

LOCATION MAP
SCALE: 1"=1000'

ZONING DATA:

ZONED: C1 - COMMERCIAL DISTRICT
SITE IS LOCATED IN THE BUTLER AVENUE CORRIDOR OVERLAY DISTRICT

	REQUIRED	EXISTING
MIN. LOT AREA	1 AC.	0.65 AC ⁽¹⁾
MIN. LOT WIDTH	150 FT.	150 FT.
MAX. BLDG. COVERAGE	40%	12%
MAX. IMPERV. COVERAGE (SITE)	70%	75% ⁽¹⁾
MAX. IMPERV. COVERAGE (LOT)	75%	75%
MIN. YARDS		
FRONT	40 FT.	61 FT.
SIDE	15 FT.	10 FT. ⁽¹⁾
REAR	30 FT.	N/A
BLDG. SETBACK FROM PAVING	20 FT.	3.4 FT. ⁽¹⁾

BUTLER AVENUE CORRIDOR OVERLAY REQUIREMENTS:

	REQUIRED	EXISTING
MIN. BLDG. SETBACK FROM STREETS	50 FT.	61 FT.
MIN. PARKING AND DRIVEWAY SETBACK FROM BUTLER AVE	25 FT.	20 FT. ⁽¹⁾
MIN. PARKING AND DRIVEWAY SETBACK FROM COUNTY LINE RD	10 FT.	5 FT. ⁽¹⁾
MAX. BLDG. COVERAGE	40%	12%
MAX. IMPERV. COVERAGE	65%	75% ⁽¹⁾

BUILDING COVERAGE CALCULATIONS:

PERMITTED: 40%
0.65 AC. x 0.40 = 0.26 AC.
EXISTING:
0.08 AC.
0.08 AC./0.65 AC. = 12%

SITE IMPERVIOUS SURFACE CALCULATIONS:

PERMITTED: 70%
0.65 AC. x 0.70 = 0.46 AC.
EXISTING:
0.08 AC. SIDEWALKS
0.02 AC. PARKING
0.39 AC. TOTAL
0.49 AC./0.65 AC. = 75%⁽¹⁾

⁽¹⁾EXISTING NON-CONFORMITY

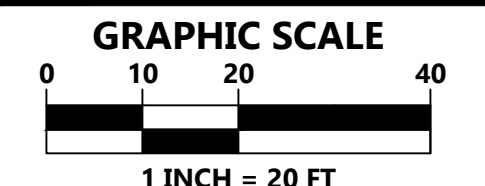
REV/DESCRIPTION AUTH DATE

SERIAL NO. 20223183581

Before You Dig Anywhere

Know what's below. Call before you dig. PA Law requires a working plan before any excavation. PA ONE CALL SYSTEM INC.

STOP CALL: 1-800-242-2776



PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSED, OR COLORED INK SEAL OF THE RESPONSIBLE PROFESSIONAL, SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18041
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (610) 345-1876

