collected or to be collected in connection with the Loan exceed the permitted limits, then: (a) any such loan charge shall be reduced by the amount necessary to reduce the charge to the permitted limit; and (b) any sums already collected from Borrower which exceeded permitted limits will be refunded to Borrower. Lender may choose to make this refund by reducing the principal owed under the Note or by making a direct payment to Borrower. If a refund reduces principal, the reduction will be treated as a partial prepayment without any prepayment charge (whether or not a prepayment charge is provided for under the Note). Borrower's acceptance of any such refund made by direct payment to Borrower will constitute a waiver of any right of action Borrower might have arising out of such overcharge.

- 15. Notices.** All notices given by Borrower or Lender in connection with this Security Instrument must be in writing. Any notice to Borrower in connection with this Security Instrument shall be deemed to have been given to Borrower when mailed by first class mail or when actually delivered to Borrower's notice address if sent by other means. Notice to any one Borrower shall constitute notice to all Borrowers unless Applicable Law expressly requires otherwise. The notice address shall be the Property Address unless Borrower has designated a substitute notice address by notice to Lender.

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Borrower shall promptly notify Lender of Borrower's change of address. If Lender specifies a procedure for reporting Borrower's change of address, then Borrower shall only report a change of address through that specified procedure. There may be only one designated notice address under this Security Instrument at any one time. Any notice to Lender shall be given by delivering it or by mailing it by first class mail to Lender's address stated herein unless Lender has designated another address by notice to Borrower. Any notice in connection with this Security Instrument shall not be deemed to have been given to Lender until actually received by Lender. If any notice required by this Security Instrument is also required under Applicable Law, the Applicable Law requirement will satisfy the corresponding requirement under this Security Instrument.

- 16. Governing Law; Severability; Rules of Construction.** This Security Instrument shall be governed by federal law and the law of the jurisdiction in which the Property is located. All rights and obligations contained in this Security Instrument are subject to any requirements and limitations of Applicable Law. Applicable Law might explicitly or implicitly allow the parties to agree by contract or it might be silent, but such silence shall not be construed as a prohibition against agreement by contract. In the event that any provision or clause of this Security Instrument or the Note conflicts with Applicable Law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision.

As used in this Security Instrument: (a) words of the masculine gender shall mean and include corresponding neuter words or words of the feminine gender; (b) words in the singular shall mean and include the plural and vice versa; and (c) the word "may" gives sole discretion without any obligation to take any action.

- 17. Borrower's Copy.** Borrower shall be given one copy of the Note and of this Security Instrument.

- 18. Transfer of the Property or a Beneficial Interest in Borrower.** As used in this Section 18, "Interest in the Property" means any legal or beneficial interest in the Property, including, but not limited to, those beneficial interests transferred in a bond for deed, contract for deed, installment sales contract or escrow agreement, the intent of which is the transfer of title by Borrower at a future date to a purchaser.

If all or any part of the Property or any Interest in the Property is sold or transferred (or if Borrower is not a natural person and a beneficial interest in Borrower is sold or transferred) without Lender's prior written consent, Lender may require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if such exercise is prohibited by Applicable Law.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is given in accordance with Section 15 within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to

pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

- 19. Borrower's Right to Reinstate After Acceleration.** If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earliest of: (a) five days before sale of the Property pursuant to any power of sale contained in this Security Instrument; (b) such other period as Applicable Law might specify for the termination of Borrower's right to reinstate; or (c) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees, property inspection and valuation fees, and other fees incurred for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument; and (d) takes such action as Lender may reasonably require to assure that Lender's interest in the Property and rights under this Security Instrument, and Borrower's obligation to pay the sums secured by this Security Instrument, shall continue unchanged. Lender may require that Borrower pay such reinstatement sums and expenses in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality or entity; or (d) Electronic Funds Transfer. Upon reinstatement by Borrower, this Security Instrument and obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under Section 18.
- 20. Sale of Note; Change of Loan Servicer; Notice of Grievance.** The Note or a partial interest in the Note (together with this Security Instrument) can be sold one or more times without prior notice to Borrower. A sale might result in a change in the entity (known as the "Loan Servicer") that collects Periodic Payments due under the Note and this Security Instrument and performs other mortgage loan servicing obligations under the Note, this Security Instrument, and Applicable Law. There also might be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change which will state the name and address of the new Loan Servicer, the address to which payments should be made and any other information RESPA requires in connection with a notice of transfer of servicing. If the Note is sold and thereafter the Loan is serviced by a Loan Servicer other than the purchaser of the Note, the mortgage loan servicing obligations to Borrower will remain with the Loan Servicer or be transferred to a successor Loan Servicer and are not assumed by the Note purchaser unless otherwise provided by the Note purchaser.

Neither Borrower nor Lender may commence, join, or be joined to any judicial action (as either an individual litigant or the member of a class) that arises from the other party's actions pursuant to this Security Instrument or that alleges that the other party has breached any provision of, or any duty owed by reason of, this Security Instrument, until such Borrower or Lender has notified the other party (with such notice given in compliance with the requirements of Section 15) of such alleged breach and afforded the other party hereto a reasonable period after the giving of such notice to take corrective action. If Applicable Law provides a time period which must elapse before certain action can be taken, that time period will be deemed to be reasonable for purposes of this paragraph. The notice of acceleration and opportunity to cure given to Borrower pursuant to Section 22 and the notice of acceleration given to Borrower pursuant to Section 18 shall be deemed to satisfy the notice and opportunity to take corrective action provisions of this Section 20.

- 21. Hazardous Substances.** As used in this Section 21: (a) "Hazardous Substances" are those substances defined as toxic or hazardous substances, pollutants, or wastes by Environmental Law and the following substances: gasoline, kerosene, other flammable or toxic petroleum products, toxic pesticides and herbicides, volatile solvents, materials containing asbestos or formaldehyde, and radioactive materials; (b) "Environmental Law" means federal laws and laws of the jurisdiction where the Property is located that relate to health, safety or environmental protection; (c) "Environmental Cleanup" includes any response action, remedial action, or removal action, as defined in Environmental Law; and (d) an "Environmental Condition" means a condition that can cause, contribute to, or otherwise trigger an Environmental Cleanup.

Borrower shall not cause or permit the presence, use, disposal, storage, or release of any Hazardous Substances, or threaten to release any Hazardous Substances, on or in the Property. Borrower shall not do, nor allow anyone else to do, anything affecting the Property (a) that is in violation of any Environmental Law, (b) which creates an Environmental Condition, or (c) which, due to the presence, use, or release of a Hazardous Substance, creates a condition that adversely affects the value of the Property. The preceding two sentences shall not apply to the presence, use, or storage on the Property of small quantities of Hazardous Substances that are generally recognized to be appropriate to normal residential uses and to maintenance of the Property (including, but not limited to, hazardous substances in consumer products).

Borrower shall promptly give Lender written notice of (a) any investigation, claim, demand, lawsuit or other action by any governmental or regulatory agency or private party involving the Property and any Hazardous Substance or Environmental Law of which Borrower has actual knowledge, (b) any Environmental Condition, including but not limited to, any spilling, leaking, discharge, release or threat of release of any Hazardous Substance, and (c) any condition caused by the presence, use or release of a Hazardous Substance which adversely affects the value of the Property. If Borrower learns, or is notified by any governmental or regulatory authority, or any private party, that any removal or other remediation of any Hazardous Substance affecting the Property is necessary,

7134367981

PENNSYLVANIA - Single Family - Fannie Mae/Freddie Mac UNIFORM INSTRUMENT WITH MERIS  
V.M.P.®  
Walters Klawer Financial Services

Form 3039 1/01  
VMPSA(PA) (1302)  
Page 17 of 20

Borrower shall promptly take all necessary remedial actions in accordance with Environmental Law. Nothing herein shall create any obligation on Lender for an Environmental Cleanup.

NON-UNIFORM COVENANTS. Borrower and Lender further covenant and agree as follows:

22. **Acceleration; Remedies.** Lender shall give notice to Borrower prior to acceleration following Borrower's breach of any covenant or agreement in this Security Instrument (but not prior to acceleration under Section 18 unless Applicable Law provides otherwise). Lender shall notify Borrower of, among other things: (a) the default; (b) the action required to cure the default; (c) when the default must be cured; and (d) that failure to cure the default as specified may result in acceleration of the sums secured by this Security Instrument, foreclosure by judicial proceeding and sale of the Property. Lender shall further inform Borrower of the right to reinstate after acceleration and the right to assert in the foreclosure proceeding the non-existence of a default or any other defense of Borrower to acceleration and foreclosure. If the default is not cured as specified, Lender at its option may require immediate payment in full of all sums secured by this Security Instrument without further demand and may foreclose this Security Instrument by judicial proceeding. Lender shall be entitled to collect all expenses incurred in pursuing the remedies provided in this Section 22, including, but not limited to, attorneys' fees and costs of title evidence to the extent permitted by Applicable Law.
23. **Release.** Upon payment of all sums secured by this Security Instrument, this Security Instrument and the estate conveyed shall terminate and become void. After such occurrence, Lender shall discharge and satisfy this Security Instrument. Borrower shall pay any recordation costs. Lender may charge Borrower a fee for releasing this Security Instrument, but only if the fee is paid to a third party for services rendered and the charging of the fee is permitted under Applicable Law.
24. **Waivers.** Borrower, to the extent permitted by Applicable Law, waives and releases any error or defects in proceedings to enforce this Security Instrument, and hereby waives the benefit of any present or future laws providing for stay of execution, extension of time, exemption from attachment, levy and sale, and homestead exemption.
25. **Reinstatement Period.** Borrower's time to reinstate provided in Section 19 shall extend to one hour prior to the commencement of bidding at a sheriff's sale or other sale pursuant to this Security Instrument.
26. **Purchase Money Mortgage.** If any of the debt secured by this Security Instrument is lent to Borrower to acquire title to the Property, this Security Instrument shall be a purchase money mortgage.
27. **Interest Rate After Judgment.** Borrower agrees that the interest rate payable after a judgment is entered on the Note or in an action of mortgage foreclosure shall be the rate payable from time to time under the Note.

BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

**Borrower**

\_\_\_\_\_  
Benjamin P Rush

\_\_\_\_\_  
**Date**  
(Seal)

\_\_\_\_\_  
**Date**  
(Seal)

\_\_\_\_\_  
**Date**  
(Seal)

\_\_\_\_\_  
**Date**  
(Seal)

Refer to the attached *Signature Addendum* for additional parties and signatures.



**Acknowledgment**

**State of Pennsylvania**

**County of BUCKS**

On **August 18, 2015**, before me,  
the undersigned officer, personally appeared **Benjamin P Rush**

known to me, (or satisfactorily proven) to be the person whose name(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.

\_\_\_\_\_  
*Notary Public*

*My commission expires:*

**Certificate of Residence**

I, \_\_\_\_\_, do hereby certify that the correct address of the within-named Mortgagee is 1901 E Voorhees Street, Suite C, Danville, IL 61834.

Witness my hand this **18th** day of **August, 2015**.

\_\_\_\_\_  
Loan origination organization **Coldwell Banker Home Loans**

NMLS ID **4256**

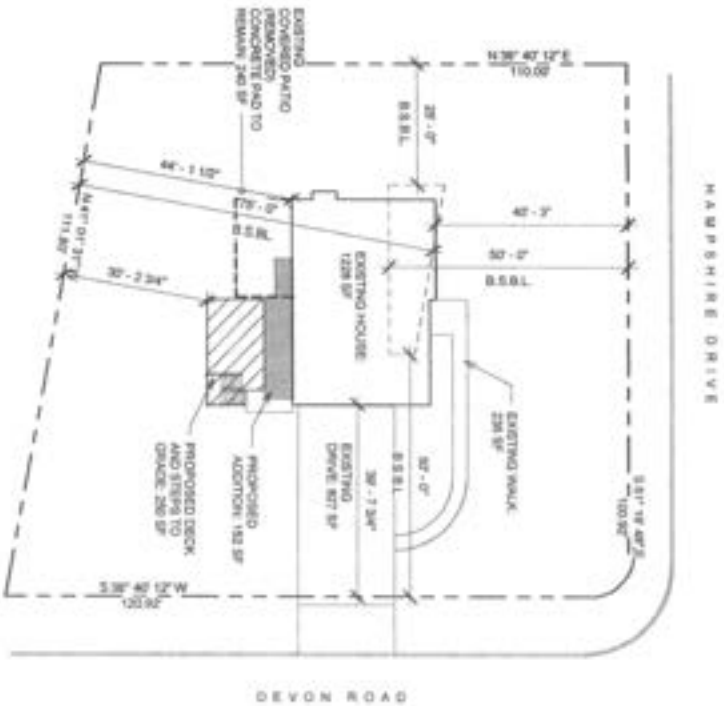
Loan originator **Lynda Anne Seymour**

NMLS ID **12819**

**7134367981**  
PENNSYLVANIA - Single Family - Fannie Mae/Freddie Mac UNIFORM INSTRUMENT WITH MERS  
VMP®  
Wolters Kluwer Financial Services

\_\_\_\_\_  
Agent of Mortgagee

Form 3039 1/01  
VM/PA/PA (1302)  
Page 20 of 20



**Rush Residence**  
128 Hampshire Drive  
Chalfont, PA 18914

**Plot Plan**  
Scale = NTS  
May 23, 2024

**ZONING INFORMATION**

ADDRESS: 128 HAMPSHIRE DRIVE CHALFONT  
TAX PARCEL: E03408-000  
APPROXIMATION: NEW BERTHA TOWNSHIP  
ZONING DISTRICT: RV RESIDENTIAL

PRIMARY USE: 81 SINGLE FAMILY DETACHED DWELLING  
AREA, SETBACK AND COVERAGE REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	560 SQ. FT.	1002 SQ. FT.	NO CHANGE
MIN. LOT WIDTH AT R.S.B.L.	50 FEET	130.25 FEET	NO CHANGE
MIN. LOT DEPTH	50 FEET	110 FEET	NO CHANGE
MAX. BUILDING HEIGHT	20 FEET	20 FEET	20 FEET
MAX. BUILDING COVER	15 % (195 SF)	8.5 % (1128 SF)	9.6 % (1422 SF)
YARD*			
FRONT	50 FEET	40.32M (132 FT)	NO CHANGE
REAR	25 FEET	26.1 FEET	NO CHANGE
SIDE	15 FEET	44.1 FEET	42 FEET
MAXIMUM COVERAGE	25% (529 SF)	14.2% (2003 SF)	22.2% (3202 SF)
MAXIMUM FLOOR AREA	1729 SF	1729 SF	2452 SF
EXISTING FRONT WALK	837 SF	837 SF	NO CHANGE
EXISTING CONCRETE PATIO	240 SF	240 SF	NO CHANGE
NEW DECK	0 SF	0 SF	260 SF
<b>TOTALS</b>		<b>1890 SF</b>	<b>2912 SF</b>

\* REAR YARD SETBACK IS IN FRONT OF FRONT YARD SETBACK THEREFORE THERE IS NO BUILDING ENVELOPE ON SITE

27-1105 b. Single story decks, coded porches, patios, or other similar single story accessory structures is residential accessory use, as approved by the zoning officer, only when not the principal use of the property and not in violation of the following: (1) set back of 10 feet from the rear yard setback or 15 feet from the side or front setback requirements.

NOTE: PLOT PLAN AND AMENITIES CALCULATIONS BASED ON ATTACHED SURVEY BY 1/28/2024. LANDSCAPING LLC DATED 10/20/2024. SURVEY INDICATES A B3 CLASSIFICATION SINCE THAT WAS ASSIGNED TO BE THE PROPER CLASSIFICATION BY THE ARCHITECT. THE SURVEYOR AND CONVEYOR WITH THE TOWNSHIP IN WRITTEN COMMUNICATION IN OCTOBER OF 2023 THE CURRENT DESIGN MEETS THE AREA AND DIMENSIONAL REQUIREMENTS OF A B3 CLASSIFICATION WITHOUT THE NEED FOR A VARIANCE.

**Jeffrey Harris Architect**  
16 FERRY ROAD  
DOYLESTOWN, PA 18901



ZONED: RR, B2	REQUIRED	EXISTING
MINIMUM LOT AREA	15,000 SF	12,500 SF
MINIMUM LOT WIDTH	80 FT	100.92 FT
MINIMUM LOT DEPTH	100 FT	110 FT
MAX BUILDING AREA	30%	1228 SF (9.38)
MAXIMUM IMPERVIOUS AREA	35%	2530 SF (19.24)
MINIMUM FRONT YARD	40 FT	38.7 FT
MINIMUM SIDE YARD	15 FT	26.1 FT
MINIMUM REAR YARD	40 FT	44.1 FT

**LEGEND**

- PROPERTY LINE
- ADJOINING PARCEL LINE
- RIGHT-OF-WAY
- WOOD FENCE
- OVERHEAD WIRE
- UNDEVELOPED AREA (LSA)
- MINOR CONTOUR
- MAJOR CONTOUR
- ⊕ ELEC METER
- ⊕ SANITARY MANHOLE
- ⊕ TREE
- ⊕ AIR CONDITIONER
- ⊕ CLEAR CUT
- ⊕ UTILITY POLE



- REFERENCES:**
- 1.) DEED INST#2015056705 RECORDED IN BUCKS COUNTY.
  - 2.) MAP OF SEC E BRITANNY FARMS, PLAN BOOK 16 PAGE 21, RECORDED IN BUCKS COUNTY.
  - 3.) CH 27-903 OF NEW BRITAIN TOWNSHIP ZONING ORDINANCE.

**NOTES**

THE SURVEYING WORK PERFORMED WAS IN ACCORDANCE WITH ESTABLISHED AND ACCEPTED STANDARDS OF PRACTICE FOR THE PROFESSION OF LAND SURVEYING IN THE COMMONWEALTH OF PENNSYLVANIA (DATED NOVEMBER 19, 2011, UPDATED MAY 31, 2022).

AN UP-TO-DATE ABSTRACT OF TITLE AND/OR TITLE REPORT WERE NOT PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY.

THIS PARCEL IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS, EASEMENTS, AND/OR AGREEMENTS THAT MAY BE OVER AND ABOVE, OR UNDER THE SAME, WHETHER VISIBLE OR INVISIBLE, OR THAT MAY BE IN EXISTENCE OR OF RECORD FOR SAID PREMISES.

ALL EXISTING TOPOGRAPHY IS ON PA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) AND IS DATUM FROM A SURVEY COMPLETED 1900'S.

**PROPERTY ADDRESS**  
 128 Hampshire Dr.  
 Chalfont, PA  
 18914

0 30 60  
 1"=30'

**17:26**  
**7:26**

**424 DURHAM RD  
 KINTERSVILLE, PA  
 18930**

PHONE: (717) 233-1469  
 EMAIL: Dugg@TDLAND

NOTE: ONLY SURVEY MAPS WITH THE SURVEYOR'S SEAL ARE DENIED, TRUE & CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.



