

OWNER'S CERTIFICATION OF INTENT
BROOKE ENTERPRISES LLC

COMMONWEALTH OF PENNSYLVANIA
SS. COUNTY OF BUCKS
ON THE _____ DAY OF _____ 20____
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC, PERSONALLY APPEARED _____ CRAIG RANKIN
WHO ACKNOWLEDGED HIMSELF/HERSELF TO BE _____ PRESIDENT _____ OF BROOKE ENTERPRISES LLC
BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING PLAN, AND DESIRES THAT THE FOREGOING PLAN BE
RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES _____
(SEAL)

WE, BROOKE ENTERPRISES LLC, HAVE LAID OUT UPON OUR LAND, SITUATE IN THE TOWNSHIP OF NEW BRITAIN, BUCKS COUNTY, AND DESIRE THIS PLAN BE RECORDED.

NAME OF CORPORATION _____
BY: _____
NAME: CRAIG RANKIN
TITLE: PRESIDENT

TOWNSHIP ENGINEER'S REVIEW
REVIEWED BY THE TOWNSHIP ENGINEER THIS _____ DAY OF _____ 20____
SIGNATURE _____

TOWNSHIP BOARD OF SUPERVISORS APPROVAL
APPROVED BY THE SUPERVISORS OF NEW BRITAIN TOWNSHIP, THIS _____ DAY OF _____ 20____

BUCKS COUNTY PLANNING COMMISSION
B.C.P.C. FILE # 12851
PROCESSED AND REVIEWED, A REPORT HAS BEEN PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE _____

RECORDER OF DEEDS NOTATION
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN BUCKS COUNTY, PENNSYLVANIA, IN
PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____ 20____

PROFESSIONAL LAND SURVEYOR CERTIFICATION
I, Thomas Palinski, SU-075703
(NAME OF PROFESSIONAL SURVEYOR) (REGISTRATION NUMBER)
DO HEREBY CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY SUPERVISION, THAT ALL PROPERTY CORNERS ARE EXISTING OR SET AS SHOWN HEREON, THAT ALL GEOMETRIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000 OR BETTER.

PROFESSIONAL ENGINEER CERTIFICATION
I, Rachel L. Butch, PE-076418
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF NEW BRITAIN TOWNSHIP AS LAST AMENDED.

STORMWATER MANAGEMENT SITE PLAN PROFESSIONAL ENGINEER CERTIFICATION
I, Rachel L. Butch, PE-076418
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
ON THIS DATE _____ DO HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE NEW BRITAIN TOWNSHIP NESHAMINY CREEK WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCE OR PLAN.

RESPONSIBLE PARTY CERTIFICATION
I, _____ ON THIS DATE, _____
CERTIFY THE FOLLOWING:
1. ANY REVISION TO THE APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST BE APPROVED BY NEW BRITAIN TOWNSHIP AND A REVISED EROSION & SEDIMENTATION CONTROL PLAN MUST BE SUBMITTED TO THE BUCKS COUNTY CONSERVATION DISTRICT.
2. PERMANENT STABILIZATION, UNDER 25 PA CODE §102.22(A)(2), OF THE EARTH DISTURBANCE ACTIVITIES HAS OCCURRED AND THE INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED PER §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL, AND PCSM REQUIREMENTS) HAS OCCURRED.

TITLE _____
SIGNATURE _____ DATE _____

GENERAL NOTES:

- PLAN SHEETS 1 - 7 OF 7 AS SHOWN IN THE SHEET INDEX SHALL BE CONSIDERED A PART OF THE APPROVED PLAN SET AS IF RECORDED WITH SAME.
- THE ULTIMATE RIGHT-OF-WAY ALONG COUNTY LINE ROAD IS HEREBY OFFERED FOR DEDICATION TO NEW BRITAIN TOWNSHIP.
- A BLANKET EASEMENT OVER THE PROPERTY IS HEREBY OFFERED TO THE TOWNSHIP FOR ACCESS, INSPECTION, AND MAINTENANCE OF THE ON-SITE STORMWATER FACILITIES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON THE PROPERTY.
- THE APPLICANT IS REQUIRED TO MAINTAIN AN AREA OF CLEAR SIGHT DISTANCE, LOCATED 10 FT BACK FROM THE EDGE OF THE CARTRAY. THE TOWNSHIP HAS THE RIGHT TO ENTER AND PERFORM REQUIRED MAINTENANCE IN THE AREA IF DEEMED CRITICAL TO PUBLIC WELFARE. NO STRUCTURE, FENCE, PLANTING, OR OTHER OBSTRUCTION SHALL BE MAINTAINED BETWEEN A VERTICAL PLANE 2FT ABOVE CURB LEVEL AND A PLANE 7FT ABOVE CURB LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY AS SHOWN ON THIS PLAN. VEGETATION NOTED TO BE CLEARED SHALL BE REQUIRED TO BE REMOVED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR ANY LOT WITHIN THE SUBDIVISION.
- ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND SIMILAR INSTALLATIONS SHALL BE PLACED UNDER GROUND.
- ALL MONUMENTATION SHALL BE SET BY A PROFESSIONAL LAND SURVEYOR AND ARE TO BE SET PRIOR TO PLAN RECORDING UNLESS THE COST FOR THIS WORK IS INCLUDED IN A FINANCING SECURITY AGREEMENT.
- IN THE OPINION OF THE TOWNSHIP ENGINEER'S REPRESENTATIVE, ANY TREES, SHRUBS, OR GROUND COVER DAMAGED, KILLED, OR DISTURBED DURING OR AS A RESULT OF CONSTRUCTION SHOULD BE REPLACED ON AN EQUIVALENT CALIPER BASIS AND GUARANTEED FOR ONE YEAR.
- THIS PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN PER THE FOLLOWING FLOOD INSURANCE RATE MAPS (FIRM): BUCKS COUNTY, PENNSYLVANIA; MAP NUMBER: 420770286K, REVISED MARCH 21, 2017.
- BITUMINOUS PAVING MIXTURES SHALL NOT BE INSTALLED BETWEEN OCTOBER 31 AND APRIL 1, UNLESS PERMITTED BY THE TOWNSHIP ENGINEER. BITUMINOUS PAVING MIXTURES SHALL NOT BE PLACED WHEN SURFACES ARE WET OR WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT.
- THE PROPERTY IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
- ALL AS-BUILT STORMWATER MANAGEMENT FACILITIES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH TO VERIFY COMPLIANCE WITH THE STORMWATER MANAGEMENT FACILITIES AS DEPICTED ON THESE APPROVED FINAL PLANS. AS-BUILT PLANS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL UPON COMPLETION OF ALL FACILITIES.

SITE DATA

4359 COUNTY LINE RD.
CHALFONT, PA. 18914
TMP# 26-005-006
DB, PG. 0000,0000

SITE OWNER

BROOKE ENTERPRISES, LLC.
4359 COUNTY LINE RD.
CHALFONT, PA. 18914

ZONING

ZONING DISTRICT: I-INDUSTRIAL DISTRICT
EXISTING/PROPOSED USE: K5 - CONTRACTING (CONTRACTOR OFFICES & SHOPS) (PERMITTED BY RIGHT)
PUBLIC WATER AND SEWER

TOTAL SITE AREA: 217,797 SF. (5.00AC.)
LESS LEGAL R/W COUNTY LINE RD: 3,331 SF. (0.08 AC.)
LESS ULT. R/W COUNTY RD: 6,764 SF. (0.15 AC.)
BASE SITE AREA: 207,701 SF. (4.77 AC.)
RATIO BASE SITE AREA: 207,701 SF. (4.77 AC.)

PARKING SUMMARY

| USE | REQUIRED | PROPOSED |
|-----------------------|----------|---------------------|
| WAREHOUSE 43,596 S.F. | 87 | 90 |
| 1 SPACE/500 S.F. GFA | | |
| +1 PER COMPANY | | |
| VEHICLE STORAGE | 4 | 4 |
| TOTAL | 91 | 91 (87 STD + 4 ADA) |

SHEET INDEX

- MINOR SUBDIVISION PLAN
- EXISTING STRUCTURE & DEMOLITION PLAN
- GRADING, UTILITY & LANDSCAPING PLAN
- CONSTRUCTION DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL & CONSTRUCTION DETAILS
- POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

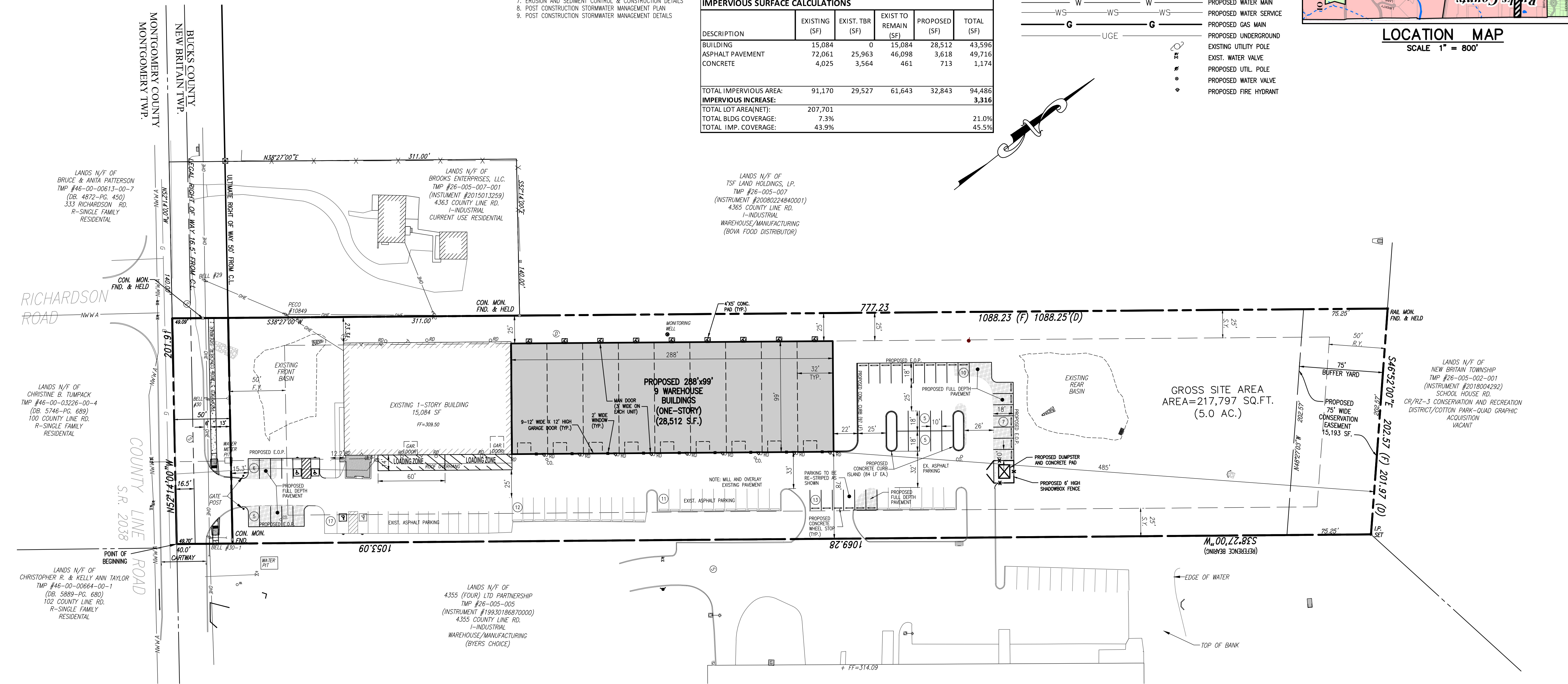
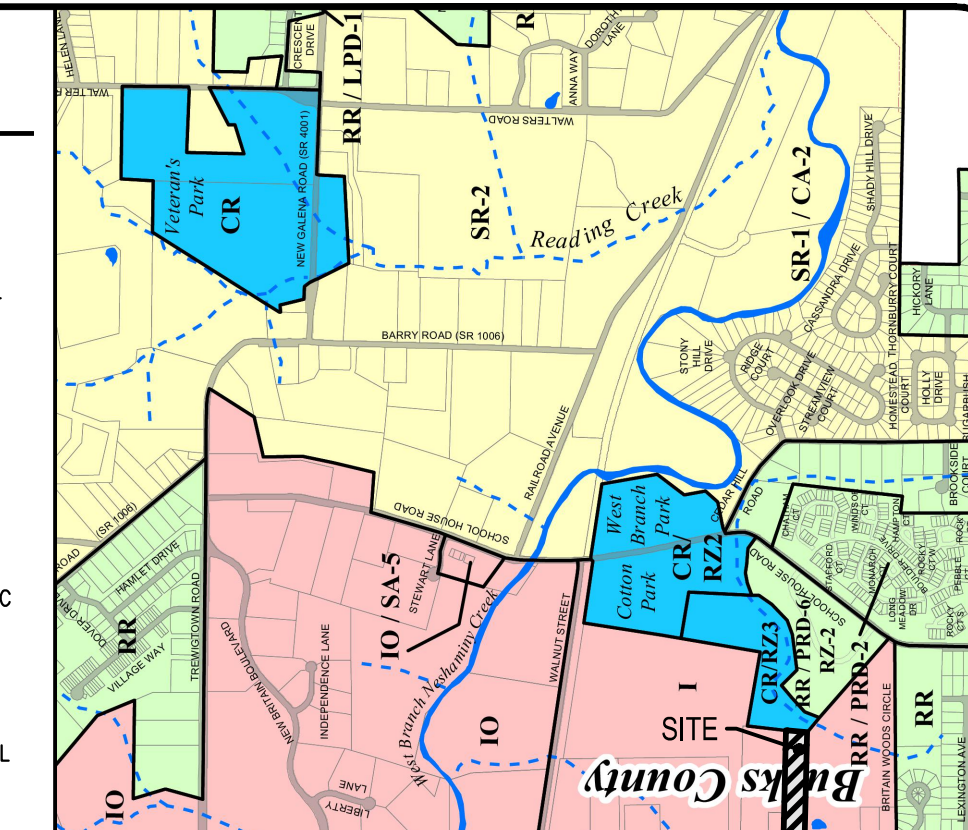
| | REQUIRED | EXISTING | PROPOSED |
|----------------------------|--------------------|-----------------------|-----------------------|
| MIN. LOT AREA (BSA): | 130,680 SF (3 AC.) | 207,701 SF (4.77 AC.) | 207,701 SF (4.77 AC.) |
| MIN. LOT WIDTH (ARTERIAL): | 300 FT. | 202 FT.* | 202 FT.* |
| MIN. LOT DEPTH: | 200 FT. | 1028 FT. | 1028 FT. |
| MIN. BLDG. ENVELOPE: | | | |
| -YARDS- | | | |
| MIN. FRONT: | 50 FT. | 101.7 FT. | 101.7 FT. |
| MIN. SIDE: | 25 FT. | 23.3 FT.* | 23.3 FT.* |
| MIN. REAR: | 50 FT. | 772.3 FT. | 493 FT. |
| MAX. BUILDING HEIGHT: | 35 FT. | 35 FT. | 35 FT. |
| MAX. BLDG. COVERAGE: | 50% | 7.3% | 21.0% |
| MAX. IMPERVIOUS COVER: | 65% | 43.9% | 45.5% |

IMPERVIOUS SURFACE CALCULATIONS

| DESCRIPTION | EXISTING (SF) | EXIST. TBR (SF) | EXIST TO REMAIN (SF) | PROPOSED (SF) | TOTAL (SF) |
|------------------------|---------------|-----------------|----------------------|---------------|------------|
| BUILDING | 15,084 | 0 | 15,084 | 28,512 | 43,596 |
| ASPHALT PAVEMENT | 72,061 | 25,963 | 46,098 | 3,618 | 49,716 |
| CONCRETE | 4,025 | 3,564 | 461 | 713 | 1,174 |
| TOTAL IMPERVIOUS AREA: | 91,170 | 29,527 | 61,643 | 32,843 | 94,486 |
| IMPERVIOUS INCREASE: | | | | | 3,316 |
| TOTAL LOT AREA(NET): | 207,701 | | | | |
| TOTAL BLDG COVERAGE: | 7.3% | | | | 21.0% |
| TOTAL IMP. COVERAGE: | 43.9% | | | | 45.5% |

LEGEND

- BOUNDARY LINE
- ADJ. BOUNDARY LINE
- SETBACK LINE
- EXISTING CONTOUR INTERVAL
- EXISTING CONTOUR INDEX
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING SANITARY LATERAL
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD ELECTRIC
- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- PROPOSED SANITARY MAIN
- PROPOSED SANITARY LATERAL
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE
- PROPOSED GAS MAIN
- PROPOSED UNDERGROUND
- EXISTING UTILITY POLE
- EXIST. WATER VALVE
- PROPOSED UTIL. POLE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT



PCSM BMP LONG TERM MAINTENANCE AND INSPECTION PROGRAM

- STORMWATER MANAGEMENT MAINTENANCE RESPONSIBILITY - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON THE PROPERTY. A BLANKET EASEMENT IS HEREBY OFFERED TO THE TOWNSHIP FOR THE PURPOSE OF INSPECTION, MAINTENANCE, AND ACCESS TO ANY STORMWATER FACILITIES NOT LOCATED WITHIN THEIR PUBLIC RIGHT-OF-WAY.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER (OR DESIGNEE) TO COMPLETE A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR, OR REPLACEMENT AND MAINTENANCE ACTIVITIES. A LOG SHOWING DETAILS THAT BMPs WERE INSPECTED, AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED, SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- THE PROPERTY OWNER OR THEIR DESIGNATED RESPONSIBLE PARTY SHALL NOTIFY THE TOWNSHIP OF ANY PROBLEMS OR FAILURES OBSERVED IN THE STORMWATER SYSTEM, INCLUDING SURFACE PONDING.

| PCSM BMP | MAINTENANCE ACTIVITY | INSPECTION SCHEDULE | ADDITIONAL SPECIFICATIONS, POTENTIAL FAILURES & CORRECTIVE MEASURES |
|-----------------------------------|---|--|--|
| STORM SEWER INLETS AND MANHOLES | • INLET GRATES SHOULD BE PULLED AND THE INSIDE OF THE INLET BOX SHOULD BE VISUALLY INSPECTED FOR SEDIMENT AND DEBRIS. ANY SEDIMENT FOUND SHOULD BE REMOVED AND ANY BLOCKAGE OF THE PIPES SHOULD BE CLEARED. | • INSPECT ANNUALLY AND AFTER EACH MAJOR RAINFALL EVENT | • X |
| STORM SEWER PIPES | • INSPECT FOR SEDIMENT AND DEBRIS AND FLUSH CLEAN WITH GARDEN HOSE OR OTHER FORM OF A FLUSHING SYSTEM | • INSPECT ANNUALLY AND AFTER EACH MAJOR RAINFALL EVENT | • X |
| SEEDING AND MULCHING | • SEED OR SOD TO RESTORE DEAD OR DAMAGED GROUND COVER • SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEEDED, AND MULCHED. | • ANNUAL MAINTENANCE AS NEEDED | • REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS |
| RIPRAP APRONS AND LEVEL SPREADERS | • DISPLACED RIPRAP SHALL BE REPLACED. • AREAS UNDERCUT BY EROSION SHALL BE REPAIRED AND RESEDED. • INSPECT INLETS AND STRUCTURES DRAINING TO LEVEL SPREADER AND REMOVE SEDIMENT AND DEBRIS | • INSPECT QUARTERLY FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION, AND THEN ON A BI-ANNUAL BASIS THEREAFTER AND AFTER EACH MAJOR RAINFALL EVENT | • SEDIMENT DEPOSITS SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE CONCRETE LEVEL SPREADER. • SHEET FLOW CONDITIONS SHALL BE SUSTAINED THROUGHOUT THE LIFE OF THE LEVEL SPREADER • MAINTAIN VIGOROUS VEGETATIVE COVER ON THE AREAS BELOW THE LEVEL SPREADER |