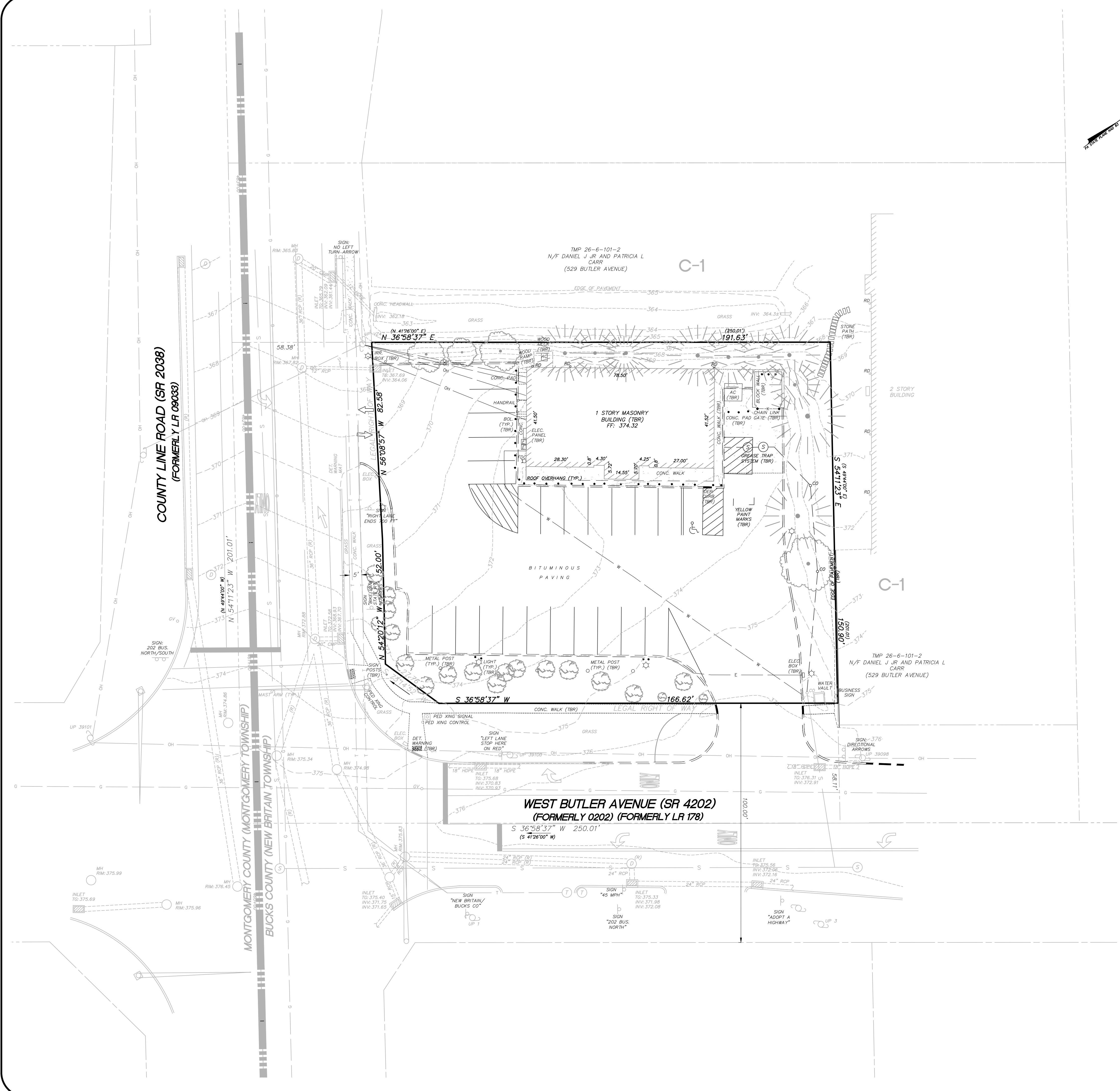
EXISTING FEATURES PLAN

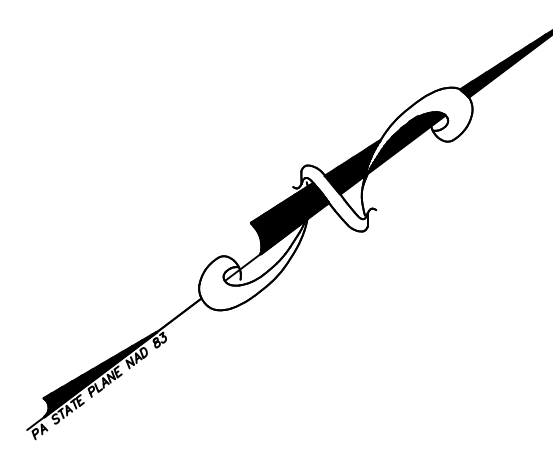
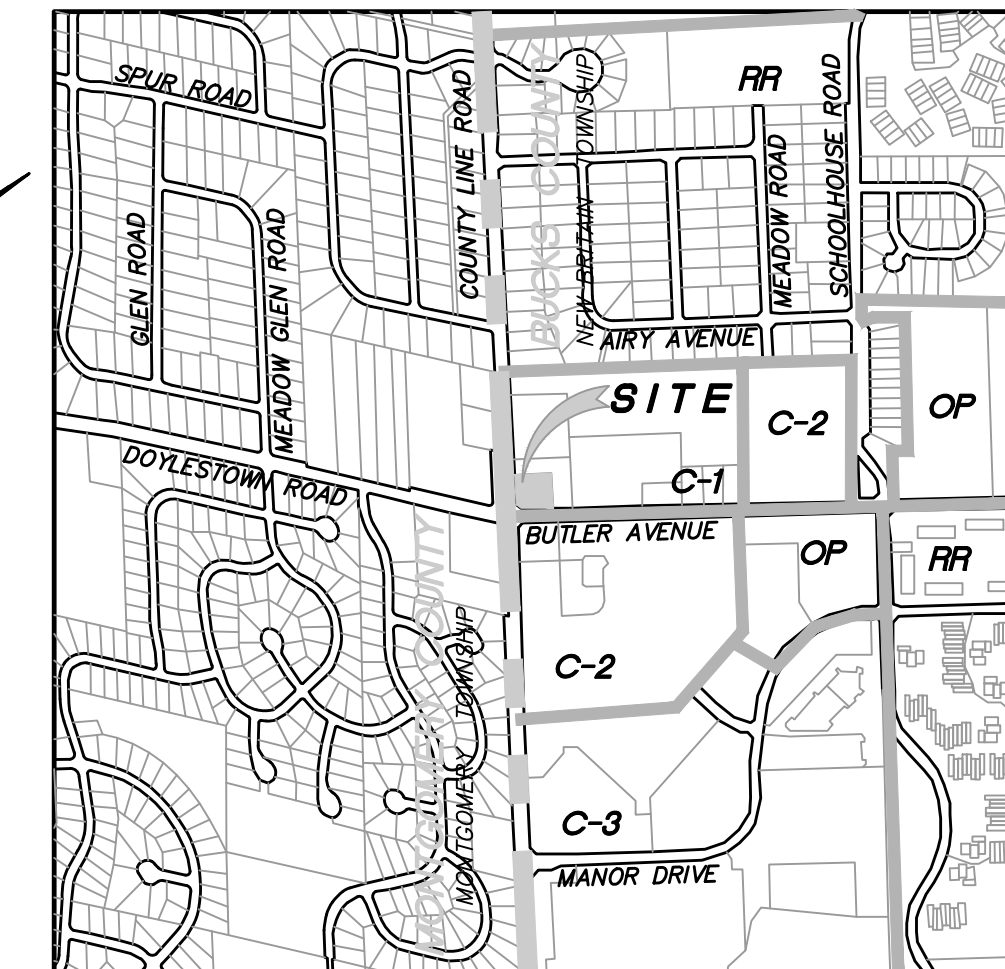
FOR
SPOTLESS BRANDS

DATE:	JULY 25, 2024
SCALE:	1"=20'
DESIGNED BY:	LSM