REVISIONS:	NO.	DATE:	BY:	REVISED ZONING DATA TABLE
	1	10/20/23	DHB	

**MAP OF RETRACEMENT SURVEY OF LANDS NF:**  
**Benjamin P. Rush**  
**26-008-080**

COUNTY OF BUCKS  
 TOWNSHIP OF NEW BRITAIN  
 COMMONWEALTH OF PENNSYLVANIA

DRAFTED BY: **D.H.B.**  
 CHECKED BY: **D.H.B.**  
 APPROVED BY: **D.H.B.**  
 DATE: **10/20/23**  
 PROJECT NO: **223-49**

DRAWING SCALE: **1"=30'**

DRAWING NO: **223-49\_BASE**



# MEMO

---

**TO:** Board of Supervisors  
**FROM:** Chief Clowser  
**DATE:** June 17, 2024  
**RE:** Authorization to hire an Entry Level Police Officer

---

The chief of police has discussed and provided the board of supervisors with a memo regarding Police Department Strategic Expansion and the addition of an administrative supervisor. The first step to expansion of the police department would be to hire an entry level police officer.

As previously discussed, there would be no impact to the 2024 budget for this step of the expansion. The impact on the 2025 and 2026 budgets would be dependent upon implementation of the remaining steps of the recommended expansion.

If approved the chief of police may provide a recommendation for entry level police officer to the board of supervisors by the August 2024 BOS meeting.

## **STAFF RECOMMENDATION:**

Approve a motion to authorize the Chief of Police to immediately identify a suitable candidate for Entry Level Police Officer.



# MEMO

---

TO: Board of Supervisors  
FROM: Dan Fox  
DATE: 6/14/24  
RE: BOS Mtg. 6/17 Agenda Item 6.H- Verizon Franchise Agreement Ord. #2024-02

---

Background – at the Board meeting on 6/3/24 the BOS authorized the above referenced Ordinance, authorizing the Township to enter into a 5-year Franchise Agreement. The ordinance has been duly advertised and is before the Board for adoption.

Staff Recommendation – Adopt Ordinance 2024-02 Authorizing the Execution of a Cable Franchise Agreement between the Township and Verizon Pennsylvania LLC

**ORDINANCE NO. \_\_\_\_\_**

**ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN AUTHORIZING  
EXECUTION OF A CABLE FRANCHISE AGREEMENT BETWEEN THE  
TOWNSHIP AND  
VERIZON PENNSYLVANIA LLC**

**WHEREAS**, the Franchisee is a “cable operator” and the Township is a “local franchising authority” in accordance with Title VI of the Communications Act (see 47 U.S.C. § 522(5), (10)) and the Township is authorized to grant one or more nonexclusive cable franchises to operate a Cable System within the Township pursuant to Title VI of the Communications Act;

**WHEREAS**, the Township granted to the Franchisee, effective as of September 25, 2006, a nonexclusive initial Franchise to install, maintain, extend, and operate a Cable System in the Township for a term of twelve (12) years (the “Initial Franchise”);

**WHEREAS**, the Franchisee has operated a Cable System in accordance with the Initial Franchise as of the Effective Date on its existing Telecommunications Facilities consisting of a Fiber to the Premises Telecommunications Network (“FTTP Network”) in the Township which also transmits Non-Cable Services pursuant to authority granted by applicable state law and Title II of the Communications Act, and which are not subject to Title VI of the Communications Act or this Agreement;

**WHEREAS**, the Franchisee has requested that the Township renew the Franchisee’s Franchise to provide Cable Service to residents of the Township;

**WHEREAS**, pursuant to and in accordance with applicable federal and state law, the Township undertook a process to determine whether it should renew the Initial Franchise and the terms for such a renewal;

**WHEREAS**, the Township has examined the past performance of the Franchisee and has identified the Township’s future cable-related needs and interests;

**WHEREAS**, following good faith negotiations between the parties, the Township and the Franchisee have agreed on the terms for a Franchise Renewal Agreement under which the Franchisee will continue to operate its Cable System in the Township; and

**WHEREAS**, the Township has determined that this Agreement and the process for consideration of this Agreement complies with all applicable federal, state and local laws and regulations.

**NOW THEREFORE, BE IT ORDAINED** that the Township Board of Supervisors does hereby approve the cable franchise agreement negotiated with the Franchisee, including all of the terms and conditions contained therein, and does hereby authorize the execution of such agreement.

**ENACTED AND ORDAINED** this \_\_\_\_ day of \_\_\_\_\_, 2024.

ATTEST:

TOWNSHIP OF NEW BRITAIN

\_\_\_\_\_

\_\_\_\_\_  
Chairman, Township Board of Supervisors



# MEMO

---

TO: Board of Supervisors  
FROM: Dan Fox  
DATE: 6/14/24  
RE: BOS Mtg. 6/17 Agenda Item 6.1 Emergency Operation Plan

---

Background – In order to complete the update of our EOP we need to adopt a Resolution approving the EOP and execute the Promulgation page

Staff Recommendation – Approve the attached Resolution and Execute the Promulgation page.



# **EMERGENCY OPERATIONS PLAN (EOP)**



## **NEW BRITAIN TOWNSHIP BUCKS COUNTY, PENNSYLVANIA**

**January 2024**

Prepared by the New Britain Township Emergency Management Agency in cooperation  
with the Bucks County Emergency Management Agency and the Pennsylvania  
Emergency Management Agency

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## RECORD OF CHANGES/UPDATES

Change number	Date of Change	Date Entered	Change made by
Entire Document	11-23	11-23	Brian Focht
Resolution	1/17/24	1/17/24	Michael Italia

## RESOLUTION 2024-11

A RESOLUTION of the Township of New Britain, Bucks County, Commonwealth of Pennsylvania, to provide for the protection of persons and property within NEW BRITAIN TOWNSHIP, to prescribe those activities to be taken by municipal government and other community officials to protect the lives and property of the citizens in the event of a natural, technological or terrorism emergency or disaster and to satisfy the requirements of the Pennsylvania Emergency Management Services Code, (35 Pa. C.S. Section 7101 et seq.), as amended, to have a disaster emergency management plan for the municipality.

**WHEREAS**, in response to the mandate stated above, this Township has prepared and periodically updated an Emergency Operations Plan (EOP) to provide prompt and effective emergency response procedures to be followed in the event of a major emergency or disaster, and has updated the EOP to conform with 2003 PEMA guidelines, and

**WHEREAS**, this Township has also prepared an Emergency Operations Plan in order to reduce the potential effects of a major emergency or disaster and to protect the health, safety and welfare of the residents of this Township, now

**THEREFORE BE IT RESOLVED** by the Board of Supervisors of New Britain Township that the EMERGENCY OPERATIONS PLAN is hereby amended in its entirety and shall be known as "The New Britain Township Emergency Operations Plan of 2024".

**ENACTED A RESOLUTION** of the Board of Supervisors of New Britain Township this day of , 2024.

### New Britain Township Board of Supervisors

\_\_\_\_\_  
Cynthia M. Jones, Chairwoman

\_\_\_\_\_  
MaryBeth McCabe, Esq., Vice-Chair

\_\_\_\_\_  
William B. Jones

\_\_\_\_\_  
Stephanie Shortall, Esq.

\_\_\_\_\_  
Bridget Kunakorn

\_\_\_\_\_  
Dan Fox  
Township Manager

**PROMULGATION**

THIS PLAN WAS ADOPTED BY THE BOARD OF SUPERVISORS OF NEW BRITAIN  
TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA, IN ACCORDANCE WITH  
RESOLUTION NO. DATED

IT SUPERCEDES ALL PREVIOUS PLANS.

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Cynthia Jones, Chairwoman

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Dan Fox  
Township Manager



# MEMO

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TO: Board of Supervisors  
FROM: Dan Fox  
DATE: 6/14/24  
RE: BOS Mtg. 6/17 Agenda Item 6.J- Support Grant Application/Trees- Giant

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Background – Giant has announced a Grant as part of their Keeping Pennsylvania Beautiful Program, the Township's Environmental Advisory Council is applying for the grant and is asking for the Township's support and permission to plant trees on Township property if the Grant is awarded.

Staff Recommendation – Approve the Township issuing a letter of support and permitting the trees to be planted in areas approved by the Township.



## 2024 HEALING THE PLANET GRANT PROGRAM GUIDELINES

### THE HEALING THE PLANET GRANT PROGRAM

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The Healing the Planet Grant Program, funded by the GIANT Company, aims to invest in tree plantings across The GIANT Company's operating areas in Pennsylvania. Trees provide numerous benefits to the environment, water and air quality as well as health benefits and an enhanced overall quality of life for all Pennsylvanians. Applications will be accepted for up to \$4,000. A list of criteria for eligible projects can be found below. Applications will be accepted online only from **June 1, 2024 until July 1, 2024 at 4:00 PM EST.**

### GRANT/PROJECT ELIGIBILITY

---

- Applicants can be any tax-exempt organization including nonprofit organizations, conservation districts, schools, churches, local and county governments, etc. EIN must be provided.
- Eligible projects must be located in areas where The GIANT Company operates stores within Pennsylvania. Applicants can reside outside of the target locations but the project **MUST** be in the below locations. **NO EXCEPTIONS WILL BE MADE.**  
**Pennsylvania:** Adams, Berks, Blair, Bucks, Carbon, Centre, Chester, Clearfield, Columbia, Cumberland, Dauphin, Delaware, Fayette, Franklin, Fulton, Huntingdon, Indiana, Lackawanna, Lancaster, Lebanon, Lehigh, Luzerne, Lycoming, Mifflin, Monroe, Montgomery, Montour, Northampton, Perry, Philadelphia, Schuylkill, Snyder, Union and York counties.
- Eligible projects must be shovel ready with any required permits already secured. Eligible projects include tree planting and direct costs relating to tree planting. All applicants must have prior successful tree planting experience.
- All trees planted **MUST** be native to Pennsylvania. For information, please visit the wealth of tree information that can be found from the 10 Million Trees in PA campaign - <https://tenmilliontrees.org/about/how/resources/>.
- Eligible expenses include but are not limited to trees native to Pennsylvania, equipment, tree signage, tools and supplies. Shipping costs are also eligible for support. Preference will be given to applications that plant the highest number of trees so it's recommended to minimize costs for expense that are other than trees.
- Non-eligible projects include but are not limited to: Projects that do not have a direct result of planting trees.
- Non-eligible expenses include, but are not limited to admin costs, staff time, planning/permitting costs, or any cost that is not directly related to planting trees.

### GRANT/PROJECT REQUIREMENTS

---

- Eligible projects must be on public land or be for public use and benefit.
- Keep Pennsylvania Beautiful encourages community match. Match is preferred but **not** required.

### GRANT TIMELINE

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1. Grant will open on **June 1, 2024**. Online submissions only. No applications will be accepted by post or email.
2. All grant applications and supplemental information will be accepted until **July 1, 2024, at 4:00 PM EST.** No exceptions.
3. Grant winners will be announced in **August 2024**. All applicants will be informed of their application outcome at this time. All decisions of the grant committee are final. After announcement, winners will receive a contract with grant terms. Payment will be sent upon receipt of the signed contract.

4. Projects must be completed by **November 30, 2024**.
5. A completed final report including photos must be submitted by **December 13, 2024**.

This is a competitive grant program with intent to provide support for diverse community improvement projects across The GIANT Company's operating area in Pennsylvania. Please fill out the online application at <https://www.keppabeautiful.org/grants-awards/grants/healing-the-planet-grant/healing-the-planet>.

## REVIEW AND SELECTION PROCESS

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All applications will be reviewed and scored by a grants committee. Grant winners will be announced in **August 2024**. All applicants will be informed of their application outcome at this time. All decisions of the grant committee are final.

## GRANT MANAGEMENT/ACKNOWLEDGEMENT

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All organizations awarded will be asked to sign an agreement with Keep Pennsylvania Beautiful, outlining requirements and expectations. The grant agreement will outline all project requirements that will be submitted at the end of the grant period in an online format. Photos will also be required. Keep Pennsylvania Beautiful will provide each awardee with a sample release template and requirements for appropriate and agreed upon recognition of The GIANT Company and Keep Pennsylvania Beautiful. Recognition could include local press releases, inclusion in educational materials, and or signage. All items are to be approved by Keep Pennsylvania Beautiful and The GIANT Company prior to release of such materials.

## CONTACT/GRANT QUESTIONS

---

For grant questions and guidance regarding eligible projects, please contact Heidi Pedicone, Director of Programs for Keep Pennsylvania Beautiful at [hpedicone@keppabeautiful.org](mailto:hpedicone@keppabeautiful.org) or 724-836-4121 x 109.

## ABOUT KEEP PENNSYLVANIA BEAUTIFUL

---

The mission of Keep Pennsylvania Beautiful (KPB) is empowering Pennsylvanians to keep our communities clean and beautiful. KPB's vision is a clean and beautiful Pennsylvania. The organization believes:

1. Improving communities, their environment and quality of life is a shared responsibility.
2. Partnering with public and private sector organizations and individuals are essential to achieve sustainable community improvement.
3. Engaging and activating people in our community improvement efforts fosters community stewardship.
4. Access to both services and resources, as well as education, are both essential to encouraging positive behaviors toward community improvement.
5. Diversity is a resource and the diversity of our affiliate network and volunteers is a fundamental strength.

Since 1990, KPB has been working with a diverse grassroots network of affiliates, community partners, and community volunteers to clean up forests, parks, roadways, city blocks, greenways, and waterways across Pennsylvania – and to keep them clean. The organization uses a comprehensive, action-oriented approach to engage and empower stakeholders to become community stewards via hundreds of dedicated adoption coordinators and thousands of community partners through the Pick Up Pennsylvania Program, with more than 120,000 volunteers annually participating in 5,000-7,000 events. With this extensive base of grassroots volunteers and local support, KPB is a leader in addressing illegal dumping and littering, not only across the state but also across the nation.

As a statewide affiliate of Keep America Beautiful, KPB works with communities to foster better, long-lasting waste management solutions and individual behavioral change. To date, KPB affiliates and volunteers have collectively:

- Cleaned 158,528,181 pounds of trash from Pennsylvania's communities, parks, streams, trails, and roadsides;
- Properly disposed of 1,159,712 tires; and
- Engaged more than 2,806,697 volunteers, with a value of more than \$241,952,968 worth of volunteer time dedicated to improving our communities.

## ABOUT THE GIANT COMPANY

---

The GIANT Company believes that no matter where or how, when meals happen, families connect, and when families connect meaningfully, good happens. Guided by its brand platform, For Today's Table®, the omnichannel retailer proudly serves millions of neighbors across Pennsylvania, Maryland, Virginia, West Virginia, and New Jersey. With more than 35,000 talented team members supporting 193 stores, 132 pharmacies, 107 fuel stations, and over 180 online pickup hubs and grocery delivery service in hundreds of zip codes, The GIANT Company is changing the customer experience and connecting families for a better future. Founded in 1923 in Carlisle, Pa., The GIANT Company family of brands includes GIANT, MARTIN'S, GIANT Heirloom Market, GIANT Direct and MARTIN'S Direct. The GIANT Company is a company of Ahold Delhaize USA. For more information, visit the [GIANT](#) or [MARTIN'S](#) websites.





## 2024 HEALING THE PLANET GRANT FREQUENTLY ASKED QUESTIONS

### WHAT TYPES OF PROJECTS AND EXPENSES ARE ELIGIBLE?

---

- Eligible projects must be shovel ready with any required permits already secured. Eligible projects include tree planting and direct costs relating to tree planting. All applicants must have prior successful tree planting experience.
- All trees planted **MUST** be native to Pennsylvania. For information, please visit the wealth of tree information that can be found from the 10 Million Trees in PA campaign - <https://tenmilliontrees.org/about/how/resources/>.
- Eligible expenses include but are not limited to trees native to Pennsylvania, equipment, tree signage, tools and supplies. Shipping costs are also eligible for support. Preference will be given to applications that plant the highest number of trees so it's recommended to minimize costs for expenses that are other than trees.

### WHAT TYPES OF PROJECTS AND EXPENSES ARE **NOT** ELIGIBLE?

---

- Non-eligible projects include but are not limited to: Projects that do not have a direct result of planting trees.
- Non-eligible expenses include, but are not limited to: Admin costs, staff time, planning/permitting costs, or any cost that is not directly related to planting trees.

### CAN I MAIL IN MY APPLICATION?

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No. Only online submissions will be accepted, and the form will be open from **June 1, 2024, until July 1, 2024, at 4:00 PM EST**. Sorry, no applications will be accepted by post or email.

### CAN I APPLY FOR A \$1,000 GRANT?

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Yes. Any grant amount less than or equal to \$4,000 is eligible.

### CAN MY APPLICATION INCLUDE PRE-INCURRED EXPENSES?

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No expenses occurring in the past are eligible. All project expenses must occur during the project timeframe of August 2024 (award date) to November 30, 2024.

### MY ORGANIZATION DOES WORK IN WASHINGTON COUNTY, PA. CAN I APPLY?

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No. Eligible projects must be located in areas where The GIANT Company operates stores within Pennsylvania. Applicants can reside outside of the target locations but the project **MUST** be in the below locations. **NO EXCEPTIONS WILL BE MADE.**

**Pennsylvania:** Adams, Berks, Blair, Bucks, Carbon, Centre, Chester, Clearfield, Columbia, Cumberland, Dauphin, Delaware, Fayette, Franklin, Fulton, Huntingdon, Indiana, Lackawanna, Lancaster, Lebanon, Lehigh, Luzerne, Lycoming, Mifflin, Monroe, Montgomery, Montour, Northampton, Perry, Philadelphia, Schuylkill, Snyder, Union and York counties.

## CAN MY TOWNSHIP APPLY FOR A GRANT?

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Yes. Applicants can be any tax-exempt organization including nonprofit organizations, conservation districts, schools, religious organizations, local and county governments, etc. EIN must be provided.

## WHAT CAN I USE AS MATCH FUNDS?

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Eligible items that can be used as match funds include, but are not limited to: committed cash funds towards the project, in-kind donations, staff time, and volunteer hours (hourly rate from The Independent Sector <https://independentsector.org/resource/value-of-volunteer-time/>). Keep Pennsylvania Beautiful encourages community match. Match is preferred but **not** required.

## CAN I APPLY FOR MORE THAN ONE PROJECT?

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No. Each organization can only apply for one project.

## WHAT IF MY PROJECT WILL TAKE PLACE IN MORE THAN ONE COUNTY?

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You can still submit one application for the whole project or combine multiple projects into one application, as long as all of the work areas will be in Pennsylvania counties where The GIANT Company operates stores. For the county selection questions on the application, please enter whichever county is the primary. Then, in the project location and project description boxes include details for all locations. For any areas that are not owned or managed by your agency/organization, please make sure to also include landowner letters of support.

## CONTACT/GRANT QUESTIONS

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For grant questions and guidance regarding eligible projects, please contact Heidi Pedicone, Director of Programs for Keep Pennsylvania Beautiful at [hpedicone@keepbeautiful.org](mailto:hpedicone@keepbeautiful.org) or 724-836-4121 x 109.

# MEMO



**TO:** Board of Supervisors & Dan Fox, Township Manager  
**FROM:** Ryan Cressman, Superintendent of Public Works  
**DATE:** June 14, 2023  
**RE:** 2024-2025 Fuel Bids

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On June 12, 2024 fuel bids were opened by the Bucks County Consortium hosted by Northampton Township. A total of 7 bids were received.