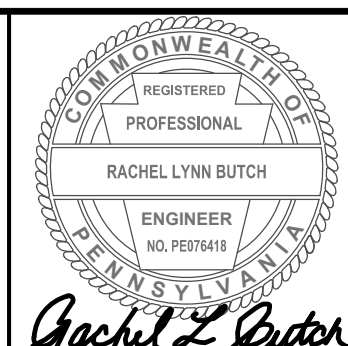
PLAN NOTATION - THESE DOCUMENTS ARE ESPECIALLY PREPARED FOR THIS PROJECT AND ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE ON ANY EXTENSION OR MODIFICATION OF THIS PROJECT OR FOR ANY OTHER PROJECT. R. L. SHOWALTER & ASSOCIATES, INC. SHALL ONLY CERTIFY THOSE DOCUMENTS THAT CONTAIN A SEAL AND SIGNATURE. ANY REUSE OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF R. L. SHOWALTER & ASSOCIATES, INC. OR THEIR USE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY WERE PREPARED IS STRICTLY PROHIBITED. IF USED FOR OTHER THAN THIS PROJECT OR OTHER THAN FOR THE PURPOSE FOR WHICH THEY WERE PREPARED, SUCH USE SHALL CONSTITUTE AN AGREEMENT BY THE PARTY USING THE DOCUMENTS AND THE CLIENT TO INDEMNIFY AND HOLD HARMLESS R. L. SHOWALTER & ASSOCIATES, INC. AND ITS SHAREHOLDERS, OFFICERS, DIRECTORS, AGENTS, EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS ARISING AS THE RESULT OF SUCH USE, EXCEPTING ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF R. L. SHOWALTER & ASSOCIATES, INC.
R. L. SHOWALTER AND ASSOCIATES, INC. ALL RIGHTS RESERVED. COPYRIGHT 2020

| NO. | DATE | REVISIONS | COMMENT |
|-----|------|-----------|---------|
| | | | |

TMP:26-005-006

LAND DEVELOPMENT
PLAN
(RECORD SHEET)

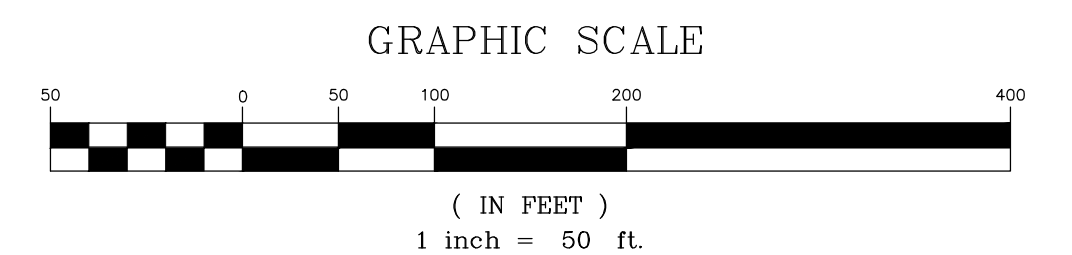
R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684
EMAIL: showalterassociates@rshowalter.com
Engineering • Planning • Surveying

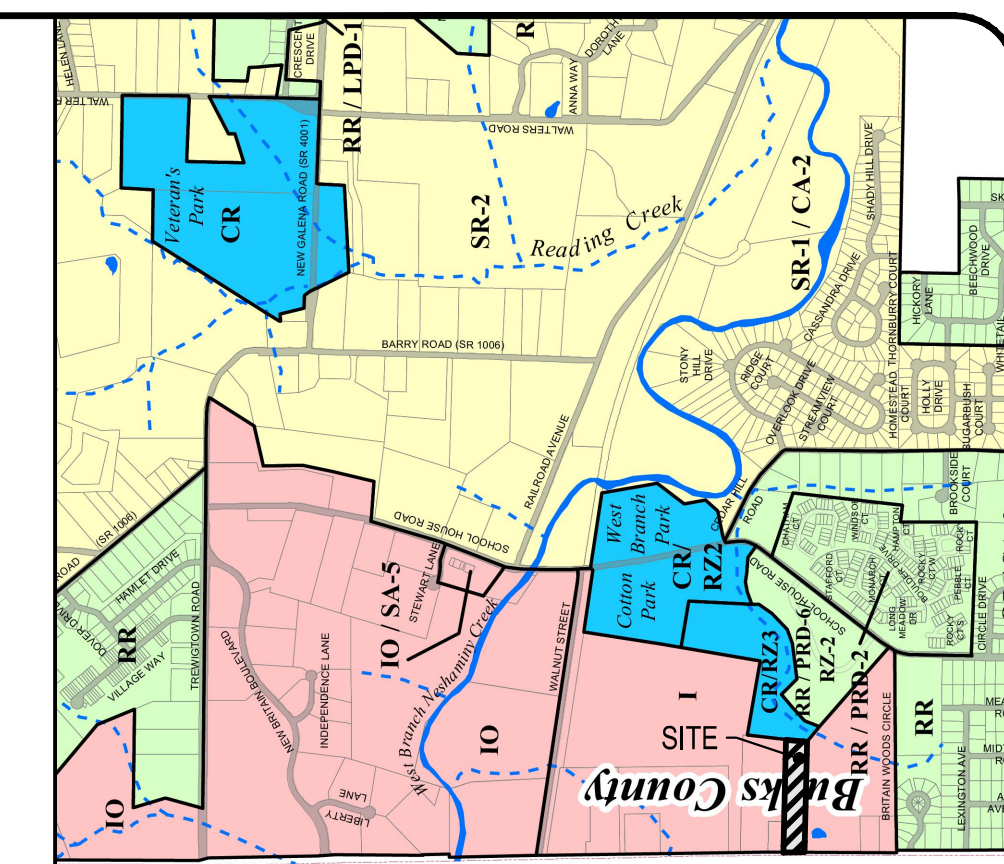


SCALE: 1"=50'
DATE: 08/24/2023
JOB NO.: 2015-070
DRAWN BY: JHS
CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA
PREPARED FOR:
BROOKE ENTERPRISES, LLC
4359 COUNTY LINE RD.
CHALFONT, PA 18914

SHEET
1 of 7





LOCATION MAP
SCALE 1" = 800'

SITE OWNER
BROOKE ENTERPRISES, LLC
4359 COUNTY LINE RD.
CHALFONT, PA. 18914

SITE DATA
4359 COUNTY LINE RD.
CHALFONT, PA. 18914
TMP# 26-005-006
DB, PFC: 0000,0000

CLASSIFICATION = ARTERIAL
ULTIMATE RIGHT-OF-WAY WIDTH = 100 FT
CARTWAY WIDTH = 52' REQUIRED, EX. VARIES
POSTED SPEED LIMIT = 45 MPH

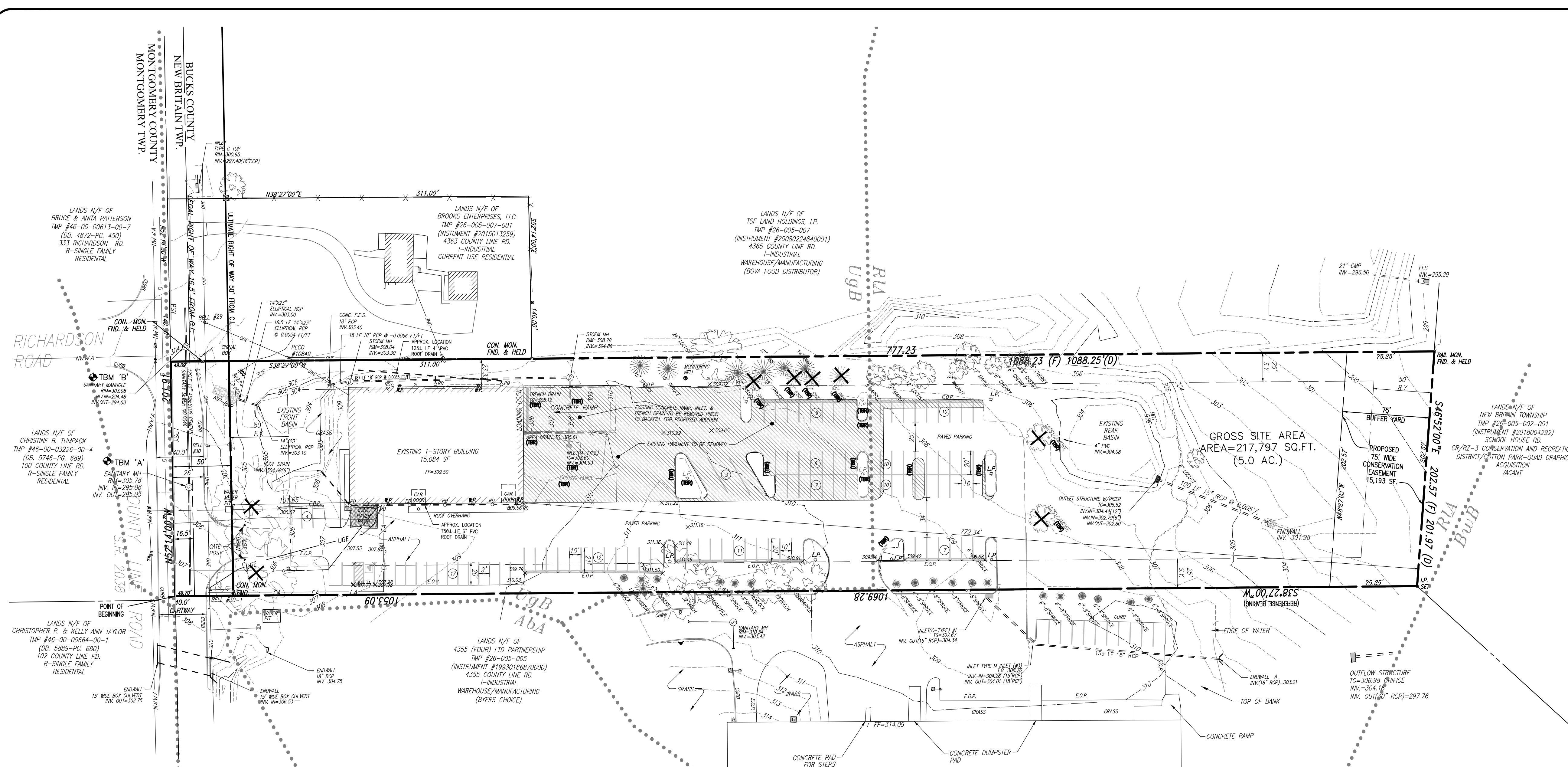
ZONING
ZONING DISTRICT: I-INDUSTRIAL DISTRICT
EXISTING PROPOSED USE: I-5 - CONTRACTING (CONTRACTOR OFFICES & SHOPS) (PERMITTED BY RIGHT)
PUBLIC WATER AND SEWER

TOTAL SITE AREA: 217,797 SF (5.00 AC.)
LESS LEGAL R/W COUNTY LINE RD: 3,331 SF (0.08 AC.)
LESS ULT. R/W COUNTY RD: 6,764 SF (0.15 AC.)
BASE SITE AREA: 207,701 SF (4.77 AC.)
RATIO BASE SITE AREA: 207,701 SF (4.77 AC.)

| MIN. LOT AREA (BSA): | REQUIRED (3 AC.) | EXISTING (4.77 AC.) |
|------------------------|------------------|---------------------|
| MIN. LOT DEPTH: | 300 FT. | 202 FT.* |
| MIN. BLDG. ENVELOPE: | 200 FT. | 1028 FT. |
| MIN. FRONT: | 50 FT. | 101.7 FT. |
| MIN. SIDE: | 25 FT. | 23.3 FT. |
| MIN. REAR: | 50 FT. | 772.3 FT. |
| MAX. BUILDING HEIGHT: | 35 FT. | 35 FT. |
| MAX. BLDG. COVERAGE: | 50% | 7.3% |
| MAX. IMPERVIOUS COVER: | 65% | 43.9% |

*EXISTING NON-CONFORMITY

- SURVEY NOTES:**
- THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO ASSUMED BEARING OF SOUTH 38 DEGREES 27 MINUTES 00 SECONDS WEST ALONG THE SOUTHERLY LINE OF THE PROPERTY AS PER THE DEED OF RECORD.
 - THE MEASUREMENTS AS SHOWN HEREON ARE TO UNITED STATES STANDARDS AND ARE IN U.S. SURVEY FEET.
 - NO TITLE SEARCH OR COMMITMENT HAS BEEN PROVIDED TO, NOR OBTAINED BY THE UNDERSIGNED FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, GOVERNMENTAL JURISDICTIONAL AREAS, PLATS, MAPS, OR OTHER INSTRUMENTS WHICH MAY AFFECT THE BOUNDARY(S) AND/OR USE OF THE SUBJECT PROPERTY.
 - THE BUILDING(S) AS SHOWN HEREON ARE THAT OF THE STRUCTURE'S PERIMETER AT GROUND LEVEL AND DO NOT INCLUDE UNDERGROUND FOOTINGS, FOUNDATIONS, OR ANY ADDITIONAL STORY OUTCROPPINGS OR EAVE OVERHANGS.
 - THE VISIBLE, ABOVEGROUND ENCROACHMENTS ARE AS SHOWN.
 - REFERENCES:
 - INSTRUMENT NO. 2013084152 (T.M.P. 26-005-006 - SUBJECT PROPERTY)
 - "BOUNDARY TOPOGRAPHICAL SURVEY" OF THE CARTER DONLEY SITE, PREPARED FOR BYER'S CHOICE, LTD., BY SHOWALTER & ASSOCIATES, JOB NO. 8092, DATED SEPTEMBER 1, 1998, LAST REVISED OCTOBER 13, 1998.
 - "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED FOR CP RANKIN ROOFING BY WILKINSON & ASSOCIATES INC., PROJECT NO. 2015-108, DRAWING NO. 2015108BT, DATED 8/19/15.
 - COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR STATE ROUTE 2038 SECTION M03R/W IN BUCKS/MONTGOMERY COUNTIES, FROM STA. 810+34.00 TO STA. 811+02.00, APPROVED BY THE SECRETARY OF TRANSPORTATION ON DECEMBER 18, 1989 AND RECORDED AS PLAN BOOK 67, PAGE 22 IN THE OFFICE OF THE BUCKS COUNTY RECORDER OF DEEDS.
 - EXISTING FIELD MONUMENTATION.
 - THE BEARINGS AND DISTANCES AS SHOWN HEREON ARE AS PER DEEDED MEASURE, UNLESS OTHERWISE NOTED.
 - THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NAVD 88 (GEOID 18) AS PER FIELD OBSERVATIONS UTILIZING KEYNETGPS, A TRIMBLE VRS NETWORK.
 - TBM 'A' - RIM OF SANITARY SEWER MANHOLE. ELEVATION = 305.78 FEET
 - TBM 'B' - RIM OF SANITARY SEWER MANHOLE. ELEVATION = 303.98 FEET



NATURAL RESOURCE CALCULATIONS PER 27-2402

| A. GROSS SITE AREA (GSA) | 5.000 AC |
|---|----------|
| B. BASE SITE AREA | 5.000 AC |
| Subtract Land within Legal Right of Way (County Line Road S.R.2038) | 0.076 AC |
| Subtract Land within Ultimate Right-of-Way (County Line Road) | 0.155 AC |
| BASE SITE AREA: | 4.768 AC |

C. LAND WITH RESOURCE RESTRICTIONS AND RESOURCE PROTECTION LAND

| NATURAL RESOURCES | PROTECTION RATIO | NO RESOURCE OVERLAP | | ACTUAL RESOURCE AREA | |
|--|------------------|----------------------------------|---------------------------|---------------------------------|------------------------------------|
| | | ACRES OF LAND IN PROTECTION (AC) | RESOURCE PROTECTION RATIO | AREA OF LAND IN PROTECTION (AC) | MAXIMUM ALLOWABLE DISTURBANCE (AC) |
| Watercourses | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Riparian Buffer | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Floodplain | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Floodplain (Alluvial) Soils | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Wetlands | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Lakes or Ponds | 1.000 | 0.000 | 0.000 | 0.000 | 0.000 |
| Wetlands Margin | 0.800 | 0.000 | 0.000 | 0.000 | 0.000 |
| Woodlands | 0.800 | 0.000 | 0.000 | 0.000 | 0.000 |
| Steep Slopes 8-15% | 0.600 | 0.000 | 0.000 | 0.000 | 0.000 |
| Steep Slopes 15-25% | 0.700 | 0.000 | 0.000 | 0.000 | 0.000 |
| Steep Slopes 25% or Greater | 0.850 | 0.000 | 0.000 | 0.000 | 0.000 |
| Total Land with Resource Restrictions | | 0.000 | | | |
| Total Land with 1.00 Protection Ratio Resource Restrictions (Req'd Open Space) | | 0.000 | | | |
| Total Resource Protection Land Provided (Conservation Easement) | | 0.000 | | | |
| Total Disturbed Resources | | | | 0.000 | 0.000 |

D. MINIMUM OPEN SPACE:

| | |
|--------------------------------------|----------|
| Base Site Area | 4.768 AC |
| Multiply by Minimum Open Space Ratio | (N/A) |
| Standard Minimum Open Space= | (N/A) AC |

E. DETERMINE REQUIRED OPEN SPACE:

| | |
|---|----------|
| Greater of land with a 1.00 protection ratio or the minimum open space. | 0.000 AC |
|---|----------|

F. NET BUILDABLE SITE AREA:

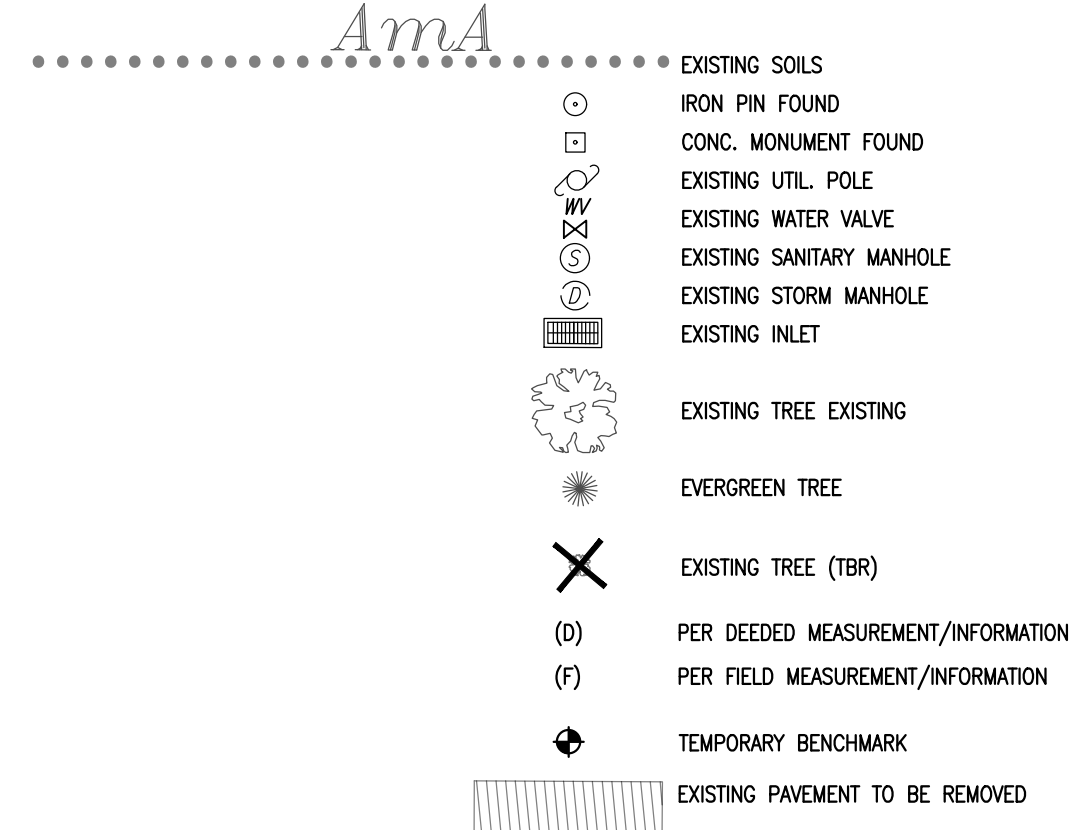
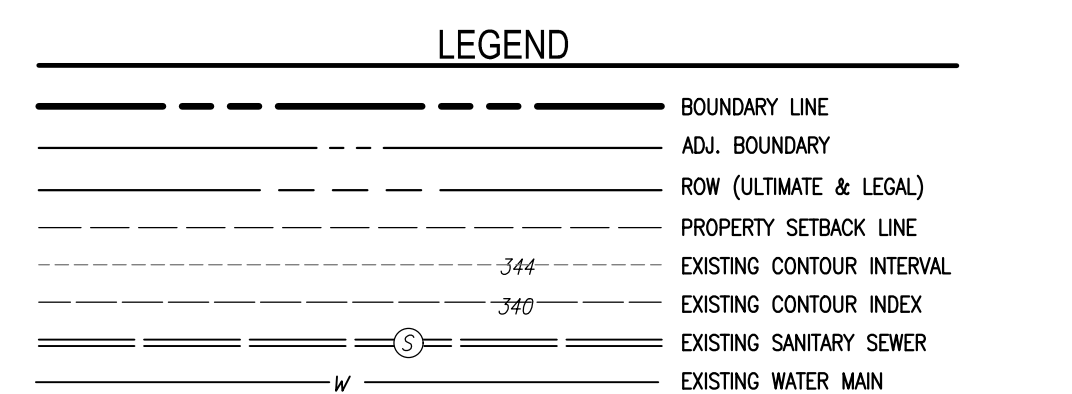
| | |
|------------------------------|----------|
| Base Site Area | 4.768 AC |
| Subtract Required Open Space | 0.000 AC |
| Net Buildable Site Area= | 4.768 AC |

