

**OWNERS CERTIFICATION OF INTENT**

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BUCKS DAY OF \_\_\_\_\_ 20\_\_\_\_ BEFORE THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED OF \_\_\_\_\_ AND THAT, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID \_\_\_\_\_ IS A REGISTERED OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THEY DESIRE THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

ATTEST:

(NAME OF CORPORATION)

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

(NOTARY PUBLIC)

MY COMMISSION EXPIRES THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

**CERTIFICATION OF TRUE OWNERSHIP**

WE, AS AUTHORIZED OFFICERS OF \_\_\_\_\_ DULY CERTIFY THAT THE TITLE OF THE PROPERTIES PRESENTED ARE IN THE NAME OF \_\_\_\_\_ AS RECORDED IN THE OFFICE OF RECORDER OF DEEDS, BUCKS COUNTY, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

PRESIDENT \_\_\_\_\_

SECRETARY \_\_\_\_\_

**PROFESSIONAL ENGINEER'S CERTIFICATION**

I, LARRY P. YOUNG, A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN MEETS THE REQUIREMENTS OF ALL ORDINANCES AFFECTING THIS LAND DEVELOPMENT PLAN, INCLUDING THE AMENDED ZONING ORDINANCE OF THE TOWNSHIP OF NEW BRITAIN, IN WHICH THIS LAND DEVELOPMENT IS LOCATED.

Larry P. Young, P.E. PE 053219 E (REGISTERED PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)

**PROFESSIONAL SURVEYOR'S CERTIFICATION**

I, JAMES A. CHALK, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE METES AND BOUNDARIES AS SHOWN AND THE LAND, STREETS, HIGHWAYS, EASEMENTS AND UTILITIES AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

James A. Chalk, PLS SJ 072463 (REGISTERED PROFESSIONAL SURVEYOR) (REGISTRATION NUMBER)

**TOWNSHIP ENGINEER**

REVIEWED BY THE NEW BRITAIN TOWNSHIP ENGINEER ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

(TOWNSHIP ENGINEER)

**APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF NEW BRITAIN**

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF NEW BRITAIN THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

BOARD MEMBER \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_

**BASE SITE AREA CALCULATIONS**

GROSS SITE AREA	3.734	ACRES
SUBTRACT RIGHT OF WAYS AND EASEMENTS	0.316	ACRES
SUBTRACT LAND WHICH IS NOT CONTIGUOUS	0	ACRES
SUBTRACT LAND WHICH, IN A PREVIOUSLY APPROVED SUBDIVISION, WAS SET ASIDE, RESERVED, AND/OR RESTRICTED FOR OPEN SPACE, NATURAL RESOURCE PROTECTION AND/OR RECREATION PURPOSES.	0	ACRES
SUBTRACT LAND USED FOR ANOTHER USE	0	ACRES
<b>BASE SITE AREA</b>	<b>3.418</b>	<b>ACRES</b>

**MINIMUM OPEN SPACE CALCULATION**

BASE SITE AREA	3.418	ACRES
SUBTRACT OPEN SPACE RATIO	0	ACRES
STANDARD MINIMUM OPEN SPACE	3.418	ACRES
<b>MINIMUM OPEN SPACE</b>	<b>ACRES</b>	

**NET BUILDABLE SITE AREA**

BASE SITE AREA	3.418	ACRES
SUBTRACT REQUIRED OPEN SPACE	0	ACRES
<b>NET BUILDABLE SITE AREA</b>	<b>3.418</b>	<b>ACRES</b>

**APPROVAL OF THE BUCKS COUNTY PLANNING COMMISSION**

BCPC No. \_\_\_\_\_

PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE \_\_\_\_\_

CHAIRMAN, BUCKS COUNTY PLANNING COMMISSION \_\_\_\_\_

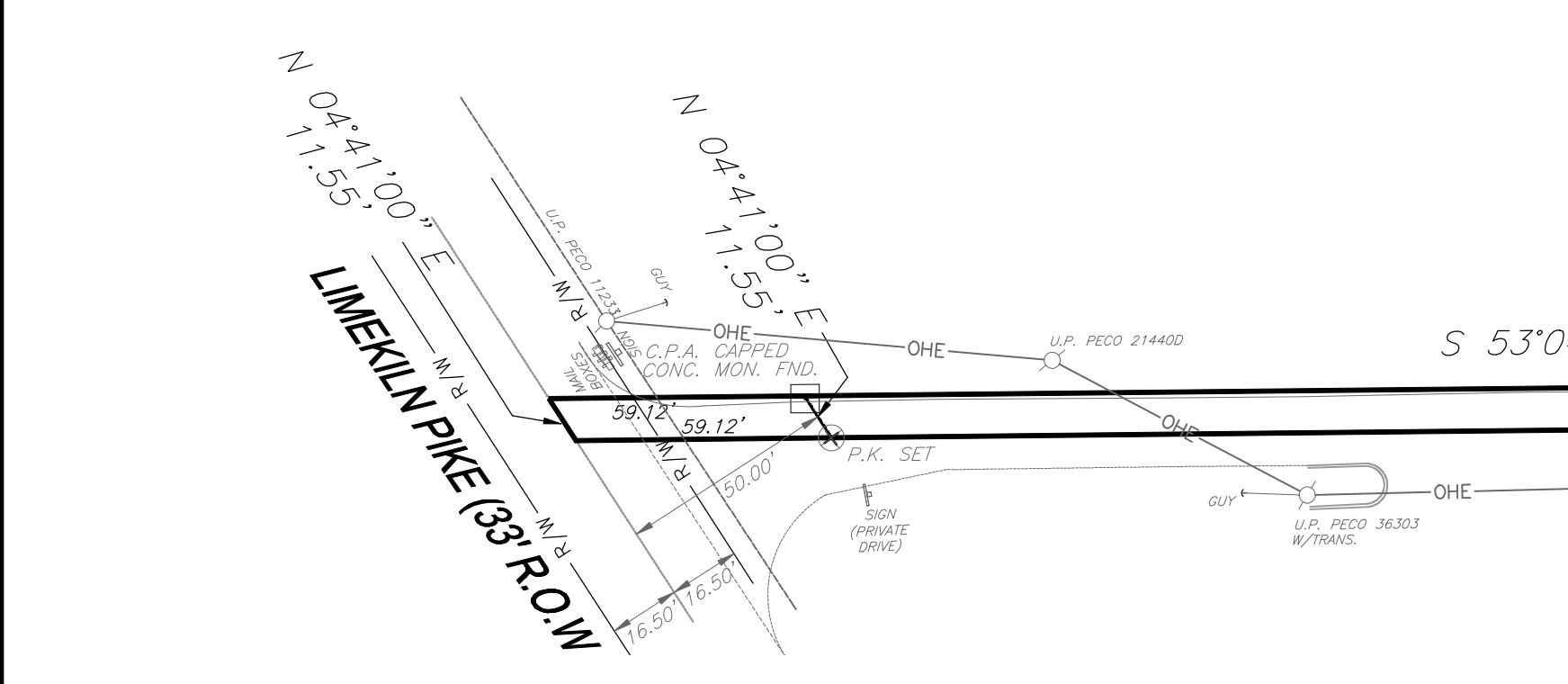
EXECUTIVE DIRECTOR, BUCKS COUNTY PLANNING COMMISSION \_\_\_\_\_

**CERTIFICATION FOR RECORDING**

RECORDED IN THE OFFICE OF RECORDER OF DEEDS AT DOYLESTOWN, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

(RECORDER OF DEEDS) \_\_\_\_\_ (DATE)

- LIST OF PLANS:**
- 1 OF 6 WAIVER OF LAND DEVELOPMENT PLAN
  - 2 OF 6 EXISTING FEATURES PLAN
  - 3 OF 6 SITE PLAN
  - 4 OF 6 EROSION & SEDIMENT CONTROL PLAN
  - 5 OF 6 EROSION & SEDIMENT CONTROL DETAIL PLAN
  - 6 OF 6 CONSTRUCTION DETAIL PLAN



NOTE: ALL DOCUMENTS PREPARED BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO TRI-STATE ENGINEERS & LAND SURVEYORS, INC., AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS TRI-STATE ENGINEERS & LAND SURVEYORS, INC. FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

**Pennsylvania One Call System, Inc.**  
**SERIAL # 2020-1532935**  
Call Before You Dig  
in Pennsylvania  
1-800-242-1776

State Law Requires  
Construction Phase: Three working Days Notice  
Design Phase: Ten working Days Notice  
Facility Owners: Member of One Call System

**OWNER OF RECORD:**  
JAMES UMLAUF  
ERIN HUGHES  
619 NORTH LIMEKILN PIKE  
CHALFONT, PA 18914  
215-783-5114  
APPLICANT  
JAMES UMLAUF  
DISTINCTIVE SERVICES  
619 NORTH LIMEKILN PIKE  
CHALFONT, PA 18914  
215-783-5114

**ZONING TABLE**

ZONING DISTRICT: WS - WATERSHED DISTRICT

EXISTING USE: B1 - SINGLE FAMILY DETACHED DWELLING (PERMITTED BY RIGHT)  
K5 - LANDSCAPE CONTRACTING (CONDITIONAL USE GRANTED OCTOBER 15TH, 2020)  
L2 - OUTDOOR STORAGE/DISPLAY (ACCESSORY CONDITIONAL USE GRANTED JULY 20TH, 2020)

DESCRIPTION	REQUIRED	EX. T.M.P. 26-003-119	PROP. T.M.P. 26-003-119
MINIMUM LOT AREA (AC)	5 AC	3.743 AC (GROSS) 3.359 AC (NET)*	3.743 AC (GROSS) 3.359 AC (NET)*
MINIMUM LOT WIDTH AT BUILDING SETBACK LINE (FT)	250 FT	496 FT	496 FT
MINIMUM FRONT YARD (FT)	100 FT	108.9 FT	103.4 FT
MINIMUM SIDE YARD (FT)	50 FT	44.6 FT*	44.6 FT*
MINIMUM REAR YARD (FT)	75 FT	138.2 FT	138.2 FT
MIN. ACCESSORY USE/STRUCTURE SIDE/REAR YARD SETBACK (FT)	15 FT	N/A	15 FT
MAXIMUM IMPERVIOUS SURFACE RATIO(%)	15%	50.21*	50.08 *
MAXIMUM BUILDING COVERAGE (%)	10%	5.00%	6.72%

\*-DENOTES EXISTING NON-CONFORMITY

IMPERVIOUS SURFACE BREAKDOWN	EX. T.M.P. 26-003-119	PROP. T.M.P. 26-003-119
- BUILDINGS	7,439 SF	9,999 SF
- MACADAM PAVING	32,215 SF	42,357 SF
- STONE AREAS	29,289 SF	18,941 SF
- SIDEWALKS AND CONC PADS	4,310 SF	1,762 SF
- RETAINING WALLS AND DECKS	1,501 SF	1,501 SF
<b>TOTAL IMPERVIOUS</b>	<b>74,754 SF</b>	<b>74,560 SF</b>

\* INCLUDES ACCESS EASEMENT/ROADWAY/DRIVEWAY TO LIMEKILN PIKE

**PROJECT NARRATIVE:**

THIS PROJECT PROPOSES TO CONSTRUCT TWO (2) ADDITIONS ON EACH SIDE OF THE EXISTING METAL BUILDING, MILL AND PAVE THE EXISTING PARKING LOT WITH ASSOCIATED IMPROVEMENTS. THE PROPOSED STORM WATER MANAGEMENT SYSTEM, IS DESIGN TO INFILTRATE AND CONVEY THE STORM WATER RUNOFF AWAY FROM THE BUILDINGS AND TOWARDS THE EXISTING DRAINAGE SWALE. THERE IS NO INCREASE IN IMPERVIOUS DUE TO THE PROPOSED BUILDINGS BEING ERECTED ON TOP OF THE EXISTING IMPERVIOUS SURFACE.

NOTES:

- EXISTING PARKING LOT STONE SHALL BE REGRADED TO ALLOW FOR NEW PAVING COURSES. SEE SHEET 5 OF 5 FOR DETAIL.
- EXISTING MACADAM SHALL RECEIVE 1.5" MILL PRIOR TO WEARING COURSE. OVERLAY.