DRAWN BY:	LSM
CHECKED BY:	SDC
JOB NUMBER:	24-02-NBR

TMP: 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA





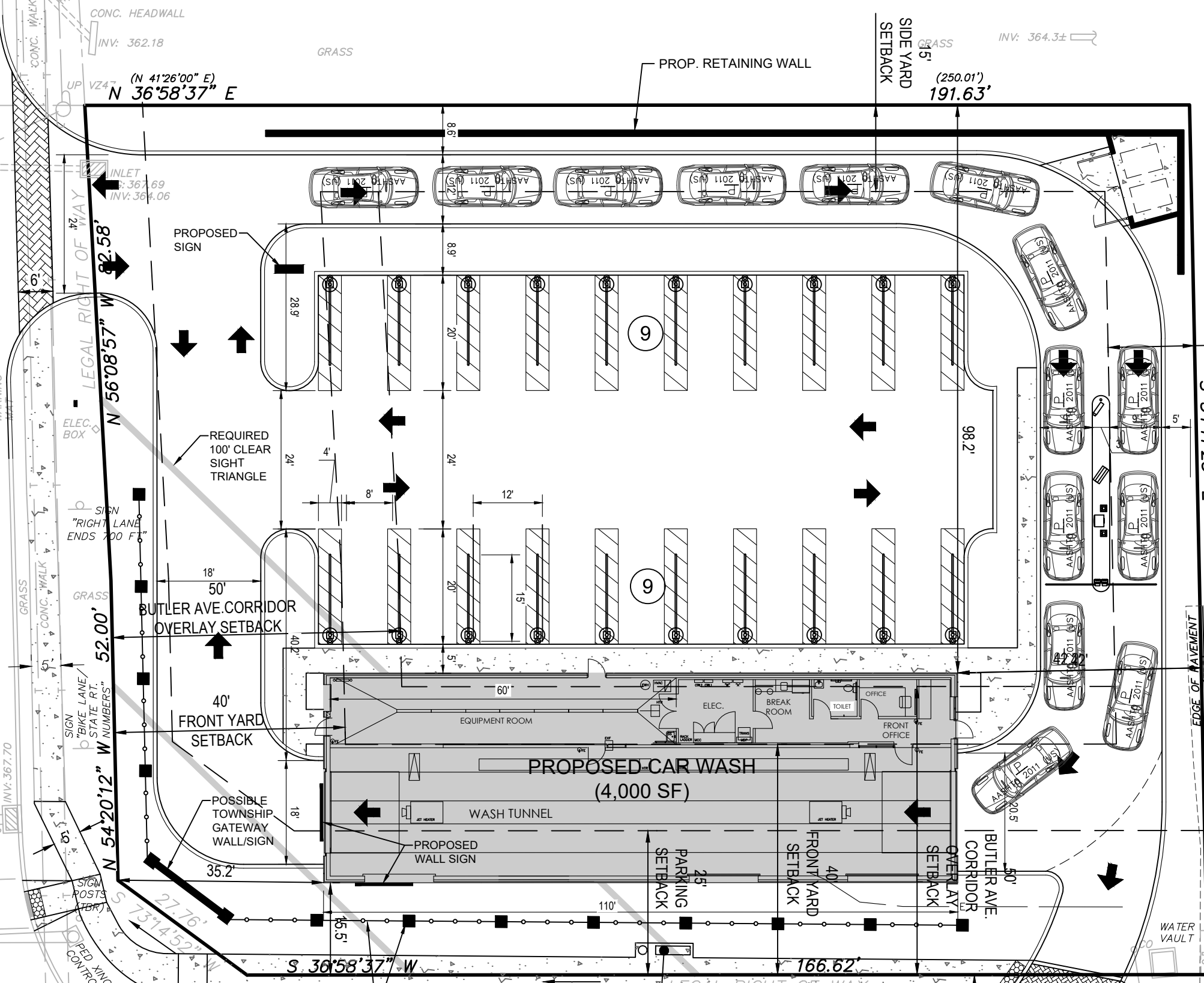
COUNTY LINE ROAD (SR 2038)
(FORMERLY LR 09033)