G. NUMBER OF DWELLING UNITS/LOTS:

| | |
|-------------------------------------|----------|
| Net buildable Site Area | 4.768 AC |
| Multiply by Maximum Density | (N/A) |
| Number of Dwelling Units Permitted= | (N/A) DU |

H. IMPERVIOUS SURFACES

| | |
|---|--------------|
| Ratio Base Site Area | 4.768 AC |
| Multiply by Max. Impervious Surface Ratio | 65% PER SITE |
| Maximum Permitted Impervious Surface= | 3.099 AC |



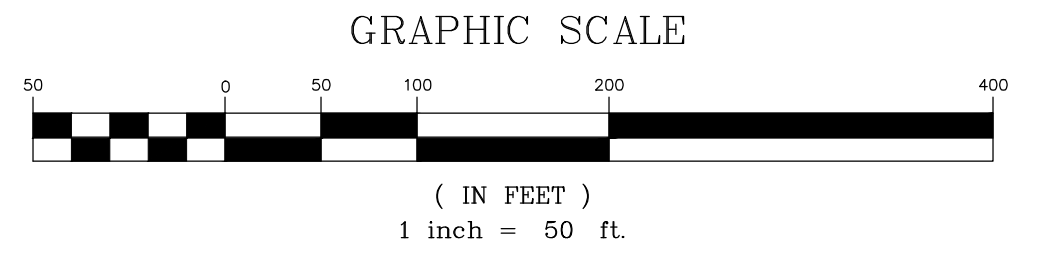
PA ONE CALL UTILITIES #20230381739

| USER NAME | ADDRESS | CONTACT | RESULTS |
|-------------------------------|---|---|----------------|
| CNB.TS.A | 1645 UPPER STATE RD DOY ESTOWN PA. 18901 | RICHARD HEVERLY rheverly@cnbsa.org 267-736-18901 | FIELD MARKED |
| COMCAST CABLE COMMUNICATIONS | 114 RIDGE RD SELLERSVILLE PA. 18980 | JOHN GOEPHART 215-285-8782 | CLEAR |
| NWVA | 200 WALKNOT ST. P.O. box 1339 NORTH WALES PA. 19454 | JOSEPH MURPHY JMURPHY@NWVA.ORG 215-699-4836 EXT. 1115 | PDF RECEIVED |
| NEW BRITAIN TWP | 207 PARK AVE. CHALFONT, PA. 18914 | RYAN CRESSMAN RCRESSMAN@NEWBRITAIN.TOWNSHIP.ORG 215-822-3698 | CLEAR |
| PECO energy c/o usic | 450 S. HENDERSON RD. KING OF PRUSSIA, PA. 19406 | NIKKIA SIMPKINS NIKKIASIMPKINS@USIC.LLC.COM 484-681-5720 | PLANS RECEIVED |
| WINDSTREAM | 1450 CENTER POINT RD HAWAIIA, IA 52233 | LOCATE DESK PERSONNEL locate.desk@windstream.com 1-800-289-1901 | CLEAR |
| VERIZON BUSINESS FORMERLY MCI | 7000 WESTON PKWY CARY, NC 27513 | VICTOR WOOD victor.s.wood@verizon.com 919-414-2782 | CLEAR |

SOILS

| SYMBOL | NAME | HSG | FARMLAND CLASSIFICATION | ALLUVIAL | HYDRIC SOIL RATING |
|--------|--|-----|-------------------------|----------|--------------------|
| RIA | REAVILLE CHANNERY SILT LOAM, 0-3% SLOPES | D | STATEWIDE IMPORTANCE | NONE | NO |
| UgB | URBAN LAND - ABBOTSTOWN COMPLEX, 0 TO 8 PERCENT SLOPES | D | NOT PRIME | NONE | NO |

SOIL INFORMATION BASED ON USDA-NRCS WEB SOIL SURVEY - SOIL SURVEY AREA OF BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 19, SEPTEMBER 6, 2022.



Printed: 09/06/23 - 12:36 PM By: rmlch
 File: F:\DWG\2015\2015-070_Cong_Roads_Cr_Rankin\ENGINEERING\2015-070_Plan.dwg-02.dwg
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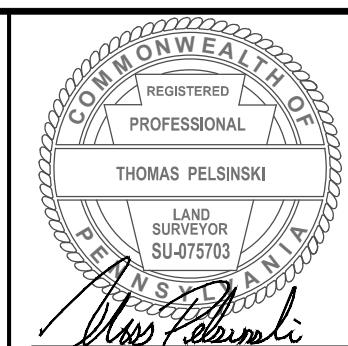
DATE: _____ COMMENT: _____
NO. DATE COMMENT
REVISIONS

REVISIONS

| NO. | DATE | COMMENT |
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EXISTING FEATURES PLAN

R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684
EMAIL: showalterassociates@rshowalter.com



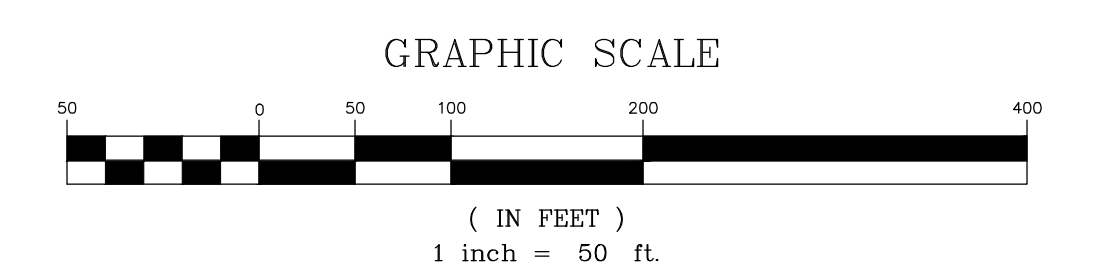
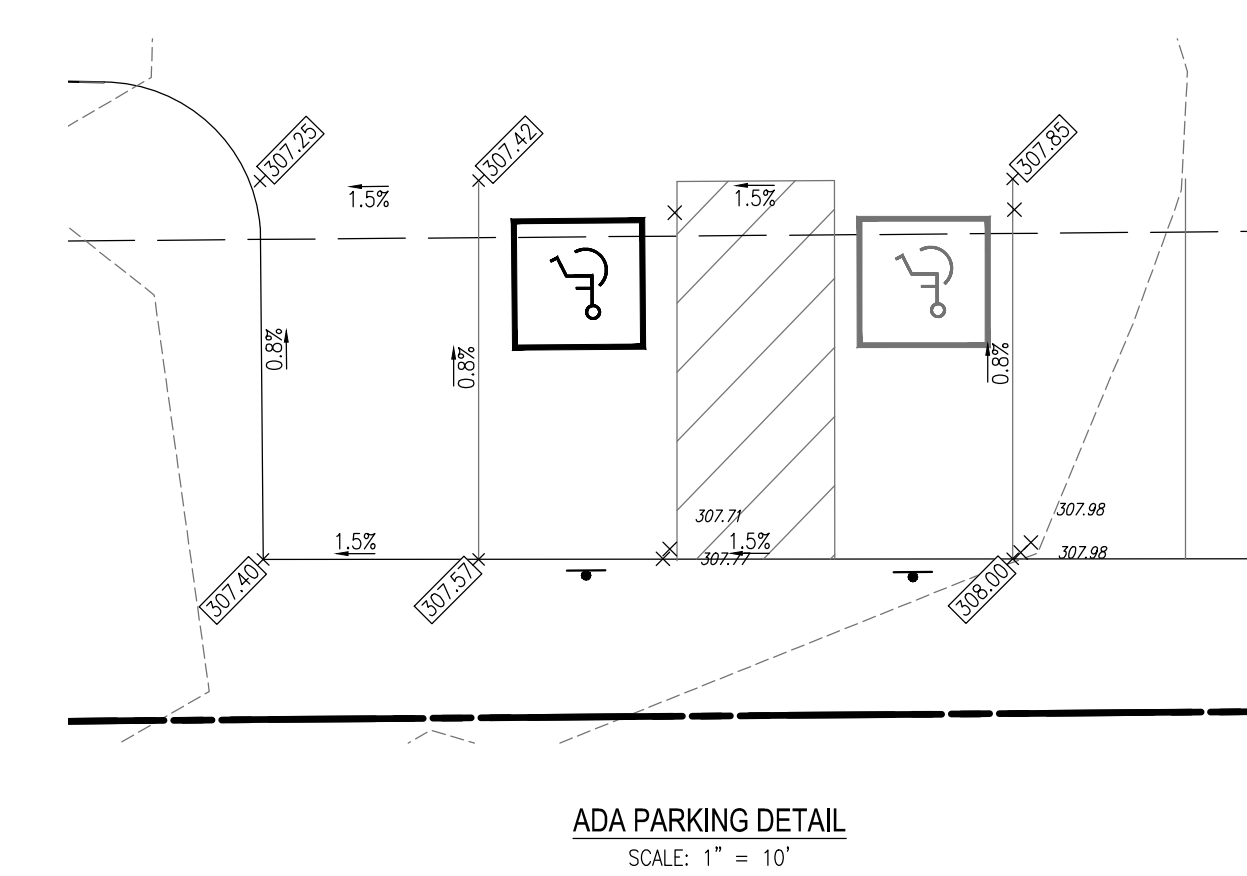
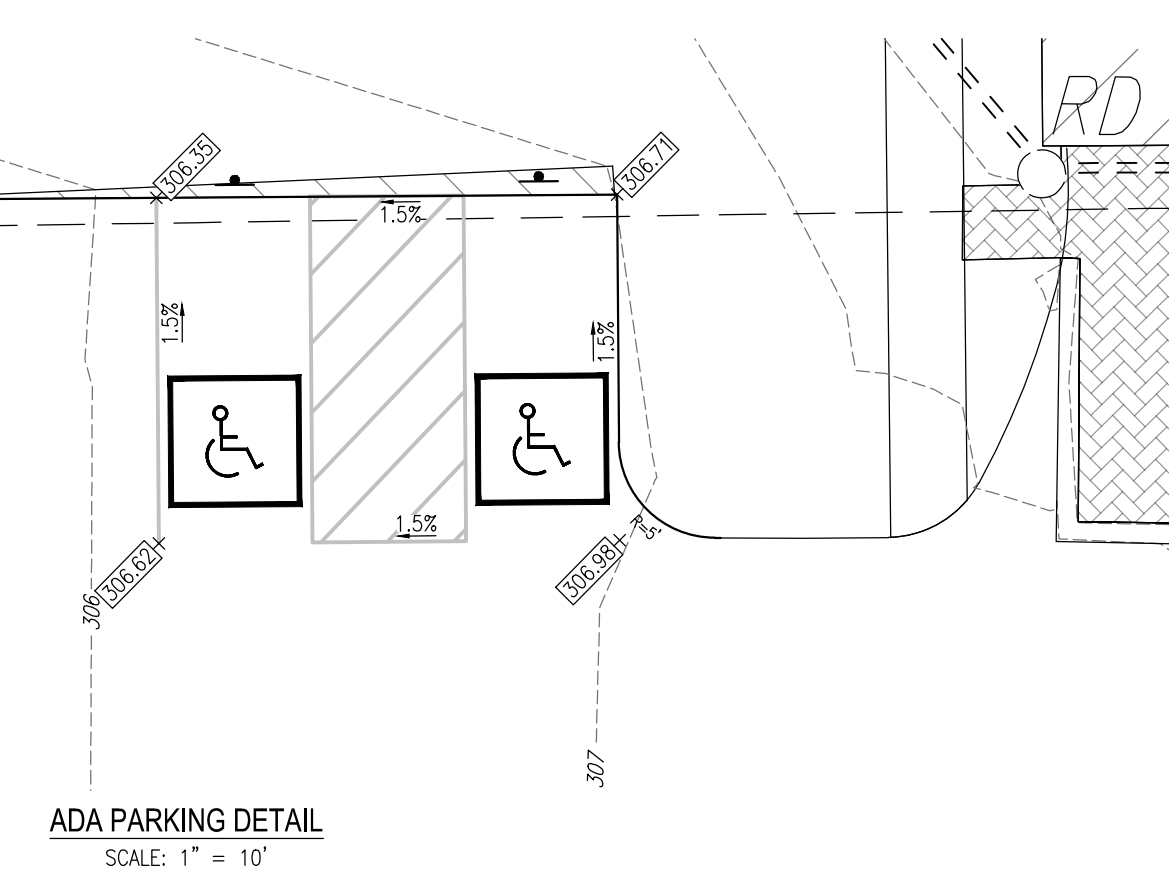
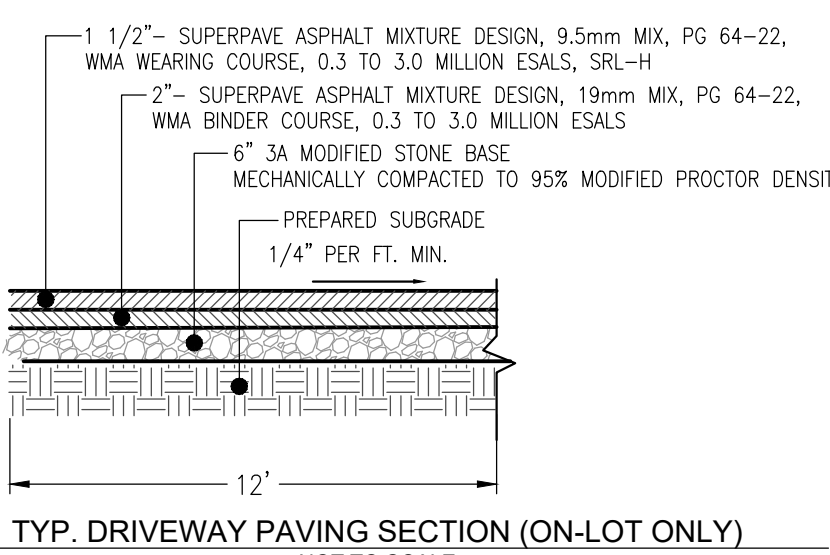
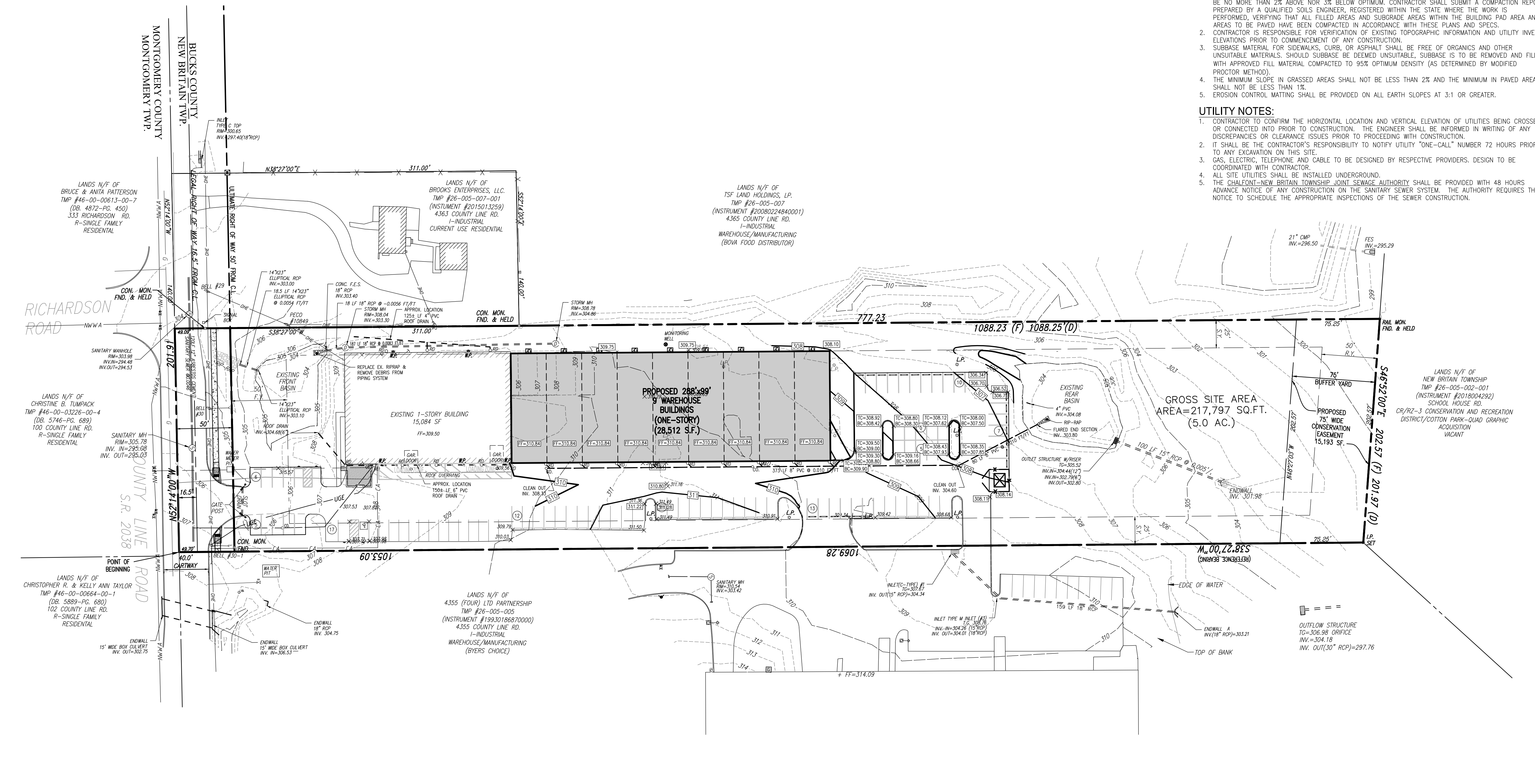
SCALE: 1"=50'
DATE: 08/24/2023
JOB NO.: 2015-070
DRAWN BY: JHS
CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA
PREPARED FOR:
BROOKE ENTERPRISES, LLC
4359 COUNTY LINE RD.
CHALFONT, PA 18914

SHEET
2 of 7

| LEGEND | |
|--------|----------------------------|
| | BOUNDARY LINE |
| | ADJ. BOUNDARY LINE |
| | SETBACK LINE |
| | EXISTING CONTOUR INTERVAL |
| | EXISTING CONTOUR INDEX |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER |
| | EXISTING SANITARY LATERAL |
| | EXISTING WATER MAIN |
| | EXISTING WATER SERVICE |
| | EXISTING GAS MAIN |
| | EXISTING OVERHEAD ELECTRIC |
| | PROPOSED CONTOUR |
| | PROPOSED STORM SEWER |
| | PROPOSED SANITARY MAIN |
| | PROPOSED SANITARY LATERAL |
| | PROPOSED WATER MAIN |
| | PROPOSED WATER SERVICE |
| | PROPOSED GAS MAIN |
| | PROPOSED UNDERGROUND |
| | EXISTING UTILITY POLE |
| | EXIST. WATER VALVE |

- GRADING NOTES:**
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 - SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1%.
 - EROSION CONTROL MATING SHALL BE PROVIDED ON ALL EARTH SLOPES AT 3:1 OR GREATER.
- UTILITY NOTES:**
- CONTRACTOR TO CONFIRM THE HORIZONTAL LOCATION AND VERTICAL ELEVATION OF UTILITIES BEING CROSSED OR CONNECTED INTO PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE INFORMED IN WRITING OF ANY DISCREPANCIES OR CLEARANCE ISSUES PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
 - GAS, ELECTRIC, TELEPHONE AND CABLE TO BE DESIGNED BY RESPECTIVE PROVIDERS. DESIGN TO BE COORDINATED WITH CONTRACTOR.
 - ALL SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWERAGE AUTHORITY SHALL BE PROVIDED WITH 48 HOURS ADVANCE NOTICE OF ANY CONSTRUCTION ON THE SANITARY SEWER SYSTEM. THE AUTHORITY REQUIRES THIS NOTICE TO SCHEDULE THE APPROPRIATE INSPECTIONS OF THE SEWER CONSTRUCTION.