**BASE SITE AREA CALCULATIONS**

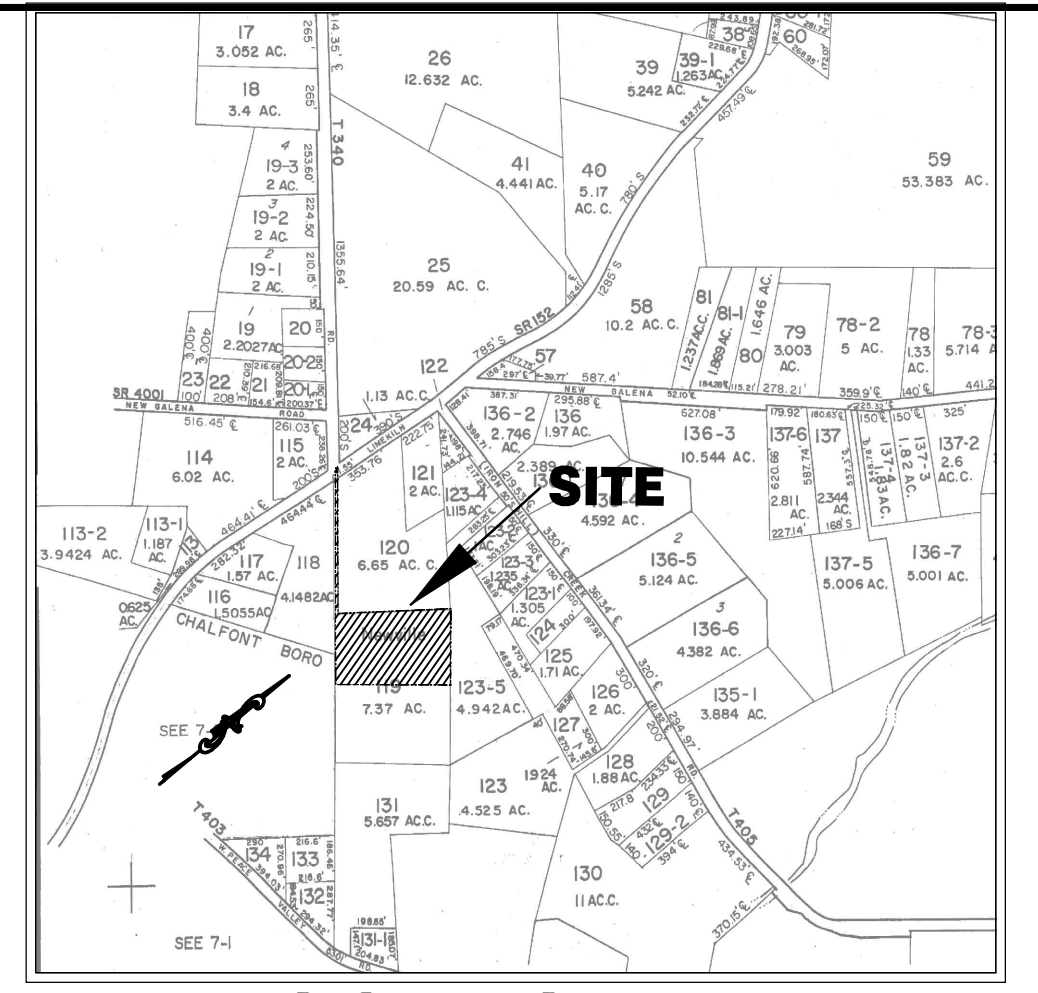
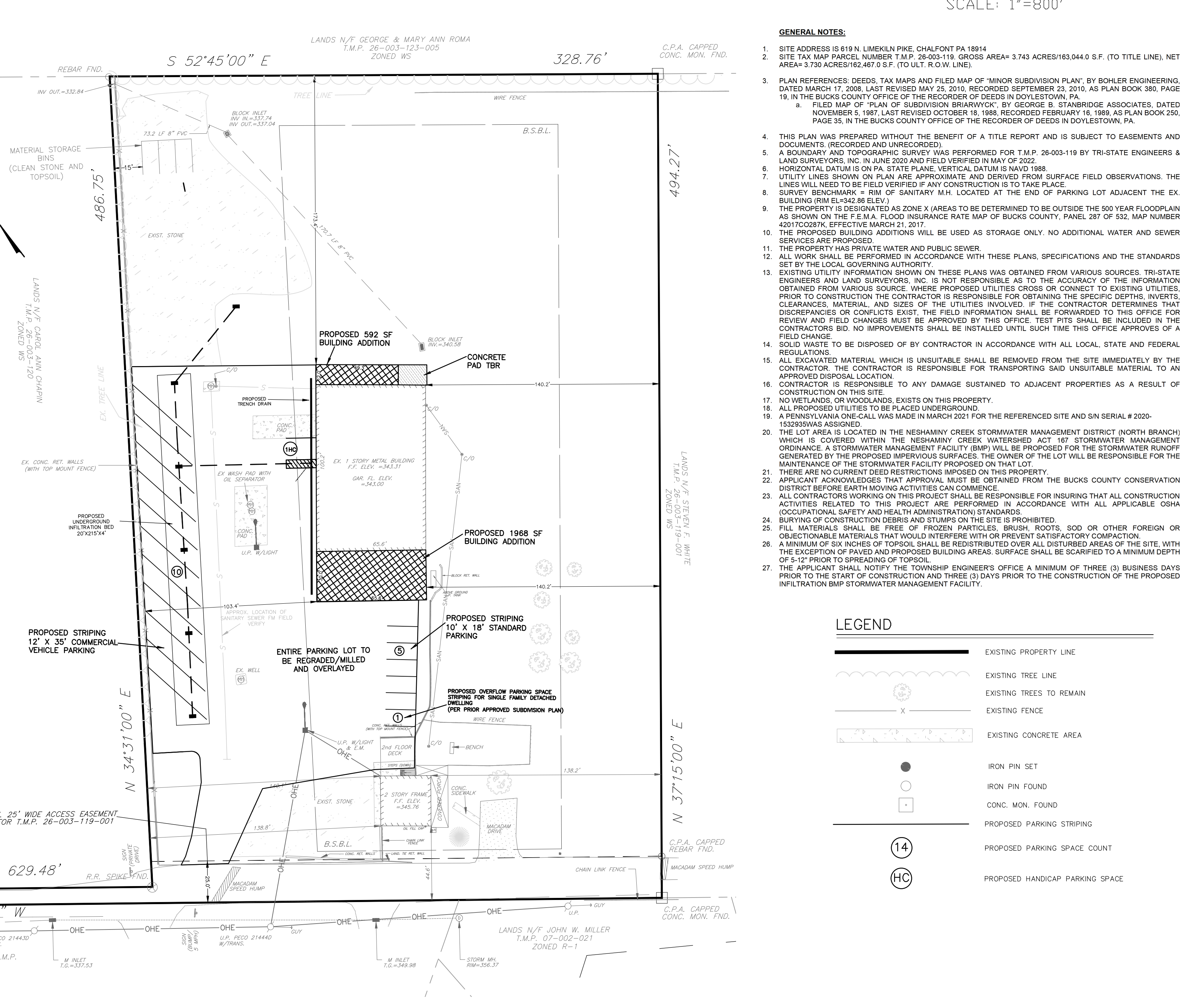
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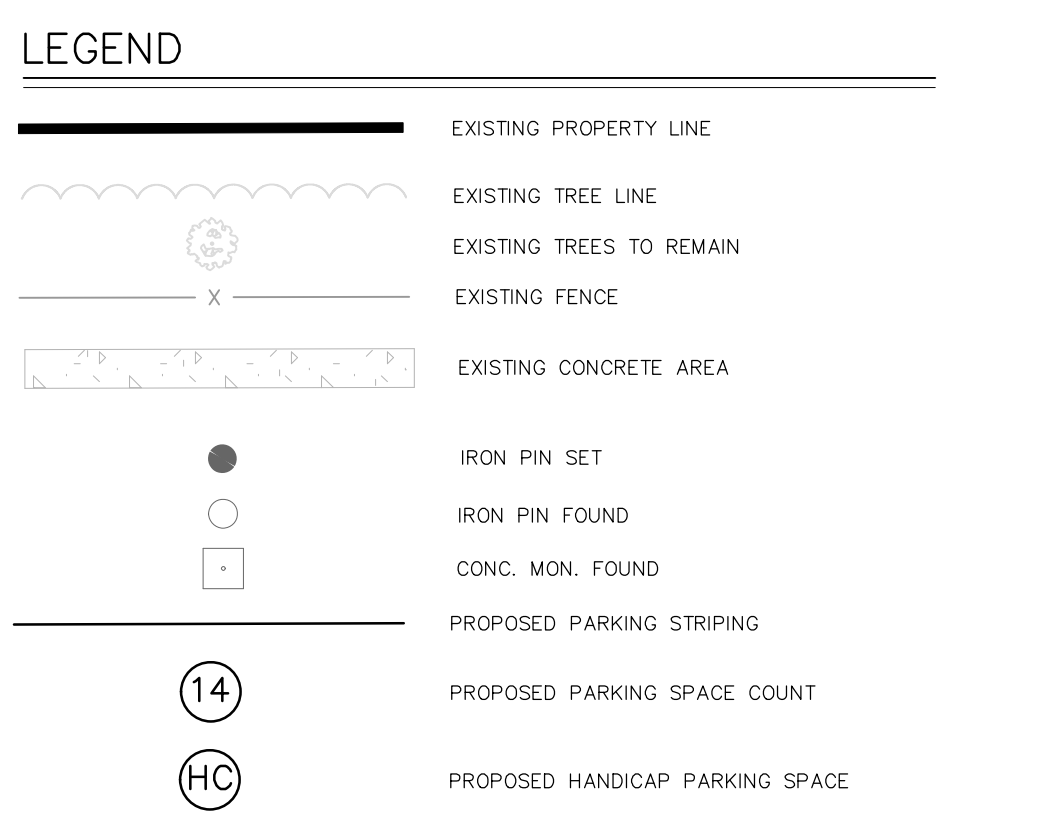
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**LOCATION MAP**  
SCALE: 1"=800'

- GENERAL NOTES:**
- SITE ADDRESS IS 619 N LIMEKILN PIKE, CHALFONT PA 18914
  - SITE TAX MAP PARCEL NUMBER T.M.P. 26-003-119. GROSS AREA= 3.743 ACRES/163,044.0 S.F. (TO TITLE LINE), NET AREA= 1,700 ACRES/167,919.0 S.F. (TO U.T. ROW LINE)
  - PLAN REFERENCES: DEEDS, TAX MAPS AND FILED MAP OF "MINOR SUBDIVISION PLAN" BY BOKLER ENGINEERING, DATED MARCH 17, 2008, LAST REVISED MAY 25, 2010, RECORDED SEPTEMBER 23, 2010, AS PLAN BOOK 390, PAGE 19, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA.
    - a. FILED MAP OF "PLAN OF SUBDIVISION BRIDGE & STANBRIDGE ASSOCIATES, DATED NOVEMBER 5, 1987, LAST REVISED OCTOBER 18, 1988, RECORDED FEBRUARY 16, 1989, AS PLAN BOOK 250, PAGE 35, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA.
  - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO EASEMENTS AND DOCUMENTS, (RECORDED AND UNRECORDED).
  - A BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED FOR T.M.P. 26-003-119 BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC. IN JUNE 2020 AND FIELD VERIFIED IN MAY OF 2022.
  - HORIZONTAL DATUM IS ON PA STATE PLANE, VERTICAL DATUM IS NAD 1988.
  - UTILITY LINES SHOWN ON PLAN ARE APPROXIMATE AND DERIVED FROM SURFACE FIELD OBSERVATIONS. THE LINES WILL NEED TO BE FIELD VERIFIED IF ANY CONSTRUCTION IS TO TAKE PLACE.
  - SURVEY BENCHMARK = RIM OF SANITARY M.H. LOCATED AT THE END OF PARKING LOT ADJACENT THE EX. BUILDING (RIM EL=342.86 ELEV.)
  - THE PROPERTY IS DESIGNATED AS ZONE X (AREAS TO BE DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BUCKS COUNTY, PANEL 287 OF 532, MAP NUMBER 42017C0287K, EFFECTIVE MARCH 21, 2017).
  - THE PROPOSED BUILDING ADDITIONS WILL BE USED AS STORAGE ONLY. NO ADDITIONAL WATER AND SEWER SERVICES ARE PROPOSED.
  - THE PROPERTY HAS PRIVATE WATER AND PUBLIC SEWER.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE STANDARDS SET BY THE LOCAL GOVERNING AUTHORITY.
  - EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM VARIOUS SOURCES. TRI-STATE ENGINEERS AND LAND SURVEYORS, INC. IS NOT RESPONSIBLE AS TO THE ACCURACY OF THE INFORMATION OBTAINED FROM VARIOUS SOURCE. WHERE PROPOSED UTILITIES CROSS OR CONNECT TO EXISTING UTILITIES, PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SPECIFIC DEPTHS, INVERTS, CLEARANCES, MATERIAL AND SIZE OF THE UTILITIES INVOLVED. IF THE CONTRACTOR DETERMINES THAT DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR REVIEW AND FIELD CHANGES MUST BE APPROVED BY THIS OFFICE. TEST PITS SHALL BE INCLUDED IN THE CONTRACTORS BID. NO IMPROVEMENTS SHALL BE INSTALLED UNTIL SUCH TIME THIS OFFICE APPROVES OF A FIELD CHANGE.
  - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  - ALL EXCAVATED MATERIAL WHICH IS UNSUITABLE SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR TRANSPORTING SAID UNSUITABLE MATERIAL TO AN APPROVED DISPOSAL LOCATION.
  - CONTRACTOR IS RESPONSIBLE TO ANY DAMAGE SUSTAINED TO ADJACENT PROPERTIES AS A RESULT OF CONSTRUCTION ON THIS SITE.
  - NO WETLANDS, OR WOODLANDS, EXISTS ON THIS PROPERTY.
  - ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
  - A PENNSYLVANIA ONE-CALL WAS MADE IN MARCH 2021 FOR THE REFERENCED SITE AND SN SERIAL # 2020-1532935 WAS ASSIGNED.
  - THE LOT AREA IS LOCATED IN THE NESHAMINY CREEK STORMWATER MANAGEMENT DISTRICT (NORTH BRANCH) WHICH IS COVERED WITHIN THE NESHAMINY CREEK WATERSHED ACT 157 STORMWATER MANAGEMENT ORDINANCE. A STORMWATER MANAGEMENT FACILITY (BMP) WILL BE PROPOSED FOR THE STORMWATER RUNOFF GENERATED BY THE PROPOSED IMPERVIOUS SURFACES. THE OWNER OF THE LOT WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER FACILITY PROPOSED ON THAT LOT.
  - THERE ARE NO CURRENT DEED RESTRICTIONS IMPOSED ON THIS PROPERTY.
  - APPLICANT ACKNOWLEDGES THAT APPROVAL MUST BE OBTAINED FROM THE BUCKS COUNTY CONSERVATION DISTRICT BEFORE EARTH MOVING ACTIVITIES CAN COMMENCE.
  - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
  - BURYING OF CONSTRUCTION DEBRIS AND STUMPS ON THE SITE IS PROHIBITED.
  - FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT SATISFACTORY COMPACTION.
  - A MINIMUM OF SIX INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS. SURFACE SHALL BE SCARPED TO A MINIMUM DEPTH OF 5-12" PRIOR TO SPREADING OF TOPSOIL.
  - THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER'S OFFICE A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION AND THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSED INFILTRATION BMP STORMWATER MANAGEMENT FACILITY.