Riggins, Inc. was low bidder for Unleaded Regular and Ultra-Low Sulfur Diesel Fuel. Bids are based on the OPIS exchange price at delivery plus a delivery cost.

The delivery cost per gallon is as follows:

Regular Unleaded Gasoline \$0.1790  
Ultra-Low Sulfur Diesel Fuel \$0.3190

**Staff Recommendation:** Award the lowest qualified bidder, Riggins Inc., the Unleaded Regular and Ultra-Low Sulfur Diesel Fuel.

Colonial Oil Industries was low bidder for #2 Heating Oil. Bids are based on the OPIS exchange price at delivery plus a delivery cost.

The delivery cost per gallon is as follows:

#2 Heating Oil \$0.4218

**Staff Recommendation:** Award the lowest qualified bidder, Colonial Oil Industries, Inc., the #2 Heating Oil.

Bucks County Consortium  
2024 Fuel Bid Summary

Product	Colonial Oil Industries, Inc	Petroleum Traders Corp	Pilot Thomas Logistics	Riggins, Inc	Sprague Operating Resources, LLC	Sunoco LP	Wilson Of Wallingford
5,999 or Less Gallons							
Unleaded Regular	\$0.3353	No Bid	\$0.2252	\$0.1790	\$0.4693	\$0.7500	No Bid
Premium Unleaded	\$0.3353	No Bid	\$0.3815	\$0.0280	\$0.4713	\$0.7500	No Bid
#2 Heating Oil	\$0.4218	No Bid	No Bid	\$0.4900	\$0.5228	\$1.5000	\$0.4500
Ultra-Low Sulfur Diesel	\$0.3568	No Bid	\$0.3218	\$0.3190	\$0.3501	\$0.7500	No Bid
Off-Road Ultra-Low Sulfur	\$0.3618	No Bid	\$0.5535	\$0.3440	\$0.3541	\$0.7500	No Bid
6000 Gallons or Greater							
Unleaded Regular	\$0.0625	-\$0.0111	-\$0.0285	-\$0.0070	\$0.2401	\$0.0297	No Bid
Premium Unleaded	\$0.0625	-\$0.1397	-\$0.0285	-\$0.1150	\$0.2421	\$0.0297	No Bid
#2 Heating Oil	\$0.0882	\$0.0621	No Bid	\$0.0440	\$0.2170	\$1.0000	\$0.4500
Ultra-Low Sulfur Diesel	\$0.0747	\$0.0339	\$0.0281	\$0.0490	\$0.1109	\$0.0297	No Bid
Off-Road Ultra-Low Sulfur	\$0.0797	No Bid	No Bid	\$0.0490	\$0.1149	\$0.0297	No Bid
Propane, 999 or Less Gallons							
Propane	No Bid	No Bid	No Bid	No Bid	\$200.0000	No Bid	\$0.5500
Propane, 1000 Gallons or Greater							
Propane	No Bid	No Bid	No Bid	No Bid	\$200.0000	No Bid	\$0.5500

# MEMO



**TO:** Board of Supervisors  
**FROM:** Kristin Carpenter, Director of Finance  
**DATE:** 06/14/2024  
**RE:** Department Report

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As of May 31, 2024, The Township's financial performance highlights are as follows:

Overall, the Township Fund performance is on track with budget. In addition, revenues and expenditures are consistent with May 2023.

#### Financial Highlights are

##### *Revenues*

- Collection of real estate (current) taxes is 93% of budget
- Collection of earned income taxes is on track with budget
- Collection of real estate (transfer) taxes is slightly behind budget, however is inline with prior year activity

##### *Expenditures*

- Expenditures are tracking inline with the Budget for 5 months year to date. In addition the performance is similar to the prior year's 5 months year to date.
- Budgeted projects, such as, the Road Program, Brittany Farms Streambank and North Park's Trail are not underway. In addition, three vehicle purchases have been delivered but not paid.

##### *Investments*

**Penn Community:** The Township will invest \$5.1 million in 6 months and 1 year CDs

**Univest:** The Township will invest \$1.4 million in a money market

##### *Future Developments*

In coordination with Township Management, Finance Department is developing Financial Reports by improving the presentation for decision making.

Account Range: First to Last  
Exclude Accounts with Zero Balance and No Activity: Y

Date Range: 05/01/24 to 05/31/24  
Class Id: 100

Account No	Description	Type	Begin Balance	Debit	Credit	Net	End Balance
01-100-000	GENERAL FUND CHECKING	A	69,109.77 Db	1,157,382.14	849,354.28	308,027.86 Db	377,137.63 Db
01-102-000	TREASURY CHECKING	A	1,726.24 Db	1.46		1.46 Db	1,727.70 Db
01-105-000	PAYROLL CHECKING	A	2,330.90 Cr	981,890.35	965,308.68	16,581.67 Db	14,250.77 Db
01-106-000	MONEY MARKET	A	1,675,229.63 Db	758,201.48	1,206,145.50	447,944.02 Cr	1,227,285.61 Db
01-107-000	PLGIT PROCUREMENT CARD	A	15,067.98 Db	25,136.09	2,669.76	22,466.33 Db	37,534.31 Db
01-107-001	GENERAL FUND PLGIT	A	510.54 Db	2.21		2.21 Db	512.75 Db
01-110-000	CASH - PETTY CASH	A	951.37 Db				951.37 Db
	Fund Totals		1,760,264.63 Db	2,922,613.73	3,023,478.22	100,864.49 Cr	1,659,400.14 Db
	Fund Balance Totals			1,659,400.14	0.00		
02-106-000	STREET LIGHT FUND MONEY MARKET	A	132,696.92 Db	7,603.80	1,340.17	6,263.63 Db	138,960.55 Db
	Fund Totals		132,696.92 Db	7,603.80	1,340.17	6,263.63 Db	138,960.55 Db
	Fund Balance Totals			138,960.55	0.00		
03-106-000	FIRE TAX FUND MONEY MARKET	A	323,561.37 Db	30,288.18	55,994.84	25,706.66 Cr	297,854.71 Db
03-106-100	AMBULANCE TAX FUND	A	69,496.58 Db	11,914.49	1,740.56	10,173.93 Db	79,670.51 Db
	Fund Totals		393,057.95 Db	42,202.67	57,735.40	15,532.73 Cr	377,525.22 Db
	Fund Balance Totals			377,525.22	0.00		
04-106-000	LAND PRESERVATION MONEY MARKET	A	1,428.41 Db	4.85		4.85 Db	1,433.26 Db
04-106-001	NRT OPN EIT FUNDS	A	4,395,077.17 Db	131,048.58	74.36	130,974.22 Db	4,526,051.39 Db
04-107-000	LAND PRESERVATION PLGIT	A	1,225.69 Db	5.31		5.31 Db	1,231.00 Db
04-107-001	OPN/EIT PLGIT	A	2,531.83 Db	10.97		10.97 Db	2,542.80 Db
	Fund Totals		4,400,263.10 Db	131,069.71	74.36	130,995.35 Db	4,531,258.45 Db
	Fund Balance Totals			4,531,258.45	0.00		
07-102-501	PARK/REC RECREATION LAND ACCT	A	996,343.83 Db	3,349.98	234,323.12	230,973.14 Cr	765,370.69 Db
07-106-000	PARK & RECREATION MONEY MARKET	A	366,600.78 Db	193,279.00		193,279.00 Db	559,879.78 Db
07-106-100	VETERANS MEMORIAL ACCOUNT	A	99,170.02 Db				99,170.02 Db
	Fund Totals		1,462,114.63 Db	196,628.98	234,323.12	37,694.14 Cr	1,424,420.49 Db
	Fund Balance Totals			1,424,420.49	0.00		

Account No	Description	Type	Begin balance	Debit	Credit	Net	End balance
15-102-800	ACCRUED LEAVE ACCOUNT	A	261,453.34 00	106.08		106.08 00	261,559.42 00
15-102-900	EMST RESERVE ACCOUNT	A	1,869.03 00	6.34		6.34 00	1,875.37 00
15-106-300	GENERAL FD YEAR END RESERVE ACCT	A	1,731,848.68 00	5,867.46		5,867.46 00	1,737,716.14 00
15-107-000	GENERAL RESERVE PLGIT	A	1,478.89 00	6.41		6.41 00	1,485.30 00
	Fund Totals		1,996,649.94 00	5,986.29		5,986.29 00	2,002,636.23 00
	Fund Balance Totals			2,002,636.23	0.00		
18-102-901	SEWAGE MAINTENANCE FEE ACCT	A	28,676.27 00	97.15		97.15 00	28,773.42 00
18-102-902	STORMWATER MAINTENANCE FEES	A	624,698.48 00	2,116.46		2,116.46 00	626,814.94 00
18-106-000	MONEY MARKET ACCOUNT	A	541,315.56 00	28,180.19	26,888.31	1,291.88 00	542,607.44 00
18-106-001	CAPITAL LOAN PROCEEDS	A	211,421.88 00	85.78		85.78 00	211,507.66 00
18-106-002	2020 CAPITAL SINKING FUND	A	310,807.20 00	1,053.01		1,053.01 00	311,860.21 00
	Fund Totals		1,716,919.39 00	31,532.59	26,888.31	4,644.78 00	1,721,563.67 00
	Fund Balance Totals			1,721,563.67	0.00		
20-106-000	MONEY MARKET ACCOUNT	A	422,891.16 00	24,791.21		24,791.21 00	447,682.37 00
20-106-001	2005 DWRFA/P.WKS.ACCT	A	505,808.34 00	29,145.19	266.69	28,878.50 00	534,686.84 00
	Fund Totals		928,699.50 00	53,936.40	266.69	53,669.71 00	982,369.21 00
	Fund Balance Totals			982,369.21	0.00		
30-106-000	MONEY MARKET	A	384,689.11 00	12,977.55	45,774.74	32,797.19 Cr	351,891.92 00
	Fund Totals		384,689.11 00	12,977.55	45,774.74	32,797.19 Cr	351,891.92 00
	Fund Balance Totals			351,891.92	0.00		
35-100-000	CHECKING ACCOUNT	A	1,032,418.37 00	3,502.50	9,662.50	6,160.00 Cr	1,026,258.37 00
	Fund Totals		1,032,418.37 00	3,502.50	9,662.50	6,160.00 Cr	1,026,258.37 00
	Fund Balance Totals			1,026,258.37	0.00		
60-109-100	INVESTMENTS/CUSTODIAN	A	12,439,629.37 00				12,439,629.37 00
	Fund Totals		12,439,629.37 00				12,439,629.37 00
	Fund Balance Totals				0.00		
65-109-100	INVESTMENTS/CUSTODIAN	A	5,822,637.57 00				5,822,637.57 00

Account No	Description	Type	Begin balance	Debit	Credit	Net	End balance
	Fund Totals		5,822,637.57 00	5,822,637.57	0.00		5,822,637.57 00
	Fund Balance Totals						
90-106-000	MONEY MARKET	A	746,993.90 00	52,909.71	109,815.57	56,905.86 Cr	690,088.04 00
90-106-400	NBBP ROADS/TRAFFIC ESCROW	A	308.86 00	1.05		1.05 00	309.91 00
90-106-401	KEMA-POWERTEST LLC	A	1,262.09 00	4.28		4.28 00	1,266.37 00
90-106-700	PINE VALLEY CROSSING ASSOCIATES, LP	A	2,106.16 00				2,106.16 00
90-106-920	ESTATES AT PEACE VALLEY	A	6,359.41 00	0.13		0.13 00	6,359.54 00
90-106-950	HIGHPOINT TRAFFIC SIGNAL ESCROW	A	69,242.93 00	234.59		234.59 00	69,477.52 00
90-106-981	METROPOLITAN DEVELOPMENT GROUP	A	124.34 00	0.42		0.42 00	124.76 00
90-106-991	CVS FINANCIAL SECURITY ESCROW	A	13,296.38 00	45.05		45.05 00	13,341.43 00
90-106-992	NBBP LOT 168 ESCROW	A	2,369.40 00	8.04		8.04 00	2,377.44 00
90-106-993	CLR/NBB IMPROVEMENTS	A	70,480.16 00	238.79		238.79 00	70,718.95 00
90-106-994	RT 202 CAPITAL IMPROVEMENTS	A	107,311.84 00	363.57		363.57 00	107,675.41 00
90-106-999	THE RESERVE AT NEW BRITAIN	A	21,786.46 00	73.81		73.81 00	21,860.27 00
	Fund Totals		1,041,641.93 00	53,879.44	109,815.57	55,936.13 Cr	985,705.80 00
	Fund Balance Totals			985,705.80	0.00		
Total Accounts ==>			44				
	Report Totals		33,511,682.41 00	3,461,933.66	3,509,359.08	47,425.42 Cr	33,464,256.99 00
	Report Balance Totals			33,464,256.99	0.00		



New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-301-100	REAL ESTATE CURRENT YEAR	1,186,332.57	1,126,542.30	1,201,714.00	1,126,542.30	-75,171.70	93.74	
01-301-200	REAL ESTATE-PRIOR YEAR	3,534.29	213.04	4,000.00	213.04	-3,786.96	5.33	
01-301-400	REAL ESTATE - DELINQUENT	17,712.50	5,639.11	20,000.00	5,639.11	-14,360.89	28.20	
01-301-600	REAL ESTATE - INTERIM	2,001.53	324.83	2,000.00	324.83	-1,675.17	16.24	
01-310-100	REAL ESTATE TRANSFER TAX-NEW	0	6,700.00	50,000.00	6,700.00	-43,300.00	13.40	
01-310-101	R.E. TRANSFER TAX-RESALES	878,310.57	144,994.04	450,000.00	144,994.04	-305,005.96	32.22	
01-310-210	EARNED INCOME TAX	2,676,245.08	1,466,536.25	3,325,000.00	1,466,536.25	-1,858,463.75	44.11	
01-310-220	LST TAXES	94,976.06	58,443.11	130,000.00	58,443.11	-71,556.89	44.96	
01-321-800	CABLE TV FRANCHISE FEE	208,800.89	112,682.39	240,000.00	112,682.39	-127,317.61	46.95	
01-322-800	ROAD OPENING PERMITS	7,231.50	2,368.50	5,000.00	2,368.50	-2,631.50	47.37	
01-331-100	DISTRICT COURT FINES	9,155.31	5,374.32	15,000.00	5,374.32	-9,625.68	35.83	
01-331-110	VEHICLE CODE VIOLATIONS	4,849.83	2,891.91	8,000.00	2,891.91	-5,108.09	36.15	
01-331-120	TOWNSHIP ORDINANCE FINES	0	0	100.00	0	-100.00	0.00	
01-331-130	STATE POLICE FINES	5,496.01	0	5,000.00	0	-5,000.00	0.00	
01-341-000	INTEREST EARNINGS	17,525.76	16,662.93	150,000.00	16,662.93	-133,337.07	11.11	
01-341-401	OVER COUNTER SALES	1,774.98	470.23	0.00	470.23	470.23	0.00	
01-342-100	FARMLAND LEASES	1,500.00	400.00	0.00	400.00	400.00	0.00	
01-342-200	BLDG RENT & WB CELL TOWER	600.00	0	600.00	0	-600.00	0.00	
01-342-201	CELL TOWER LEASE/N. BRANCH	59,363.52	14,399.22	26,000.00	14,399.22	-11,600.78	55.38	
01-352-530	Federal Entitlements to Governmental Units	729,353.00	254.39	0.00	254.39	254.39	0.00	
01-354-000	RECYCLING GRANT	23,834.37	0	26,000.00	0	-26,000.00	0.00	
01-355-010	PUBLIC UTILITY TAXES	4,434.70	0	0.00	0	0.00	0.00	
01-355-080	LIQUOR LICENSES	1,200.00	1,800.00	0.00	1,800.00	1,800.00	0.00	
01-355-120	STATE AID PENSION PLANS	124,146.46	0	100,000.00	0	-100,000.00	0.00	
01-355-130	FOREIGN FIRE INSURANCE	108,369.77	0	86,000.00	0	-86,000.00	0.00	
01-355-141	OVERTIME REIMBURSEABLES	25,952.35	146.88	40,000.00	146.88	-39,853.12	0.37	
01-355-150	FEMA/PEMA AID	0.00	0	69,000.00	0	-69,000.00	0.00	
01-361-300	ZONING SUBDIVISION FILING FEES	17,652.00	9,550.00	2,000.00	9,550.00	7,550.00	477.50	
01-361-330	ZONING PERMITS	15,717.90	6,625.00	10,000.00	6,625.00	-3,375.00	66.25	

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-361-340	ZONING HEARING BOARD	23,800.00	6,000.00	10,000.00	6,000.00	-4,000.00	60.00	
01-362-100	MISC. CHARGES AND FEES	0	45.00	0.00	45.00	45.00	0.00	
01-362-140	POLICE & ACCIDENT REPORTS	11,995.00	6,741.00	13,000.00	6,741.00	-6,259.00	51.85	
01-362-410	BUILDING PERMITS	108,844.41	56,344.59	100,000.00	56,344.59	-43,655.41	56.34	
01-362-420	ELECTRICAL PERMITS	47,087.50	22,319.50	40,000.00	22,319.50	-17,680.50	55.80	
01-362-430	PLUMBING/MECHANICAL PERMITS	63,972.32	24,698.47	50,000.00	24,698.47	-25,301.53	49.40	
01-362-450	OCCUPANCY PERMITS - NEW CONST	750.00	5,075.00	1,500.00	5,075.00	3,575.00	338.33	
01-362-451	OCCUPANCY - RESALES	14,845.00	7,620.00	20,000.00	7,620.00	-12,380.00	38.10	
01-362-452	FIRE SAFETY INSPECTIONS	185.00	0	500.00	0	-500.00	0.00	
01-362-460	WELL PERMITS	150.00	175.00	500.00	175.00	-325.00	35.00	
01-362-462	PA UCC STATE FEE/PERMITS	1,602.00	580.50	2,000.00	580.50	-1,419.50	29.03	
01-380-000	MISC REVENUE	12,488.33	14,129.82	500.00	14,129.82	13,629.82	2,825.96	
01-380-050	ESCROW ADMINISTRATION FEE	38,374.65	0	30,000.00	0	-30,000.00	0.00	
01-380-100	EMPLOYEE MEDICAL PREMIUM CONTRIBUTION	0	0.00	14,720.00	0.00	-14,720.00	0.00	
01-387-000	DEVELOPERS CONTRIBUTIONS	0	200.00	0.00	200.00	200.00	0.00	
01-391-100	SALES OF ASSETS/VEH,EQUIP,ETC	62,100.00	0	0.00	0	0.00	0.00	
01-391-200	MUNICIPAL SALES	6,011.00	76.00	0.00	76.00	76.00	0.00	
01-393-990	ESTIMATED BEGINNING CASH BALANCE	0	0	1,487,687.00	0	-1,487,687.00	0.00	
01-394-000	REFUND OF PRIOR YEAR EXPENSE	109,404.91	0	10,000.00	0	-10,000.00	0.00	
01-399-000	CANCELLED PRIOR YEAR EXPENDITURES	2,385.81	0	0.00	0	0.00	0.00	
<b>01 GENERAL FUND: Revenue Total</b>		<b>6,730,066.88</b>	<b>3,127,023.33</b>	<b>7,745,821.00</b>	<b>3,127,023.33</b>	<b>-4,618,797.67</b>		
01-000-000	GENERAL FUND:	0	0	0	0	0	0.00	
01-400-000	GOVERNING BODY:	0	0	0	0	0	0.00	
01-400-110	SALARY - BOARD OF SUPERVISORS	15,601.51	6,770.75	16,250.00	6,770.75	9,479.25	41.67	
01-400-150	MEDICAL/DENTAL/LIFE/RX INSURANCE	125,885.50	59,360.54	135,847.00	59,360.54	76,486.46	43.70	
01-400-161	FICA/MEDICARE/GOVT	17,739.69	7,168.25	19,328.00	7,168.25	12,159.75	37.09	
01-400-162	UNEMPLOYMENT PREMIUM ADMIN	5,307.00	0	3,026.00	0	3,026.00	0.00	
01-400-210	MATERIALS/SUPPLIES	8,526.45	9,825.12	14,000.00	9,825.12	4,174.88	70.18	