(N 494°00' W)
(N 54°11'23" W 201.01')

MONTGOMERY COUNTY (MONTGOMERY TOWNSHIP)
BUCKS COUNTY (NEW BRITAIN TOWNSHIP)

TMP 26-6-101-2
N/F DANIEL J JR AND PATRICIA L
CARR
(529 BUTLER AVENUE)

WEST BUTLER AVENUE (SR 4202)
(FORMERLY 0202) (FORMERLY LR 178)



ZONING DATA:

ZONED: C1 - COMMERCIAL DISTRICT
SITE IS LOCATED IN THE BUTLER AVENUE CORRIDOR OVERLAY DISTRICT
PROPOSED USE: J19 - CAR WASH (PERMITTED)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	1 AC	0.65 AC ⁽¹⁾	0.65 AC ⁽¹⁾
MIN. LOT WIDTH	150 FT.(250 FT PURSUANT TO J-19 CAR WASH REQUIREMENTS)	150 FT ⁽¹⁾⁽³⁾	150 FT ⁽¹⁾⁽³⁾
MAX. BLDG. COVERAGE	40%	12%	14%
MAX. IMPERV. COVERAGE (SITE)	70%	75% ⁽¹⁾	75% ⁽¹⁾
MAX. IMPERV. COVERAGE (LOT)	75%	75%	75%
MIN. YARDS			
FRONT	40 FT.	61 FT.	15.5 FT ⁽²⁾
SIDE	15 FT.	10 FT. ⁽¹⁾	42 FT.
REAR	30 FT.	N/A	N/A
BLDG. SETBACK FROM PAVING	20 FT.	3.4 FT. ⁽¹⁾	0 FT. ⁽¹⁾⁽²⁾

BUTLER AVENUE CORRIDOR OVERLAY REQUIREMENTS:

	REQUIRED	EXISTING	PROPOSED
MIN. BLDG SETBACK FROM STREETS	50 FT.	61 FT.	15.5 FT. ALONG BUTLER AVE. ⁽⁴⁾ 35.2 FT. ALONG CNTY.LINE RD. ⁽⁴⁾
MIN. PARKING AND DRIVEWAY SETBACK FROM BUTLER AVE	25 FT.	20 FT. ⁽¹⁾	18 FT. ⁽⁴⁾
MIN. PARKING AND DRIVEWAY SETBACK FROM COUNTY LINE RD	10 FT.	5 FT. ⁽¹⁾	6.2 FT. ⁽¹⁾
MAX. BLDG. COVERAGE	40%	12%	14%
MAX. IMPERV. COVERAGE	65%	75% ⁽¹⁾	75% ⁽¹⁾

BUILDING COVERAGE CALCULATIONS:

PERMITTED: 40%
0.65 AC. x 0.40 = 0.26 AC.