**TRI-STATE ENGINEERS & LAND SURVEYORS, INC.**  
CIVIL ENGINEER • MUNICIPAL ENGINEERS • LAND SURVEYORS • LAND PLANNERS • LANDSCAPE ARCHITECT  
**601 WEST STREET ROAD, FEASTERVILLE, PENNSYLVANIA 19053**  
PHONE: 215-357-5950 FAX: 215-357-2836

**COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER LARRY P. YOUNG**

**WAIVER OF LAND DEVELOPMENT PLAN FOR T.M.P. 26-003-119 619 NORTH LIMEKILN PIKE NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA**

**SHEET 1 OF 6**

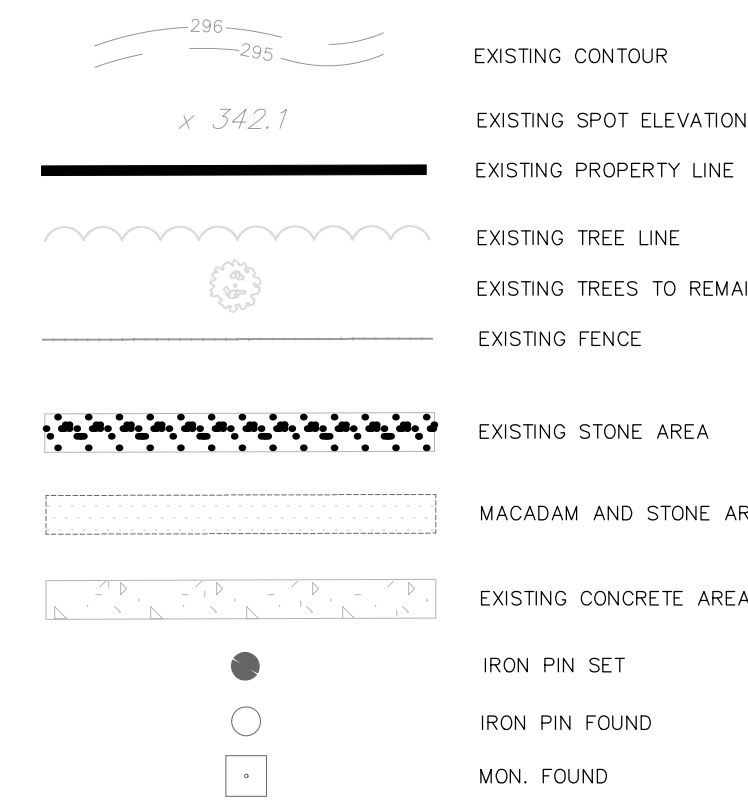
**ZONING TABLE**

ZONING DISTRICT: WS - WATERSHED DISTRICT		
EXISTING USE: B1 - SINGLE FAMILY DETACHED DWELLING (PERMITTED BY RIGHT) K3/K6 - WAREHOUSE/TRUCK TERMINAL		
DESCRIPTION	REQUIRED	EX. T.M.P. 26-003-119
MINIMUM LOT AREA (AC)	5 AC	3.743 AC (GROSS) 3.359 AC (NET)*
MINIMUM LOT WIDTH AT BUILDING SETBACK LINE (FT)	250 FT	496 FT
MINIMUM FRONT YARD (FT)	100 FT	108.9 FT
MINIMUM SIDE YARD (FT)	50 FT	44.6 FT*
MINIMUM REAR YARD (FT)	75 FT	138.2 FT
MIN. ACCESSORY USE/STRUCTURE SIDE/REAR YARD SETBACK (FT)	15 FT	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO(%)	15%	50.21*
MAXIMUM BUILDING COVERAGE (%)	10%	5.00%

\*-DENOTES EXISTING NON-CONFORMITY

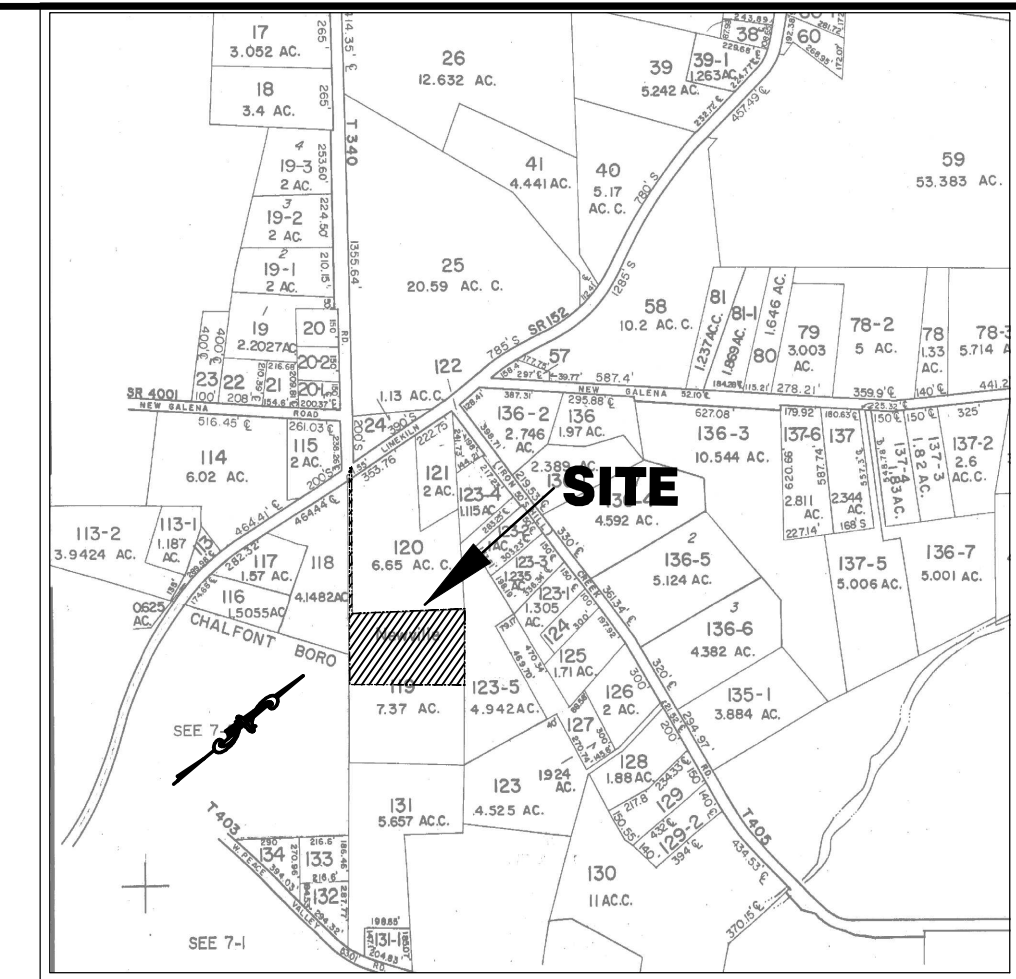
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- SIDEWALKS AND CONC PADS	4,310.0 S.F.
- RETAINING WALLS AND DECKS	1,501.0 S.F.
<b>TOTAL IMPERVIOUS</b>	<b>74,754.0 S.F.</b>

**LEGEND**



**GENERAL NOTES:**

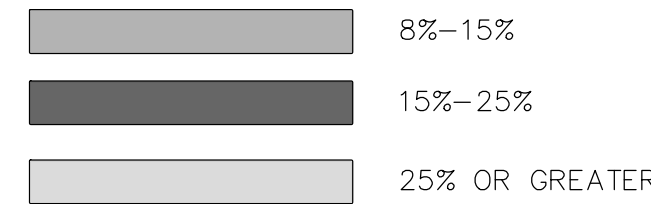
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- UTILITY LINES SHOWN ON PLAN ARE APPROXIMATE AND DERIVED FROM SURFACE FIELD OBSERVATIONS. THE LINES WILL NEED TO BE FIELD VERIFIED IF ANY CONSTRUCTION IS TO TAKE PLACE.
- THE SITE IS SERVICED BY PUBLIC SEWER AND PRIVATE WATER.



**LOCATION MAP**  
SCALE: 1"=800'

Natural Resource Tabulation (T.M.P. 26-003-119)				
Resource	Percent of Resource To be Protected	Net Natural Resource Lands GROSS (Acres)	Total Resource Protected Lands Required (Acres)	Total Proposed Disturbance (Acres)
<b>Fully Protected Resources</b>				
Floodplain	100%	0.000 AC	0.000 AC	0.000 AC
Floodplain Soils	100%	0.000 AC	0.000 AC	0.000 AC
Watercourses or Streams	100%	0.000 AC	0.000 AC	0.000 AC
Riparian Buffer	100%	0.000 AC	0.000 AC	0.000 AC
Lakes or Ponds	100%	0.000 AC	0.000 AC	0.000 AC
Wetlands	100%	0.000 AC	0.000 AC	0.000 AC
<b>Partially Protected Resources (Located Outside Fully Protected Resources)</b>				
Wetlands Margains	80%	0.000 AC	0.000 AC	0.000 AC
Woodlands	80%	0.000 AC	0.000 AC	0.000 AC
8-15% Steep Slopes	60%	0.5254 AC	0.3152 AC	0.0000 AC
15-25% Steep Slopes	70%	0.0836 AC	0.0585 AC	0.0000 AC
25%+ Steep Slopes	85%	0.0501 AC	0.0427 AC	0.0000 AC
<b>Totals</b>			<b>0.4164 AC</b>	<b>0.0000 AC</b>

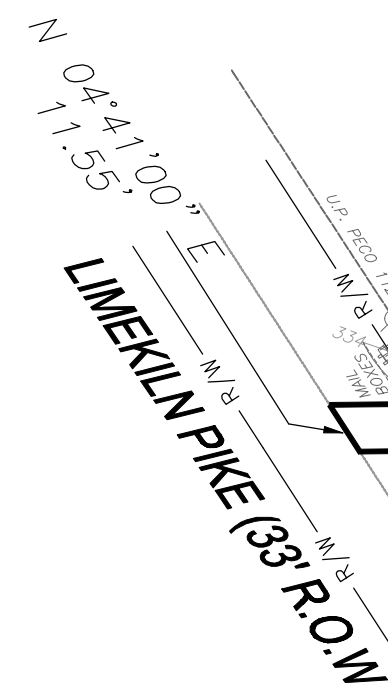
**STEEP SLOPES**



**BASE SITE AREA CALCULATIONS**

- GROSS SITE AREA
- RIGHT OF WAYS AND EASEMENTS
- RESTRICTED OPEN SPACE/NATURAL RESOURCE PROTECTION AND OR RECREATION AREA
- LAND USED FOR ANOTHER USE

**BASE SITE AREA**



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APPLICANT:  
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619 NORTH LIMEKILN PIKE  
CHALFONT, PA 18914  
215-783-5114

Job No.	Date:	Scale:
20-05014	04/25/2022	
Acreage	No. of Lots	
3.743 AC. (163,044.0 S.F. TO TITLE LINE)	1	
Designed By:	Drawn By:	Checked By:
C.S./L.Y.	C.S.	L.Y.