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-400-300	GENERAL ADMIN EXPENSE	39,693.03	14,085.07	25,000.00	10,914.93	56.34		
01-400-301	CODIFICATION EXPENSES	5,552.29	4,771.25	10,000.00	5,228.75	47.71		
01-400-319	TRAINING/ADMIN	0	5,733.02	0.00	-5,733.02	0.00		
01-400-320	TELEPHONE/COMMUNICATIONS	11,445.87	3,395.36	10,000.00	6,604.64	33.95		
01-400-330	VEHICLE EXPENSE/ADMIN	852.47	1,246.93	1,000.00	-246.93	124.69		
01-400-340	ADVERTISING/PRINTING	15,221.80	7,915.17	12,000.00	4,084.83	65.96		
01-400-352	LIABILITY/PROPERTY INSURANCE	40,618.82	23,020.10	46,040.00	23,019.90	50.00		
01-400-354	WORKER'S COMPENSATION/ADMIN	501.00	239.82	383.00	143.18	62.62		
01-400-740	MAJOR EQUIPMENT LEASE/PURCHASE	4,399.18	1,835.40	4,000.00	2,164.60	45.89		
01-400-741	COMPUTER SOFTWARE/LICENSES	72,978.15	49,486.30	65,000.00	15,513.70	76.13		
01-401-000	EXECUTIVE:	0	0	0	0	0.00		
01-401-120	SALARY - EXECUTIVE MANAGEMENT	210,555.76	86,931.09	236,407.00	149,475.91	36.77		
01-402-000	FINANCIAL ADMINISTRATION:	0	0	0	0	0.00		
01-402-130	SALARY - FINANCE	83,098.06	50,362.37	125,000.00	74,637.63	40.29		
01-402-131	SALARY/ADMIN ASST T.P.	0	8,078.21	0.00	-8,078.21	0.00		
01-402-161	FICA/MEDICARE-FINANCE	7,066.97	3,852.75	9,563.00	5,710.25	40.29		
01-402-300	PAYROLL SERVICES & ACCOUNTING	40,785.06	12,847.09	10,000.00	-2,847.09	128.47		
01-402-310	APPOINTED AUDITOR	23,000.00	19,000.00	30,000.00	11,000.00	63.33		
01-402-350	BONDING/SURETY	1,650.00	1,660.00	5,000.00	3,340.00	33.20		
01-403-000	TAX COLLECTION:	0	0	0	0	0.00		
01-403-110	SALARY-ELECTED TAX COLLECTOR	22,499.00	9,375.00	22,500.00	13,125.00	41.67		
01-403-161	FICA/MEDICARE/TAX	1,792.28	717.20	1,721.00	1,003.80	41.67		
01-403-319	REIMBURSEABLE EXPENSES	1,796.28	1,587.08	2,400.00	812.92	66.13		
01-403-370	EIT/EMST COLLECTOR	281.93	15,434.44	1,200.00	-14,234.44	1,286.20		
01-404-000	SOLICITOR/LEGAL SERVICES:	0	0	0	0	0.00		
01-404-101	SOLICITOR/LABOR	17,459.52	9,472.50	10,000.00	527.50	94.73		
01-404-310	SOLICITOR/GENERAL SERVICES	58,879.63	7,621.00	40,000.00	32,379.00	19.05		
01-405-000	SECRETARY/CLERK:	0	0	0	0	0.00		
01-405-140	WAGES/CLERICAL STAFF	105,309.88	43,038.36	164,288.00	121,249.64	26.20		

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-405-150	MEDICAL/DENTAL/LIFE/RX INSURANCE	42,494.79	23,633.42	103,485.00	79,851.58	22.84		
01-405-161	FICA/MEDICARE	7,768.56	3,292.41	12,568.00	9,275.59	26.20		
01-406-000	OTHER GENERAL GOVT ADMINISTRATION:	0	0	0	0	0.00		
01-407-000	IT-NETWORKING & DATA SERVICES:	0	0	0	0	0.00		
01-408-000	ENGINEERING SERVICES:	0	0	0	0	0.00		
01-408-100	GENERAL ENGINEERING	102,122.98	54,552.75	40,000.00	-14,552.75	136.38		
01-408-140	SPECIAL PROJECTS/ENGINEERING	250.85	0	0.00	0.00	0.00		
01-409-000	BUILDINGS & PLANT:	0	0	0	0	0.00		
01-409-319	SUPPLIES AND EQUIPMENT	0	440.57	0.00	-440.57	0.00		
01-409-360	UTILITIES	19,651.43	7,932.95	20,000.00	12,067.05	39.66		
01-409-370	BUILDING MAINTENANCE & REPAIRS	185,798.78	11,209.06	50,000.00	38,790.94	22.42		
01-410-000	POLICE:	0	0	0	0	0.00		
01-410-120	SALARY - POLICE MANAGEMENT	135,969.60	57,745.60	136,486.00	78,740.40	42.31		
01-410-130	WAGES - BARGAINING UNIT	1,426,771.20	607,901.59	1,632,376.00	1,024,474.41	37.24		
01-410-131	POLICE OVERTIME	132,415.02	54,893.55	150,000.00	95,106.45	36.60		
01-410-132	ACCRUED TIME EXPENSE	151,638.96	53,537.70	215,000.00	161,462.30	24.90		
01-410-133	EDUCATION INCENTIVE PAY	38,617.00	48,157.78	0.00	-48,157.78	0.00		
01-410-140	WAGES-CLERICAL STAFF FT	49,378.90	23,848.00	90,277.00	66,429.00	26.42		
01-410-150	SALARY - VEHICLE MAINTENANCE	337.40	0	0.00	0.00	0.00		
01-410-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	421,699.90	199,315.08	545,910.00	346,594.92	36.51		
01-410-160	CROSSING GUARD WAGES	6,654.24	4,101.19	12,782.00	8,680.81	32.09		
01-410-161	FICA/MEDICARE/POLICE	151,292.03	65,407.24	143,202.00	77,794.76	45.67		
01-410-162	UNEMPLOYMENT PREMIUM PD	0	0	3,026.00	3,026.00	0.00		
01-410-181	EDUCATION/TRAINING IN SERVICE	9,241.00	1,792.29	10,000.00	8,207.71	17.92		
01-410-200	MATERIALS & SUPPLIES/OFFICE	1,940.85	1,223.09	1,500.00	276.91	81.54		
01-410-210	MATERIALS & SUPPLIES/COMPUTERS	39,228.01	14,013.89	49,000.00	34,986.11	28.60		
01-410-223	TRAFFIC COUNTER	3,377.50	3,096.75	3,500.00	403.25	88.48		
01-410-224	FUELS/OIL	31,216.38	13,421.86	30,000.00	16,578.14	44.74		
01-410-226	COPIER EXPENSES	2,838.41	1,230.39	2,500.00	1,269.61	49.22		

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	Budgeted		2024	Budgeted		
01-410-240	FIREARMS & SUPPLIES	9,027.65	12,000.00	601.26	11,398.74	11,398.74	5.01	
01-410-241	UNIFORMS/VESTS	25,172.78	16,000.00	11,124.17	4,875.83	4,875.83	69.53	
01-410-250	GENERAL EXPENSE	13,552.25	3,000.00	1,833.66	1,166.34	1,166.34	61.12	
01-410-260	DARE PROGRAM	2,665.12	2,500.00	0	2,500.00	2,500.00	0.00	
01-410-310	LEGAL EXPENSE	19,180.91	15,000.00	11,672.78	3,327.22	3,327.22	77.82	
01-410-319	MATERIAL AND SUPPLIES/EQUIP	5,164.70	6,000.00	1,557.74	4,442.26	4,442.26	25.96	
01-410-320	COMMUNICATIONS	19,240.04	20,000.00	8,112.49	11,887.51	11,887.51	40.56	
01-410-340	PRINTING	1,430.00	1,500.00	682.37	817.63	817.63	45.49	
01-410-351	VEHICLE INSURANCE	11,393.92	12,915.00	6,457.32	6,457.68	6,457.68	50.00	
01-410-352	LAW ENFORCEMENT LIABILITY	44,192.24	50,091.00	25,045.28	25,045.72	25,045.72	50.00	
01-410-354	WORKERS COMPENSATION	63,016.00	56,733.00	30,165.64	26,567.36	26,567.36	53.17	
01-410-360	UTILITIES	15,972.22	20,000.00	9,003.29	10,996.71	10,996.71	45.02	
01-410-370	VEHICLE MAINT/REPAIRS-OUTSIDE	22,605.83	14,000.00	2,657.44	11,342.56	11,342.56	18.98	
01-410-371	CONTRACTED CLEANING	0	0.00	4,800.00	-4,800.00	-4,800.00	0.00	
01-410-390	C.E.R.T. TEAM	5,361.16	5,000.00	3,700.00	1,300.00	1,300.00	74.00	
01-410-420	PUBLICATIONS/SUBSCRIPTIONS	2,685.00	2,500.00	160.00	2,340.00	2,340.00	6.40	
01-410-440	UNIFORM CLEANING	11,200.00	12,800.00	12,800.00	0.00	0.00	100.00	
01-410-750	EQUIPMENT PURCHASES	24,162.72	41,000.00	40,168.29	831.71	831.71	97.97	
01-410-751	VEHICLE REPLACEMENTS	69,132.64	87,500.00	72,532.07	14,967.93	14,967.93	82.89	
01-410-760	RENOVATION TO POLICE DEPT	191,795.97	20,000.00	6,385.16	13,614.84	13,614.84	31.93	
01-410-761	DNA CONSORTIUM	3,000.00	3,500.00	3,000.00	500.00	500.00	85.71	
01-411-000	FIRE:	0	0	0	0	0	0.00	
01-411-100	EMS WORKERS COMP	606.00	508.00	290.10	217.90	217.90	57.11	
01-411-224	FIRE FUEL EXPENSE	6,959.91	7,500.00	2,740.02	4,759.98	4,759.98	36.53	
01-411-225	EMS FUEL EXPENSE	13,544.32	10,000.00	5,254.80	4,745.20	4,745.20	52.55	
01-411-230	RECRUITMENT/RETENTION INCENTIVE	7,500.00	15,000.00	0	15,000.00	15,000.00	0.00	
01-411-235	EMS CAPITAL CONTRIBUTION	0	15,000.00	15,000.00	0.00	0.00	100.00	
01-411-354	WORKERS COMP-FIRE CO SHARE	36,843.00	20,000.00	0	20,000.00	20,000.00	0.00	
01-411-380	FIRE HYDRANT RENTALS	38,022.07	33,500.00	21,461.40	12,038.60	12,038.60	64.06	

New Britain Township  
Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		YTD thru MAY	Budget/Excess/ Deficit	% of Budget
		2023	Anticipated/ Budgeted			
01-413-000	UCC & CODE ENFORCEMENT:	0	0	0	0	0.00
01-413-121	BLG INSPECTOR/CODE ENF OFFICIALS	167,825.23	172,767.00	64,278.66	108,488.34	37.21
01-413-122	OUTSIDE INSPECTIONS	26,630.00	25,000.00	12,030.00	12,970.00	48.12
01-413-151	MEDICAL/DENTAL/RX/LIFE/INSURANCE	32,210.47	59,405.00	15,117.90	44,287.10	25.45
01-413-161	FICA/MEDICARE-CODES	13,066.95	13,217.00	4,917.33	8,299.67	37.20
01-413-319	GENERAL EXPENSE AND TRAINING	873.00	0.00	0	0.00	0.00
01-413-330	VEHICLE EXPENSE	524.49	1,000.00	0	1,000.00	0.00
01-413-351	AUTO INSURANCE/ADMIN-INSPEC VEH.	684.60	776.00	387.98	388.02	50.00
01-413-352	LIABILITY INSURANCE	580.56	658.00	329.02	328.98	50.00
01-413-752	STATE PASS THRU FEE	1,071.00	2,000.00	0	2,000.00	0.00
01-414-000	PLANNING & ZONING:	0	0	0	0	0.00
01-414-140	ZONING OFFICER	135,955.30	103,500.00	44,290.44	59,209.56	42.79
01-414-141	ZONING HEARING BOARD	3,696.25	3,000.00	1,070.00	1,930.00	35.67
01-414-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	41,885.49	38,265.00	15,553.26	22,711.74	40.65
01-414-161	FICA/MEDICARE	10,718.58	7,918.00	3,348.86	4,569.14	42.29
01-414-310	LEGAL, PLNG & ZONING	48,938.00	35,000.00	20,111.00	14,889.00	57.46
01-414-313	ENGINEERING PLANNING/ZONING	23,183.75	15,000.00	8,126.25	6,873.75	54.18
01-414-352	LIABILITY INSURANCE	346.68	393.00	196.46	196.54	49.99
01-414-354	WORKERS COMPENSATION	351.00	318.00	168.02	149.98	52.84
01-415-000	EMERGENCY MANAGEMENT & COMMUNICATION:	0	0	0	0	0.00
01-415-100	EMERGENCY MANAGEMENT ADMIN EXP	10,400.00	20,000.00	2,700.00	17,300.00	13.50
01-427-000	SOLID WASTE COLLECTION & DISPOSAL:	0	0	0	0	0.00
01-427-010	SLID WASTE/HAZ WASTE COLLECTION	6,827.12	6,000.00	2,500.00	3,500.00	41.67
01-429-000	WASTEWATER COLLECTION & TREATMENT:	0	0	0	0	0.00
01-430-000	GENERAL SERVICES-ADMINISTRATION:	0	0	0	0	0.00
01-430-120	SALARY - MANAGEMENT	93,683.72	96,390.00	45,055.99	51,334.01	46.74
01-430-130	SALARY/BLDG MAINTENANCE	-1,070.00	0.00	8,892.01	-8,892.01	0.00
01-430-131	OT - PUBLIC WORKS	4,749.04	5,000.00	1,938.41	3,061.59	38.77
01-430-140	WAGES PUBLIC WORKS CREW	446,727.54	477,529.00	190,737.52	286,791.48	39.94

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-430-151	MEDICAL/DENTAL/RX/LIFE INSURANCE	178,768.98	78,681.06	172,924.00	94,242.94	45.50		
01-430-161	FICA/MEDICARE-PUBLIC WORKS	43,682.25	18,763.05	43,905.00	25,141.95	42.74		
01-430-241	UNIFORM EXPENSE	7,389.29	5,782.47	10,000.00	4,217.53	57.82		
01-430-300	GENERAL EXPENSE & TRAINING	0	229.82	0.00	-229.82	0.00		
01-430-320	COMMUNICATIONS/MAINT	13,085.87	3,815.91	10,000.00	6,184.09	38.16		
01-430-321	RADIO REPAIRS	0	0	1,000.00	1,000.00	0.00		
01-430-351	VEHICLE INSURANCE	15,978.38	9,055.52	18,111.00	9,055.48	50.00		
01-430-352	LIABILITY INSURANCE	3,368.40	1,909.00	3,818.00	1,909.00	50.00		
01-430-354	WORKERS COMPENSATION	33,663.00	16,114.42	26,763.00	10,648.58	60.21		
01-430-370	BUILDING MAINTENANCE	33,412.21	24,451.50	40,000.00	15,548.50	61.13		
01-432-000	WINTER MAINTENACE-SNOW REMOVAL:	0	0	0	0	0.00		
01-432-220	SNOW REMOVAL/CONTRACTORS	0	9,250.00	40,000.00	30,750.00	23.13		
01-432-221	SNOW REMOVAL/SALT	0	67,600.50	40,000.00	-27,600.50	169.00		
01-432-319	SNOW REMOVAL-OT PUBLIC WKS	0	0	10,000.00	10,000.00	0.00		
01-433-000	TRAFFIC CONTROL DEVICES:	0	0	0	0	0.00		
01-433-200	STREET SIGNS	7,021.19	5,854.70	20,000.00	14,145.30	29.27		
01-433-210	LINE PAINTING	22,453.21	0	30,000.00	30,000.00	0.00		
01-433-310	TRAFFIC SIGNAL MAINTENANCE	24,300.70	6,133.38	30,000.00	23,866.62	20.44		
01-433-361	TRAFFIC SIGNAL ELECTRIC	3,329.80	2,214.48	4,000.00	1,785.52	55.36		
01-434-000	STREET LIGHTING:	0	0	0	0	0.00		
01-434-300	STREET LIGHTING/GEN/NOT DISTRICT	6,892.61	5,262.50	9,000.00	3,737.50	58.47		
01-436-000	STORM SEWERS & DRAINS:	0	0	0	0	0.00		
01-436-300	STORM SEWERS & DRAINS	27,812.66	27,670.00	30,000.00	2,330.00	92.23		
01-436-367	NPDES COMPLIANCE	27,237.94	8,028.00	30,000.00	21,972.00	26.76		
01-436-400	DIRT & DEBRIS REMOVAL	6,325.92	3,152.00	10,000.00	6,848.00	31.52		
01-437-000	REPAIRS OF TOOLS & MACHINERY:	0	0	0	0	0.00		
01-437-300	VEHICLE REPAIRS	58,368.20	45,439.20	35,000.00	-10,439.20	129.83		
01-437-330	FUEL & OIL EQUIP	37,581.75	14,426.21	30,000.00	15,573.79	48.09		
01-437-360	HEAT AND UTILITIES	28,967.27	16,749.49	20,000.00	3,250.51	83.75		