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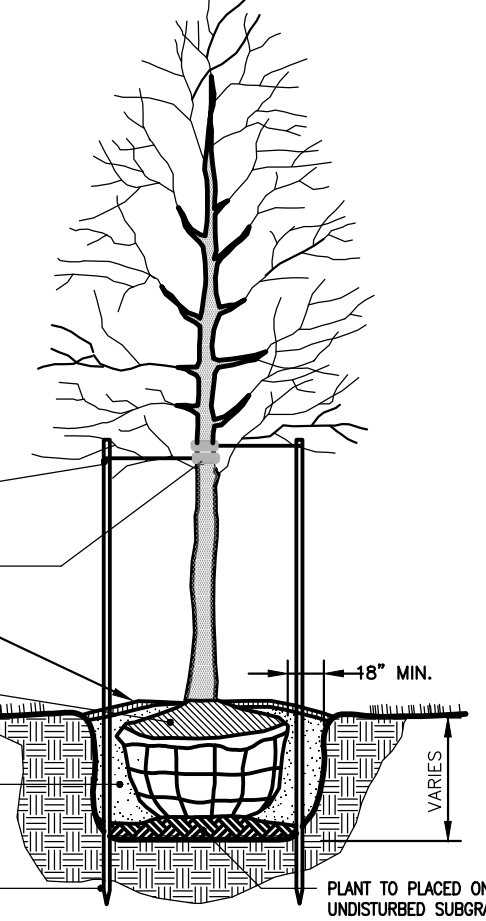
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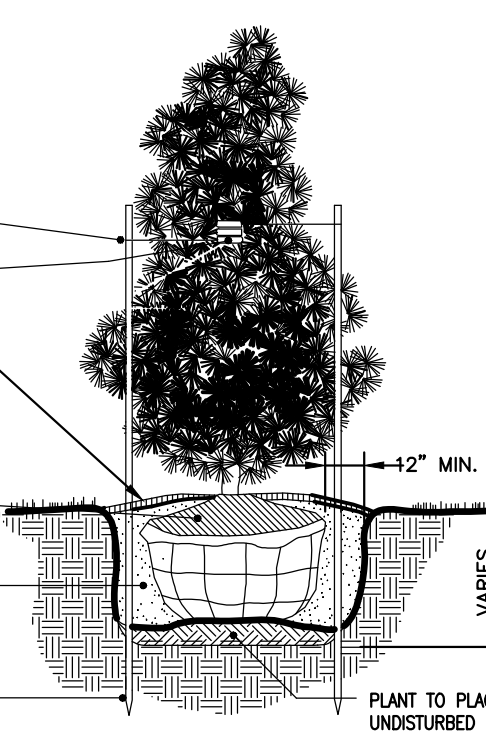
| | | | | | |
|-----------------------------------|--|--|--|--|------------------------|
| GRADING & UTILITY PLAN | R. L. Showalter & Associates, Inc. 116 East Butler Avenue Chalfont, PA 18914 (215) 822-2990 FAX (215) 822-5684 EMAIL: showalterassociates@rshowalter.com | | SCALE: 1"=50' DATE: 08/24/2023 JOB NO.: 2015-070 DRAWN BY: JHS CHECKED BY: RLB | SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA PREPARED FOR: BROOKE ENTERPRISES, LLC 4359 COUNTY LINE RD. CHALFONT, PA 18914 | SHEET 3 of 7 |
| | | | | | |

NOTES:
 SET PLANTS PLUMB, AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS.
 PRUNE AS DIRECTED.
 NEVER CUT LEADER.
 SET TO TOP OF ROOT BALL ABOVE ADJACENT FINISH GRADE AT A HEIGHT OF 15'-20% OF ROOT BALL.
 STAKE TREES OVER 2" CALIPER SET STAKES VERTICAL AND AT SAME HEIGHT.
 DO NOT USE TOPSOIL SAUCER.
 STAKES TO BE SET 2/3 UP TREE OR ABOVE FIRST BRANCHES.
 3/4" O.D. REINFORCED RUBBER GARDEN HOSE.
 2" MULCH. MULCH MUST NOT CONTACT THE TRUNK AT ANY POINT.
 CUT AWAY ALL BURLAP (NATURAL) FROM TOP 1/3 OF ROOT BALL. IN CASE OF SYNTHETIC BURLAP, COMPLETELY REMOVE BURLAP FROM ROOT BALL. REMOVE TOP 18" OF WIRE BASKET.
 SPECIFIED PLANT MIX: 1/3 PEAT MOSS TO 2/3 TOPSOIL - LIGHTLY TAMPED.
 STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED GROUND.



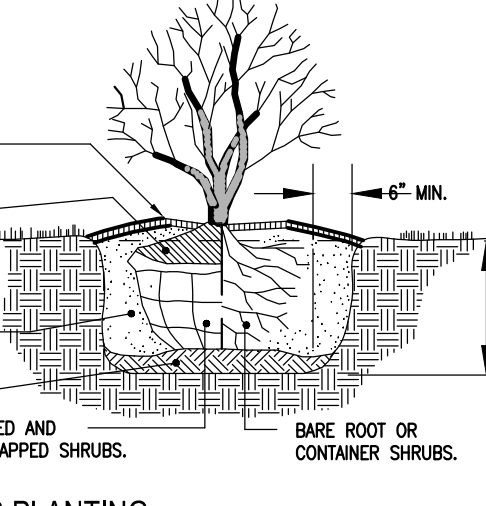
DECIDUOUS TREE PLANTING
 N.T.S.

NOTES:
 STAKE ALL EVERGREEN TREES OVER 5'-0".
 SET TOP OF ROOT BALL ABOVE ADJACENT FINISH GRADE AT A HEIGHT OF 15'-20% OF ROOT BALL.
 SET TREES PLUMB, AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS.
 NEVER CUT LEADER.
 PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES.
 SET STAKES VERTICAL AND AT SAME HEIGHT.
 DO NOT USE TOPSOIL OR MULCH SAUCER.
 SET STAKES 1/2 TO 2/3 UP TREE.
 3/4" O.D. REINFORCED RUBBER GARDEN HOSE.
 2" MULCH. MULCH MUST NOT CONTACT THE TRUNK AT ANY POINT.
 SHAVE SOIL TO ROOT FLARE FROM THE TOP OF ROOT BALL.
 CUT AWAY ALL BURLAP (NATURAL) FROM TOP 1/3 OF ROOT BALL. IN CASE OF SYNTHETIC BURLAP, COMPLETELY REMOVE BURLAP FROM ROOT BALL. REMOVE TOP 18" OF WIRE BASKET.
 SPECIFIED PLANT MIX: 1/3 PEAT MOSS TO 2/3 TOPSOIL - LIGHTLY TAMPED.
 STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED GROUND.



EVERGREEN TREE PLANTING
 N.T.S.

NOTES:
 SET PLANTS PLUMB, AND FACE TO GIVE BEST APPEARANCE TO ADJACENT AREAS.
 DO NOT PRUNE EVERGREENS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
 SET TOP OF ROOT BALL ABOVE ADJACENT FINISH GRADE AT A HEIGHT OF 15'-20% OF ROOT BALL.
 TRIM BRANCHES AND FOLIAGE (NOT ALL BRANCHES) BY 1/3, RETAINING NORMAL PLANT SHAPE. NEVER CUT LEADER.
 DO NOT USE TOPSOIL SAUCER.
 2" MULCH. MULCH MUST NOT CONTACT THE TRUNK AT ANY POINT.
 REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.
 SPECIFIED PLANT MIX: 1/3 PEAT MOSS TO 2/3 TOPSOIL - LIGHTLY TAMPED.
 PLANT TO BE PLACED ON UNDISTURBED SUBGRADE.



SHRUB PLANTING
 N.T.S.

LANDSCAPE COMPLIANCE CHART

| | REQUIRED | EXISTING | PROPOSED |
|--|----------|---|----------|
| STREET TREES 22-713.4 (202' L/F TOTAL) | | | |
| 1 TREE PER 30 L/F | 7 | 0 | 7 |
| PARKING AREA LANDSCAPING 22-713.3 | | | |
| CANOPY TREES (PLANTING ISLANDS AND STRIPS) | 8 | 0 | 8 |
| LANDSCAPED BUFFERS AND SCREENS 22-713.5 | | | |
| OFF-STREET PARKING AREAS: 1 DECIDUOUS OR EVERGREEN SHRUB PER 5 FT | 124 | 324 LF EXISTING EVERGREEN AND DECIDUOUS TREES | 124 |
| PARKING PERIMETER (848-229=619 LF/5=124 SHRUBS) | | | |
| TRASH COLLECTION AREA (EVERGREEN TREES 10' O/C ALONG FENCE PERIMETER) | 5 | | 5 |
| PAVED AREA LANDSCAPING 27-290.4 | | | |
| 5% OF TOTAL PAVED AREA (48,929 SF*5%=2,447 SF) | 2,447 SF | 0 | 2,509* |
| 1 DECIDUOUS TREE PER 4,000 SF OF PAVED AREA (48,929 SF/4,000=12) | 12 | 0 | 0 |
| LESS EXISTING TREES | - | 12 | - |
| *2 EVERGREEN TREES, 8 ORNAMENTAL TREES, 9 SHRUBS PROPOSED | | | |

PLANTING SCHEDULE

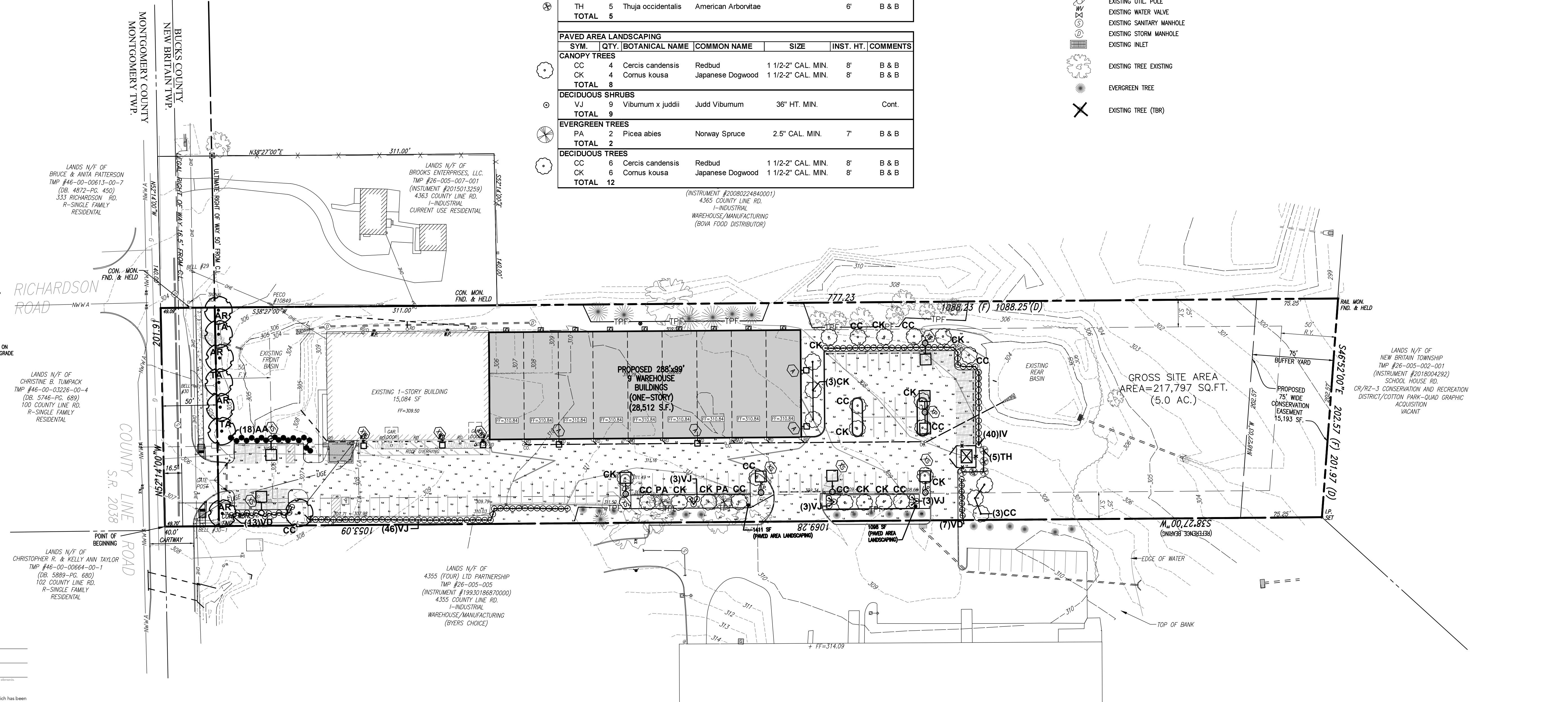
| STREET TREES, PARKING AREA | | | | | |
|-------------------------------------|------|--------------------|---------------------|--------------------|--------------------|
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | INST. HT. COMMENTS |
| STREET TREES | | | | | |
| AR | 4 | Acer Rubrum | Red Maple | 3-3 1/2" CAL. MIN. | B & B |
| TA | 3 | Tilia americana | American Linden | 3-3 1/2" CAL. MIN. | B & B |
| TOTAL | 7 | | | | |
| CANOPY PLANTING ISLAND TREES | | | | | |
| CC | 4 | Cercis canadensis | Redbud | 1 1/2-2" CAL. MIN. | 8' B & B |
| CK | 4 | Cornus kousa | Japanese Dogwood | 1 1/2-2" CAL. MIN. | 8' B & B |
| TOTAL | 8 | | | | |
| BUFFERS AND SCREENS | | | | | |
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | INST. HT. COMMENTS |
| DECIDUOUS SHRUBS | | | | | |
| VJ | 46 | Viburnum x juddii | Judd viburnum | 30" HT. MIN. | Cont. |
| IV | 40 | Ilex verticillata | Winterberry | 30" HT. MIN. | Cont. |
| AA | 18 | Aronia arbutifolia | Black Chokeberry | 30" HT. MIN. | Cont. |
| VD | 20 | Viburnum dentatum | Arrowroot viburnum | 30" HT. MIN. | Cont. |
| TOTAL | 124 | | | | |
| EVERGREEN TREES | | | | | |
| TH | 5 | Thuja occidentalis | American Arborvitae | 6' | B & B |
| TOTAL | 5 | | | | |
| PAVED AREA LANDSCAPING | | | | | |
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | INST. HT. COMMENTS |
| CANOPY TREES | | | | | |
| CC | 4 | Cercis canadensis | Redbud | 1 1/2-2" CAL. MIN. | 8' B & B |
| CK | 4 | Cornus kousa | Japanese Dogwood | 1 1/2-2" CAL. MIN. | 8' B & B |
| TOTAL | 8 | | | | |
| DECIDUOUS SHRUBS | | | | | |
| VJ | 9 | Viburnum x juddii | Judd Viburnum | 36" HT. MIN. | Cont. |
| TOTAL | 9 | | | | |
| EVERGREEN TREES | | | | | |
| PA | 2 | Picea abies | Norway Spruce | 2.5" CAL. MIN. | 7' B & B |
| TOTAL | 2 | | | | |
| DECIDUOUS TREES | | | | | |
| CC | 6 | Cercis canadensis | Redbud | 1 1/2-2" CAL. MIN. | 8' B & B |
| CK | 6 | Cornus kousa | Japanese Dogwood | 1 1/2-2" CAL. MIN. | 8' B & B |
| TOTAL | 12 | | | | |

LEGEND

- BOUNDARY LINE
- ADJ. BOUNDARY
- ROW (ULTIMATE & LEGAL)
- PROPERTY SETBACK LINE
- EXISTING CONTOUR INTERVAL
- EXISTING CONTOUR INDEX
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING SOILS
- IRON PIN FOUND
- CONC. MONUMENT FOUND
- EXISTING UTIL. POLE
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING INLET
- EXISTING TREE EXISTING
- EVERGREEN TREE
- EXISTING TREE (TBR)

LANDSCAPING NOTES:

- THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AT MATURITY AND THEIR PRESENT AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, MOISTURE AND SUNLIGHT. PLANTINGS SHOULD BE SELECTED AND LOCATED WHERE THEY WILL NOT CONTRIBUTE TO CONDITIONS HAZARDOUS TO PUBLIC SAFETY.
- ALL SHADE AND EVERGREEN TREES SHALL BE SUPPORTED WITH STAKES AND GUY WIRING IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS. THE BACKFILL FOR EXCAVATED PLANTING AREAS SHALL BE COMPOSED OF NATIVE TOPSOIL AND SHALL BE MULCHED SIX INCHES BEYOND THE DRIP LINE.
- MAINTENANCE AND GUARANTEE. THE APPLICANT IS REQUIRED TO MAINTAIN AND GUARANTEE ALL PLANT MATERIAL UNTIL THE END OF THE EIGHTEEN-MONTH MAINTENANCE PERIOD. ANY PLANT MATERIAL THAT IS DEEMED, IN THE OPINION OF THE TOWNSHIP ENGINEER, NOT TO HAVE SURVIVED OR NOT TO HAVE GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE, SHALL BE REPLACED WITHIN THE EIGHTEEN-MONTH MAINTENANCE PERIOD.
- PROTECT ALL PLANT MATERIAL FROM DEER DAMAGE AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER/MUNICIPALITY.



| Color | Number |
|-------|--------|
| White | 1 |
| Black | 2 |
| Grey | 3 |

Specifications
Luminaire
 Width: 18-1/2"
 Depth: 10"
 Height: 2-5/8"
Back Box (BBW)
 Width: 5-1/2"
 Depth: 4"
 Height: 1-1/2"
Capable Luminaire
 This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
 • All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
 • This luminaire is A+ Certified when ordered with DTL+ controls marked by a background
 • Equipped luminaires meet the A+ specification for luminaires to photocolor controlled interior lighting.
 • This luminaire is part of an A+ Certified solution for R/DAIP or X/On™ Wireless control networks, providing the best of both worlds with simple commissioning, when ordered with drivers and control options marked by a background
 To learn more about A+, visit www.acuitybrands.com/aaplus
 1. See ordering tree for details.
 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: link.to.DTL.DLL

Ordering Information EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DB07D

| Order ID | Qty | Description | Manufacturer | Model | Notes |
|----------|-----|---------------------------------------|--------------|---------------------------------------|-------|
| 000010 | 20 | DSXW2 LED 30C 700 40K T3M MVOLT DB07D | Acuity | DSXW2 LED 30C 700 40K T3M MVOLT DB07D | |

GENERAL PHOTOMETRIC SCHEDULE

| | |
|-----------------------------|--------|
| AVERAGE FOOT-CANDLES | 2.6 |
| MAXIMUM FOOT-CANDLES | 14.5 |
| MINIMUM FOOT-CANDLES | 0.0 |
| MINIMUM TO MAXIMUM FC RATIO | 0.0 |
| MAXIMUM TO MINIMUM FC RATIO | 1986.2 |
| AVERAGE TO MINIMUM FC RATIO | 359.2 |

LUMINAIRE SCHEDULE

| CALLOUT | SYMBOL | DESCRIPTION | MOUNTING | MODEL | QUANTITY |
|---------|--------|---|----------|---|----------|
| A | | DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 1000mA DRIVER, 5000K LED, TYPE 4 MEDIUM OPTIC | WALL | Lithonia Lighting, DSXW2 LED 30C 1000 50K T4M MVOLT | 4 |
| XP | | EXISTING DOUBLE LED | POLE | | 1 |
| XS | | EXISTING SHOEBOX | POLE | | 7 |
| XW | | EXISTING WALL MOUNT | WALL | | 3 |

TMP:26-005-006

LANDSCAPING AND LIGHTING PLAN

R. L. Showalter & Associates, Inc.
 116 East Butler Avenue
 Chalfont, PA 18914
 (215) 822-2990
 FAX (215) 822-5684
 EMAIL: showalterassociates@rshowalter.com