4			
3			
2			
1			
REVISION	DESCRIPTION	DATE	DRAWN BY

**TRI-STATE ENGINEERS & LAND SURVEYORS, INC.**  
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804 WEST STREET ROAD, FEASTERTVILLE, PENNSYLVANIA 19053  
PHONE: 215-357-5950 FAX: 215-357-2836

**EXISTING FEATURES PLAN**  
FOR  
T.M.P. 26-003-119  
619 NORTH LIMEKILN PIKE  
NEW BRITAIN TOWNSHIP  
BUCKS COUNTY, PA

**SHEET**  
2 OF 6

**STORMWATER MANAGEMENT CALCULATIONS:**

STORMWATER MANAGEMENT HAS BEEN DESIGN IN ACCORDANCE WITH THE SMALL PROJECT STORMWATER MANAGEMENT (SWM) SITE PLAN REGULATIONS PER NEW BRITAIN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE SECTION 106.B.

**IMPERVIOUS SURFACE:**

EXISTING: 74,754 SF  
 PROPOSED: 74,560 SF  
 NET CHANGE: -194 SF (DECREASE)

STORMWATER MANAGEMENT WILL BE PROVIDED TO CAPTURE THE RUNOFF FOR THE EXISTING PARKING LOT. THIS SYSTEM IS ONLY TO MANAGE/CONTROL THE EXISTING RUNOFF FROM THE EXISTING PARKING LOT AND CONVEY THE RUNOFF AWAY FROM THE BUILDING TOWARDS THE SITES LOW POINT.

**RECHARGE VOLUME CALCULATION:**

$R_v = [2.0 \text{ INCH RAINFALL} \times 30,000 \text{ SF}] / 12 = 5,000 \text{ CF}$   
 $R_v = 5,000 \text{ CF}$

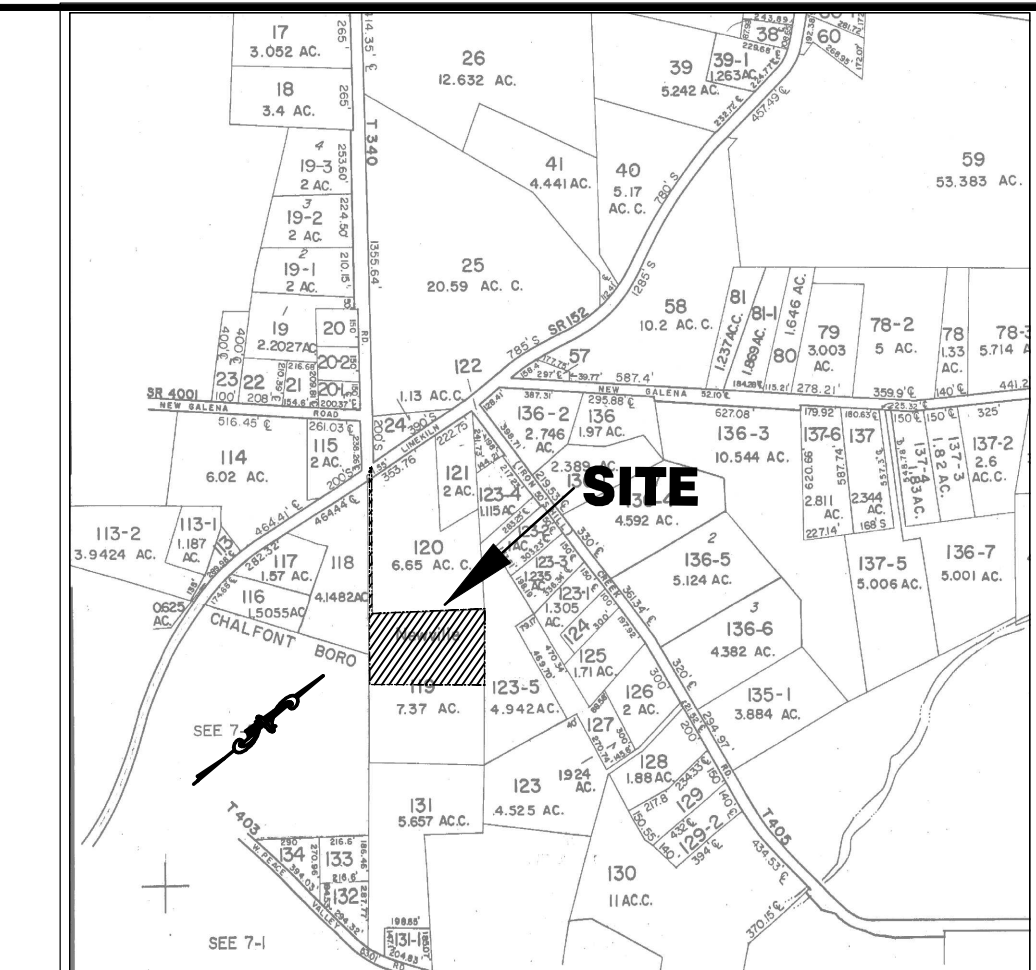
**UNDERGROUND SEEPAGE BED SIZING:**

**REQUIRED VOLUME:**

$5,000 \text{ CF} / 40\% = 12,500 \text{ CF REQUIRED}$   
 \* ASSUMES 40% VOID RATIO IN STONE BED

**PROVIDED VOLUME (UNDERGROUND SEEPAGE BED):**

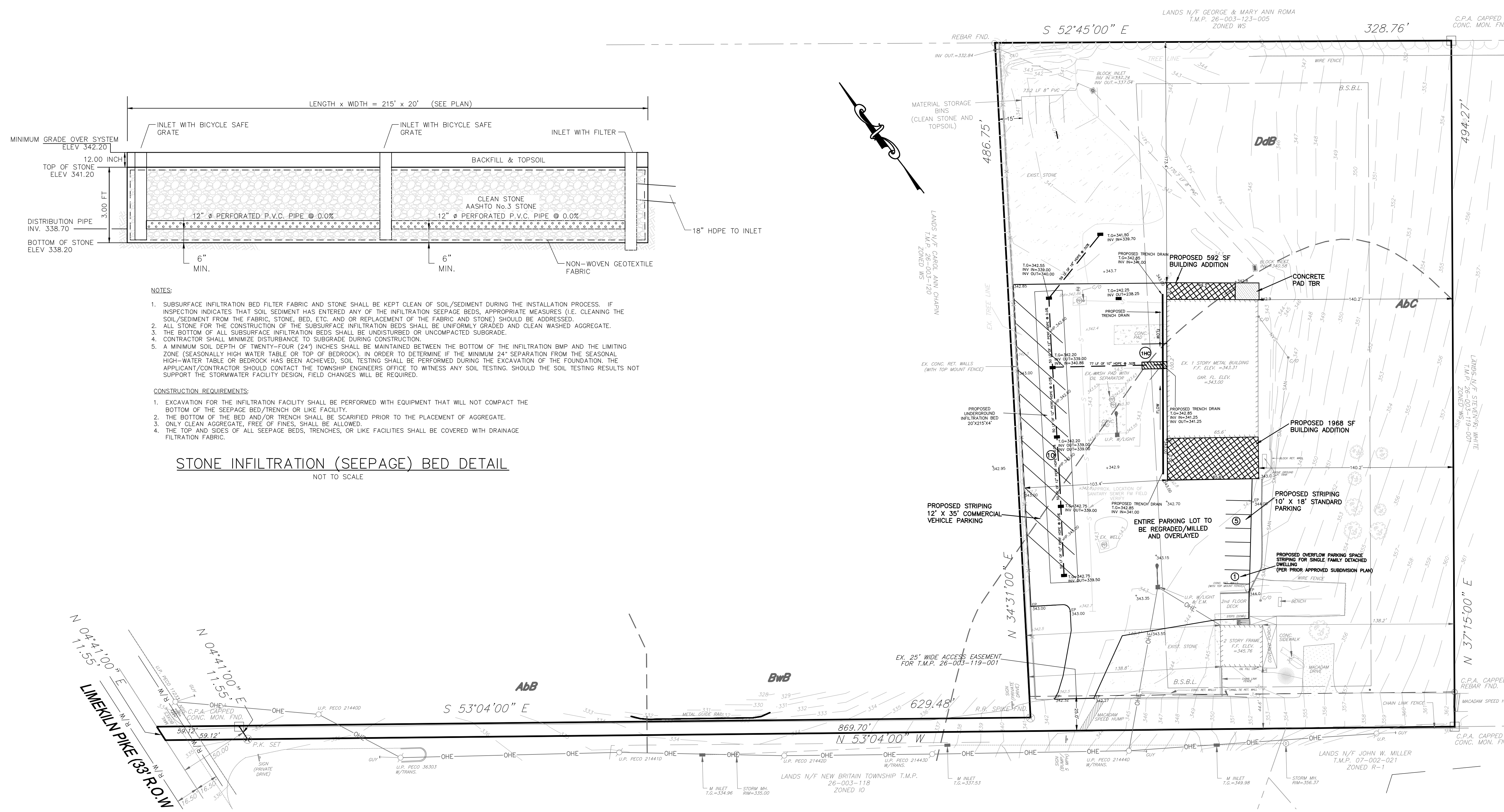
$\text{LENGTH} \times \text{WIDTH} \times \text{DEPTH} = 215' \times 20' \times 3' = 12,900 \text{ CF (SEE DETAIL BELOW)} \times 40\% = 5,160 \text{ CF}$   
 TOTAL STORAGE = 5,160 CF (PROPOSED) > 5,000 CF (REQUIRED)