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
01-438-000	MAINTENANCE & REPAIR OF ROADS & BRIDGES:	0	0	0	0	0	0	0.00
01-438-260	MINOR EQUIPMENT	3,762.95	3,294.39	5,000.00	0	1,705.61	65.89	
01-438-460	GENERAL EXPENSE	27,948.36	3,062.66	20,000.00	0	16,937.34	15.31	
01-438-710	MAJOR EQUIPMENT PURCHASE	309,923.68	193,115.00	200,000.00	0	6,885.00	96.56	
01-438-800	EQUIPMENT RENTALS	1,026.00	0	5,000.00	0	5,000.00	0.00	
01-438-820	PATCHING/CORE SAMPLES	11,760.06	1,931.98	10,000.00	0	8,068.02	19.32	
01-439-000	HIGHWAY CONTRUCTION & REBUILDING PROJEC	0	0	0	0	0	0.00	
01-439-320	PAVING/MILLING/RECYCLING	74,933.31	0	50,000.00	0	50,000.00	0.00	
01-439-330	DART TRANSPORTATION CONTRIBUTION	5,000.00	0	5,000.00	0	5,000.00	0.00	
01-452-000	PARTICIPANT RECREATION:	0	0	0	0	0	0.00	
01-454-312	NORTH BRANCH PARK EXP	0	0	112,500.00	0	112,500.00	0.00	
01-455-000	SHADE TREES:	0	0	0	0	0	0.00	
01-455-370	TREE MAINTENANCE	19,050.00	10,175.00	20,000.00	0	9,825.00	50.88	
01-471-000	DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00	
01-471-600	TAX ANTICIPATION NOTE/PRINCIPAL	4,492.38	3,620.99	0.00	0	-3,620.99	0.00	
01-472-000	DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00	
01-472-600	TAX ANTICIPATION NOTE/INTEREST	94.58	-77.63	0.00	0	77.63	0.00	
01-481-000	EMPLOYER PAID BENEFITS & WITHHOLDING ITE	0	0	0	0	0	0.00	
01-481-319	MISC. TAXES	5,461.27	1,337.35	5,600.00	0	4,262.65	23.88	
01-483-510	MMO PENSION PAYMENT	124,146.46	0	62,284.00	0	62,284.00	0.00	
01-486-000	INSURANCE,CASUALTY, & SURETY:	0	0	0	0	0	0.00	
01-486-157	HEALTH & VISION REIMBURSEMENTS	54,211.40	23,502.15	50,000.00	0	26,497.85	47.00	
01-486-158	FITNESS REIMBURSEMENT	2,990.60	250.00	2,000.00	0	1,750.00	12.50	
01-487-000	HEALTH INSURANCE BENEFIT:	0	0	0	0	0	0.00	
01-487-161	FICA/MEDICARE	0	0	3,750.00	0	3,750.00	0.00	
01-487-162	NON-UNIFORM TIME PAY OUT	38,571.21	116.48	50,000.00	0	49,883.52	0.23	
01-487-192	ORTHODONTIA REIMBURSEMENT	1,000.00	0	6,000.00	0	6,000.00	0.00	
01-487-502	457 MATCHING	32,940.00	8,000.00	36,000.00	0	28,000.00	22.22	
01-488-000	FIDUCIARY FUNDS BENEFIT & REFUND PAID:	0	0	0	0	0	0.00	



New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

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		2023	2024		2023	2024		
01-488-540	FIREMEN'S RELIEF DISTRIBUTION	108,369.77	0	86,000.00	0	86,000.00	0.00	
	<b>01 GENERAL FUND: Expend Total</b>	<b>7,037,807.80</b>	<b>7,251,903.00</b>	<b>3,073,443.30</b>	<b>4,178,459.70</b>			
02-341-000	INTEREST EARNINGS	3,858.30	10,500.00	3,787.53	-6,712.47	36.07		
02-383-000	STREET LIGHT ASSESSMENTS	37,620.00	37,550.00	35,660.00	-1,890.00	94.97		
02-393-990	ESTIMATED BEGINNING BALANCE	0	104,806.50	0	-104,806.50	0.00		
	<b>02 STREET LIGHTING FUND: Revenue Total</b>	<b>41,478.30</b>	<b>152,856.50</b>	<b>39,447.53</b>	<b>-113,408.97</b>			
02-403-000	TAX COLLECTION:	0	0	0	0	0.00		
02-403-110	SALARY-ELECTED	2,500.00	2,500.00	0	2,500.00	0.00		
02-403-120	TAX COLLECTOR FEE	0	191.00	0	191.00	0.00		
02-434-000	STREET LIGHTING:	0	0	0	0	0.00		
02-434-360	UTILITY EXPENSE	9,767.34	10,000.00	4,054.27	5,945.73	40.54		
02-471-100	PRINCIPAL PAYMENT/STREET LIGHT LOAN	20,931.48	0.00	689.72	-689.72	0.00		
02-472-100	INTEREST PAYMENT/STREET LIGHT LOAN	440.68	0.00	-14.79	14.79	0.00		
02-492-000	INTERFUND OPERATING TRANSFERS:	0	0	0	0	0.00		
02-492-102	TRANSFER TO ST.LT. CAPITAL RESERVE	0	4,001.00	0	4,001.00	0.00		
	<b>02 STREET LIGHTING FUND: Expend Total</b>	<b>33,639.50</b>	<b>16,692.00</b>	<b>4,729.20</b>	<b>11,962.80</b>			
03-301-100	FIRE REAL ESTATE TAXES	221,614.57	222,540.00	208,618.96	-13,921.04	93.74		
03-301-101	AMBULANCE REAL ESTATE TAXES	87,746.43	89,016.00	83,447.58	-5,568.42	93.74		
03-301-200	FIRE REAL ESTATE TAXES-PRIOR YEAR	1,068.74	500.00	27.92	-472.08	5.58		
03-301-201	AMBULANCE R.E. TAXES/PRIOR YEAR	60.41	250.00	9.96	-240.04	3.98		
03-301-400	FIRE R.E. DELINQUENT TAXES	976.23	100.00	1,051.83	951.83	1,051.83		
03-301-401	AMBULANCE/DELINQUENT TAXES	-937.28	100.00	417.71	317.71	417.71		
03-301-600	FIRE R.E. TAXES/INTERIM	351.43	100.00	60.15	-39.85	60.15		
03-301-601	AMBULANCE/INTERIM TAXES	148.27	50.00	24.07	-25.93	48.14		
03-301-990	FIRE EST. BEGINNING CASH BALANCE	0	260,000.00	0	-260,000.00	0.00		
03-301-991	AMBULANCE EST. BEG. CASH BALANCE	0	90,000.00	0	-90,000.00	0.00		

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
03-310-220	LST TAXES/FIRE FUND	60,023.17	29,221.29	65,000.00	29,221.29	-35,778.71	44.96	
03-310-221	LST TAXES/EMS	60,023.17	29,221.31	65,000.00	29,221.31	-35,778.69	44.96	
03-341-000	INTEREST EARNINGS	3,470.87	2,208.03	1,000.00	2,208.03	1,208.03	220.80	
03-341-001	INTEREST EARNINGS/EMS FUND	479.01	1,188.27	1,000.00	1,188.27	188.27	118.83	
03-393-990	FIRE ESTIMATED BEGINNING CASH BAL.	0	0	87,916.04	0	-87,916.04	0.00	
03-393-991	AMBULANCE/EST. BEGINNING CASH BAL.	0	0	76,177.38	0	-76,177.38	0.00	
<b>03 FIRE TAX FUND: Revenue Total</b>		<b>435,025.02</b>	<b>355,497.08</b>	<b>958,749.42</b>	<b>355,497.08</b>	<b>-603,252.34</b>		
03-403-000	TAX COLLECTION:	0	0	0	0	0	0.00	
03-403-370	EIT/EMST COLLECTOR-FIRE	0	0	200.00	0	200.00	0.00	
03-403-371	EIT/EMST COLLECTOR-EMS	0	0	200.00	0	200.00	0.00	
03-411-000	FIRE:	0	0	0	0	0	0.00	
03-411-500	CONTRIBUTIONS TO FIRE COMPANIES	221,933.00	19,489.72	222,540.00	19,489.72	203,050.28	8.76	
03-411-501	LST CONTRIBUTION	120,000.00	58,042.60	130,000.00	58,042.60	71,957.40	44.65	
03-411-502	CONTRIBUTIONS TO EMS PROVIDERS	88,773.00	7,791.66	89,016.00	7,791.66	81,224.34	8.75	
<b>03 FIRE/AMBULANCE TAX FUND Expend Total</b>		<b>430,706.00</b>	<b>85,323.98</b>	<b>441,956.00</b>	<b>85,323.98</b>	<b>356,632.02</b>		
04-301-100	REAL ESTATE TAXES/CURRENT	117,785.03	0	0.00	0	0.00	0.00	
04-310-210	EARNED INCOME TAX	627,143.34	350,941.79	831,250.00	350,941.79	-480,308.21	42.22	
04-341-000	INTEREST EARNINGS	69,872.92	81,664.73	184,000.00	81,664.73	-102,335.27	44.38	
04-393-990	ESTIMATED BEGINNING CASH BALANCE	0	0	4,220,040.43	0	-4,220,040.43	0.00	
<b>04 LAND PRESERVATION FUND: Revenue Total</b>		<b>814,801.29</b>	<b>432,606.52</b>	<b>5,235,290.43</b>	<b>432,606.52</b>	<b>-4,802,683.91</b>		
04-403-000	TAX COLLECTION:	0	0	0	0	0	0.00	
04-403-370	EIT TAX COLLECTOR EXPENSE	57.07	3,409.83	11,554.00	3,409.83	8,144.17	29.51	
04-414-000	PLANNING & ZONING:	0	0	0	0	0	0.00	
04-414-310	ENGINEERING SERVICE	363.75	0	50,000.00	0	50,000.00	0.00	
04-414-450	LEGAL EXPENSE	0	0	20,000.00	0	20,000.00	0.00	
04-414-451	APPRAISALS	0	0	5,000.00	0	5,000.00	0.00	

New Britain Township

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Account Id	Account Description	YTD thru MAY 2023		YTD thru MAY 2024		Budget/Excess/ Deficit	% of Budget
		Actual	Budgeted	Actual	Budgeted		
04-470-000	DEBT SERVICE:	0	0	0	0	0	0.00
04-470-200	OPEN SPACE MAINTENANCE	994.64	150,000.00	206.59	149,793.41	149,793.41	0.14
<b>04 LAND PRESERVATION FUND: Expend Total</b>		<b>1,415.46</b>	<b>236,554.00</b>	<b>3,616.42</b>	<b>232,937.58</b>		
07-301-100	REAL ESTATE TAXES/CURRENT	398,989.45	400,571.00	375,514.10	-25,056.90		93.74
07-301-200	REAL ESTATE TAXES/PRIOR YEAR	295.81	500.00	62.47	-437.53		12.49
07-301-400	REAL ESTATE TAXES/DELINQUENT	50.07	0.00	1,879.70	1,879.70		0.00
07-301-600	REAL ESTATE TAXES/INTERIM	667.17	100.00	108.28	8.28		108.28
07-341-000	INTEREST EARNINGS	21,189.38	26,250.00	1,733.66	-24,516.34		6.60
07-341-001	INTEREST EARNING/P&R MISC ACCTS	0	26,250.00	19,962.66	-6,287.34		76.05
07-341-410	EVENT REVENUE	22,382.00	5,000.00	1,790.00	-3,210.00		35.80
07-342-200	BLDG RENT & WB CELL TOWER	14,298.47	12,000.00	7,371.86	-4,628.14		61.43
07-354-011	COUNTY OPEN SPACE GRANT	140,000.00	0.00	-140,000.00	-140,000.00		0.00
07-355-150	ALL OTHER GRANTS	0.00	365,000.00	0	-365,000.00		0.00
07-362-100	MISC CHARGES & FEES	-700.00	0.00	0	0.00		0.00
07-387-017	PARK & REC CONTRIBUTIONS	737,100.00	0.00	22,500.00	22,500.00		0.00
07-387-018	VETERAN'S MEMORIAL	0	10,000.00	0	-10,000.00		0.00
07-392-000	TRANSFER FROM LAND PRES	0	150,000.00	0	-150,000.00		0.00
07-392-410	USER FEES/FIELD USE	9,605.00	10,000.00	3,145.00	-6,855.00		31.45
07-393-990	ESTIMATED BEGINNING CASH BALANCE	0	549,995.50	0	-549,995.50		0.00
07-393-991	EST. BEGINNING CASH BAL/P&R CAP FD	0	770,608.18	0	-770,608.18		0.00
<b>07 PARKS &amp; RECREATION FUND Revenue Total</b>		<b>1,343,877.35</b>	<b>2,326,274.68</b>	<b>294,067.73</b>	<b>-2,032,206.95</b>		
07-000-000	PARKS & RECREATION FUND:	0	0	0	0		0.00
07-402-000	AUDITING SERVICES/FINANCE ADMINISTRATION	0	0	0	0		0.00
07-430-000	PUBLIC WORKS-GENERAL SERVICES:	0	0	0	0		0.00
07-437-000	PUBLIC WORKS-REPAIRS OF TOOLS & MACHINER	0	0	0	0		0.00
07-454-000	PARKS:	0	0	0	0		0.00
07-454-140	SALARIES/CLERICAL	-520.00	0.00	4,618.36	-4,618.36		0.00

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
07-454-141	SALARIES P.W. SUPPORT	222,935.82	252,199.00	86,134.86	166,064.14	34.15		
07-454-151	MEDICAL/DENTAL INSURANCE	57,449.73	81,120.00	23,219.67	57,900.33	28.62		
07-454-161	FICA/MEDICARE-PARKS	18,265.87	19,293.00	7,002.89	12,290.11	36.30		
07-454-181	EDUCATION/TRAINING	0	4,000.00	0	4,000.00	0.00		
07-454-226	FACILITIES MAINTENANCE	19,599.34	27,500.00	7,113.29	20,386.71	25.87		
07-454-300	ACTIVITIES/PROGRAMS	35,756.44	37,000.00	1,660.51	35,339.49	4.49		
07-454-310	ENGINEERING SERVICES	16,453.20	95,000.00	0	95,000.00	0.00		
07-454-311	W.B. PARK EXPENSE	189.70	5,000.00	0	5,000.00	0.00		
07-454-312	NORTH BRANCH PARK EXP	7,902.56	242,500.00	16,543.53	225,956.47	6.82		
07-454-316	VETERAN'S MEMORIAL	181.95	6,500.00	55.07	6,444.93	0.85		
07-454-319	GENERAL EXPENSES/SUPPLIES	2,354.27	10,000.00	1,631.76	8,368.24	16.32		
07-454-320	NESHAMINY GREENWAY TRAILS	27,312.31	598,637.00	43,849.57	554,787.43	7.32		
07-454-352	LIABILITY INSURANCE	743.40	843.00	421.32	421.68	49.98		
07-454-360	UTILITIES	12,317.70	20,000.00	5,571.11	14,428.89	27.86		
07-454-402	COLEMAN PROPERTY DEVELOPMENT	41,925.00	0.00	0	0.00	0.00		
07-454-700	PARK IMPROVEMENTS/PURCHASES	0	0.00	3,045.00	-3,045.00	0.00		
07-454-710	CAPITAL PURCHASES	344,245.31	0.00	5,699.00	-5,699.00	0.00		
<b>07 PARKS &amp; RECREATION FUND Expend Total</b>		<b>807,112.60</b>	<b>1,399,592.00</b>	<b>206,565.94</b>	<b>1,193,026.06</b>			
15-301-990	ESTIMATED BEGINNING CASH BALANCE	0	1,970,055.88	0	-1,970,055.88	0.00		
15-341-000	INTEREST EARNINGS	31,266.96	0.00	32,580.35	32,580.35	0.00		
<b>15 FUND 15: Revenue Total</b>		<b>31,266.96</b>	<b>1,970,055.88</b>	<b>32,580.35</b>	<b>-1,937,475.53</b>			
18-301-100	REAL ESTATE TAXES/CURRENT	177,351.51	178,032.00	166,895.19	-11,136.81	93.74		
18-301-200	REAL ESTATE TAXES/PRIOR YEAR	0	0.00	6.89	6.89	0.00		
18-301-400	REAL ESTATE TAXES/DELINQUENT	-1,293.04	0.00	835.43	835.43	0.00		
18-301-600	REAL ESTATE TAXES/INTERIM	296.53	0.00	48.13	48.13	0.00		
18-341-000	INTEREST EARNINGS	19,280.75	35,000.00	24,105.38	-10,894.62	68.87		
18-362-461	STORMWATER MAINTENANCE FEES	67,898.41	0.00	22,214.88	22,214.88	0.00		

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2023	2024		
18-387-000	DEVELOPERS CONTRIBUTIONS	57,290.38	0.00	0.00	156,369.50	156,369.50	0.00	0.00
18-391-100	SALES OF ASSETS/VEH,EQUIP,ETC	0	0.00	0.00	12,582.62	12,582.62	0.00	0.00
18-393-990	ESTIMATED BEGINNING CASH BALANCE	0	1,428,034.11	0.00	0	-1,428,034.11	0.00	0.00
18-399-000	CANCELLED PRIOR YEAR EXPENDITURES	850.00	0.00	0.00	0	0.00	0.00	0.00
<b>18 STORMWATER &amp; SEWER FUND Revenue Tot:</b>		<b>321,674.54</b>	<b>1,641,066.11</b>	<b>383,058.02</b>	<b>-1,258,008.09</b>			
18-409-000	BUILDINGS & PLANT:	0	0	0	0	0	0.00	0.00
18-409-370	MUNICIPAL BLDG REPAIRS	0	225,000.00	0.00	225,000.00	225,000.00	0.00	0.00
18-410-000	POLICE:	0	0	0	0	0	0.00	0.00
18-410-751	POLICE VEHICLE REPLACEMENT	82,594.82	87,500.00	87,500.00	76,167.33	11,332.67	87.05	87.05
18-411-000	FIRE:	0	0	0	0	0	0.00	0.00
18-413-000	UCC & CODE ENFORCEMENT:	0	0	0	0	0	0.00	0.00
18-413-330	VEHICLE EXPENSE/CODES	0	75,000.00	0.00	75,000.00	75,000.00	0.00	0.00
18-439-000	HIGHWAY CONTRUCTION & REBUILDING PROJEC	0	0	0	0	0	0.00	0.00
18-454-700	CAPITAL IMPROVEMENTS/PURCHASES	50,440.38	225,000.00	225,000.00	9,270.00	215,730.00	4.12	4.12
18-492-000	INTERFUND OPERATING TRANSFERS:	0	0	0	0	0	0.00	0.00
18-754-700	CAPITAL IMPROVEMENTS/PURCHASES	10,035.51	0.00	0.00	3,130.40	-3,130.40	0.00	0.00
<b>18 CAPITAL IMPROVEMENT/EQU Expend Total</b>		<b>143,070.71</b>	<b>612,500.00</b>	<b>88,567.73</b>	<b>523,932.27</b>			
20-301-100	REAL ESTATES TAX/CURRENT/CAP INFRA	2,110.34	178,032.00	178,032.00	166,895.19	-11,136.81	93.74	93.74
20-301-102	REAL ESTATE TAXES/CURRENT/PWKS LOAN	397,198.64	222,540.00	222,540.00	208,618.96	-13,921.04	93.74	93.74
20-301-200	REAL ESTATE PRIOR/CAP INFRA	269.82	500.00	500.00	49.80	-450.20	9.96	9.96
20-301-202	REAL ESTATE TAXES/PRIOR/PWKS LOAN	0.92	500.00	500.00	8.61	-491.39	1.72	1.72
20-301-400	REAL ESTATE DEL/CAP INFRA	22.25	0.00	0.00	835.43	835.43	0.00	0.00
20-301-402	DELINQUENT TAXES/PUBLIC WORKS	27.82	0.00	0.00	1,044.28	1,044.28	0.00	0.00
20-301-600	R.E. TAXES/INTERIM/CAP INFRA	348.80	100.00	100.00	48.13	-51.87	48.13	48.13
20-301-601	PUBLIC WORKS BLDG/INTERIM TAXES	359.13	100.00	100.00	60.15	-39.85	60.15	60.15
20-341-000	INTEREST EARNINGS/CAP INFRA	6,504.63	500.00	500.00	5,976.52	5,476.52	1,195.30	1,195.30
20-341-102	INTEREST EARNINGS/P.WKS.	0	50.00	50.00	38.27	-11.73	76.54	76.54