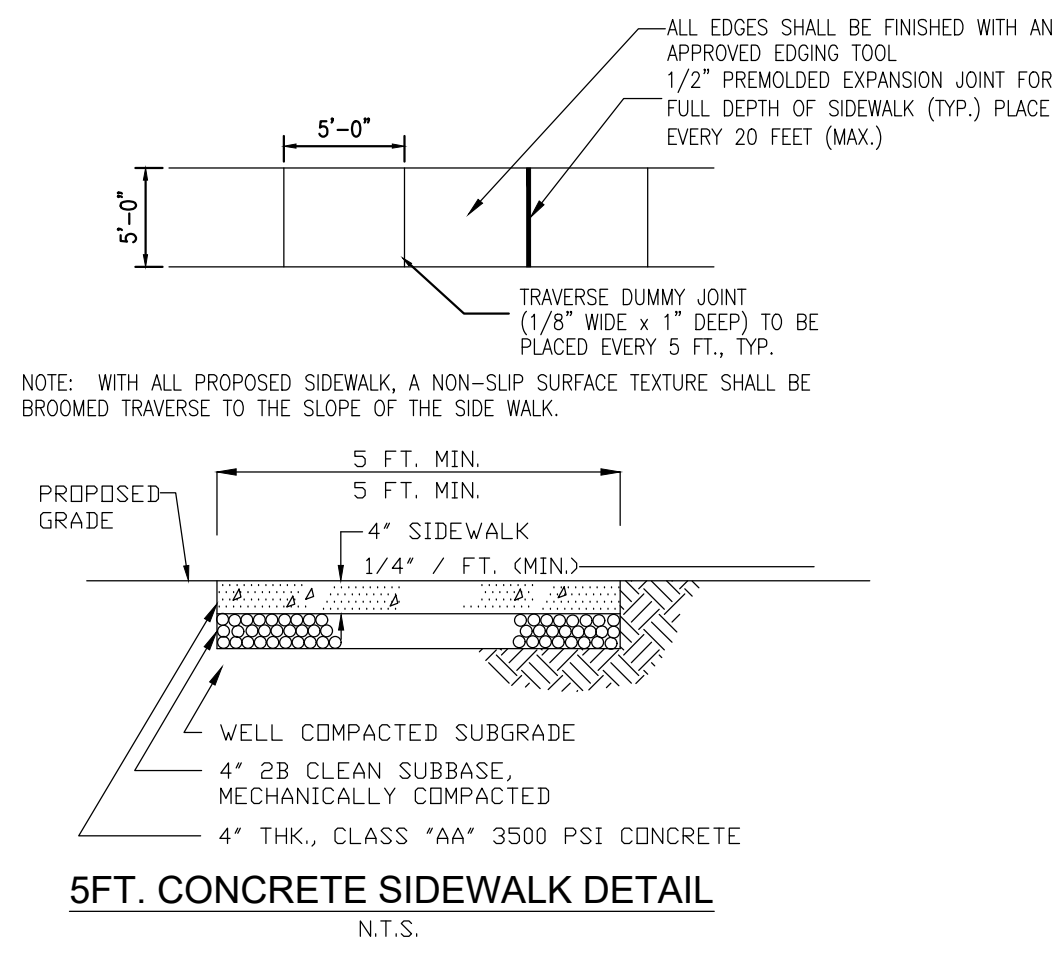
• Engineering • Planning • Surveying •

RACHEL LYNN BUTCH
 REGISTERED PROFESSIONAL ENGINEER
 No. 11939
 State of Pennsylvania

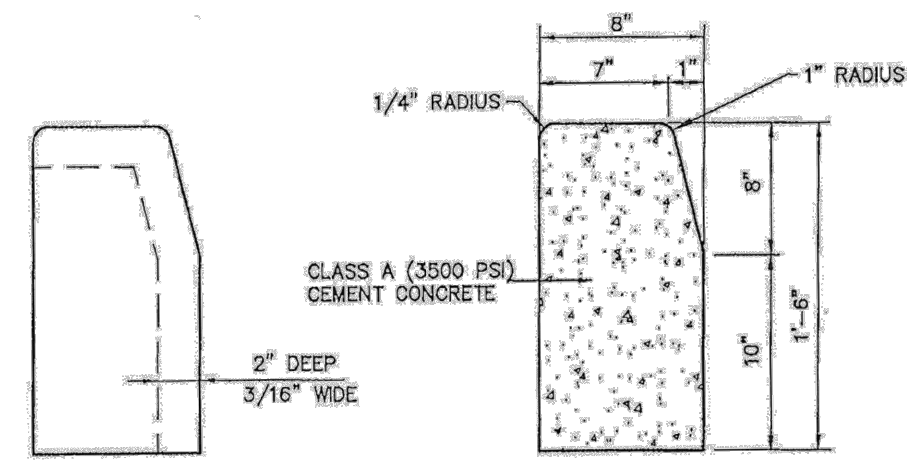
SCALE: 1"=50'
 DATE: 08/24/2023
 JOB NO.: 2015-070
 DRAWN BY: JHS
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SITUATE: NEW BRITAIN TOWNSHIP
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 4359 COUNTY LINE RD.
 CHALFONT, PA 18914

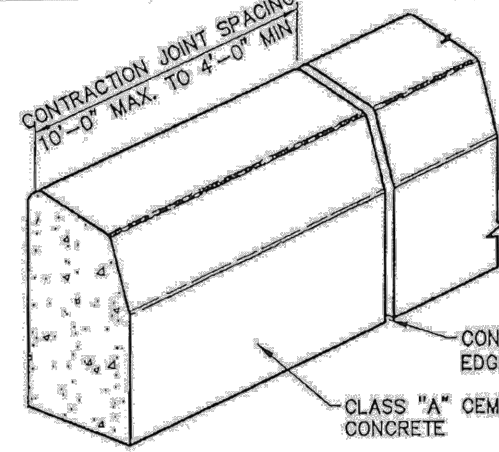
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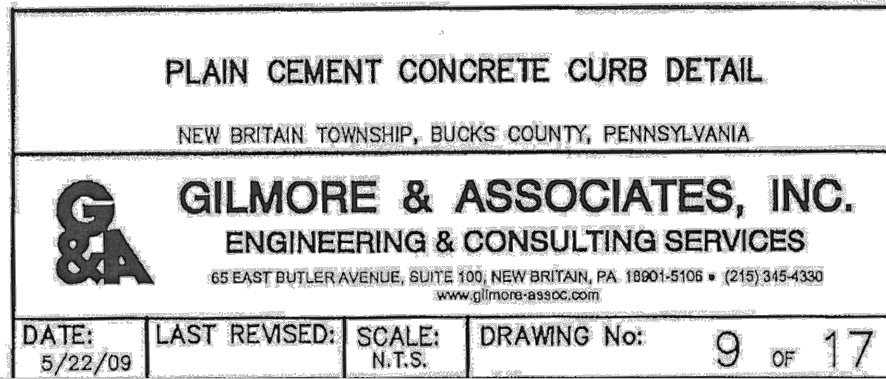
NEW BRITAIN CODE



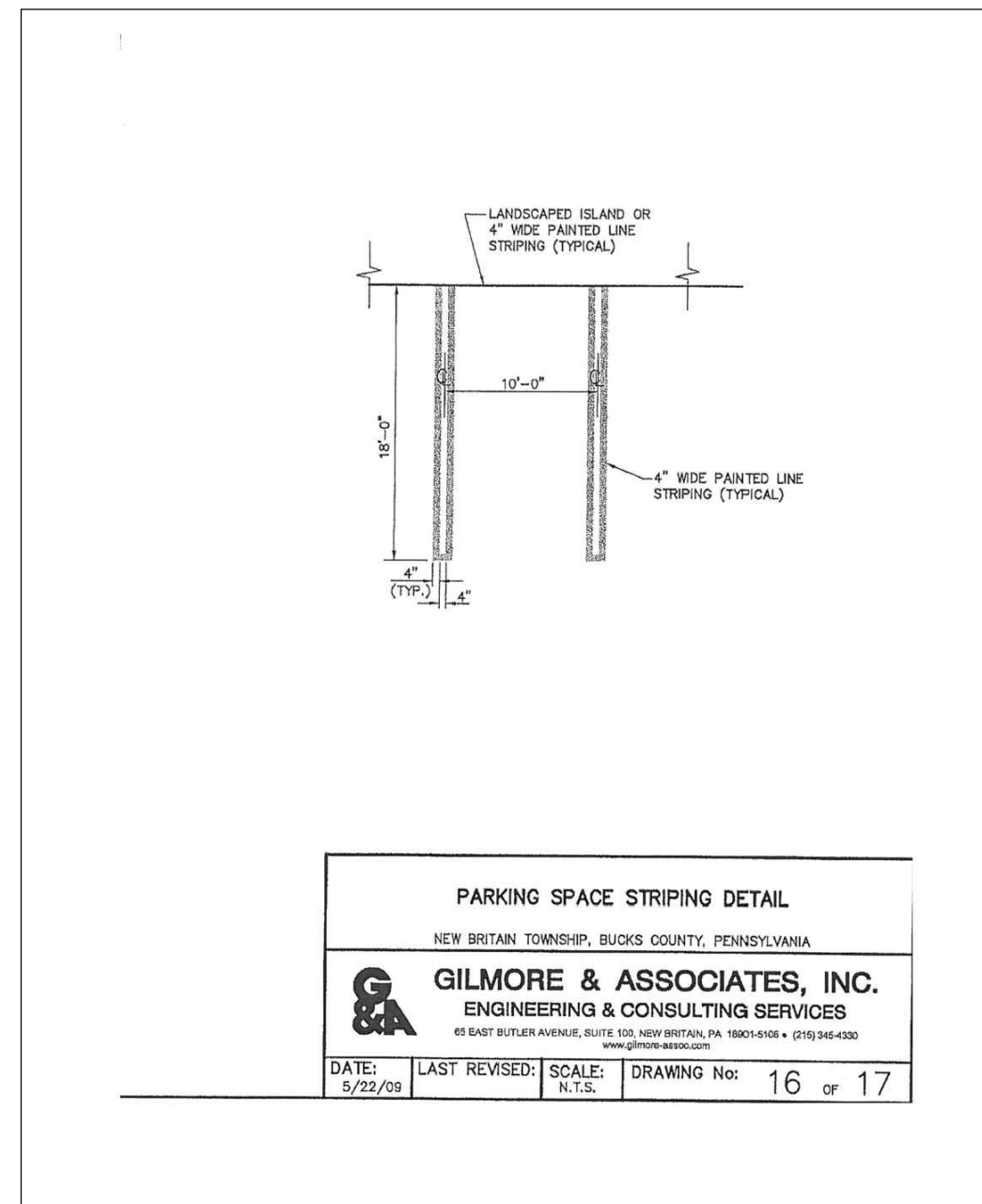
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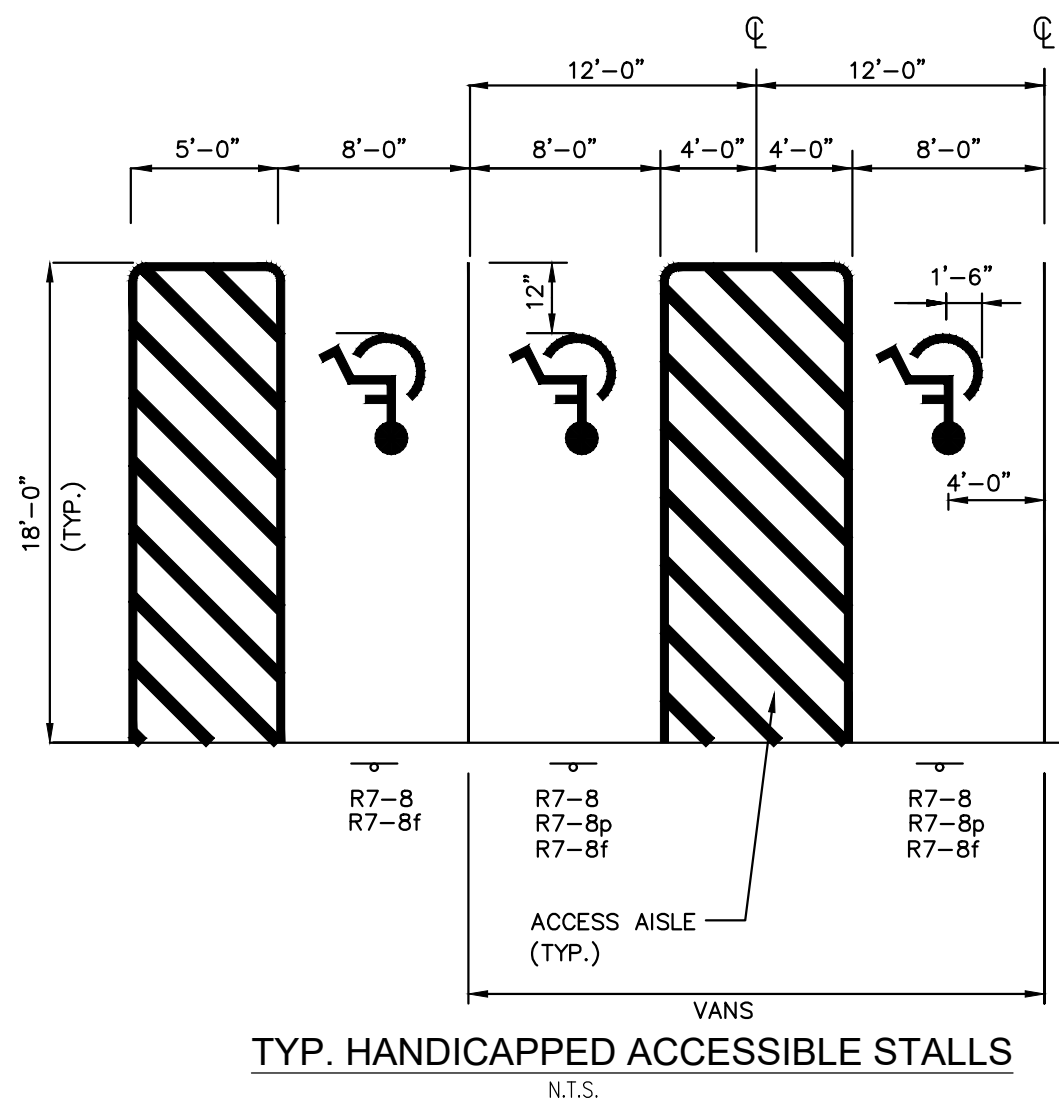
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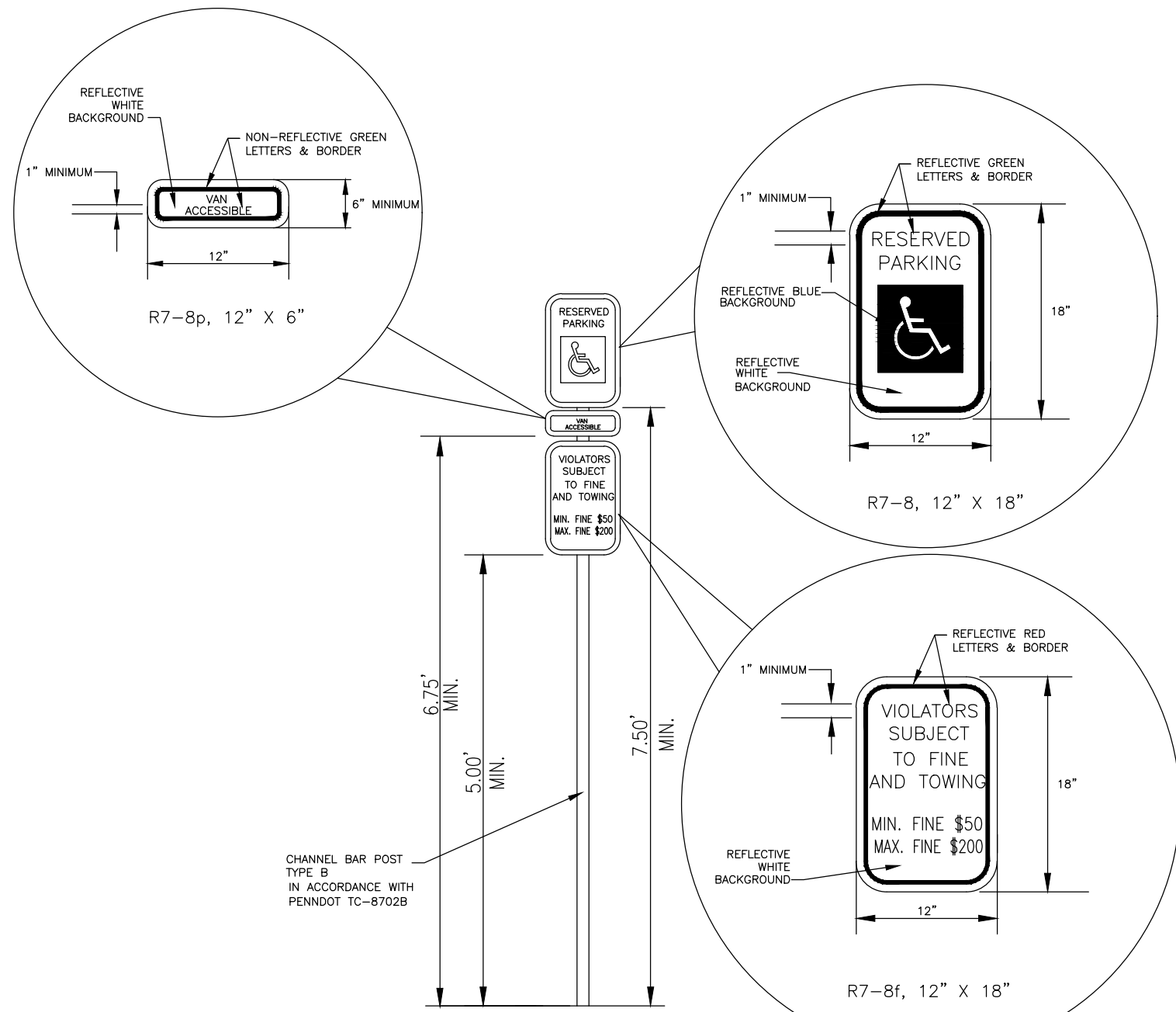
DATE: 5/22/09 LAST REVISED: N.T.S. SCALE: N.T.S. DRAWING No: 9 OF 17



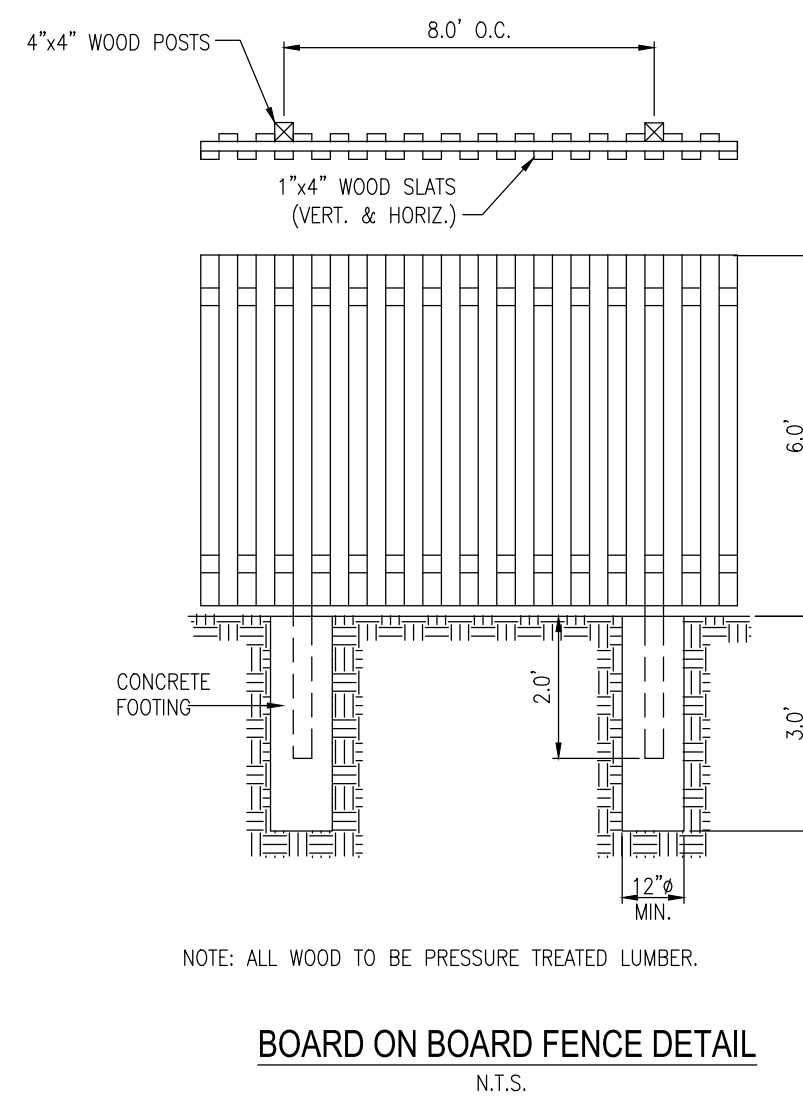
GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES. DATE: 5/22/09 SCALE: N.T.S. DRAWING No: 16 OF 17