**LOCATION MAP**  
 SCALE: 1"=800'

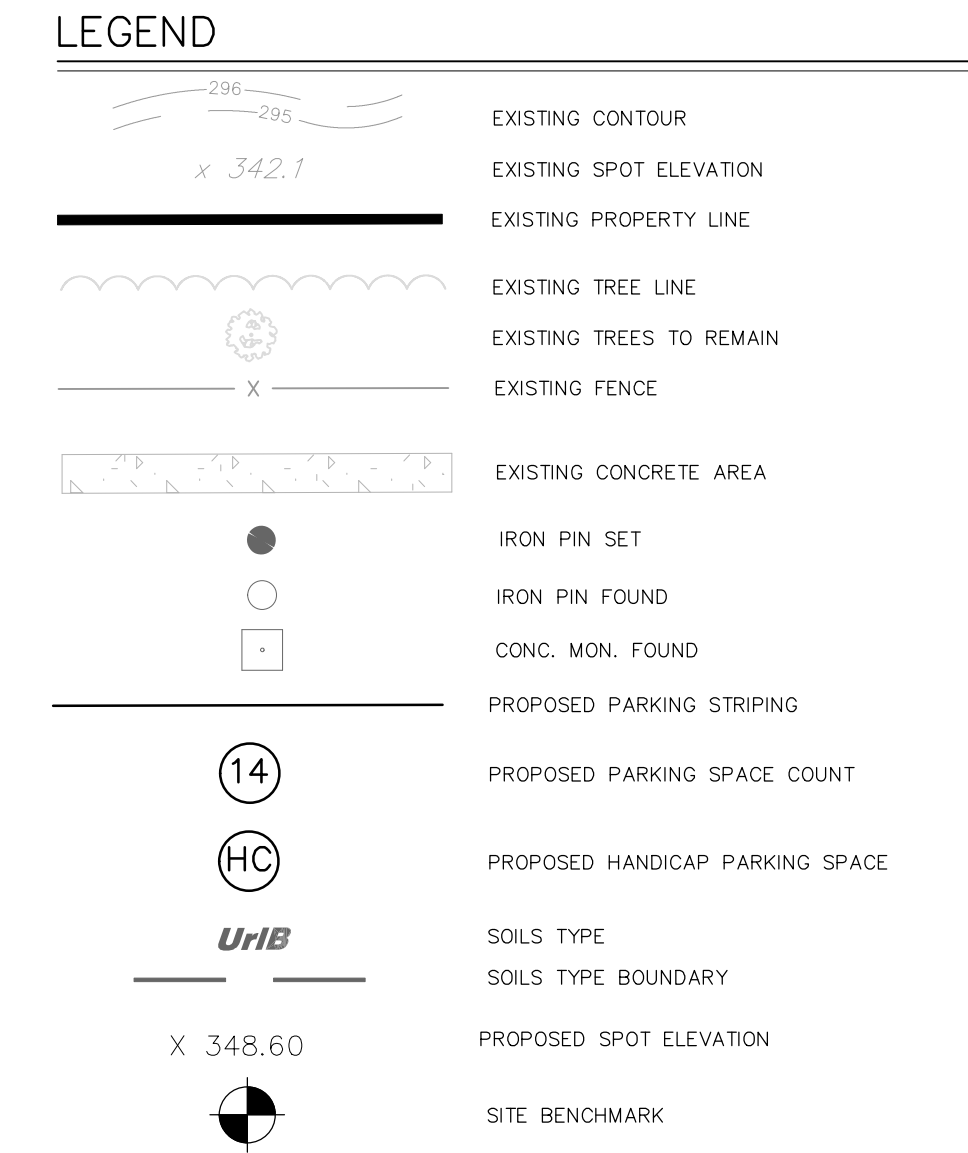
**GRADING NOTES:**

- SITE ADDRESS IS 619 N. LIMEKILN PIKE, CHALFONT PA 18914
- A BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED FOR T.M.P. 26-003-119 BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC. IN JUNE 2020 AND FIELD VERIFIED IN MAY OF 2022.
- HORIZONTAL DATUM IS ON PA STATE PLANE, VERTICAL DATUM IS NAVD 1988.
- UTILITY LINES SHOWN ON PLAN ARE APPROXIMATE AND DERIVED FROM SURFACE FIELD OBSERVATIONS. THE LINES WILL NEED TO BE FIELD VERIFIED IF ANY CONSTRUCTION IS TO TAKE PLACE.
- SURVEY BENCHMARK = RIM OF SANITARY M.H. LOCATED AT THE END OF PARKING LOT ADJACENT THE EX. BUILDING (RIM EL=342.86 ELEV)
- THE PROPOSED BUILDING ADDITIONS WILL BE USED AS STORAGE ONLY. NO ADDITIONAL WATER AND SEWER SERVICES ARE PROPOSED.
- THE PROPERTY HAS PRIVATE WATER AND PUBLIC SEWER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE STANDARDS SET BY THE LOCAL GOVERNING AUTHORITY.
- EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM VARIOUS SOURCES. TRI-STATE ENGINEERS AND LAND SURVEYORS, INC. IS NOT RESPONSIBLE AS TO THE ACCURACY OF THE INFORMATION OBTAINED FROM VARIOUS SOURCE. WHERE PROPOSED UTILITIES CROSS OR CONNECT TO EXISTING UTILITIES, PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SPECIFIC DEPTHS, INVERTS, CLEARANCES, MATERIAL, AND SIZES OF THE UTILITIES INVOLVED. IF THE CONTRACTOR DETERMINES THAT DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR REVIEW AND FIELD CHANGES MUST BE APPROVED BY THIS OFFICE. TEST FITS SHALL BE INCLUDED IN THE CONTRACTORS BID. NO IMPROVEMENTS SHALL BE INSTALLED UNTIL SUCH TIME THIS OFFICE APPROVES OF A FIELD CHANGE.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED MATERIAL WHICH IS UNSUITABLE SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR TRANSPORTING SAID UNSUITABLE MATERIAL TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE TO ANY DAMAGE SUSTAINED TO ADJACENT PROPERTIES AS A RESULT OF CONSTRUCTION ON THIS SITE.
- ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
- A PENNSYLVANIA ONE-CALL WAS MADE IN MARCH 2020 FOR THE REFERENCED SITE AND SN SERIAL # 2020-1532935 WAS ASSIGNED.
- THERE ARE NO CURRENT DEED RESTRICTIONS IMPOSED ON THIS PROPERTY.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- BURYING OF CONSTRUCTION DEBRIS AND STUMPS ON THE SITE IS PROHIBITED.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT SATISFACTORY COMPACTION.
- A MINIMUM OF SIX INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS. SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 5-12" PRIOR TO SPREADING OF TOPSOIL.



- NOTES:**
- SUBSURFACE INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
  - ALL STONE FOR THE CONSTRUCTION OF THE SUBSURFACE INFILTRATION BEDS SHALL BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
  - THE BOTTOM OF ALL SUBSURFACE INFILTRATION BEDS SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
  - CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SUBGRADE DURING CONSTRUCTION.
  - A MINIMUM SOIL DEPTH OF TWENTY-FOUR (24) INCHES SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE INFILTRATION BMP AND THE LIMITING ZONE (SEASONALLY HIGH WATER TABLE OR TOP OF BEDROCK), IN ORDER TO DETERMINE IF THE MINIMUM 24" SEPARATION FROM THE SEASONAL HIGH-WATER TABLE OR BEDROCK HAS BEEN ACHIEVED. SOIL TESTING SHALL BE PERFORMED DURING THE EXCAVATION OF THE FOUNDATION. THE APPLICANT/CONTRACTOR SHOULD CONTACT THE TOWNSHIP ENGINEERS OFFICE TO WITNESS ANY SOIL TESTING. SHOULD THE SOIL TESTING RESULTS NOT SUPPORT THE STORMWATER FACILITY DESIGN, FIELD CHANGES WILL BE REQUIRED.
- CONSTRUCTION REQUIREMENTS:**
- EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE SEEPAGE BED/TRENCH OR LIKE FACILITY.
  - THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
  - ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED.
  - THE TOP AND SIDES OF ALL SEEPAGE BEDS, TRENCHES, OR LIKE FACILITIES SHALL BE COVERED WITH DRAINAGE FILTRATION FABRIC.

**STONE INFILTRATION (SEEPAGE) BED DETAIL**  
 NOT TO SCALE



**NOTE:**  
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**Pennsylvania One Call System, Inc.**  
**SERIAL # 2020-1532935**  
 Call Before You Dig  
 in Pennsylvania  
 1-800-242-1776

State Law Requires  
 Construction Phase: Three working Days Notice  
 Design Phase: Ten working Days Notice  
 Facility Owners: Member of One Call System

<b>OWNER OF RECORD:</b> JAMES UMLAUF ERIN HUGHES 619 NORTH LIMEKILN PIKE CHALFONT, PA 18914 215-783-5114	<b>APPLICANT:</b> JAMES UMLAUF DISTINCTIVE SERVICES 619 NORTH LIMEKILN PIKE CHALFONT, PA 18914 215-783-5114	
<b>Job No.:</b> 20-05014	<b>Date:</b> 04/25/2022	<b>Scale:</b>
<b>Acres:</b> 3.743 AC. (163,044.0 SF. TO TITLE LINE)	<b>No. of Lots:</b> 1	
<b>Designed By:</b> C.S./L.Y.	<b>Drawn By:</b> C.S.	<b>Checked By:</b> L.Y.

4		
3		
2		
1		
REVISION	DESCRIPTION	DATE DRAWN BY

**TRI-STATE ENGINEERS & LAND SURVEYORS, INC.**  
 CIVIL ENGINEER • MUNICIPAL ENGINEERS • LAND SURVEYORS • LAND PLANNERS • LANDSCAPE ARCHITECT  
**601 WEST STREET ROAD, FEASTERSVILLE, PENNSYLVANIA 19053**  
**PHONE: 215-357-5950 FAX: 215-357-2836**

**SITE PLAN**  
**FOR**  
**T.M.P. 26-003-119**  
**619 NORTH LIMEKILN PIKE**  
**NEW BRITAIN TOWNSHIP**  
**BUCKS COUNTY, PA**

**SHEET**  
**3 OF 6**

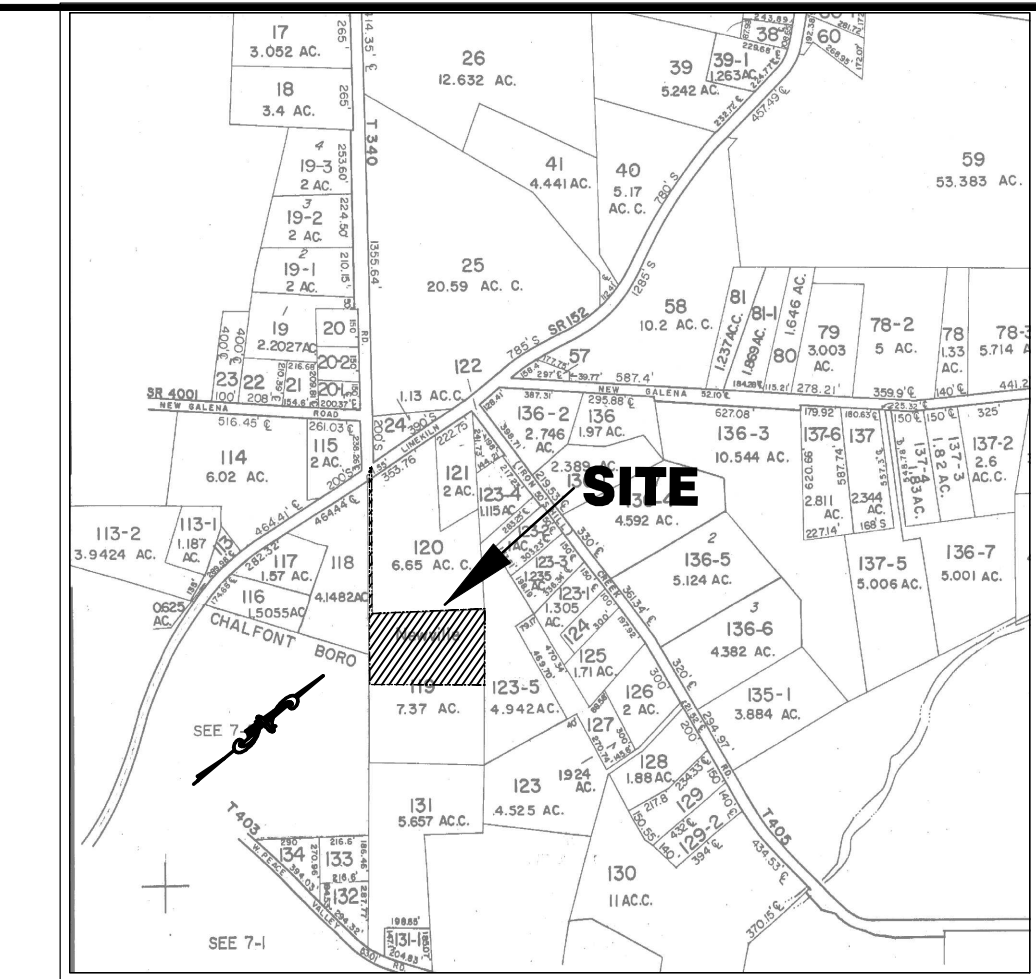
**SEQUENCE OF CONSTRUCTION:**

1. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
2. NOTIFY TOWNSHIP, TOWNSHIP ENGINEER, AND BUCKS COUNTY CONSERVATION DISTRICT THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. INSTALL SEDIMENT BARRIERS AND INLET PROTECTION AS SHOWN IN PLAN VIEW.
4. EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE.
5. INSTALL PROPOSED STORM WATER MANAGEMENT SYSTEM AND TRENCH DRAIN. SEAL OFF ALL INLETS UNTIL THE SITE IS COMPLETELY STABILIZED.
6. GRADE REMAINING PORTIONS OF LOT WHICH ARE NECESSARY TO FACILITATE CONSTRUCTION.
7. CONSTRUCT PROPOSED BUILDING ADDITIONS AS SHOWN IN PLAN VIEW.
8. MILL PARKING AREAS AND GRADE AS NECESSARY TO FACILITATE PAVING.
9. TEMPORARY STABILIZATION SHOULD BE PROVIDED TO ALL BARE SOIL AREAS THAT WILL REMAIN UNDISTURBED FOR 4- OR MORE DAYS.
10. SEDIMENT BARRIER SHALL BE REMOVED PRIOR TO PAVING PARKING AREAS.
11. AFTER PAVEMENT TRENCHES HAS SETTLED FOR AT LEAST 30-DAYS, PERFORM ANY ADDITIONAL TRENCH RESTORATION, THEN PERFORM 1.5" FULL MILL DESIGNATED ON THE PLAN AND INSTALLED 1.5" WEARING COURSE.
12. IMMEDIATELY RE-STABILIZE ANY RE-DISTURBED AREAS.

LIMIT OF DISTURBANCE = 41,000 S.F./0.94 AC.

**CHAPTER 93 RECEIVING WATER CLASSIFICATION**

RUNOFF FROM THIS SITE DRAINS TO THE UNNAMED TRIBUTARY OF THE NESHAMINY CREEK NORTH BRANCH (NESHAMINY CREEK WATERSHED), WHICH HAS A PA CHAPTER 93 RECEIVING WATER CLASSIFICATION OF TSF (TROUT STOCKING).