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY 2023		YTD thru MAY 2024		Budget/Excess/ Deficit	% of Budget
		2023	Anticipated/ Budgeted	2024			
20-392-072	TRANSFER FROM ST LIGHT	0	4,001.00	0	0	-4,001.00	0.00
20-393-990	EST BEGINNING CASH BALANCE/CAP INFR	0	568,956.77	0	0	-568,956.77	0.00
20-393-992	ESTIMATED BEG. CASH BALANCE/P.WKS.	0	366,482.73	0	0	-366,482.73	0.00
	<b>20 FUND 20: Revenue Total</b>	<b>406,842.35</b>	<b>1,341,762.50</b>	<b>383,575.34</b>		<b>-958,187.16</b>	
20-401-000	EXECUTIVE:	0	0	0	0	0	0.00
20-401-050	BRIDGE LOAN PRINCIPAL	297,000.00	327,000.00	327,000.00	0.00	0.00	100.00
20-401-100	BRIDGE LOAN INTEREST	38,566.63	36,512.00	19,269.60	17,242.40	17,242.40	52.78
20-471-000	DEBT SERVICE-PRINCIPAL:	0	0	0	0	0	0.00
20-471-100	PW BLDG PRINCIPAL	37,000.00	40,000.00	0	40,000.00	40,000.00	0.00
20-472-000	DEBT SERVICE-INTEREST:	0	0	0	0	0	0.00
20-472-100	INTEREST/DEBT/MUN BLDG	270.49	0.00	0	0.00	0.00	0.00
20-472-102	PW BLDG INTEREST	2,706.59	2,941.00	1,322.48	1,618.52	1,618.52	44.97
20-475-000	FISCAL AGENT FEES:	0	0	0	0	0	0.00
20-475-100	ST LT LOAN PRINCIPAL	0.00	4,327.00	0	4,327.00	4,327.00	0.00
20-476-102	STREET LIGHT LOAN INTEREST	0.00	552.00	0	552.00	552.00	0.00
	<b>20 MUNICIPAL/P WRKS BUILDI Expend Total</b>	<b>375,543.71</b>	<b>411,332.00</b>	<b>347,592.08</b>		<b>63,739.92</b>	
30-301-100	REAL ESTATE TAXES/CURRENT	88,646.43	89,016.00	83,447.58	-5,568.42	-5,568.42	93.74
30-301-200	REAL ESTATE TAXES/PRIOR	60.01	50.00	12.98	-37.02	-37.02	25.96
30-301-400	REAL ESTATE TAXES/DELINQUENT	11.13	0.00	417.72	417.72	417.72	0.00
30-301-600	REAL ESTATE TAXES/INTERIM	148.27	50.00	24.07	-25.93	-25.93	48.14
30-341-000	INTEREST EARNINGS	5,880.40	16,000.00	6,614.28	-9,385.72	-9,385.72	41.34
30-393-990	ESTIMATED BEGINNING CASH BALANCE	0	611,026.11	0	-611,026.11	-611,026.11	0.00
	<b>30 FUND 30: Revenue Total</b>	<b>94,746.24</b>	<b>716,142.11</b>	<b>90,516.63</b>	<b>-625,625.48</b>		
30-000-000	HIGHWAY EQUIPMENT FUND:	0	0	0	0	0	0.00
30-437-740	CAPITAL EXPENSE/SURPLUS EQUIP	0	137,500.00	75,774.74	61,725.26	61,725.26	55.11
30-438-710	MAJOR EQUIPMENT PURCHASE	0	90,000.00	0	90,000.00	90,000.00	0.00

New Britain Township

Statement of Revenue and Expenditures Comparison to Prior YTD

Account Id	Account Description	YTD thru MAY		Anticipated/ Budgeted	YTD thru MAY		Budget/Excess/ Deficit	% of Budget
		2023	2024		2024	2024		
<b>30 HIGHWAY EQUIPMENT FUND: Expend Total</b>		<b>0.00</b>	<b>0.00</b>	<b>227,500.00</b>	<b>75,774.74</b>	<b>151,725.26</b>		
35-341-000	INTEREST EARNINGS	7,692.78	21,000.00		13,837.17	-7,162.83	65.89	
35-355-050	STATE FUEL TAX REVENUE SHARING	413,582.14	405,856.00		410,882.56	5,026.56	101.24	
35-393-990	ESTIMATED BEGINNING CASH BALANCE	0	611,026.11		0	-611,026.11	0.00	
<b>35 FUND 35: Revenue Total</b>		<b>421,274.92</b>	<b>1,037,882.11</b>		<b>424,719.73</b>	<b>-613,162.38</b>		
35-000-000	LIQUID FUELS FUND:	0	0		0	0	0.00	
35-432-000	SNOW REMOVAL:	0	0		0	0	0.00	
35-432-221	SALT/CINDERS-SNOW REMOVAL	0	60,000.00		0	60,000.00	0.00	
35-439-000	HIGHWAY CONTRUCTION & REBUILDING PROJEC	0	0		0	0	0.00	
35-439-320	HWY PROJECTS/STATE	220,207.72	550,000.00		9,662.50	540,337.50	1.76	
<b>35 LIQUID FUELS FUND: Expend Total</b>		<b>220,207.72</b>	<b>610,000.00</b>		<b>9,662.50</b>	<b>600,337.50</b>		
90-341-000	INTEREST EARNINGS	4,915.09	250.00		4,861.19	4,611.19	1,944.48	
90-342-000	DEPOSITS RECEIVED	771,753.80	0.00		277,231.15	277,231.15	0.00	
90-393-990	ESTIMATED BEGINNING CASH BALANCE	0	1,000,000.00		0	-1,000,000.00	0.00	
<b>90 FUND 90: Revenue Total</b>		<b>776,668.89</b>	<b>1,000,250.00</b>		<b>282,092.34</b>	<b>-718,157.66</b>		
90-000-000	ESCROW:	0	0		0	0	0.00	
90-414-000	PLANNING & ZONING:	0	0		0	0	0.00	
90-414-311	ENGINEERING BILLED	389,375.32	0.00		178,842.91	-178,842.91	0.00	
90-414-451	LEGAL BILLED	39,790.50	0.00		10,532.00	-10,532.00	0.00	
90-414-500	ADMINISTRATION FEE	42,640.60	0.00		0	0.00	0.00	
90-414-600	REFUND OF ESCROW	584,411.28	0.00		99,214.97	-99,214.97	0.00	
<b>90 ESCROW: Expend Total</b>		<b>1,056,217.70</b>	<b>0.00</b>		<b>288,589.88</b>	<b>-288,589.88</b>		



# New Britain Township Police Department



Monthly Report

May 2024

## Current Goals and Objectives:

Objective 1: 10 % decrease in accidents as compared to 2023

Objective 2: Become PLEAC Accredited

Objective 3: Implement In Car Camera Systems

Objective 4: Increase community engagement activity

## Result of Goals and Objectives:

Objective 1: Utilizing grant funds from Bucks and Montgomery Counties to conduct enforcement details.

Objective 2: Accreditation assessment completed. Awaiting commission review.

Objective 3: In Car Camera systems installed and fully functional.

Objective 4: Each member of leadership team to plan and execute a community engagement activity.

## Significant Events:

### Completed:

- Accreditation On Site Assessment May 30 & 31
- Promotion of Corporal Ryan Lischke
- Annual firearms qualification and new handguns
- 
- 

### Upcoming:

- July 4th Parade
- National Night Out August 6
- Strategic/Capital Planning
- 
-





# New Britain Township Police Department



Monthly Report

May 2024

## Performance Statistics:

Part 1 Crimes	28 Day		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	1	0	#DIV/0!
Theft	2	5	-60.00%
Auto Theft	0	0	N/A
Arson	0	0	N/A
<b>Totals</b>	<b>3</b>	<b>5</b>	<b>-40.00%</b>

Part 2 Crimes	28 Day		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	0	1	-100.00%
Fraud	2	3	-33.33%
Vandalism / Criminal Mischief	1	1	N/A
Disorderly Conduct	0	0	N/A
Drug Violations	1	1	N/A
Driving Under the Influence	3	0	#DIV/0!
Public Drunkenness	2	0	#DIV/0!
Weapons Offenses	0	0	N/A
All Other Offenses (Except Traffic Related)	1	0	#DIV/0!
<b>Totals</b>	<b>10</b>	<b>6</b>	<b>66.67%</b>

Motor Vehicle Accidents	28 Day		
	2024	2023	% of Change
Non-Reportable	8	13	-38.46%
Reportable	7	6	16.67%
Fatal	0	0	N/A
<b>Totals</b>	<b>15</b>	<b>19</b>	<b>-21.05%</b>



# New Britain Township Police Department



Monthly Report

May 2024

## Performance Statistics:

Part 1 Crimes	Year to Date		
	2024	2023	% of Change
Murder	0	0	N/A
Rape	0	0	N/A
Robbery	0	0	N/A
Aggravated Assault	0	0	N/A
Burglary	1	0	#DIV/0!
Theft	17	26	-34.62%
Auto Theft	0	2	-100.00%
Arson	0	0	N/A
<b>Totals</b>	<b>18</b>	<b>28</b>	<b>-35.71%</b>

Part 2 Crimes	Year to Date		
	2024	2023	% of Change
Assault (Non-Aggravated) / Harassment	9	5	80.00%
Fraud	11	21	-47.62%
Vandalism / Criminal Mischief	4	2	100.00%
Disorderly Conduct	1	0	#DIV/0!
Drug Violations	5	3	66.67%
Driving Under the Influence	10	2	400.00%
Public Drunkenness	2	0	#DIV/0!
Weapons Offenses	0	0	N/A
All Other Offenses (Except Traffic Related)	13	3	333.33%
<b>Totals</b>	<b>55</b>	<b>36</b>	<b>52.78%</b>

Motor Vehicle Accidents	Year to Date		
	2024	2023	% of Change
Non-Reportable	55	57	-3.51%
Reportable	33	30	10.00%
Fatal	0	0	N/A
<b>Totals</b>	<b>88</b>	<b>87</b>	<b>1.15%</b>



# New Britain Township

## Public Works

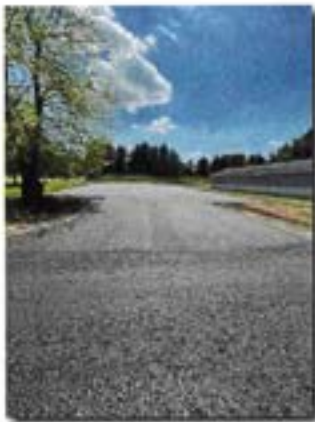
### Departmental Report

Year: 2024

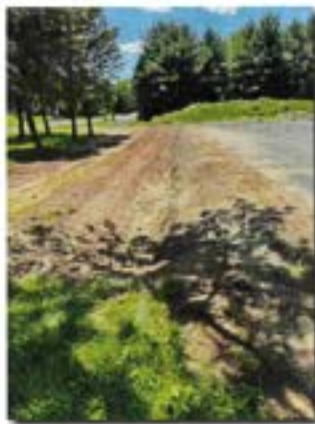
Month: May

### Township Property Maintenance: 426 Hrs.

- Public Works began site work at Coleman Property. We leveled the parking lot with stone and paved with base 25mm. The rain garden was installed with amended soils and before completion, we will be planting 25 shrubs throughout the garden landscape. Site work will continue until completion: including installation of signs, bench, bike rack, fencing, final pave of parking lot with 9.5mm top coat, and planting of all landscape.



*Base layer of parking lot.*



*Rain Garden with amended soils.*



# New Britain Township

## *Public Works*

### **Drainage: 70 Hrs.**

- Public Works removed, cleaned and re-installed inlet filter bags in various storm sewer inlets.

### **Road Maintenance: 165 Hrs.**

- Public Works completed street sweeping throughout all Township developments and roadways with curbing.
- Began road bank mowing and catch basin/ open space mowing and will continue to maintain throughout summer months.

### **Street Signs: 55 Hrs.**

- Public Works trimmed around signs, guardrails, and bridges for visibility.

### **Equipment Maintenance: 72 Hrs.**

- All vehicles and equipment are cleaned, serviced, and inspected as needed.
- Replaced leaking gaskets on 48-21, Mack 10-wheel Dump Truck

### **Other: 32 Hrs.**

- Miscellaneous tasks were completed, running vehicles to outside vendors, picking up parts/ supplies, etc.
- The annual E-Recycling event was held at the Township Building.
- DVHIT performed the annual risk assessment at all Township facilities.
- Boykos Petroleum installed the new fuel tanks and fuel management systems at the Public Works Facility and Police Station.



*PW Facility*



*Police Station*



# New Britain Township

## *Parks & Recreation*

DEPARTMENTAL REPORT

YEAR: 2024

MONTH: May

### Township Property Maintenance:

The Parks and Recreation Department performed inspections of North Branch, West Branch, Highlands, Veteran's and Pheasant Run Parks for trash removal and mutt mitt dispenser refills, along with biweekly checks of the undeveloped area behind New Britain Walk, along with biweekly inspections of the Greenway Trail behind the Coleman property.

The weekly scheduling of mowing and weed whacking of all parks, and open spaces was performed.

All Parks received their Spring application of fertilizer. The application was provided by Integrated Turf Management.

One of the access ways to the New Britain Walk Trail from Cambridge Place had become congested due to the pine tree branches along either side. The PnR department trimmed all branches that were creating the obstruction. The pictures will illustrate the situation. The area was able to be opened while keeping a natural appearance.



*Before*



*After*



# New Britain Township

## *Parks & Recreation*

The Parks and Recreation Department made necessary repairs to part of the fascia on the Highlands Park pavilion. This was done in part to keep in compliance with the risk assessment report.



*Before*



*After*

### **Special Projects / Other:**

The Parks and Recreation Department was also responsible for the physical set up and daily inspection of the spring yard waste collection, which included a daily compaction of materials and a survey for non-biodegradable materials such as plastic bags.

The Parks and Recreation Department was able to offer a 14-year-old minor 4 hours of community service. He was fully monitored by the PnR Foreman and crew and aided in the weeding and mulching of the trees and beds at the Emergency Services Building on Park Ave.

The Parks and Recreation Foreman / Coordinator is categorizing all administrative duties as other. Which includes all meetings, permits, agendas, minutes, memos, and reports.

The Parks and Recreation Department unfortunately had one crew member out for three weeks on short-term disability due to a non-work-related injury. This resulted in the PnR department initiating a high priority maintenance routine.



# New Britain Township

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## *Parks & Recreation*

### Ballfield Maintenance:

All Township baseball fields (3), and softball fields (3) are being groomed and checked on a regular basis. All water was removed as needed.

### Parks and Recreation Daily Hours:

Township Property Maintenance:	345	Hrs.
Ballfield Maintenance:	26	Hrs.
Other/ Special Projects:	21	Hrs.



# MEMO

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**TO:** Daniel C. Fox, Township Manager  
**FROM:** David Conroy, Director of Planning and Zoning/Zoning Officer  
**DATE:** June 12, 2024  
**RE:** May 2024 Land Development Report

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## UNDER REVIEW:

### (2024-13604) 4645 County Line Road – Hulton Contracting

- Submitted Sketch Plan application on 4/17/24. Awaiting revised plans.

### (2023-13488) 175 Curley Mill Road – Mazzeo Minor Subdivision

- Submitted Minor Subdivision application on 10/20/23. The applicant has currently placed the project on hold.

### (2023-12917) 140 Upper Church Rd Minor Subdivision – Casadonti Homes, Inc

- Revising plans and preparing resubmission. Submitted ZHB application on 9/28/23. Presented and approved at 11/16/23 ZHB. Tentatively scheduled for 7/23/24 PC.

### (2022-12243) Manor Dr – Petrucci Land Development

- Approved at 10/19/23 ZHB meeting. Awaiting formal submission of land development application.

### (2022-12765) 180 New Britain Blvd/354 Schoolhouse Rd Parking Expansion 2

- Received ZHB approval on 6/22/23 for relief related to paved area setbacks and impervious for parking lot expansion.

### (2022-12689) Galena Reserve Mobile Home Park

- Withdrew from 1/24/23 PC agenda. Applicant to resubmit plans.

### (2022-12682) 505 W Butler Ave - Extra Space Storage

- Presented Sketch Plan at 5/23/24 PC and 6/5/24 BOS Work Session. Will need zoning relief, applicant preparing ZHB submission.

### (2022-12404) 545 W Butler Ave - Rao Group Papa John's/Dunkin'

- Approved at 2/15/24 ZHB meeting. Submitted Land Development application on 11/28/23. Awaiting revised plans.

### (2022-12505) 619 N Limekiln Pike – Hughes/Umlauf Building Additions

- Initial application incomplete, awaiting formal resubmission.



**(21-1000) 120 Liberty Ln – Herding Butterflies, LP**

- Accepted Conditional Use Application for stone parking lot 2/23/23, PC recommended approval of Conditional Use at 3/28/23 meeting, Conditional Use Hearing held 4/17/23, Conditional Use granted on 6/19/23.

**BOARD APPROVAL GRANTED:**

**(2023-13470) Toll Brothers - County Line Rd & W Butler Ave (Birch Run)**

- Submitted Preliminary/Final Plan application on 10/13/23. Presented and approved at 2/27/24 PC (preliminary/final) & 3/18/24 BOS (preliminary). Submitted Final Land Development Plan on 4/17/24. Scheduled for 6/17/24 BOS.

**(2023-13490) 324 Schoolhouse Road – Clauser Facility Expansion**

- Amended Final Land Development application was presented and approved at 3/4/24 BOS.

**(18-0100) 123 Creek Rd – Labrozzi Minor Subdivision**

- Presented and approved at 10/24 PC & 11/20 BOS. Amended Resolution approved at 3/4/24 BOS.

**(2023-13148) 84 Curley Mill Road Minor Subdivision – Anatoliy & Leonid Klimenko**

- Presented and approved at 7/25/23 PC & 11/20/23 BOS.

**(2023-12977) 4359 County Line Rd Minor Land Development – CP Rankin, Inc.**

- Presented and approved at 10/24/23 PC & 11/20/23 BOS.

**(2022-12263) 396 King Rd Subdivision – Casadonti Homes, Inc**

- Plans and Development/Easement Agreements were recorded on 4/5/24.

**(2022-12511) 137 S Limekiln Pike – Defelice/Prestige Minor Subdivision**

- Plans and Development/Easement Agreements were recorded on 3/22/24.

**(2022-12320) 141 Independence Ln – Catalyst Commercial Development**

- G&A checkset review issued. NPDES permit issued, Financial Security approved. Development Agreements prepared by Solicitor, awaiting execution.

**(19-1600) 98 Railroad Ave – Railroad 3, LLC**

- Plans and Development/Easement Agreements currently in the process of being recorded.

**(2022-12537) 55 Curley Mill Rd – Mortimer Minor Subdivision**

- Pre-construction meeting held on 2/16/24.

**(20-0600) 315 Old Limekiln Rd – D'Alessio Subdivision**

- Applicant to submit record plans, fees and execute agreements.