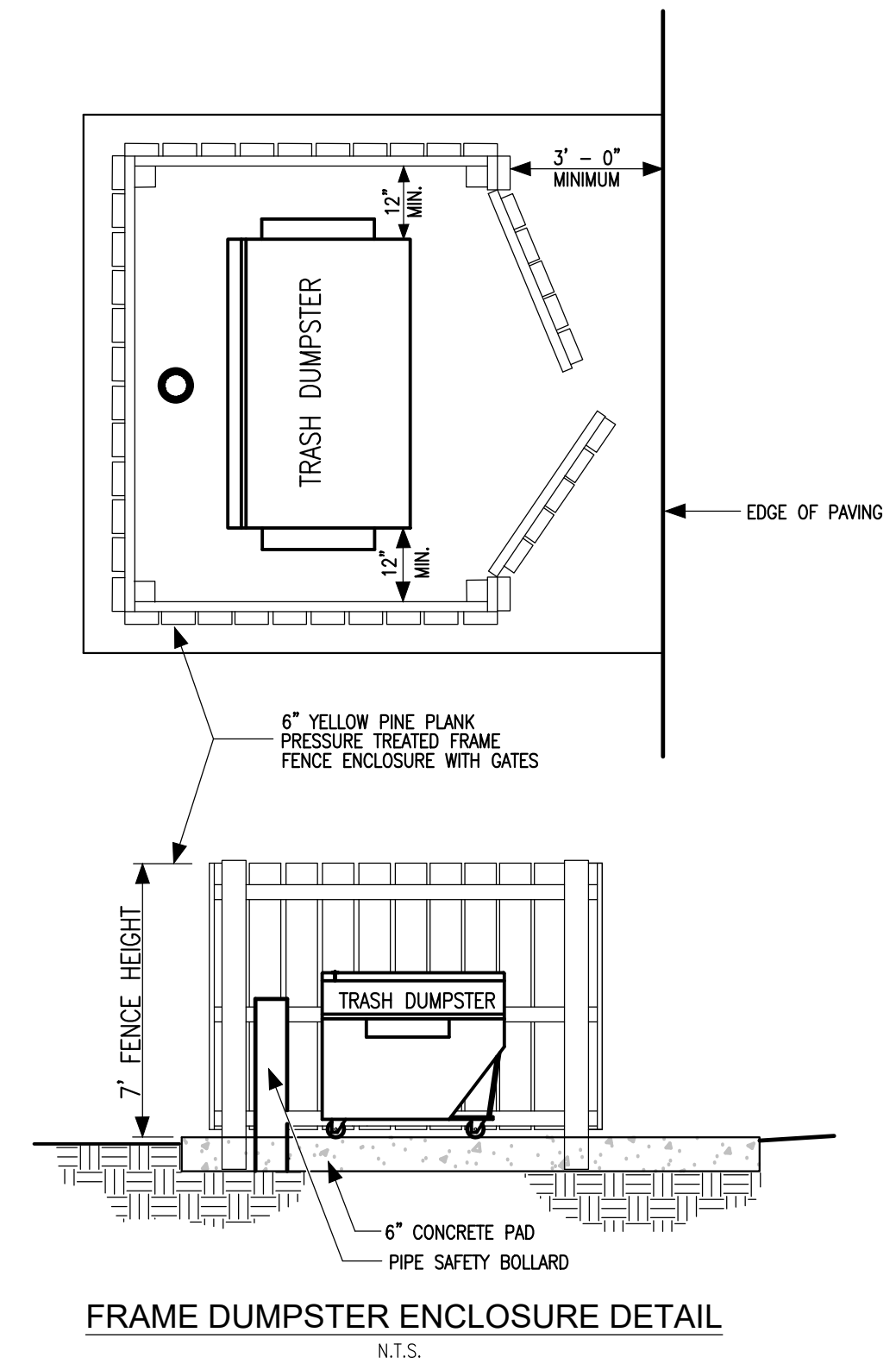
TYP. HANDICAPPED ACCESSIBLE STALLS. N.T.S.



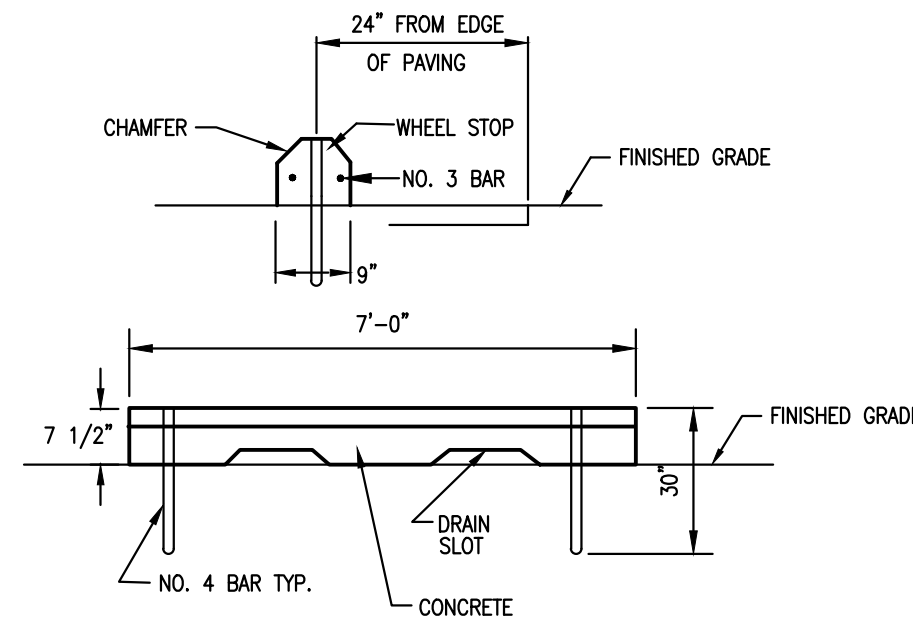
TYP. HANDICAP ACCESSIBLE SIGN PLACEMENT. N.T.S.



NOTE: ALL WOOD TO BE PRESSURE TREATED LUMBER. BOARD ON BOARD FENCE DETAIL. N.T.S.



FRAME DUMPSTER ENCLOSURE DETAIL. N.T.S.



NOTE: WHEEL STOP TO BE INSTALLED IN ALL PARKING SPACES WHERE NO CURBING IS PROPOSED. CONCRETE WHEEL STOP. NOT TO SCALE

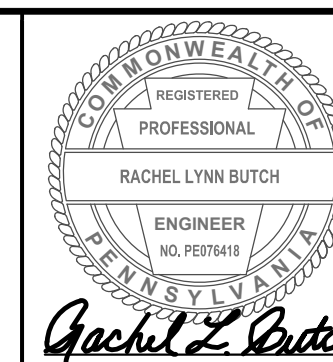
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| NO. | DATE | COMMENT |
|-----------|------|---------|
| REVISIONS | | |

TMP:26-005-006

CONSTRUCTION DETAILS

R. L. Showalter & Associates, Inc.
 116 East Butler Avenue
 Chalfont, PA 18914
 (215) 822-2990
 FAX (215) 822-5684
 EMAIL: showalterassociates@rshowalter.com



SCALE: AS SHOWN
 DATE: 08/24/2023
 JOB NO.: 2015-070
 DRAWN BY: JHS
 CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PA
 PREPARED FOR:
BROOKE ENTERPRISES, LLC
 4359 COUNTY LINE RD.
 CHALFONT, PA 18914

SHEET 5 OF 7

EROSION AND SEDIMENT CONTROL PLAN STANDARD NOTES:

- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST NOT EXCEED 2:1.
- THE OPERATOR/RESPONSIBLE PERSON (ORP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE ORP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE ORP FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE ORP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED AND APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOILS AND/OR ROCK SPILL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER AN UNDISTURBED AREA.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE ORP SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-342-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE ORP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.
- DISTURBED AREAS THAT ARE AT A FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- UPON THE INSTALLATION OF TEMPORARY SEDIMENT BASIN RISERS(S), A QUALIFIED SITE REPRESENTATIVE SHALL CONDUCT AN IMMEDIATE INSPECTION OF THE RISER(S), WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED WATER-TIGHT.
- AT STREAM CROSSINGS, A 50-FOOT BUFFER SHALL BE MAINTAINED, ON BUFFERS, CLEARINGS, SOD DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGED RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.
- UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-SETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, DUMPED, OR DISCHARGED AT THE SITE.

SECTION 102.22(a) - PERMANENT SITE STABILIZATION

- EAS BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT PFCM BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE ORP SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING PERIODS. MULCHING AND PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL OF THE EAS BMPs.
- MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING:
 - PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
 - FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)
 - IF TEMPORARY SEEDING IS NECESSARY, DUE TO THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF, APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:
 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE:
 - LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) PERMANENT SEED MIXTURE
 - IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102:
 - (A) ANNUAL RYEGRASS IS TO BE SEED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (B) TURF LAWN AND MOWED AREAS (SUNNY):
 - 60% KENTUCKY BLUEGRASS
 - 20% CHEWINGS TRESQUE
 - 20% PERENNIAL RYEGRASS
 - SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)
 - PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15
 - (C) NOTE: ALL MIXTURES SHOWN ABOVE ARE FOR PURE LIME SEED 100% (PLS 100%)
 - EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:
 - CALCULATE PLS%; FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS
 - DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63.
 - THIS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
 - (4) MULCH
 - ALL AREAS THAT ARE SEEDING SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW.
 - STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION WITH POLYMERIC OR GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURE'S RECOMMENDATIONS. MULCH ON SLOPES OF 8% OR GREATER SHOULD BE HELD IN PLACE WITH NETTING OR EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
 - STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
 - (5) EROSION CONTROL BLANKET
 - ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.

| SYMBOL | NAME | HSG | FARMLAND CLASSIFICATION | ALLUVIAL | HYDRIC SOIL RATING |
|--------|--|-----|-------------------------|----------|--------------------|
| RIA | REAVILLE CHANNERY SILT LOAM, 0-3% SLOPES | D | STATEWIDE IMPORTANCE | NONE | NO |
| UgB | URBAN LAND - ABBOTSTOWN COMPLEX, 0 TO 8 PERCENT SLOPES | D | NOT PRIME | NONE | NO |

SOIL INFORMATION BASED ON USDA-NRCS WEB SOIL SURVEY - SOIL SURVEY AREA OF BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 19, SEPTEMBER 6, 2022.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

- EAS BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEED WITH PERMANENT SEED MIX AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) TEMPORARY SEED MIXTURE
 - ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR 4 (FOUR) OR MORE DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.
 - ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (4) MULCH
 - ALL AREAS THAT ARE SEEDING SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
 - STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

SECTION 102.4(b)(5)(xi) - RECYCLING OR DISPOSAL OF MATERIALS

- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ., AND IN ACCORDANCE WITH ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL NOT ILLEGALLY BURY, BURN, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATERS, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHENEVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.
- ANY OFFSITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN REVIEWED AND APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT PRIOR TO BEING ACTIVATED. THE OPERATOR SHALL ASSURE THE APPROVED EAS PLAN IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPILL AND BORROW AREAS ON OR OFFSITE.

SECTION 102.4(b)(5)(v) - SURFACE WATER CLASSIFICATION

THE SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED. THE PROJECT'S RECEIVING WATERCOURSE IS AN UNNAMED TRIBUTARY TO THE WEST BRANCH NESHAMINY CREEK. PER TITLE 25, CHAPTER 93 WATER QUALITY STANDARDS, THE RECEIVING WATERCOURSE HAS THE FOLLOWING STREAM DESIGNATION:
 WWF - WARM WATER FISHES
 MF - MISCATORY FISHES

UTILITY LINE TRENCH EXCAVATION NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
- SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

SECTION 102.4(b)(5)(vii) - CONSTRUCTION SEQUENCE

- UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 OR MORE DAYS, THE SITE SHALL BE IMMEDIATELY SEED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.

THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE

- THE CONTRACTOR SHALL NOTIFY NEW BRITAIN TOWNSHIP, THE TOWNSHIP ENGINEER, DESIGN ENGINEER AND BCCD AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
- STAKE OUT LIMIT OF DISTURBANCE TO DELINEATE AREA WHERE WORK IS PERMITTED PRIOR TO ANY E&S MEASURES BEING INSTALLED. IF AT ANY TIME DURING CONSTRUCTION THE LIMIT OF DISTURBANCE EXCEEDS 1 ACRE, AN NPDES PERMIT WILL BE REQUIRED.
- INSTALL COMPOST FILTER SOCK/TREE PROTECTION/CONSTRUCTION ENTRANCE WHERE INDICATED ON THE PLAN. THE TOWNSHIP ENGINEER SHALL INSPECT AND APPROVE THE TREE PROTECTION FENCE INSTALLATION PRIOR TO ANY CLEARING OR EARTHMOVING ACTIVITIES.
- REMOVE EXISTING PAVEMENT AND STRIP TOPSOIL FROM AREA OF PROPOSED CONSTRUCTION.
- INSTALL NEW BUILDING ADJACENT FOUNDATION.
- INSTALL UNDERGROUND UTILITIES, LIGHTING AND LANDSCAPING.
- TEMPORARILY SEED ALL BARE EARTH AREAS. ADDITIONAL TOPSOIL TO BE ADDED IF REQUIRED.
- REMOVE EXISTING PAVEMENT AND STRIP TOPSOIL FROM AREA OF PROPOSED CONSTRUCTION.
- INSTALL SWALE AND BANK MODIFICATIONS (I.E. EXCAVATE AREA FOR ADDITIONAL BASIN VOLUME PER PLAN.) CONNECT ROOF DRAIN SYSTEM, BLOCK INLETS UNTIL FINAL STABILIZATION HAS OCCURRED. PERFORM BASIN MAINTENANCE AS INDICATED ON PLAN.
- INSTALL FULL DEPTH PAVEMENT AND PERFORM MILL AND OVERLAY OF PARKING LOT.
- REMOVE COMPOST FILTER SOCK/TREE PROTECTION FENCE AFTER APPROVAL BY BCCD AND UPSTREAM AREAS HAVE ACHIEVED 70% UNIFORM STABILIZATION.
- AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

SITE OWNER

BROOKE ENTERPRISES, LLC.
 4359 COUNTY LINE RD.
 CHALFONT, PA 18914

SITE DATA

4359 COUNTY LINE RD.
 CHALFONT, PA 18914
 TWP# 26-005-006
 DB, PG. 0000,0000

CONTRACTOR

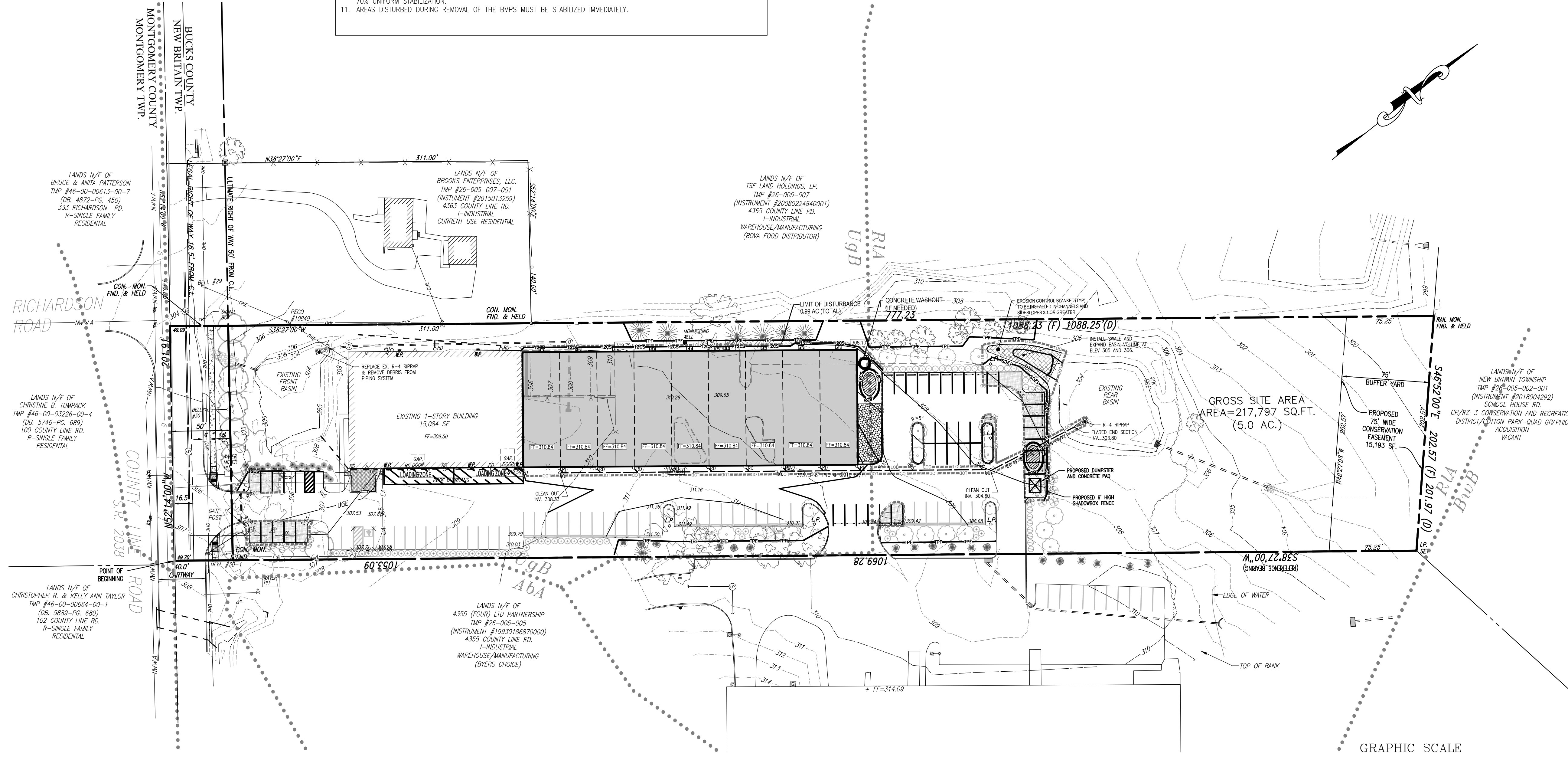
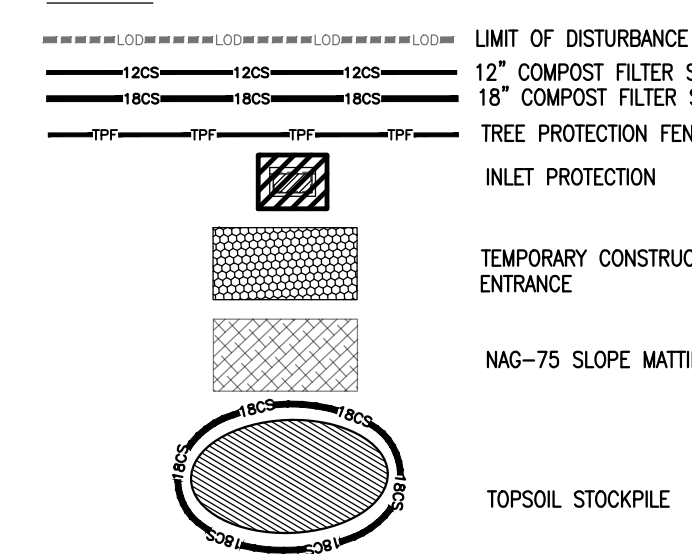
CLASSIFICATION = ARTERIAL
 ULTIMATE RIGHT-OF-WAY WIDTH = 100 FT
 CURBWAY WIDTH = 52' REQUIRED, EX. VARIES
 POSTED SPEED LIMIT = 45 MPH