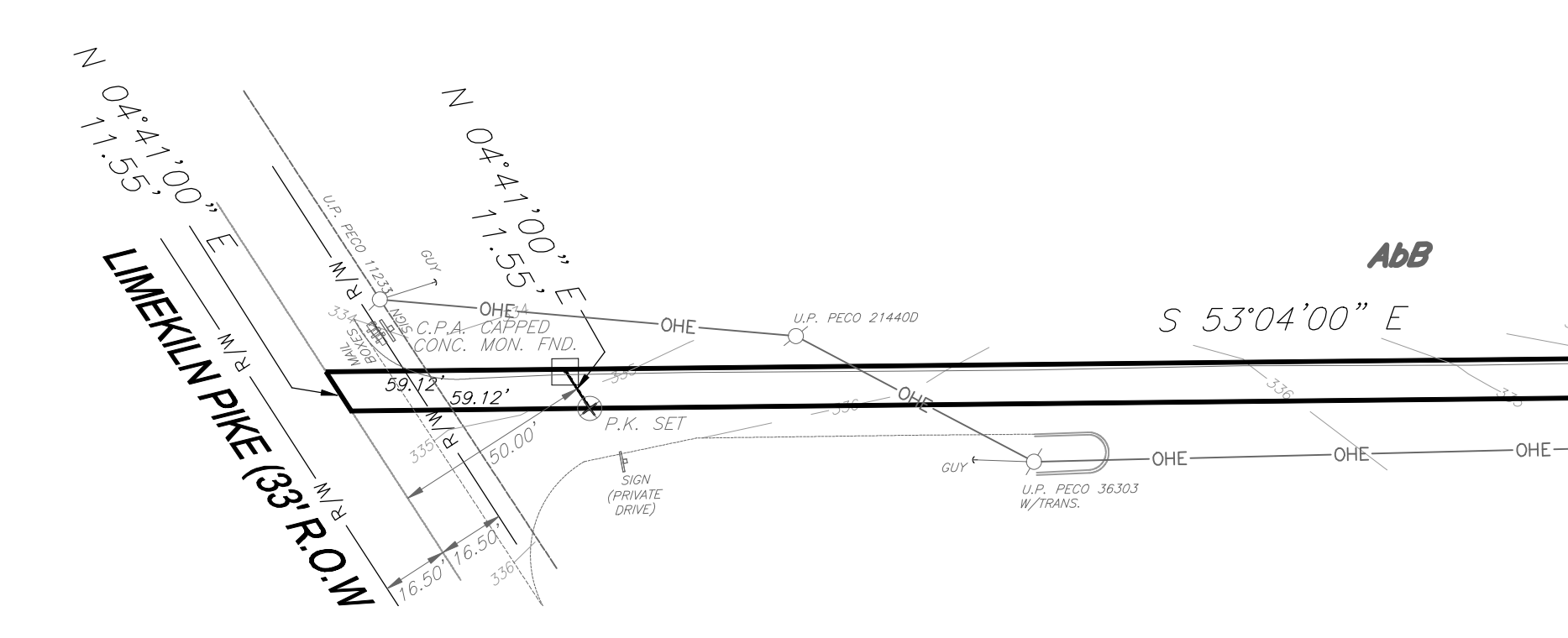
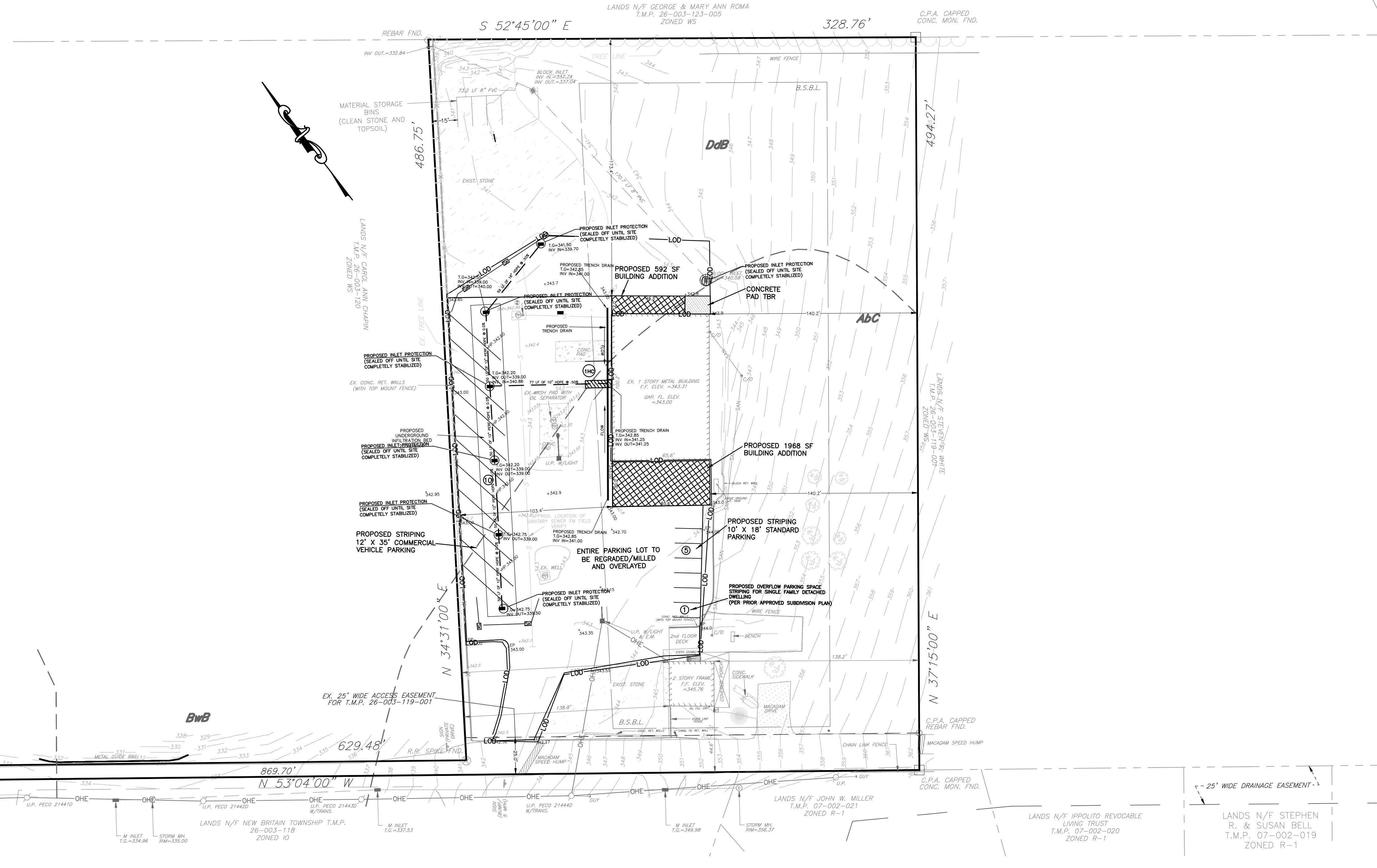


**LOCATION MAP**  
SCALE: 1"=800'

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF BUCKS COUNTY, PENNSYLVANIA									
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO GROUP	DEPTH TO BEDROCK	DEPTH TO WATER TABLE	LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
AbB	ABBOTTSTOWN SILT LOAM	3-8%	3w	NO	D	> 40"	6-18"	VERY LIMITED: DEPTH TO SATURATED ZONE	HAVE BYPASS PUMP(S) & FILTER BAG(S) AVAILABLE. SEE DETAIL.
AbC	ABBOTTSTOWN SILT LOAM	8-15%	3e	NO	D	> 40"	9-11"	VERY LIMITED: DEPTH TO SATURATED ZONE	HAVE BYPASS PUMP(S) & FILTER BAG(S) AVAILABLE. SEE DETAIL.
BwB	BUCKINGHAM SILT LOAM	3-8%	3w	YES	C/D	> 80"	6-18"	VERY LIMITED: DEPTH TO SATURATED ZONE	HAVE BYPASS PUMP(S) & FILTER BAG(S) AVAILABLE. SEE DETAIL.
DdB	DOYLESTOWN SILT LOAM	3-8%	4w	NO	C/D	> 60"	0-6"	VERY LIMITED: DEPTH TO SATURATED ZONE	HAVE BYPASS PUMP(S) & FILTER BAG(S) AVAILABLE. SEE DETAIL.

**LEGEND**

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING TREES TO REMAIN
- EXISTING FENCE
- EXISTING STONE AREA
- MACADAM AREA
- EXISTING CONCRETE AREA
- IRON PIN SET
- IRON PIN FOUND
- CONC. MON. FOUND
- PROPOSED PARKING STRIPING
- PROPOSED PARKING SPACE COUNT
- PROPOSED HANDICAP PARKING SPACE
- INLET PROTECTION
- LIMIT OF DISTURBANCE
- 12" COMPOST FILTER SOCK
- SOILS TYPE
- SOILS TYPE BOUNDARY
- PROPOSED SPOT ELEVATION
- SITE BENCHMARK



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**State Law Requires**  
Construction Phase: Three working Days Notice  
Design Phase: Ten working Days Notice  
Facility Owners: Member of One Call System

**OWNER OF RECORD:**  
JAMES UMLAUF  
ERIN HUGHES  
619 NORTH LIMEKILN PIKE  
CHALFONT, PA 18914  
215-783-5114  
APPLICANT:  
JAMES UMLAUF  
DISTINCTIVE SERVICES  
619 NORTH LIMEKILN PIKE  
CHALFONT, PA 18914  
215-783-5114

Job No.	Date:	Scale:
20-05014	04/25/2022	
Acres	No. of Lots	
3.743 AC. (163,044.0 S.F. TO TITLE LINE)	1	
Designed By:	Drawn By:	Checked By:
C.S./L.Y.	C.S.	L.Y.

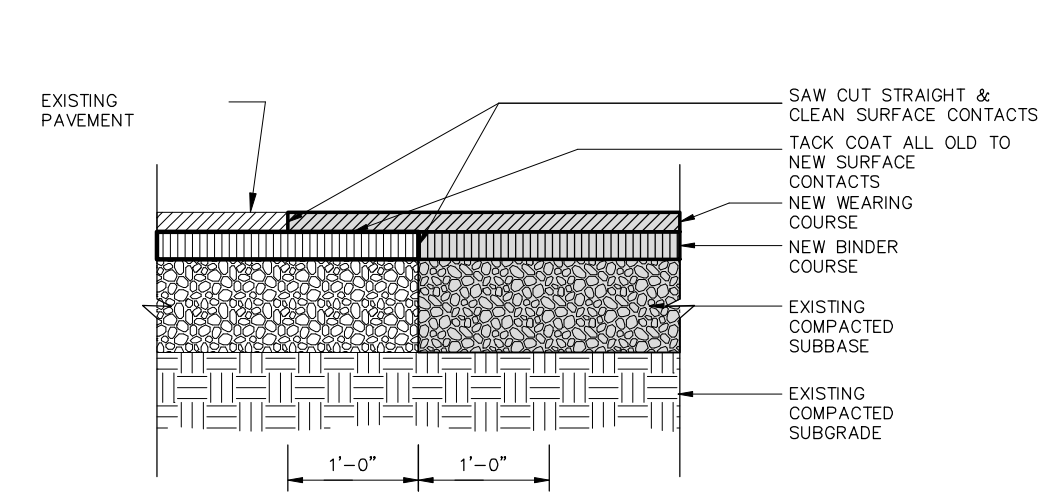
REVISION	DESCRIPTION	DATE	DRAWN BY
4			
3			
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1			

**TRI-STATE ENGINEERS & LAND SURVEYORS, INC.**  
CIVIL ENGINEER • MUNICIPAL ENGINEERS • LAND SURVEYORS • LAND PLANNERS • LANDSCAPE ARCHITECT  
604 WEST STREET ROAD, FEASTERSVILLE, PENNSYLVANIA 19053  
PHONE: 215-357-5950 FAX: 215-357-2836

**EROSION SEDIMENT CONTROL PLAN**  
FOR  
**T.M.P. 26-003-119**  
**619 NORTH LIMEKILN PIKE**  
**NEW BRITAIN TOWNSHIP**  
**BUCKS COUNTY, PA**