**(15-0200) 9 Sellersville Rd – Tecce Minor Subdivision**

- Pre-construction meeting held on 10/4/23.

**(2022-12319) 84 Schoolhouse Rd – Hallmark Homes**

- Pre-construction meeting held on 12/20/23.

**(16-1300) Township Line Rd – Lohin Subdivision**

- Pre-construction meeting scheduled for 6/27/24.

**(20-1000) 1 Highpoint Dr – Fox Lane Homes**

- Amendment to Record Plans presented and approved at 11/20/23 BOS. Blasting Permit approved at 3/18/24 BOS.

**Veteran's Park – CNBTJSA Pump Station 4 Relocation**

- Applicant to execute agreements and pay fees prior to recording plans.



# New Britain Township

## Planning & Zoning

### May 2024 Monthly Report

Permits Issued	135 (Total)
Building	19
Electrical	16
Plumbing	8
Road Occupancy	14
Sign	0
Accessory Structure	0
Use & Occupancy	17
Well	1
Zoning	30
Fire	9
Mechanical	21
Accessibility	0
Inspections Conducted	129 (Total)
Building Inspection	90
United Electrical	12
Commercial Fire Inspections	0
Use & Occupancy	27
Fire Calls	11 (Total)
Chalfont	8 (Plus 1 w/Hilltown)
Doylestown	0
Dublin	2
Hilltown	1 (No Report)
Zoning Hearing Board Applications Submitted	1

- 128 Hampshire Drive (Rush) – The applicant is proposing an addition on to an existing dwelling. As such, they are requesting relief from the following sections of the Zoning Ordinance:
  - §27-902.b – a Variance to allow a 42' rear yard setback, where at least 75' is required
  - §27-2105.b – a Variance to allow a proposed deck 30'-2 ¼" from the rear property line, where at least 60' is required



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nbt@newbritaintownship.org

## Permit List

<u>Permit Number</u>	<u>Issued Date</u>	<u>Site Address</u>	<u>Permit Type</u>	<u>Application Type</u>	<u>Status</u>
2024-13659-B2	05/06/2024	24 CURLEY MILL ROAD	Building	Residential	Approved
2024-13674-B1	05/03/2024	116 UPPER STUMP ROAD	Building	Residential	Approved
2024-13776-B2	05/16/2024	212 FOXHEDGE ROAD	Building	Residential	Approved
2024-13777-B2	05/16/2024	214 FOXHEDGE ROAD	Building	Residential	Approved
2024-13778-B2	05/17/2024	216 FOXHEDGE ROAD	Building	Residential	Approved
2024-13779-B2	05/17/2024	218 FOXHEDGE ROAD	Building	Residential	Approved
2024-13780-B2	05/17/2024	220 FOXHEDGE ROAD	Building	Residential	Approved
2024-13781-B2	05/17/2024	222 FOXHEDGE ROAD	Building	Residential	Approved
2024-13799-B2	05/06/2024	302 MILL RIDGE DRIVE	Building	Residential	Approved
2024-13821-B2	05/09/2024	3 SUNNYBROOK DRIVE	Building	Residential	Approved
2024-13822-B2	05/21/2024	904 UPPER STATE ROAD	Building	Residential	Approved
2024-13836-B1	05/14/2024	66 BARCLAY ROAD	Building	Residential	Approved
2024-13837-B1	05/13/2024	148 GALWAY CIRCLE	Building	Residential	Approved
2024-13840-B2	05/31/2024	109 SHEFFIELD CT	Building	Residential	Approved
2024-13849-B2	05/31/2024	15 WALDEN WAY	Building	Residential	Approved
2024-13856-B1	05/21/2024	88 KELLER ROAD	Building	Residential	Approved
2024-13880-B2	05/30/2024	33 FAR VIEW ROAD	Building	Residential	Approved
2024-13883-B1	05/30/2024	354 W BOULDER DRIVE	Building	Residential	Approved
2024-13891-B1	05/30/2024	902 FERRY ROAD	Building	Residential	Approved
2024-13674-E2	05/03/2024	116 UPPER STUMP ROAD	Electrical	Residential	Approved
2024-13776-E3	05/16/2024	212 FOXHEDGE ROAD	Electrical	Residential	Approved



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2024-13777-E3	05/16/2024	214 FOXHEDGE ROAD	Electrical	Residential	Approved
2024-13778-E3	05/17/2024	216 FOXHEDGE ROAD	Electrical	Residential	Approved
2024-13779-E4	05/17/2024	218 FOXHEDGE ROAD	Electrical	Residential	Approved
2024-13780-E3	05/17/2024	220 FOXHEDGE ROAD	Electrical	Residential	Approved
2024-13781-E3	05/17/2024	222 FOXHEDGE ROAD	Electrical	Residential	Approved
2024-13821-E3	05/09/2024	3 SUNNYBROOK DRIVE	Electrical	Residential	Approved
2024-13822-E3	05/21/2024	904 UPPER STATE ROAD	Electrical	Residential	Approved
2024-13827-E1	05/24/2024	343 MYSTIC VIEW CIRCLE	Electrical	Residential	Approved
2024-13836-E2	05/14/2024	66 BARCLAY ROAD	Electrical	Residential	Approved
2024-13843-E1	05/31/2024	200 BRITANNY DRIVE	Electrical	Commercial	Approved
2024-13849-E3	05/31/2024	15 WALDEN WAY	Electrical	Residential	Approved
2024-13854-E1	05/16/2024	352 STONYHILL DRIVE	Electrical	Residential	Approved
2024-13883-E2	05/30/2024	354 W BOULDER DRIVE	Electrical	Residential	Approved
2024-13890-E1	05/29/2024	553 MALLARD DRIVE	Electrical	Residential	Approved
2024-13674-P4	05/03/2024	116 UPPER STUMP ROAD	Plumbing	Residential	Approved
2024-13776-P5	05/16/2024	212 FOXHEDGE ROAD	Plumbing	Residential	Approved
2024-13777-P5	05/16/2024	214 FOXHEDGE ROAD	Plumbing	Residential	Approved
2024-13778-P5	05/17/2024	216 FOXHEDGE ROAD	Plumbing	Residential	Approved
2024-13779-P6	05/17/2024	218 FOXHEDGE ROAD	Plumbing	Residential	Approved
2024-13780-P5	05/17/2024	220 FOXHEDGE ROAD	Plumbing	Residential	Approved
2024-13781-P5	05/17/2024	222 FOXHEDGE ROAD	Plumbing	Residential	Approved



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2024-13826-P1	05/13/2024	4371 COUNTY LINE ROAD	Plumbing	Commercial	Approved
2024-13815-RO1	05/03/2024	9 BROOK LANE	Road Occupancy	Residential	Approved
2024-13816-RO1	05/03/2024	33 SKYLINE DRIVE	Road Occupancy	Residential	Approved
2024-13820-RO1	05/03/2024	109 NORTH LANE	Road Occupancy	Residential	Approved
2024-13834-RO1	05/08/2024	239 HOLLY DRIVE	Road Occupancy	Residential	Closed
2024-13853-RO1	05/21/2024	110 SHADY HILL DRIVE	Road Occupancy	Residential	Approved
2024-13861-RO1	05/29/2024	123 GLEN DRIVE	Road Occupancy	Residential	Approved
2024-13862-RO1	05/29/2024	118 GLEN DRIVE	Road Occupancy	Residential	Approved
2024-13863-RO1	05/29/2024	105 GLEN DRIVE	Road Occupancy	Residential	Approved
2024-13864-RO1	05/29/2024	101 GLEN DRIVE	Road Occupancy	Residential	Approved
2024-13865-RO1	05/29/2024	111 GLEN DRIVE	Road Occupancy	Residential	Approved
2024-13866-RO1	05/29/2024	16 MARSHALL CIRCLE	Road Occupancy	Residential	Approved
2024-13867-RO1	05/29/2024	14 MARSHALL CIRCLE	Road Occupancy	Residential	Approved
2024-13868-RO1	05/29/2024	10 MARSHALL CIRCLE	Road Occupancy	Residential	Approved
2024-13884-RO1	05/29/2024	31 SKYLINE DRIVE	Road Occupancy	Residential	Approved
2024-13705-UO1	05/01/2024	202 VILLAGE WAY	Use & Occupancy	Residential	Closed
2024-13753-UO1	05/28/2024	34 SUNNYBROOK DRIVE	Use & Occupancy	Residential	Closed
2024-13766-UO1	05/06/2024	356 W BOULDER DRIVE	Use & Occupancy	Residential	Closed
2024-13784-UO1	05/01/2024	127 TARTAN TERRACE	Use & Occupancy	Residential	Closed
2024-13785-UO1	05/07/2024	204 CORNWALL DRIVE	Use & Occupancy	Residential	Closed
2024-13794-UO1	05/23/2024	239 HOLLY DRIVE	Use & Occupancy	Residential	Closed



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2024-13802-U01	05/06/2024	18 FAR VIEW ROAD	Use & Occupancy	Residential	Closed
2024-13806-U01	05/06/2024	911 UPPER STUMP ROAD	Use & Occupancy	Residential	Approved
2024-13818-U01	05/07/2024	110 SHADY HILL DRIVE	Use & Occupancy	Residential	Processing
2024-13819-U01	05/08/2024	102 INDIAN CREEK WAY	Use & Occupancy	Residential	Closed
2024-13830-U01	05/08/2024	609 ANTHEM WAY	Use & Occupancy	Residential	Approved
2024-13831-U01	05/08/2024	108 ANTHEM WAY	Use & Occupancy	Residential	Closed
2024-13833-U01	05/08/2024	418 ANTHEM WAY	Use & Occupancy	Residential	Closed
2024-13838-U01	05/14/2024	1910 SWAMP ROAD	Use & Occupancy	Residential	Closed
2024-13855-U01	05/29/2024	88 KELLER ROAD	Use & Occupancy	Residential	Closed
2024-13874-U01	05/28/2024	305 REMINGTON COURT	Use & Occupancy	Residential	Closed
2024-13875-U01	05/29/2024	43 CARTLANE CIRCLE	Use & Occupancy	Residential	Closed
2024-13825-W1	05/06/2024	286 CALLOWHILL ROAD	Well	Residential	Approved
2024-13613-Z1	05/23/2024	454 NEW GALENA ROAD	Zoning	Residential	Approved
2024-13811-Z1	05/01/2024	42 FARBER DRIVE	Zoning	Residential	Approved
2024-13812-Z1	05/01/2024	203 CAYUGA CIR	Zoning	Residential	Approved
2024-13813-Z1	05/01/2024	2240 SWAMP ROAD	Zoning	Residential	Approved
2024-13814-Z1	05/02/2024	4683 COUNTY LINE ROAD	Zoning	Commercial	Approved
2024-13817-Z1	05/03/2024	148 GALWAY CIRCLE	Zoning	Residential	Approved
2024-13821-Z1	05/03/2024	3 SUNNYBROOK DRIVE	Zoning	Residential	Approved
2024-13822-Z1	05/03/2024	904 UPPER STATE ROAD	Zoning	Residential	Approved
2024-13823-Z1	05/03/2024	25 SELLERSVILLE ROAD	Zoning	Residential	Approved



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2024-13839-Z1	05/10/2024	106 HARRISON FORGE COURT	Zoning	Residential	Approved
2024-13840-Z1	05/10/2024	109 SHEFFIELD CT	Zoning	Residential	Approved
2024-13841-Z1	05/13/2024	309 UPPER STUMP ROAD	Zoning	Residential	Approved
2024-13844-Z1	05/10/2024	301 ROWLAND LANE	Zoning	Residential	Approved
2024-13846-Z1	05/10/2024	4275 COUNTY LINE ROAD	Zoning	Commercial	Approved
2024-13847-Z1	05/10/2024	50 CREEK ROAD	Zoning	Residential	Approved
2024-13849-Z1	05/14/2024	15 WALDEN WAY	Zoning	Residential	Approved
2024-13850-Z1	05/14/2024	149 S LIMEKILN PIKE	Zoning	Residential	Approved
2024-13851-Z1	05/14/2024	1600 HORIZON DRIVE	Zoning	Commercial	Approved
2024-13871-Z1	05/20/2024	140 CAMBRIDGE PLACE	Zoning	Residential	Approved
2024-13876-Z1	05/21/2024	4373 COUNTY LINE ROAD	Zoning	Commercial	Approved
2024-13877-Z1	05/21/2024	302 MYSTIC VIEW CIRCLE	Zoning	Residential	Approved
2024-13880-Z1	05/22/2024	33 FAR VIEW ROAD	Zoning	Residential	Approved
2024-13881-Z1	05/22/2024	1628 SWAMP ROAD	Zoning	Residential	Approved
2024-13896-Z1	05/29/2024	137 S LIMEKILN PIKE	Zoning	Residential	Approved
2024-13898-Z1	05/31/2024	6 CLOVER LANE	Zoning	Residential	Approved
2024-13899-Z1	05/31/2024	2 NEW GALENA ROAD	Zoning	Residential	Approved
2024-13900-Z1	05/31/2024	118 S LIMEKILN PIKE	Zoning	Residential	Processing
2024-13902-Z1	05/31/2024	132 GALWAY CIRCLE	Zoning	Residential	Processing
2024-13903-Z1	05/31/2024	117 HAMPSHIRE DRIVE	Zoning	Residential	Approved
2024-13904-Z1	05/31/2024	300 HIGHPOINT DRIVE	Zoning	Commercial	Approved





## New Britain Township

207 Park Avenue  
Chalfont, PA 18914  
Phone: (215) 822-1391  
Fax: (215) 822-6051  
nbt@newbritaintownship.org

## Permit List

<u>Permit Number</u>	<u>Issued Date</u>	<u>Site Address</u>	<u>Permit Type</u>	<u>Application Type</u>	<u>Status</u>
2024-13776-F7	05/16/2024	212 FOXHEDGE ROAD	Fire	Residential	Processing
2024-13777-F6	05/16/2024	214 FOXHEDGE ROAD	Fire	Residential	Approved
2024-13778-F6	05/17/2024	216 FOXHEDGE ROAD	Fire	Residential	Approved
2024-13779-F7	05/17/2024	218 FOXHEDGE ROAD	Fire	Residential	Approved
2024-13780-F6	05/17/2024	220 FOXHEDGE ROAD	Fire	Residential	Approved
2024-13781-F6	05/17/2024	222 FOXHEDGE ROAD	Fire	Residential	Approved
2024-13869-F1	05/23/2024	20 PASTURE LANE	Fire	Residential	Approved
2024-13870-F1	05/23/2024	51 COUNTRY VIEW LANE	Fire	Residential	Approved
2024-13883-F4	05/30/2024	354 W BOULDER DRIVE	Fire	Residential	Approved
2024-13659-M3	05/21/2024	24 CURLEY MILL ROAD	Mechanical	Residential	Approved
2024-13674-M3	05/03/2024	116 UPPER STUMP ROAD	Mechanical	Residential	Approved
2024-13776-M4	05/16/2024	212 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13777-M4	05/16/2024	214 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13778-M4	05/17/2024	216 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13779-M5	05/17/2024	218 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13780-M4	05/17/2024	220 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13781-M4	05/17/2024	222 FOXHEDGE ROAD	Mechanical	Residential	Approved
2024-13828-M1	05/08/2024	19 TERESA LANE	Mechanical	Residential	Approved
2024-13835-M1	05/09/2024	104 HAMPSHIRE DRIVE	Mechanical	Residential	Approved
2024-13836-M3	05/14/2024	66 BARCLAY ROAD	Mechanical	Residential	Approved
2024-13842-M1	05/13/2024	8 NEW GALENA ROAD	Mechanical	Residential	Approved



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2024-13843-M2	05/31/2024	200 BRITTANY DRIVE	Mechanical	Commercial	Approved
2024-13845-M1	05/13/2024	129 RICHARD DRIVE	Mechanical	Residential	Approved
2024-13852-M1	05/16/2024	107 ECKERTS PLACE	Mechanical	Residential	Approved
2024-13857-M1	05/21/2024	110 DEVON ROAD	Mechanical	Residential	Approved
2024-13883-M3	05/30/2024	354 W BOULDER DRIVE	Mechanical	Residential	Approved
2024-13885-M1	05/29/2024	89 NEW GALENA ROAD	Mechanical	Residential	Approved
2024-13886-M1	05/30/2024	140 CAMBRIDGE PLACE	Mechanical	Residential	Approved
2024-13889-M1	05/29/2024	28 FARBER DRIVE	Mechanical	Residential	Approved
2024-13894-M1	05/30/2024	118 FERRY ROAD	Mechanical	Residential	Approved



## Use & Occupancy Inspections Count 2024 JUNE

Due Date	Permit Number	Application Type	Inspection Number	Visit Type	Inspection Type	Inspection Time	Owner	Site Address	Count
05/07/2024	2024-13819-UO1	Residential	1	Initial	Final U & O	11:00 AM	STEVEN R. & DONNA WODOCK	102 INDIAN CREEK WAY	1
05/09/2024	2024-13819-UO1	Residential	2	Re-Inspection	Final U & O	11:00 AM	STEVEN R. & DONNA WODOCK	102 INDIAN CREEK WAY	1
05/29/2024	2024-13882-UO1	Residential	1	Initial	Final U & O	11:30 AM	JANET SHELMET	104 NICHOLAS COURT	1
05/09/2024	2024-13831-UO1	Residential	1	Initial	Final U & O	10:00 AM		108 ANTHEM WAY	1
05/07/2024	2024-13818-UO1	Residential	1	Initial	Final U & O	10:00 AM	JARED SAVRE & ERIN FEENEY	110 SHADY HILL DRIVE	1
05/13/2024	2024-13818-UO1	Residential	2	Re-Inspection	Final U & O	1:30 PM	JARED SAVRE & ERIN FEENEY	110 SHADY HILL DRIVE	1
05/29/2024	2024-13887-UO1	Residential	1	Initial	Final U & O	10:30 AM	BHOR MANUSTEHAK	122 S LIMEKILN PIKE	1
05/01/2024	2024-13784-UO1	Residential	2	Re-Inspection	Final U & O	9:30 AM	JOHN & MARTHA A. WEHR	127 TARTAN TERRACE	1
05/01/2024	2024-13708-UO1	Residential	1	Initial	Final U & O	10:00 AM		131 VILLAGE WAY	1
05/01/2024	2024-13809-UO1	Residential	1	Initial	Final U & O	10:30 AM		131 VILLAGE WAY	1
05/13/2024	2024-13824-UO1	Residential	1	Initial	Final U & O	2:00 PM	ANTHONY & MARY DICREDICO	14 SUNNYBROOK DRIVE	1
05/28/2024	2024-13873-UO1	Residential	1	Initial	Final U & O	10:30 AM	THOMAS & MEGAN POST	15 WOODSIDE AVENUE	1
05/14/2024	2024-13838-UO1	Residential	1	Initial	Final U & O	9:30 AM		1910 SWAMP ROAD	1
05/01/2024	2024-13705-UO1	Residential	1	Initial	Final U & O	11:00 AM		202 VILLAGE WAY	1
05/07/2024	2024-13785-UO1	Residential	2	Re-Inspection	Final U & O	9:30 AM	MARIE T. AMES CAINE	204 CORNWALL DRIVE	1
05/09/2024	2024-13784-UO1	Residential	2	Re-Inspection	Final U & O	2:00 PM	NICHOLAS & KAREN MONTANA	238 HOLLY DRIVE	1
05/14/2024	2024-13874-UO1	Residential	1	Initial	Final U & O	10:00 AM	SYDNEY DIMITRI	305 REMINGTON COURT	1
05/28/2024	2024-13753-UO1	Residential	3	Re-Inspection	Temporary U & O	11:00 AM	SANDRA BENNER	34 SUNNYBROOK DRIVE	1
05/09/2024	2024-13766-UO1	Residential	1	Initial	Final U & O	1:00 PM	MICHAEL DERKITS	356 W BOULDER DRIVE	1
05/08/2024	2024-13833-UO1	Residential	1	Initial	Final U & O	10:15 AM		418 ANTHEM WAY	1
05/28/2024	2024-13875-UO1	Residential	1	Initial	Final U & O	10:00 AM	EDWARD F. PUGH	43 CARTLANE CIRCLE	1
05/13/2024	2024-13829-UO1	Residential	1	Initial	Final U & O	1:00 PM	WILLIAM & CAROL CARLIN	567 ASHLEY DRIVE	1
05/08/2024	2024-13830-UO1	Residential	1	Initial	Final U & O	9:45 AM		609 ANTHEM WAY	1
05/28/2024	2024-13810-UO1	Residential	1	Initial	Final U & O	9:30 AM	KRISTI BALLARD	71 SELLERSVILLE ROAD	1
05/28/2024	2024-13855-UO1	Residential	1	Initial	Final U & O	9:30 AM	U. MARCUS NIEMOLLER	88 KELLER ROAD	1
05/06/2024	2024-13808-UO1	Residential	1	Initial	Final U & O	1:30 PM	CHELSEA MOSS	911 UPPER STUMP ROAD	1
05/07/2024	2024-13792-UO1	Residential	1	Initial	Final U & O	10:30 AM		98 RAILROAD AVENUE	1
							<b>TOTAL</b>	<b>TOTAL</b>	<b>27</b>