EXISTING:
0.08 AC.
0.08 AC./0.65 AC. = 12%

PROPOSED:
0.09 AC.
0.09 AC./0.65 AC. = 14%

SITE IMPERVIOUS SURFACE CALCULATIONS:

PERMITTED: 70%
0.65 AC. x 0.70 = 0.46 AC.

EXISTING:
BUILDING 0.08 AC.
SIDEWALKS, WALLS 0.02 AC.
PARKING 0.39 AC.
TOTAL 0.49 AC.

PROPOSED:
BUILDING 0.09 AC.
SIDEWALKS, WALLS 0.04 AC.
PARKING 0.36 AC.
TOTAL 0.49 AC.

0.49 AC./0.65 AC. = 75%⁽¹⁾

PARKING CALCULATIONS:

REQUIRED: PARKING IS NOT REQUIRED FOR A CAR WASH.

PROPOSED:
18 SPACES

(1)EXISTING NON-COMFORMITY
(2)VARIANCE REQUIRED
(3)250 FEET FOR A LOT WITH A DRIVEWAY ENTERING ON AN ARTERIAL STREET.
(4)A WAIVER FROM BUTLER AVENUE CORRIDOR OVERLAY REQUIREMENTS IS REQUIRED.

REQUESTED VARIANCES:

- §27-305.J19.b.1. §27-2103. REQUIRING A LOT WIDTH OF 250 FEET. A LOT WIDTH OF 150 FEET EXISTS/IS PROPOSED.
- §27-305.J19.b.3. REQUIRING ACCESS TO ROADS BE AT LEAST 200 FEET FROM THE INTERSECTION OF ANY STREETS. ACCESS IS PROPOSED TO BE APPROXIMATELY 130 FEET FROM THE INTERSECTION ALONG BOTH STREETS.
- §27-1202.b. §27-2105. REQUIRING A FRONT YARD OF 40 FEET. A FRONT YARD OF 15 FEET IS PROPOSED.
- §27-2111.a. REQUIRING A CLEAR SIGHT TRIANGLE OF 100 FEET. A CLEAR SIGHT TRIANGLE OF 50 FEET IS PROPOSED.

REQUESTED WAIVERS FROM BUTLER AVENUE CORRIDOR REQUIREMENTS:

- §22-722.4.C.(1)(a) REQUIRING A BUILDING SETBACK FROM BUTLER AVE OF 50 FEET. A BUILDING SETBACK ALONG BUTLER AVE OF 15.5 FEET IS PROPOSED.
- §22-722.4.C.(1)(b) REQUIRING INTERIOR DRIVES TO BE SETBACK FROM BUTLER AVE 25 FEET. A PORTION OF AN ACCESS DRIVE IS PROPOSED TO BE SET BACK FROM BUTLER AVE BY 18 FEET.
- §22-722.4.C.(2) REQUIRING A BUILDING SETBACK OF 50 FEET FROM OTHER STREETS. THE PROPOSED BUILDING IS PROPOSED TO BE SET BACK FROM COUNTY LINE ROAD BY 35.2 FEET.
- §22-722.4.D.(6) REQUIRING BICYCLE PARKING. DUE TO THE NATURE OF THE PROPOSED USE AS A CAR WASH, BICYCLES ARE NOT EXPECTED.
- §22-722.4.D.(8)(a) REQUIRING A LANDSCAPE AREA WITHIN THE PARKING OF 5%. LANDSCAPING WITHIN THE PAVED AREA IS NOT PROPOSED. LANDSCAPING IS PROPOSED ALONG THE PERIPHERY OF THE PARKING.
- §22-722.4.F.(2) REQUIRING A SIDEWALK CONNECTION FROM THE PUBLIC SIDEWALK TO THE PRINCIPAL CUSTOMER ENTRANCE. DUE TO THE NATURE OF THE PROPOSED USE, THIS REQUIREMENT IS NOT NECESSARY.
- §22-722.4.H. REQUIRING A GREEN SPACE OF 15%. IN LIEU OF GREEN SPACE, A WELCOME SIGN/WALL IS PROPOSED AT THE STREET INTERSECTION.