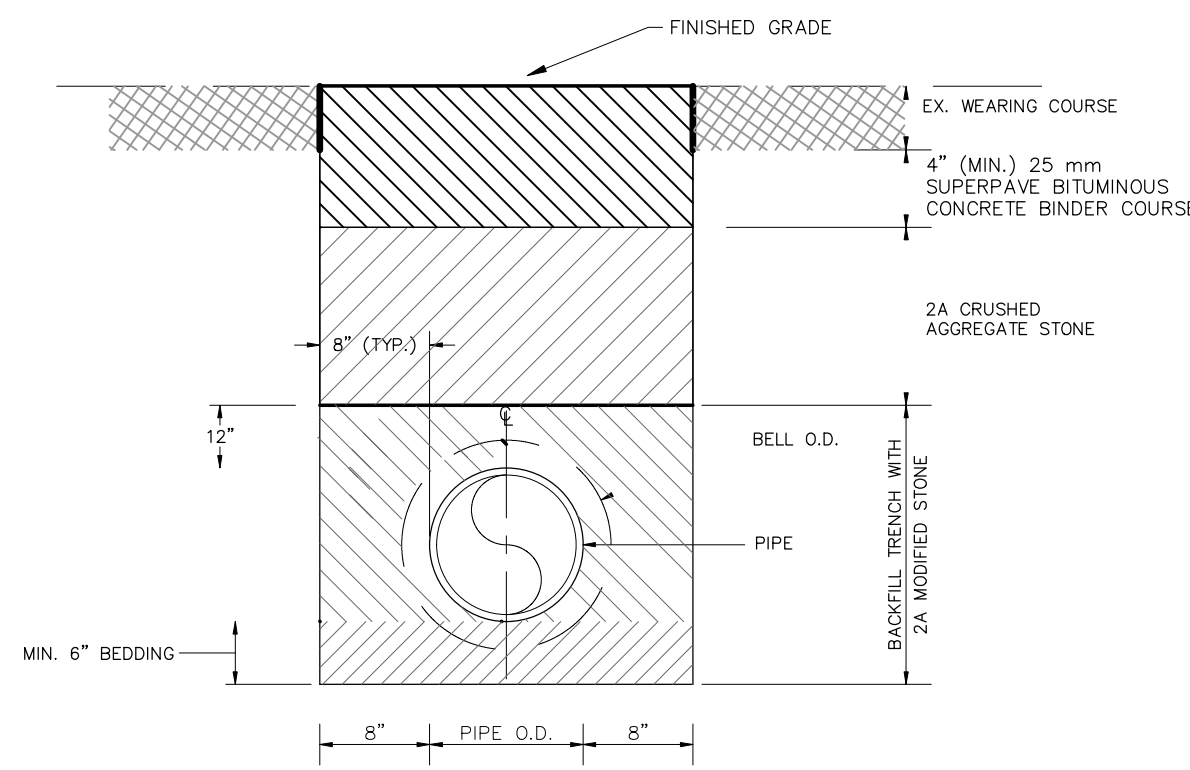
**SHEET 4 OF 6**





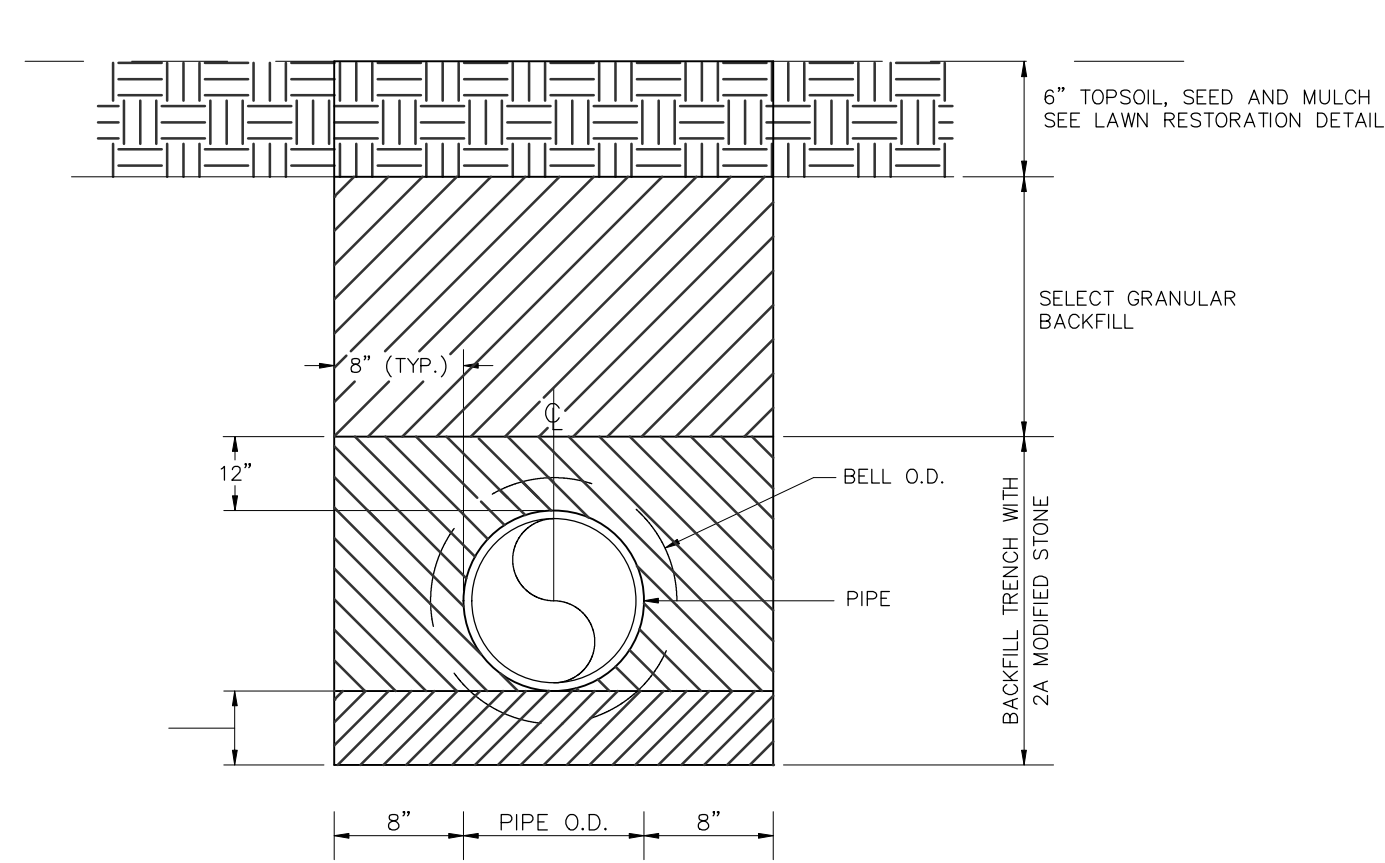
NOTE:  
 1. CONTRACTOR SHALL INSTALL 2'-0" WIDE GEOTEXTILE FABRIC FULL LENGTH OF JOINT.  
 2. SEE ASPHALT PAVING SECTION DETAIL FOR LAYER DEPTHS.

**NEW/EXISTING ASPHALT INTERFACE**  
 NOT TO SCALE

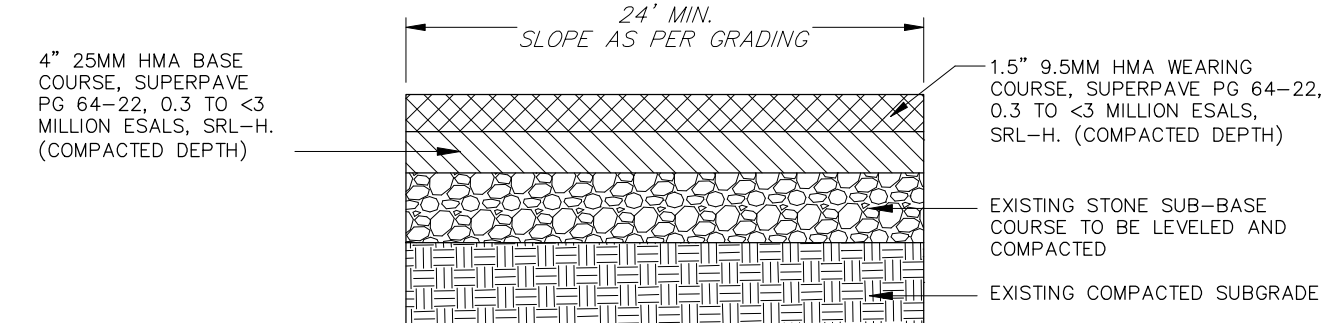


**PAVED AREAS TEMPORARY STORM PIPE TRENCH RESTORATION DETAIL**  
 NOT TO SCALE

NOTE: ROADWAY TRENCH SHALL SIT FOR 30 DAYS PRIOR TO TRENCH BEING MILLED AND PAVED

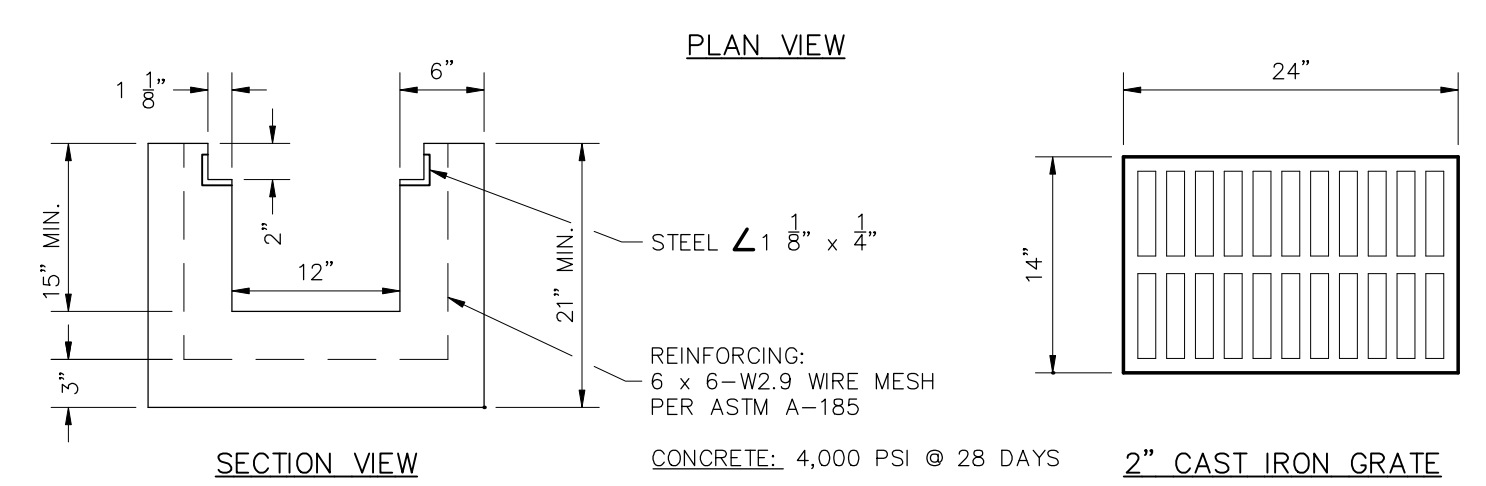
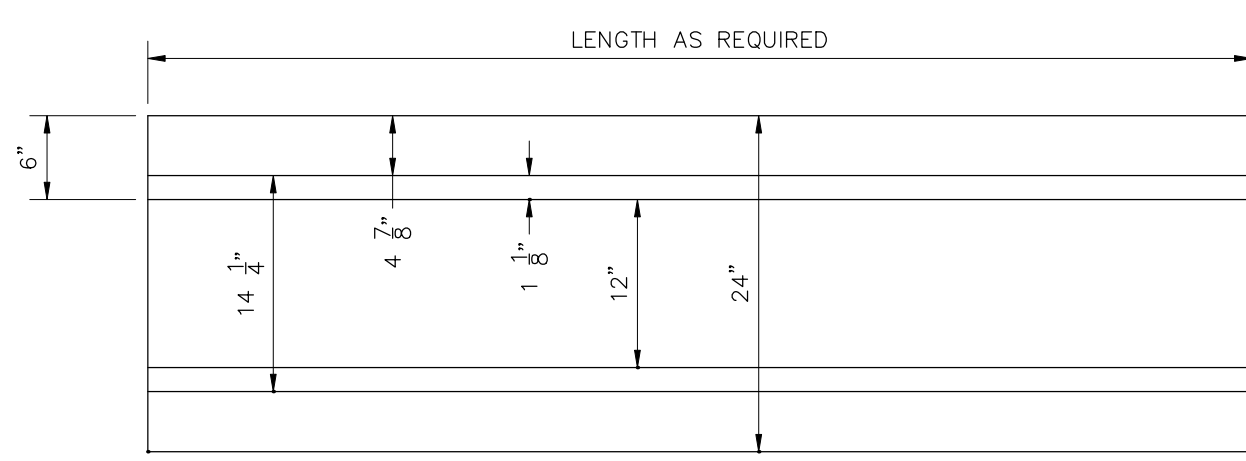


**UNPAVED AREAS STORM PIPE TRENCH RESTORATION DETAIL**  
 NOT TO SCALE

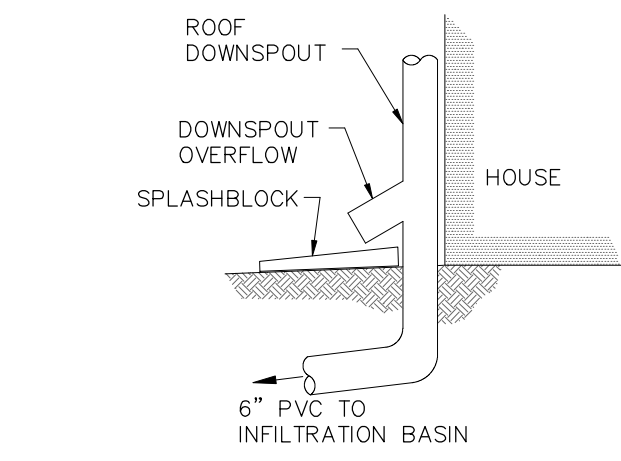


NOTE:  
 1. USE PG 64-22 JOINT SEALANT WHERE NEW ASPHALT MEETS EXISTING ASPHALT (TYP.).  
 2. SUBGRADE SHALL BE COMPACTED IN ACCORDANCE WITH SPECIFICATIONS OF PADOT PUBLICATION 408, LATEST EDITION, WHERE PARKING AREA(S) ARE TO BE USED FOR INFILTRATION PRACTICES. SUBGRADE SHALL NOT BE COMPACTED AND IT SHALL BE PROTECTED FROM COMPACTION FROM CONSTRUCTION EQUIPMENT, TRAFFIC, STORAGE OF MATERIALS, ETC. TO PRESERVE INFILTRATION CAPACITY OF SUBGRADE SOILS.