ZONING

ZONING DISTRICT: I-INDUSTRIAL DISTRICT
 EXISTING/PROPOSED USE: IKS - CONTRACTING (CONTRACTOR OFFICES & SHOPS) (PERMITTED BY RIGHT)
 PUBLIC WATER AND SEWER

| | |
|--------------------------------|------------------------|
| TOTAL SITE AREA: | 217,797 SF. (5.00AC.) |
| LESS LEGAL R/W COUNTY LINE RD: | 3,331 SF. (0.08 AC.) |
| LESS ULT. R/W COUNTY RD: | 6,764 SF. (0.15 AC.) |
| BASE SITE AREA: | 207,701 SF. (4.77 AC.) |
| RATIO BASE SITE AREA: | 207,701 SF. (4.77 AC.) |

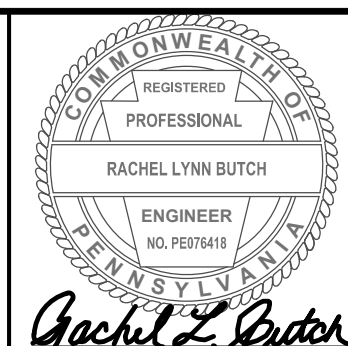
LEGEND



TMP:26-005-006

EROSION & SEDIMENT CONTROL PLAN

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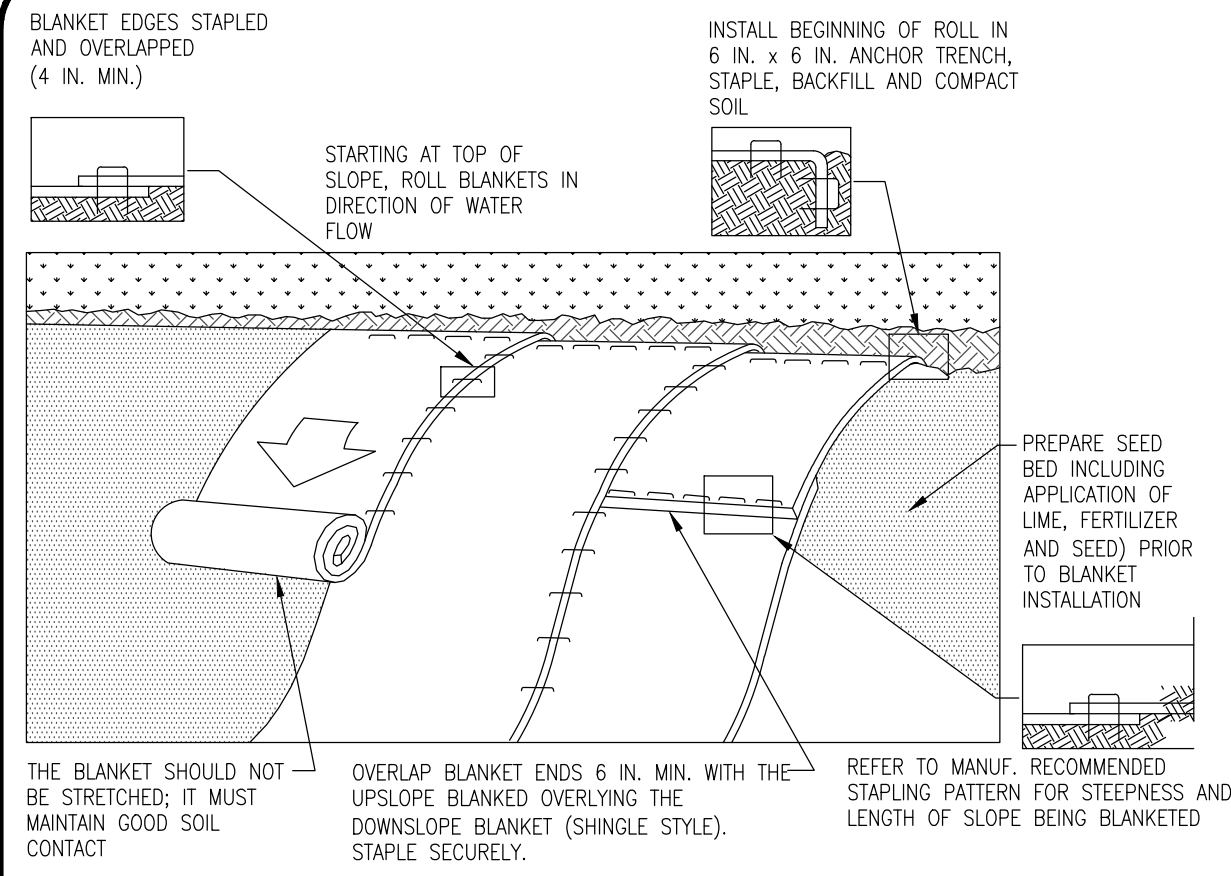


SCALE: 1"=50'
 DATE: 08/24/2023
 JOB NO.: 2015-070
 DRAWN BY: JHS
 CHECKED BY: RLB

SITUATE: NEW BRITAIN TOWNSHIP
 BUCKS COUNTY, PA
 PREPARED FOR:
BROOKE ENTERPRISES, LLC
 4359 COUNTY LINE RD.
 CHALFONT, PA 18914

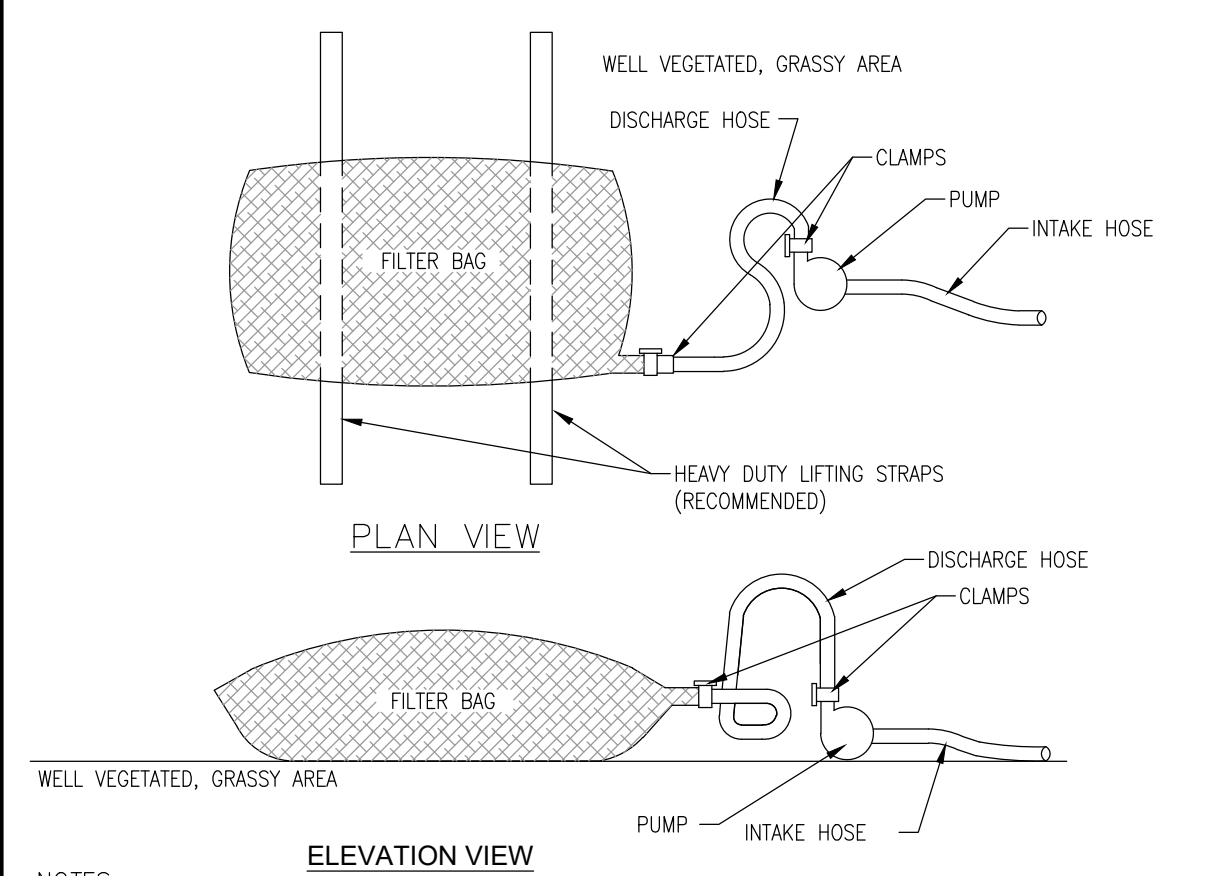
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NOTES:
 SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 PROVIDE ANCHOR TRENCH AT TOP OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA.
 DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL #11-1
 EROSION CONTROL BLANKET INSTALLATION**
 NOT TO SCALE

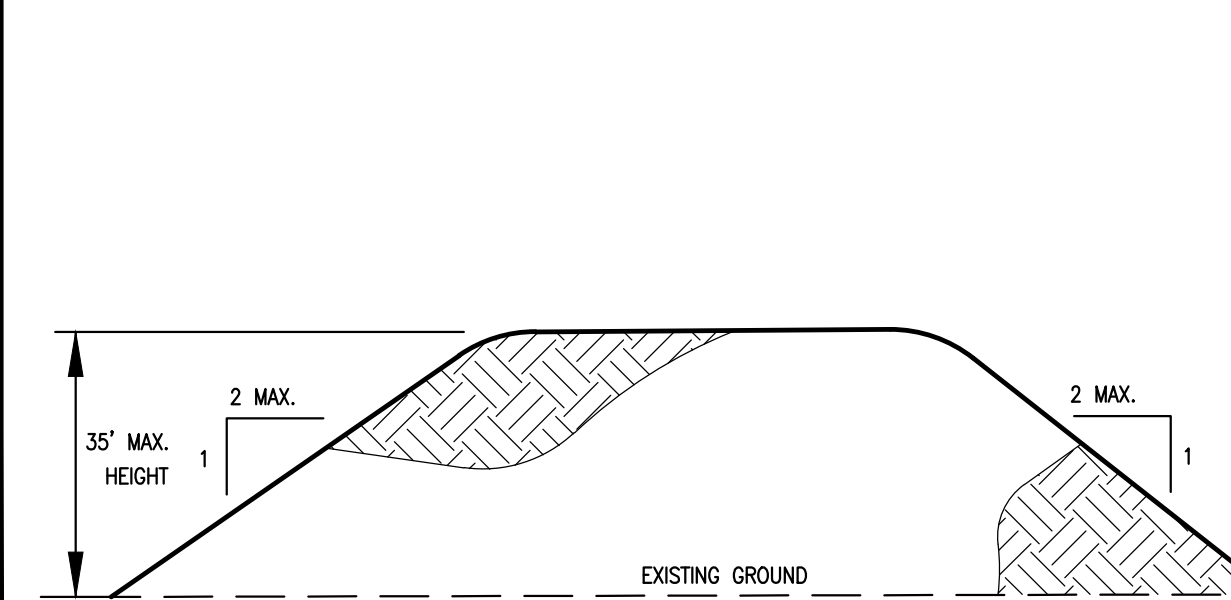


NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

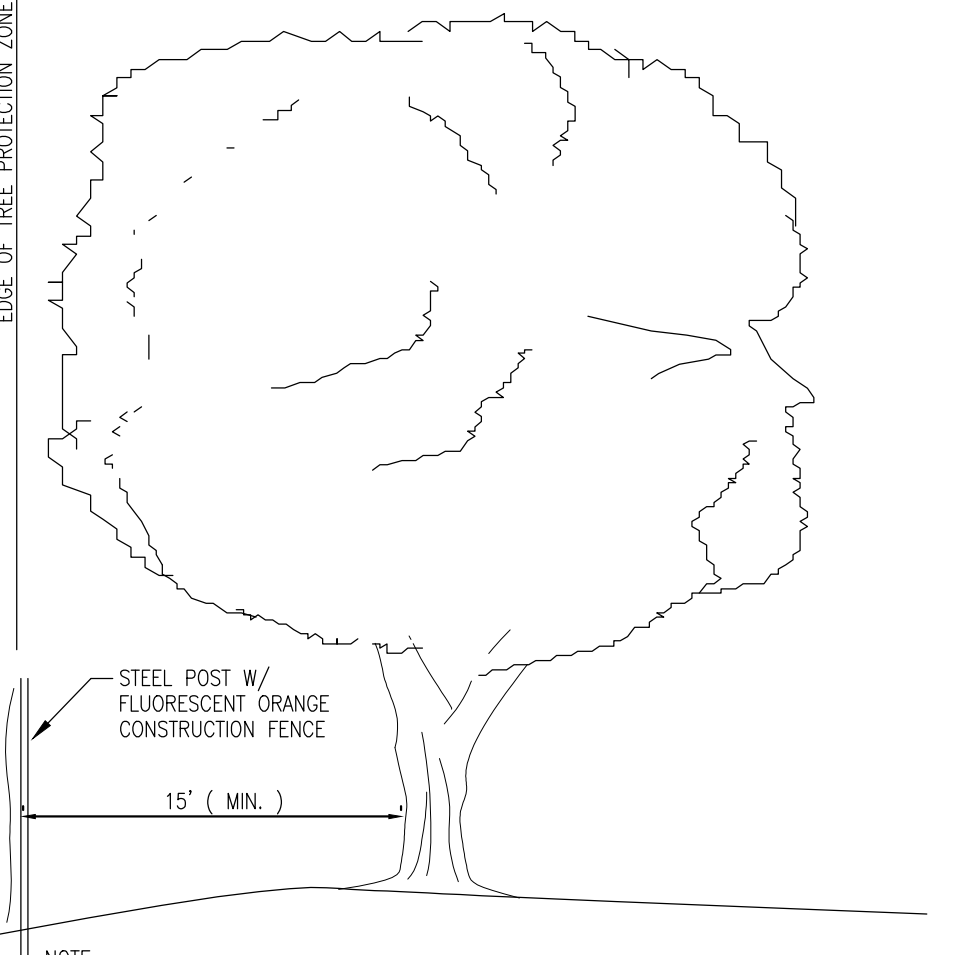
| PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4884 | 60 LB./IN. |
| GRAB TENSILE | ASTM D-4632 | 205 LB. |
| PUNCTURE | ASTM D-4833 | 110 LB. |
| MULLEN BURST | ASTM D-3786 | 350 PSI |
| UV RESISTANCE | ASTM D-4355 | 70% |
| AOS % RETAINED | ASTM D-4751 | 80 SIEVE |

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
 BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED.
 BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS. NO SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HD OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

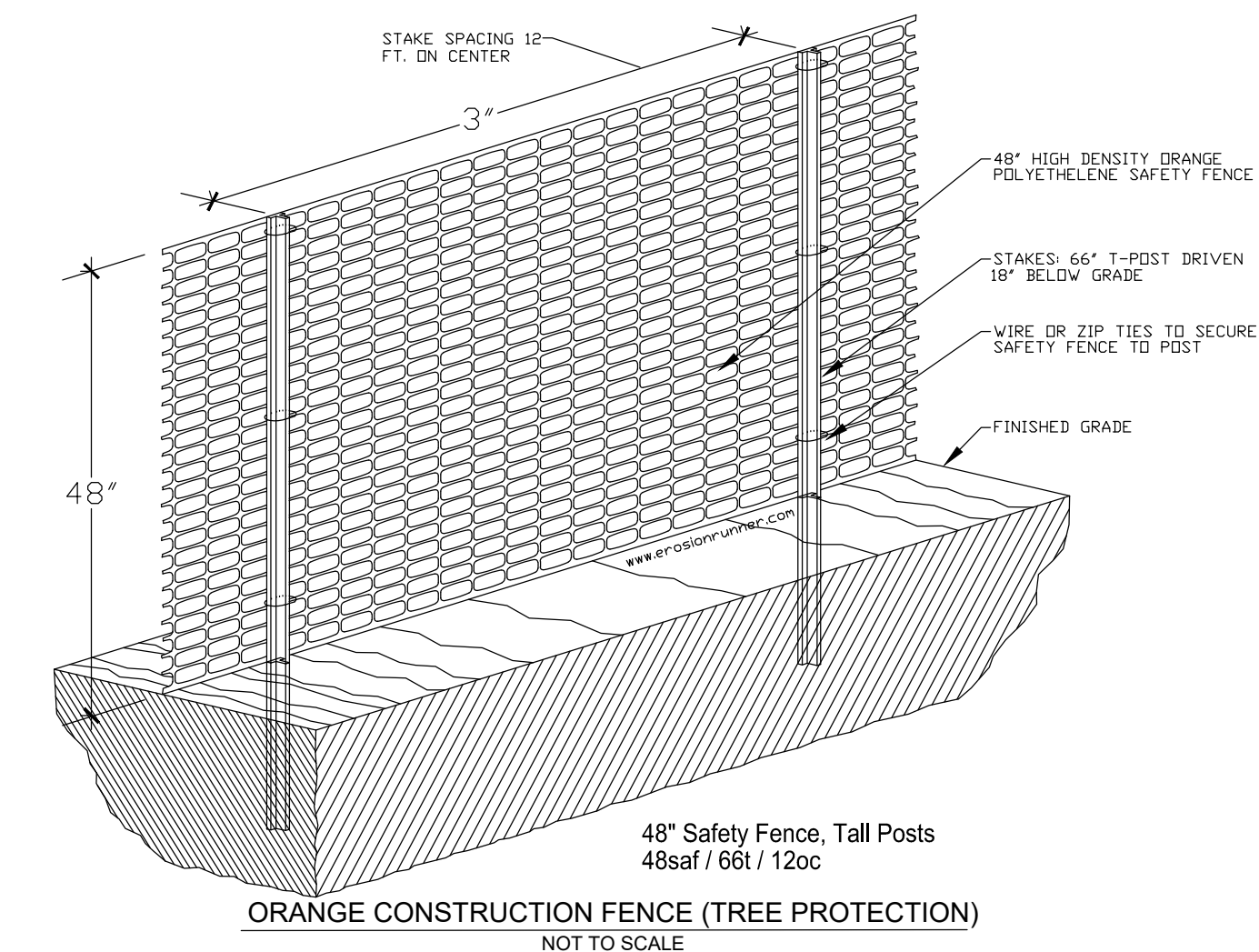
**STANDARD CONSTRUCTION DETAIL #3-16
 PUMPED WATER FILTER BAG**
 NOT TO SCALE



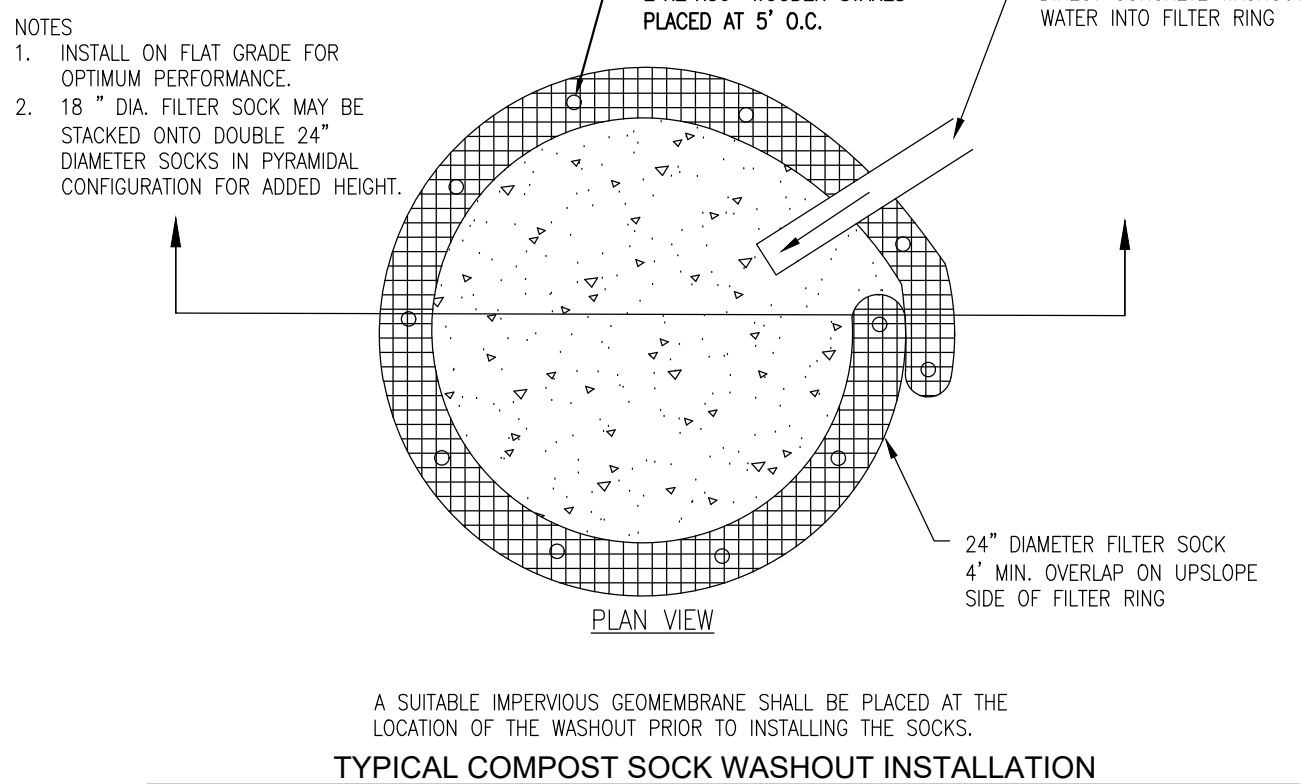
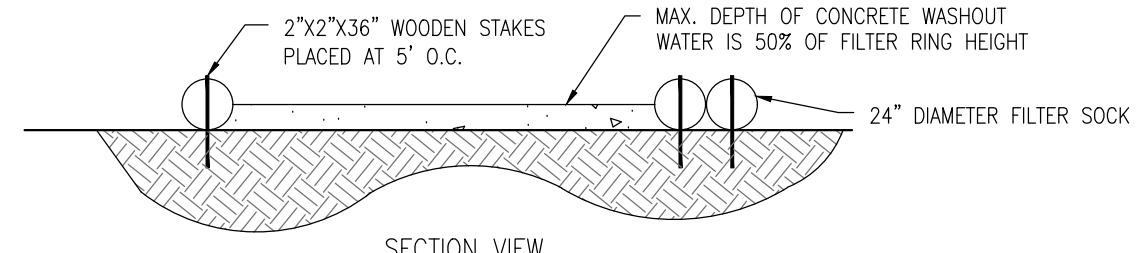
**STANDARD CONSTRUCTION DETAIL
 TOPSOIL STOCKPILE**