GENERAL NOTES:

- THIS MAP REPRESENTS A BOUNDARY SURVEY COMPLETED BY VCEA IN DECEMBER 2022. THE REPRESENTATION OF THE TRACT BOUNDARY HEREON IS BASED ON PA STATE PLANE COORDINATE SYSTEM (NAD 83). THE COURSES AND DISTANCES SHOWN IN (PARENTHESES) ARE DERIVED FROM THE DEED OF RECORD.
- THE TOPOGRAPHIC SURVEY WAS PERFORMED BY VCEA IN DECEMBER 2022. THE VERTICAL DATUM IS NAVD 88 BASED ON RTK OBSERVATIONS DERIVED THROUGH THE KEYNETGPS TRIMBLE VRS NETWORK.
- THE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING EASEMENTS AND OTHER DOCUMENTS THAT MAY AFFECT THE QUALITY OF TITLE FOR THE SUBJECT PROPERTY WAS OBTAINED FROM ORDER NUMBER: 10370987, FILE # PH1220891 PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY FOR RAO GROUP, INC., HAVING A DATE OF MARCH 18, 2022.
- THIS SITE IS SITUATED IN FLOOD ZONE X, BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), MAP NUMBER 42017C0288K, HAVING AN EFFECTIVE DATE OF MARCH 21, 2017.
- SOILS TAKEN FROM NRCS WEBSITE. PER NRCS MAPPING, THE ENTIRE SITE IS COMPRISED OF URBAN SOILS.
- PURSUANT TO NATIONAL WETLANDS INVENTORY MAPPING, THIS SITE DOES NOT CONTAIN WETLANDS. ALSO, PURSUANT TO THE NRCS SOIL SURVEY, THE SITE DOES NOT CONTAIN FLOODPLAIN SOILS.

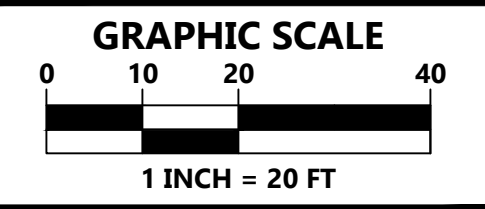
REV/DESCRIPTION AUTH DATE

SERIAL NO. 20223183581

Before You Dig Anywhere

Know what's below. Call before you dig. STOP CALL: 1-800-242-2776

PA ONE CALL SYSTEM INC.



PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSED, OR COLORIZED INK SEAL OF THE RESPONSIBLE PROFESSIONAL, SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

Van Cleef
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC
501 NORTH MAIN STREET, DOYLESTOWN, PA 18041
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (610) 345-1876