**PARKING LOT PAVING DETAIL**  
 NOT TO SCALE



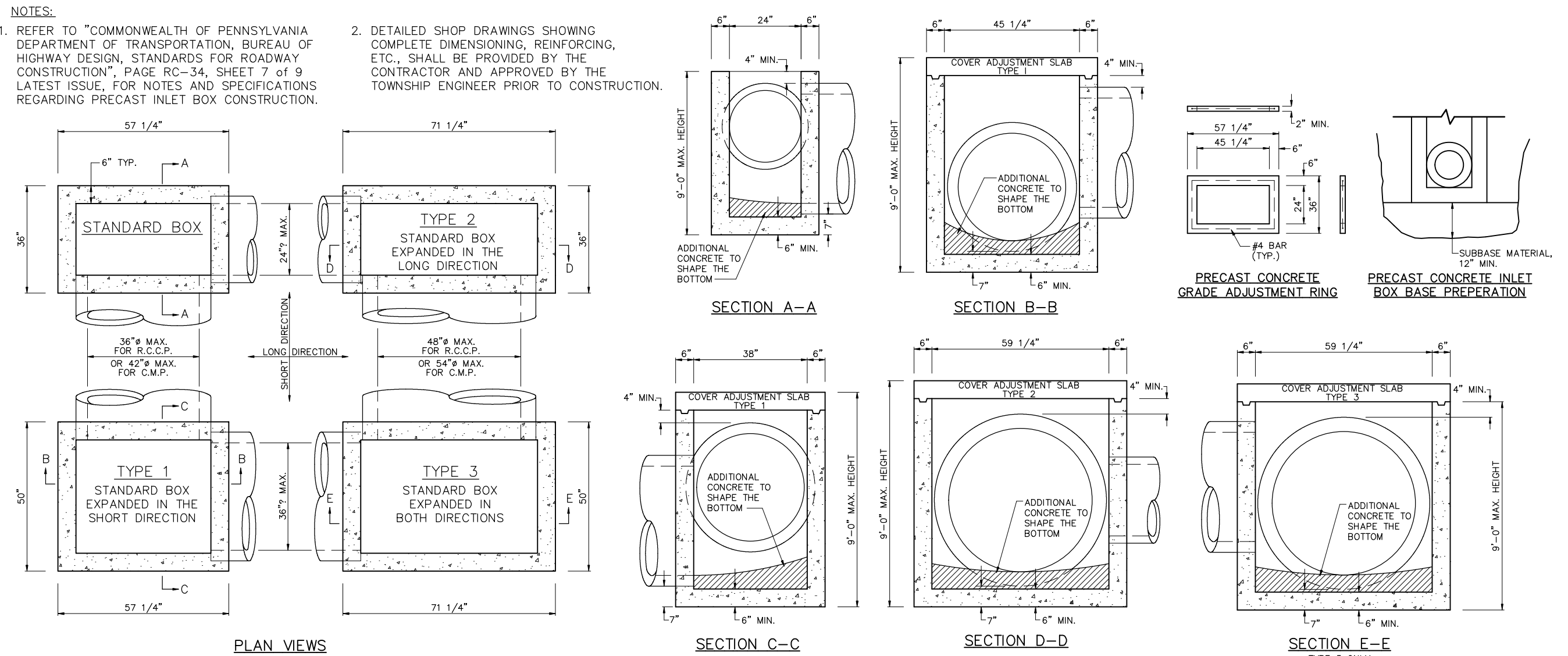
**TRENCH DRAIN DETAIL**  
 NOT TO SCALE



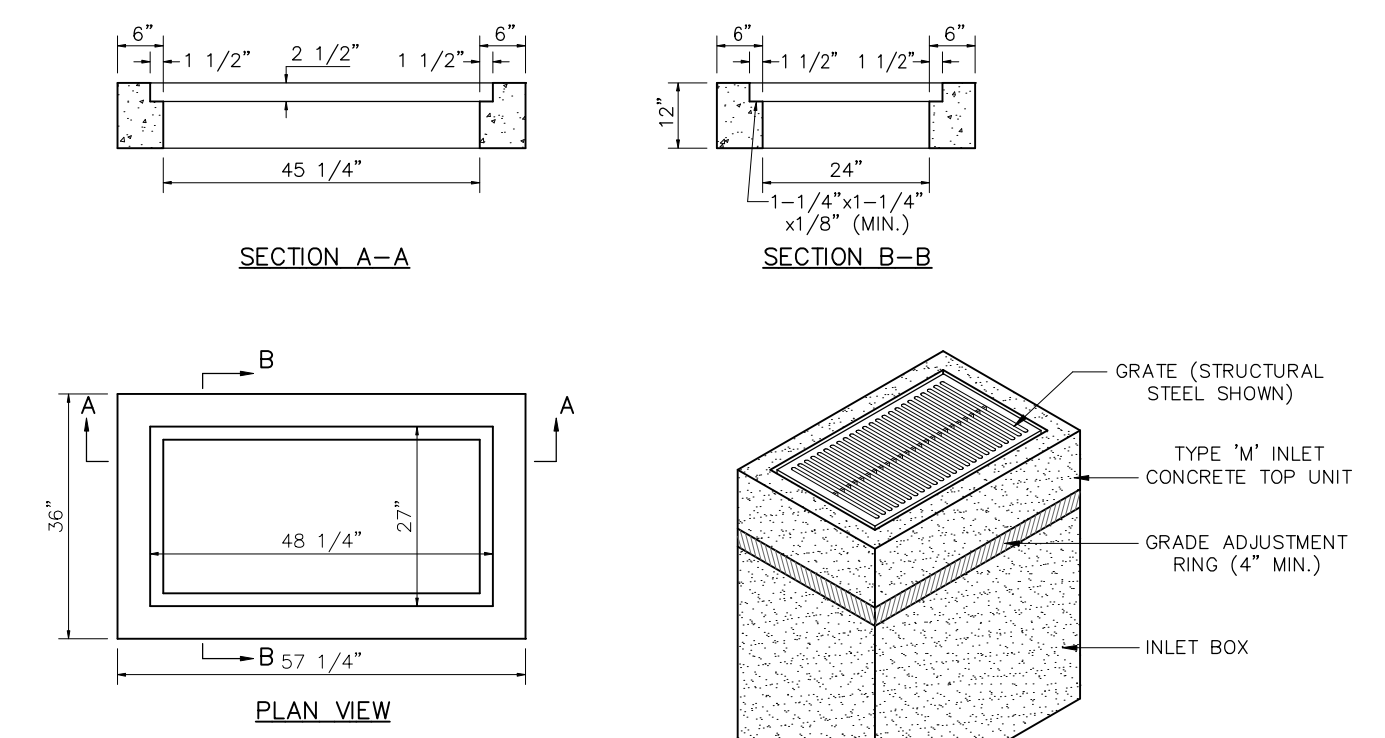
NOTES:  
 1. ALL ROOF DOWNSPOUTS ARE TO DRAIN INTO THE INFILTRATION BED.

**DOWNSPOUT OVERFLOW DETAIL**  
 NOT TO SCALE

NOTES:  
 1. REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-34, SHEET 7 OF 9 LATEST ISSUE, FOR NOTES AND SPECIFICATIONS REGARDING PRECAST INLET BOX CONSTRUCTION.  
 2. DETAILED SHOP DRAWINGS SHOWING COMPLETE DIMENSIONS, REINFORCING, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.

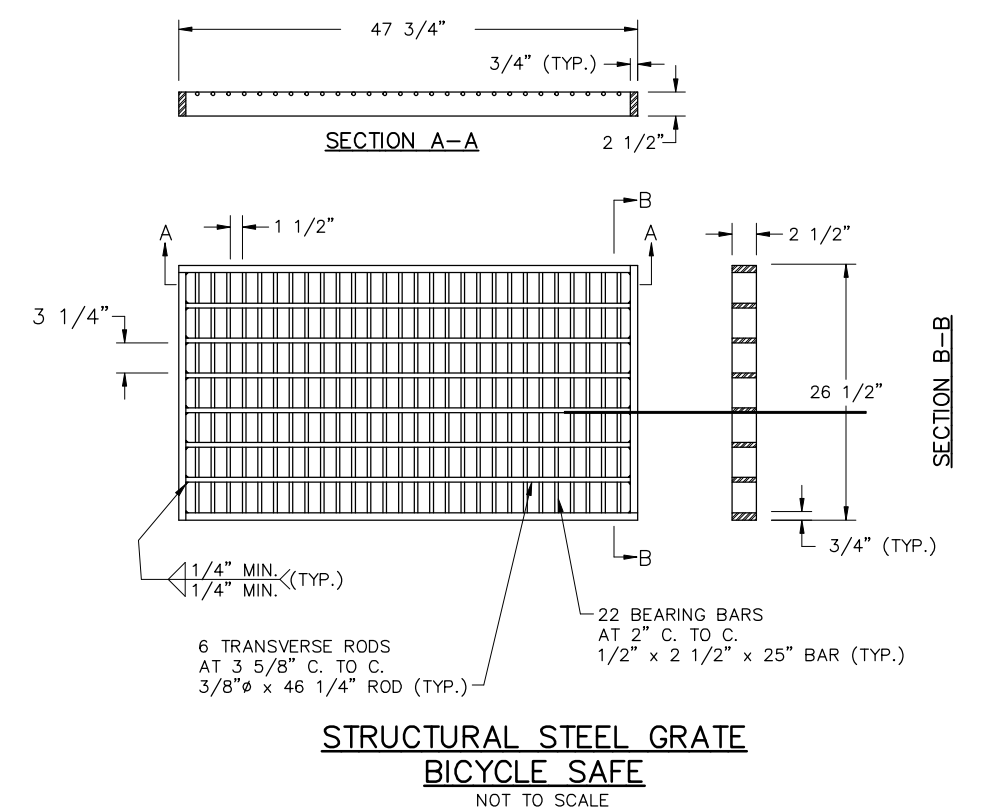


**PRECAST CONCRETE INLET BOX DETAILS**  
 NOT TO SCALE



NOTE:  
 REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-46M, LATEST ISSUE, FOR NOTES AND SPECIFICATIONS REGARDING PRECAST INLET CONSTRUCTION.

**TYPE 'M' INLET DETAIL**  
 NOT TO SCALE



NOTES:  
 1. PRECAST ENDWALLS SHALL CONFORM AND USERS SHALL REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-31M, LATEST ISSUE, FOR NOTES REGARDING PRECAST CONCRETE ENDWALL CONSTRUCTION.  
 2. REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-31M, SHEET 2 OF 2, TABLE 'A' FOR SPECIFIC DIMENSIONS THAT ARE DEPENDENT UPON PIPE SKEW.  
 3. WING WALL DIMENSIONS ASSUME AN EMBANKMENT SLOPE OF 2:1. WING WALL LENGTHS SHALL BE ADJUSTED TO PROVIDE REQUIRED EMBANKMENT SLOPE AS SHOWN ON GRADING PLANS.

**STRUCTURAL STEEL GRATE BICYCLE SAFE**  
 NOT TO SCALE

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Pennsylvania One Call System, Inc.  
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 619 NORTH LIMEKILN PIKE  
 CHALFONT, PA 18914  
 215-783-5114

Job No. 20-05014 Date: 04/25/2022 Scale:  
 Acreage 3.743 AC. (163,044.0 S.F. TO TITLE) No. of Lots 1  
 Designed By: C.S./L.Y. Drawn By: C.S. Checked By: L.Y.

4			
3			
2			
1			
REVISION	DESCRIPTION	DATE	DRAWN BY

**TRI-STATE ENGINEERS & LAND SURVEYORS, INC.**  
 CIVIL ENGINEER • MUNICIPAL ENGINEERS • LAND SURVEYORS • LAND PLANNERS • LANDSCAPE ARCHITECT  
 801 WEST STREET ROAD, FEASTERTVILLE, PENNSYLVANIA 19053  
 PHONE: 215-357-5950 FAX: 215-357-2636

FOUNDED 1959

COMMONWEALTH OF PENNSYLVANIA  
 REGISTERED PROFESSIONAL  
 LARRY P. YOUNG  
 ENGINEER  
 PE003210-6  
 PENNSYLVANIA

**CONSTRUCTION DETAILS**  
 FOR  
**T.M.P. 26-003-119**  
**619 NORTH LIMEKILN PIKE**  
**NEW BRITAIN TOWNSHIP**  
**BUCKS COUNTY, PA**

**SHEET**  
**6 OF 6**