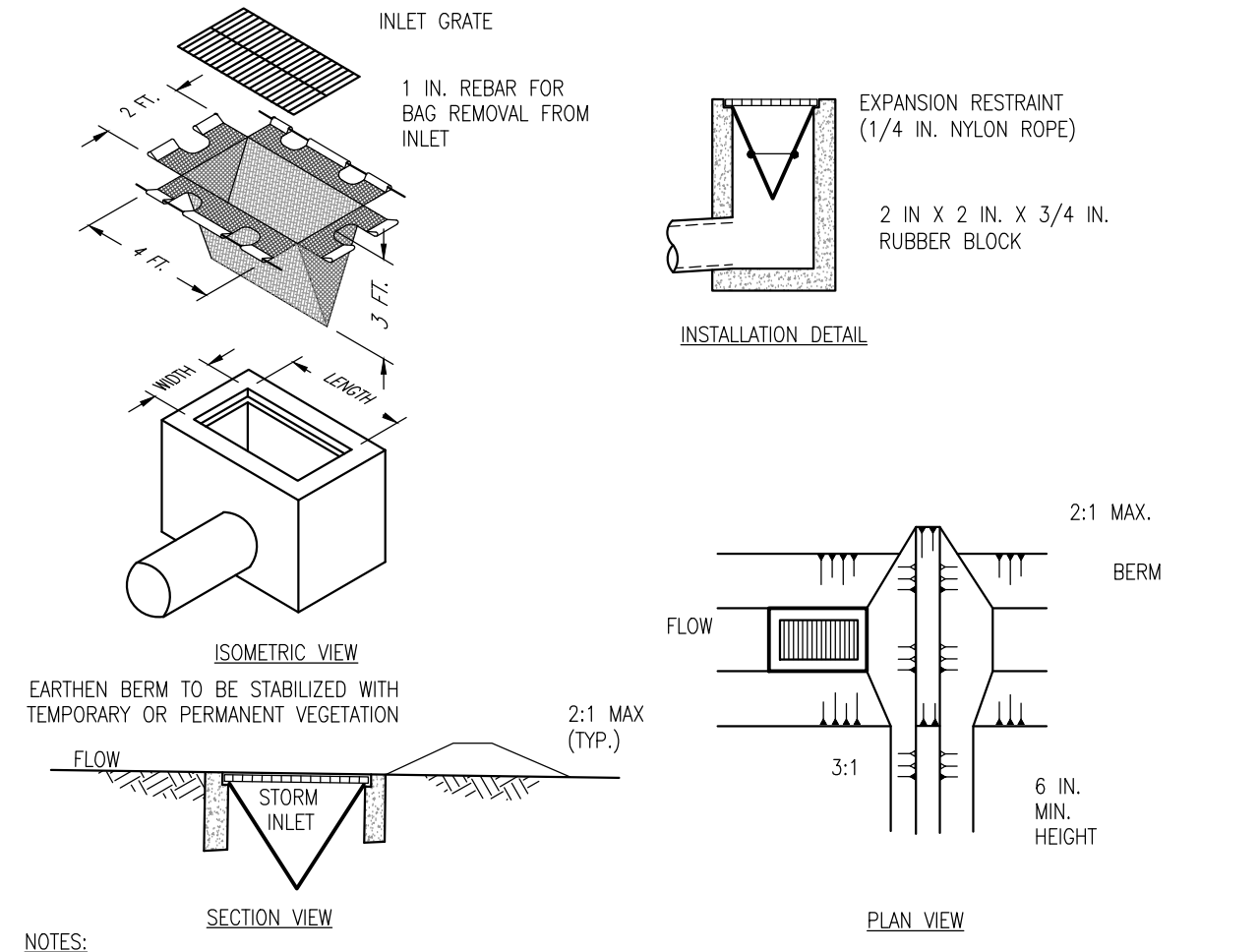
TREE PROTECTION - DETAIL
 NOT TO SCALE



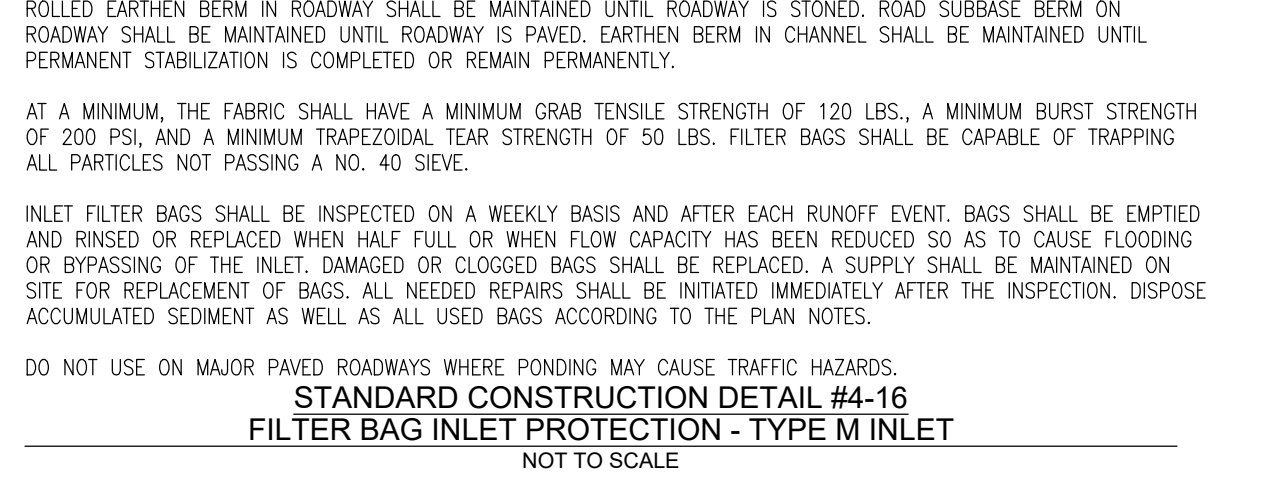
ORANGE CONSTRUCTION FENCE (TREE PROTECTION)
 NOT TO SCALE



TYPICAL COMPOST SOCK WASHOUT INSTALLATION
 NOT TO SCALE



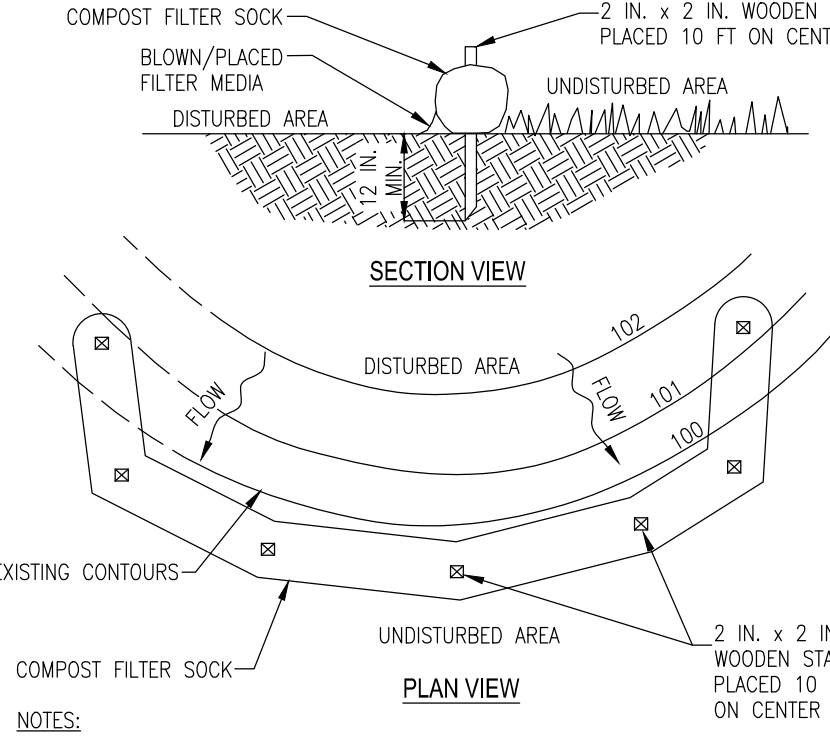
NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A #40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



**STANDARD CONSTRUCTION DETAIL #4-16
 FILTER BAG INLET PROTECTION - TYPE M INLET**
 NOT TO SCALE

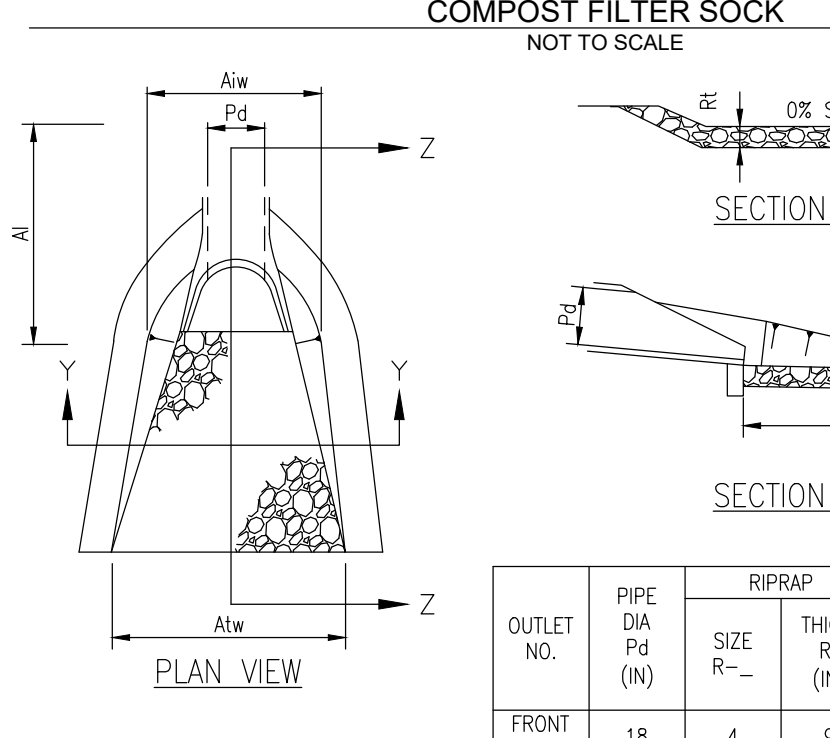
SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

| E&S BMP | MAINTENANCE ACTIVITY | INSPECTION SCHEDULE | ADDITIONAL SPECIFICATIONS |
|-----------------------------------|--|--|---|
| ROCK CONSTRUCTION ENTRANCE | <ul style="list-style-type: none"> MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS REMOVE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS/SIDEWALKS IMMEDIATELY UPON DISCOVERY IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. | INSPECT DAILY | <ul style="list-style-type: none"> IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLICK CONDITIONS ON TRAVELED ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATISFACTION OF THE TOWNSHIP. ALL SEDIMENT LADEN WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN APPROPRIATE FILTER CONTROL, SUCH AS A WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER COURSE. REMOVAL OF MUD OR DEBRIS FROM THE HIGHWAY SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR AND/OR DEVELOPER. |
| PUMPED WATER FILTER BAG | REPLACE BAGS WHEN THEY BECOME 1/2 FULL OF SEDIMENT | INSPECT BAGS DAILY | IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED |
| COMPOST FILTER SOCK | SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK | INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT | <ul style="list-style-type: none"> DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. |
| INLET FILTER BAG | <ul style="list-style-type: none"> BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. | INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT | DAMAGED FILTER BAGS SHOULD BE REPLACED. |
| SEEDING AND MULCHING | <ul style="list-style-type: none"> SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEEDED, AND MULCHED. PROMPTLY REAPPLY MULCH MATERIALS, WHICH BECOME DISLODGED OR LOST DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES, AS DIRECTED. | <ul style="list-style-type: none"> PROPERLY MAINTAIN SEEDED AND MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. REFER TO TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS FOR ADDITIONAL DETAIL | REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS |
| EROSION CONTROL BLANKET | DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS. | INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT | <ul style="list-style-type: none"> AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED. |
| VEGETATED CHANNELS | <ul style="list-style-type: none"> CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LININGS SHALL BE REPAIRED/REPLACED WITHIN 48 HOURS OF DISCOVERY. | INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT | <ul style="list-style-type: none"> CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. DAMAGED FILTER BAGS SHOULD BE REPLACED. |
| RIPRAP APRONS AND LEVEL SPREADERS | <ul style="list-style-type: none"> DISPLACED RIPRAP SHALL BE REPLACED IMMEDIATELY. AREAS UNDERCUT BY EROSION SHALL BE REPAIRED AND RESEED IMMEDIATELY. | INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT | SEDIMENT DEPOSITS SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE CONCRETE LEVEL SPREADER. |



**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**
 NOT TO SCALE

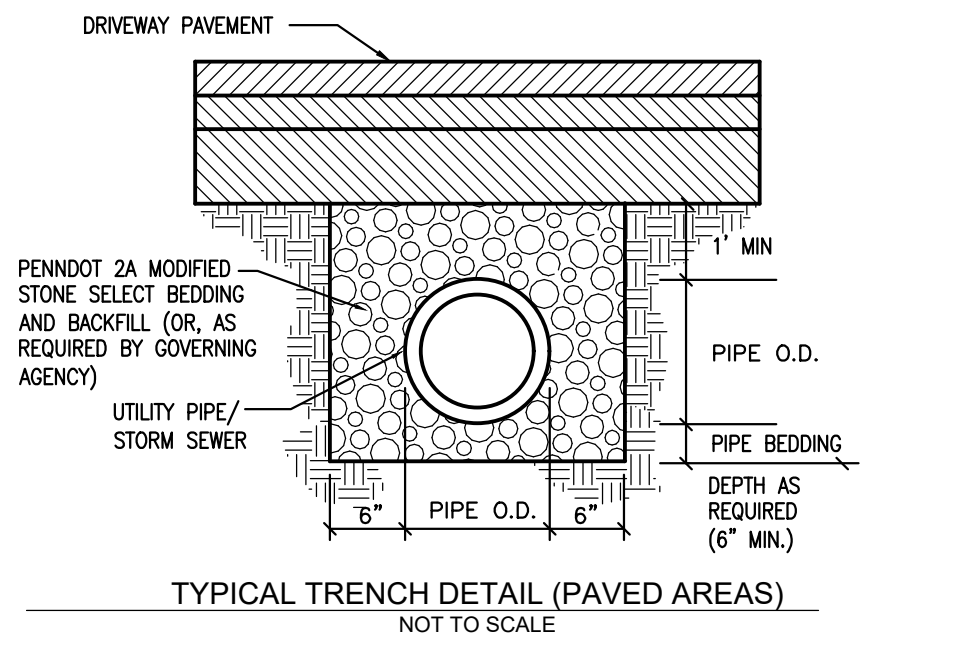
NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. S. SPECIFICATIONS OR DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED S. RECOMMENDATIONS.
 ACCORDING TO MANUFACTURER UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



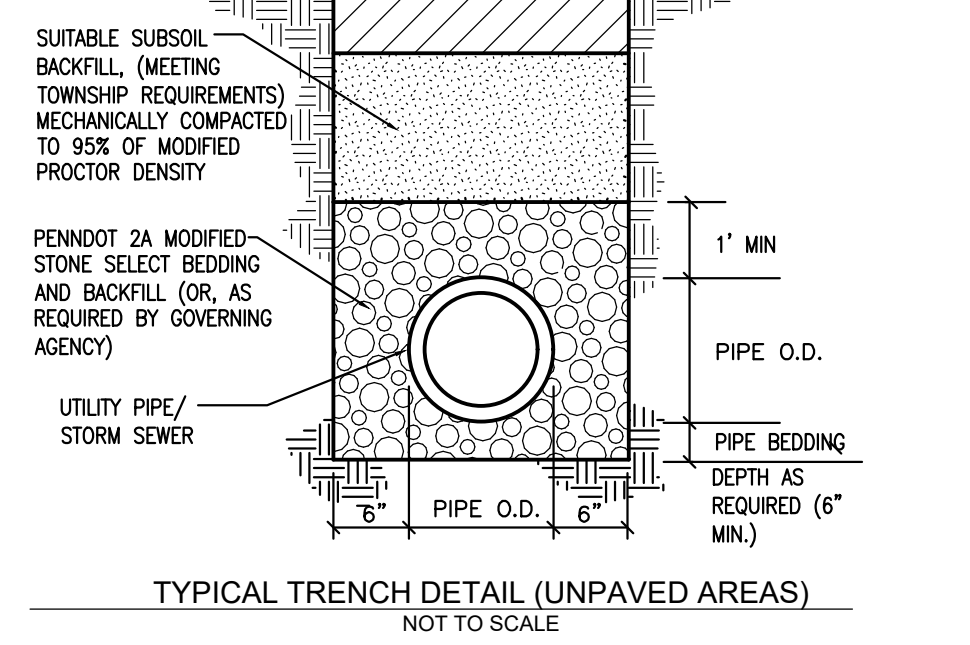
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL**
 NOT TO SCALE

| OUTLET NO. | PIPE DIA. P4 (IN) | RIPRAP SIZE R- (IN) | THICK. R (IN) | LENGTH A1 (FT) | INITIAL WIDTH A1w (FT) | TERMINAL WIDTH A1t (FT) |
|-------------|-------------------|---------------------|---------------|----------------|------------------------|-------------------------|
| FRONT BASIN | 18 | 4 | 9 | 18 | 4.5 | 12.5 |
| REAR BASIN | 8 | 4 | 9 | 18 | 2 | 8 |

NOTES:
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.



TYPICAL TRENCH DETAIL (PAVED AREAS)
 NOT TO SCALE

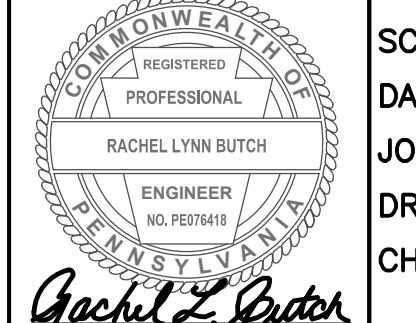


TYPICAL TRENCH DETAIL (UNPAVED AREAS)
 NOT TO SCALE

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EROSION & SEDIMENT CONTROL & CONSTRUCTION DETAILS

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