SKETCH PLAN

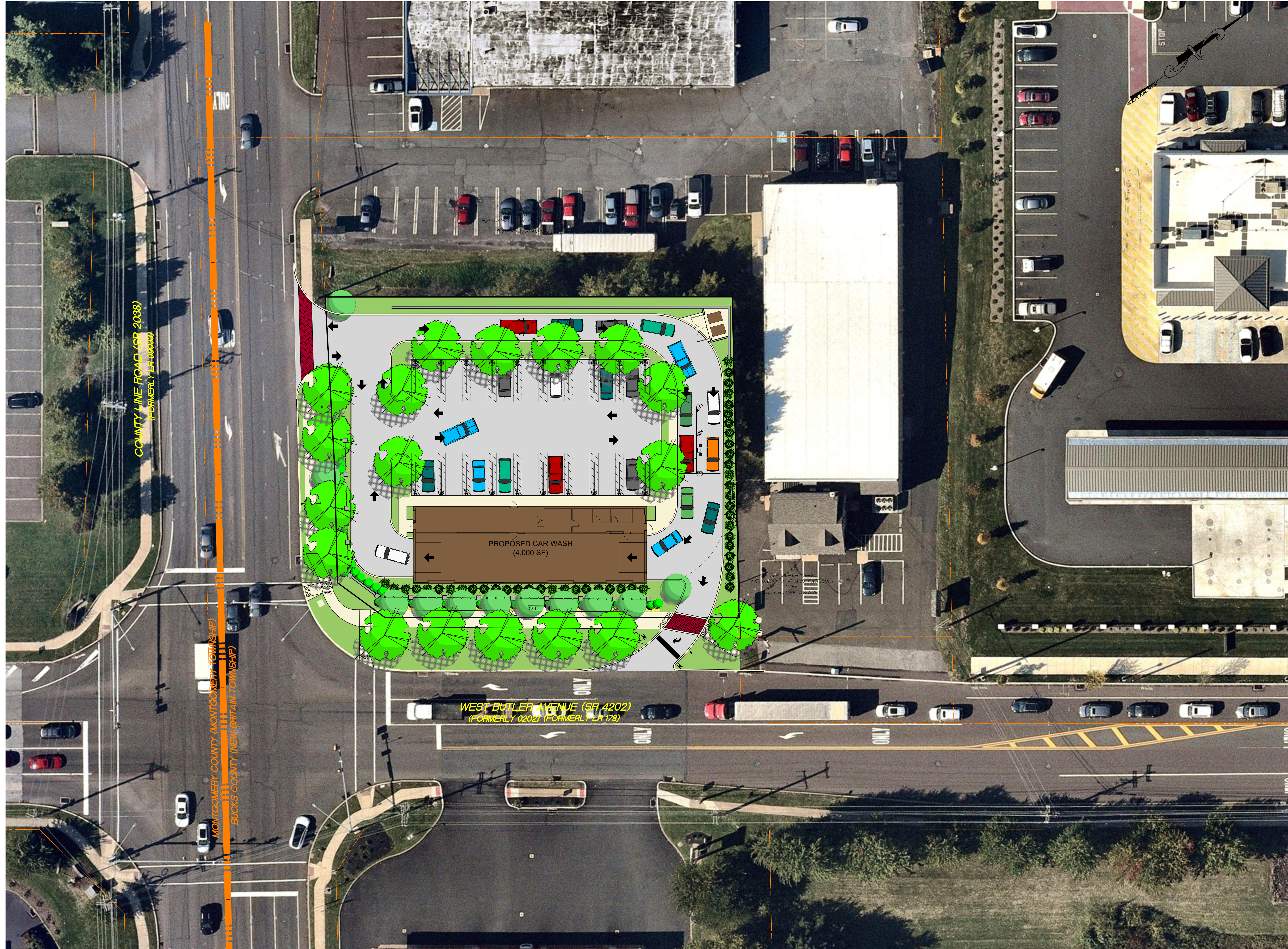
FOR

SPOTLESS BRANDS

DATE:	JULY 25, 2024
SCALE:	1"=20'
DESIGNED BY:	LSM
DRAWN BY:	LSM
CHECKED BY:	SDC
JOB NUMBER:	24-02-NBR

TMP: 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA



COUNTY LINE ROAD (SR 2038)
(FORMERLY LH 00099)

MONTGOMERY COUNTY (MONTGOMERY TOWNSHIP)
BUCKS COUNTY (NEW BRITAIN TOWNSHIP)

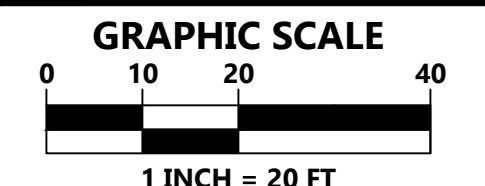
WEST BUTLER AVENUE (SR 4202)
(FORMERLY 0202) (FORMERLY LH 178)

PROPOSED CAR WASH
(4,000 SF)

REV/DESCRIPTION AUTH DATE

SERIAL NO. 20223183581

Before You Dig Anywhere
in... PENNSYLVANIA
Know what's below. STOP CALL: 1-800-242-2776
Call before you dig. PA Law requires 3 working days notice before dig. PA ONE CALL SYSTEM INC.



PLAN NOTATION
ONLY THOSE PLANS WHICH CONTAIN A DIGITAL IMPRESSED, OR COLORIZED INK SEAL OF THE RESPONSIBLE PROFESSIONAL SHALL BE CONSIDERED VALID. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF VAN CLEEF ENGINEERING ASSOCIATES IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.

SKETCH PLAN WITH LANDSCAPING

FOR
SPOTLESS BRANDS

DATE:	JULY 25, 2024
SCALE:	1"=20'
DESIGNED BY:	LSM
DRAWN BY:	LSM
CHECKED BY:	SDC
JOB NUMBER:	24-02-NBR

TMP: 26-006-101-001

NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

P:\Projects\2024\24-02-NBR-DWG-SKETCH-PLAN-8462-2402-NBR.dwg 17/22/2024 14:53:14 PM