Chalfont Fire Company  
 Chiefs Report - May 2024

Total # of incidents: 19

Types of Calls

1. Fire	2
2. Rescue and Medical assist	2
3. Good Intent	6
4. Alarm Systems	9

Total Staff Hours for calls: 99:09:00

Alarms per municipality

Doylestown Twp	1
New Britain Boro	3
Montgomery Twp	1
New Britain Twp	9
Colmar/Hatfield	3
Warrington Twp	2

Training-Maintenance and Drills 4  
 Total training hours 274:00:00

Total Available Points: 23

**TOTAL STAFF HRS FIRES AND TRAINING 373:09:00**

# Chalfont Chemical Fire Company

Chalfont, PA

This report was generated on 6/5/2024 10:15:56 PM

## Incidents per Zone for Date Range

Start Date: 05/01/2024 | End Date: 05/31/2024

INCIDENT NUMBER	INCIDENT TYPE	DATE	LOCATION	APPARATUS
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### ZONE: 29 - Doylestown Twp.

2024-8573	100 - Fire, other	05/01/2024	38 Mystic View Ln	34/74
Total # Incidents for 29:				1

### ZONE: 47 - New Britian Boro

2024-10122	600 - Good intent call, other	05/27/2024	66 Aarons Ave	34/74
2024-8931	350 - Extrication, rescue, other	05/07/2024	626 Mathews Ave	34/74
2024-9090	131 - Passenger vehicle fire	05/09/2024	22 E Butler Ave	34/74
Total # Incidents for 47:				3

### ZONE: 47-MT - Montgomery Twp.

2024-10037	611 - Dispatched & cancelled en route	05/25/2024	1200 Welsh Rd	34/74
Total # Incidents for 47-MT				1

### ZONE: 48 - New Britian Twp.

2024-8738	322 - Motor vehicle accident with injuries	05/03/2024	New Galena Rd	34/74
2024-8744	611 - Dispatched & cancelled en route	05/03/2024	354 Ferry Rd	34/74
2024-9459	745 - Alarm system activation, no fire - unintentional	05/16/2024	4275 County Line Rd	34/74
2024-9461	745 - Alarm system activation, no fire - unintentional	05/16/2024	1100 Horizon Cir	34/74
2024-9501	745 - Alarm system activation, no fire - unintentional	05/17/2024	1100 Horizon Cir	34/74
2024-9696	736 - CO detector activation due to malfunction	05/20/2024	362 Village Way	34/74
2024-9741	745 - Alarm system activation, no fire - unintentional	05/21/2024	2000 Horizon Dr	34/74
2024-9782	600 - Good intent call, other	05/22/2024	1600 Horizon Dr	34/74
2024-9804	745 - Alarm system activation, no fire - unintentional	05/22/2024	4379 County Line Rd	34/74
Total # Incidents for 48:				9

### ZONE: 55 - Colmar/Hatfield Twp

2024-8649	735 - Alarm system sounded due to malfunction	05/02/2024	3400 Walnut St	34/74
2024-9494	745 - Alarm system activation, no fire - unintentional	05/17/2024	2136 N Line St	34/74
2024-9671	600 - Good intent call, other	05/20/2024	2506 N Broad St	34/74
Total # Incidents for 55:				3

### ZONE: 75 - Warrington Twp.

2024-10384	746 - Carbon monoxide detector activation, no CO	05/31/2024	3469 Pickertown Rd	34/74
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Only REVIEWED incidents included. Archived Zones cannot be unarchived.

INCIDENT NUMBER	INCIDENT TYPE	DATE	LOCATION	APPARATUS
2024-9830	611 - Dispatched & cancelled en route	05/22/2024	706 Abbey Ct	34/74

Total # Incidents for 75:

2

TOTAL # INCIDENTS:

19

## DUBLIN VOLUNTEER FRIE COMPANY

Month: **May 2024**

FIRE CALLS ANSWERED		OTHER PERTINENT INFORMATION	
Apartment			
Assists			
Engine		Time in Service	4 Hrs 58 Min
Field		Total Man Hours	29 Hrs 49 Min
Full Company		Average Call Length	18
Ladder			
Rescue			
Squad	3		
Tanker		Total Personnel	90
Air Medical Evacuation		Average Personnel per Call	6
Alarm System	5		
Auto Extrication			
Auto Response	5	Borough/Township	
Barn			
Brush		Bedminister Township	4
Building		Dublin Borough	3
Chimney		East Rockhill Township	2
CO Alarm		Hilltown Township	4
Control Burn		New Britain Township	2
Cover/Up		Plumstead Township	
Cover/Up Assist		Sellersville Borough	
Dumpster		Silverdale Borough	
Dwelling		Springfield Township	
Electrial Wires in a Dwelling		Doylestown Borough	
Fumes Inside		Richland Township	1
Fuel Spill		Tinicum Township	
HazMat			
Investigation			
Med-A-Vac			
Oil Burner			
Rubbish			
Special Assignment			
Stand by Accident	1		
Tractor			
Water Flow Alarm	1		
Wires	1		
Total Number of Calls	16	Total Numbe of Calls	16

Signature of Chief  
  
 \_\_\_\_\_

### Enforcement Actions

- 104 South Limekiln Pike – Currently investigating property for operating single-family home as a boarding house
- 139 Brittany Drive – Property owner has until 7/1/24 to install a barrier underground to prevent existing bamboo on property encroaching on to 137 Brittany Drive. A citation will be issued on 7/1 if problem is not rectified by then.
- 66 Sellersville Road – A citation will be issued on 5/24/24 if commercial vehicles/equipment are not removed by then. This is a violation of the conservation easement for the property.
- 303 Dorothy Lane – Currently investigating property for non-functioning stormwater basin on property. Property owner has employed contractor to rectify the situation.



<b>General Services Projects</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
NBT Stormwater MS4	Township Urbanized Area	Bid to be awarded 6/3/24; MS4 Annual Report submitted 9/29/23; Permit expires 8/24; NBT submitted Notice of Intent for 2024 MS4 Permit Renewal; Current Permit Year ends 6/30/24; DEP review of 2022-2023 Annual Report received 5/20/24 (see attached)
Keller Road Bridge	Keller Road	Survey Plan completed; Per Capital Improvement Planning meeting, BOS to advise on repair or replacement.
Neshaminy Greenway Trail - Coleman Property Connection	1606 Upper State Road	Construction as of 11/28/23; Change Order #1 apprvd 11/20/23; Change Order #2 apprvd 12/4/23; Trail paved 4/22/24; Payment 5 under rvw; Contractor 100% completed; NBTPW work under construction; G&A submitted reimbursement for DVRPC; DCNR grant reimbursement to be submitted; Phase 2: G&A to work with BOS and Staff to discuss project scope, planning, and phasing.
Ordinance Amendments		G&A working with Township Staff on amendments to several sections of the ZO and SALDO related to woodlands, landscaping, traffic, parking, fences, stormwater, & misc. cleanup items. Tree Amendment 1 presented to BOS 12/4/23. Parking and Traffic amendment presented 2/5/24; Zoning Amendment presented at 4/1/24 BOS meeting; SALDO amendments to be presented tentatively in July 2024
Act 537 Update		Act 537 Plan Update authorized 3/20/23; Engineer's meeting 6/27/23 with JSchmidt & GHood to discuss update to sewer service areas. G&A provided CKS with upcoming Land Developments on 10/9/23; CNBTJSA provided update to BOS on 2/5/24; CDK met with CNBTJSA on 2/12/24 to discuss reduced scope and updated map; Draft Act 537 Map under rvw;
Road Program		Bid Opening 5/29/24; Residents have until July to replace curb for 2024 Program; Starting notification process and concrete inspections for 2025-2029 Road Program;
North Branch and Pine Run Park Upgrades	Forrest Park Dr. to Cayuga Cir.	Low-flight drone aerial topography authorized on 3/18/24; All files rec'd from Cooper Aerial 5/15/24; Existing Conditions Plan being prepared
Code Enforcement Services		
<b>Subdivision and Land Development Projects - Planning and Reviews</b>		
<b>Project Name</b>	<b>Location</b>	<b>Status</b>
MarMar Major Subdivision (fka Lohin)	Township Line Road and Walter Rd	7-Lot Subd and LD with new private cul-de-sac rd. Prel/Final Plans approved on 9/27/21; Planning Module approved by DEP. Plans approved on 3/30/23; "7 Walters LLC" (MarMar Builders) executing agreements.
123 Creek Road Minor Subdivision (Labrozzi)	123 Creek Road	PM Exemption rec'd 10/21/22; G&A Rvw2 issued 10/18/23; BOS approved 11/20/23; Rev. Resolution approved at 3/4/24 BOS mtg.
Clauser Tree Care (Holy Properties)	324 Schoolhouse Road	ESCROW met to discuss approval 4/20/22; Phase 2 plan ESCROW 1 release request apprvd 6/20/22; Amended Final Plan Rvw issued 2/22/24; Amended Final Plan approved 3/4/24; Check-out Plans approved. Proposed Plans being circulated for
98 Railroad (JAMP)	98 Railroad Avenue	3 new SFD's, 1 Existing SFD to remain; Amended final approval 5/21/21; Proposing public sewer. DEP Exemption received 6/30/23; Plan approval issued 8/16/23; Eng. confirming location of 30" water line; Record Plans being generated; Railroad3, LLC executing agreements

**Subdivision and Land Development Projects - Planning and Reviews (continued)**

<b>Project Name</b>	<b>Location</b>	<b>Status</b>
Galena Reserve	Limekiln Road	B9 MHP II - 46 33 Age-Restricted Units; Preliminary Plan rvw issued 1/18/23; need correspondence from Water and Sewer Authorities
Benner Subdivision	Dolly Lane	Plan and Legal Desc approval issued 11/16/22; Awaiting Outside Agency Approvals; Aqua needs approval of PUC to service development outside their service area; Record Plans being prepared and Agreements drafted
Byer's Choice	4355 County Line Rd	Staff meeting 3/21/24 to discuss potential Subdivision/LD; Applicant to submit a Sketch Plan for Zoning and Engineering Review
180 New Britain Boulevard Land Development	354 Schoolhouse Road	Consolidation of two parcels and expansion of parking and loading areas. Eng Sketch Rvw issued 1/16/23; Attended 1/24/23 PC and 2/6/23 BOS. Rec'd variance and special exception at 6/22/23 ZHB
Petrucci Land Development	Manor Drive	Age-Restricted Apartments, Medical Office, Senior Living Facility and/or 60,000-SF Warehouse/Office; Sketch Rvw (Warehouse) issued 6/9/22; attended 6/28/22 PC, 7/11/22 BOS, 11/2/22 Staff Mtg, 12/1/22 BOS, 2/14/23 Staff Mtg, 4/3/23 BOS; ZHB Decision grated 11/20/24
141 Independence Lane Land Development	141 Independence Ln	92,825-SF warehouse; Received variances from ZHB; Prel/Final Plans approved 10/17/22; Checkset Plan approval 5/25/23; Rec'd Planning Exemption/NPDES Permit;
Toil Brothers Land Development (Birch Run)	County Line Road	44 Townhomes; Sketch Rvw 4/20/22; 4/26/22 PC; 3/16/22 BOS Mtg; 5/9/22 Eng Mtg; 9/7/22 Staff Mtg; 11/29/22 Eng Mtg; 1/10/23 Eng Mtg; 1/23/23 BOS Mtg; 5/1/23 Conditional Use Hearing; Adjudication approved 7/17/23; G&A Prel Rvw 2/21/24; 2/27/24 PC; 3/18/24 BOS; Resolution approved at 4/1/24 BOS; Final Plans under rvw
Casadonti Subdivision and Land Development	396 King Road	5 new SFD lots; Residents concerned with uplighting, road widening, and well impacts. Planning Module Exemption apprvd 10/12/23; BOS apprvd at 9/25/23 mtg (Res 2023-21); Plans apprvd 2/1/24; Agreements recorded
Dunkin Donuts - Rao Group	545 W. Butler Ave	2 Sketches reviewed for a 2,500-SF bldg with Drive-thru; G&A Sketch Rvw 9/21/22; 9/27/22 PC Mtg; 5/31/23 Staff Mtg. Access to site was discussed. Applicant forwarded PennDOT crsp and a revised Sketch Plan following mtg. BOS mtg 2/5/24; ZHB variance granted 2/15/24 for 2,530-SF Dunkin Use with 18 parking spaces and drive-thru-No Papa Johns; Preliminary Plan Rvw 5/13/24
C.P. Rankin	4359 County Line Road	31,000-SF building addition for 9 warehouse spaces; attended 5/23/23 PC; Prel/Final Eng Rvw issued 10/10/23; PC apprvd 10/24/23; BOS approved 11/20/23; Coordinating with PennDOT on frontage improvements
Isai Kastriot	104 S. Limekiln Pike	3-lot Subd for 3 new single-fam semi-detached(twins); Rec'd variance on 9/25/23 to allow 2 B3 uses on two lots. Attending May ZHB for revised layout.
Hulton Contracting	4645 County Line Rd	12,800-SF, 16-Unit Storage Building; Sketch Plan/Amended Final Plans under review
Estates at Julius Farm (PRDC)	Dorothy Lane & Anna Way (Walters Road)	12 of 12 lots substantially complete. Escrow Rel 5 approved 9/4/19. Development paved 11/14/22. Punchlist being addressed. 5/8/24 Staff Mtg; Site Mtg held 5/23/24; Dorothy Lane and Anna Way to be dedicated.

Subdivision and Land Development Projects - Under Construction		
Project Name	Location	Status
Naplin LD (Nappen & Associates)	4371 County Line Road	Record Plans recorded 8/22. Township previously discussed acquiring ROW along CLR to accommodate future widening at Richardson Road. Rel 4 scheduled for 6/3/24; Site work is wrapping up, has tenants; G&A recommended TCO for Units C/D (Benchmark) on 4/29/24
Tecce Minor Subdivision	9 Sellersville Road	Prelim/Final Plans approved 9/27/21 for 2 SFD's; Record Plans recorded 8/3/22; Driveway waiver approved 2/6/23; Revised Plot Plan approvals issued 9/23/23. Pre-Con held 10/4/23. Houses under construction
Sharpan Building Permit	52 N. Chapman Road	1 new SFD Under Construction; Conservation Easement Violation Notice Issued; 4/28/22 Mtg with Owner; As-built survey review issued 10/27/22; Cons Easement Lgl approved, need revised as-built plan
84 Schoolhouse Road	84 Schoolhouse Road	5-Lot SFD LD with hammerhead cul-de-sac rd. Prel/Final Plans approved 9/26/22; Record Plans recorded. Pre-Con Mtg held 12/20/23; Tree clearing completed 2/7/24; Site work started 2/26/24; Release 1 3/14/24; Twp to acquire ROW along Byers Choice for offsite trail; Offsite trail installed; Bulk site work completed, prepping for house construction
Highpoint Land Development	1 Highpoint Drive	CU apprvd for 137 units (twins/towns). Prelim/Final apprvl received 4/14/22; Pre-Con 7/6/23; Amended Final Plans approved 11/20/23 and recorded; 29 units under construction of 137; Walking trail being installed
County Builders Mixed Use	409 West Butler Ave	Site work for 70-Unit Apt Bldg under construction; Drainage complaint from Mr. Cain being addressed by developer; Site seeded and stabilized; parking lot paved; Rel1 approved; Apartment bldg under construction. Coordinating with developer on street lights
Mortimer Minor Subdivision	Curley Mill Road	Litigation settled 5/16/22 for 1 new SFD lot; BOS approved Prel/Final Plan 11/21/22; Plans recorded 4/24;
Prestige/Defelice Minor Subd	137 S. Limekiln Pike	One new SFD lot; Received variance at 2/23/23 ZHB; Approved by BOS on 6/19/23; Planning Module appvd 9/23; Plans approved 8/15/23; Agreements being signed. Record Plans recorded; Precon 3/13/24; Zoning Plan apprvd 5/8/24
Subdivision and Land Development Projects - In Maintenance Period		
Project Name	Location	Status
Vineyard (Prestige)	Upper Stump, Upper Church, Old Limekiln Rd	Township accepted dedication and approved Rel#10(FINAL). Lot 10 building permit received under different owner/applicant under construction; Executed Third Amended Declaration of Covenants needed for Lot 1 (Casadonti); Permit application anticipated for Lot 6
New Britain Woods (Toll Brothers)	Haines Ct and Rowland Lane	Escrow Rel approved 11/7/22. 18-mo maintenance period to end 4/2024; Maintenance Punchlist issued 3/21/24; Punchlist being reviewed in the field 6/24; NBT to add to Liquid Fuels
Mill Ridge Land Development	Mill Ridge Drive	8 new SFD's and new cul-de-sac rd. Dedication accepted at 01/23/23 BOS Mtg. NBT to add to liquid fuels. Maintenance to end 7/1/24; G&A and NBTPW reviewed site 5/7/24
NB Meadows Houselines	New Galena Road	Release 2 approved 3/20/23; 18-mo maintenance to end 9/1/24
180 New Britain Boulevard Land Development	180 New Britain Boulevard	Parking lot expansion for existing 101,700-SF building completed; Rel3 approved 10/16/23; Maintenance Period to end 1/17/25