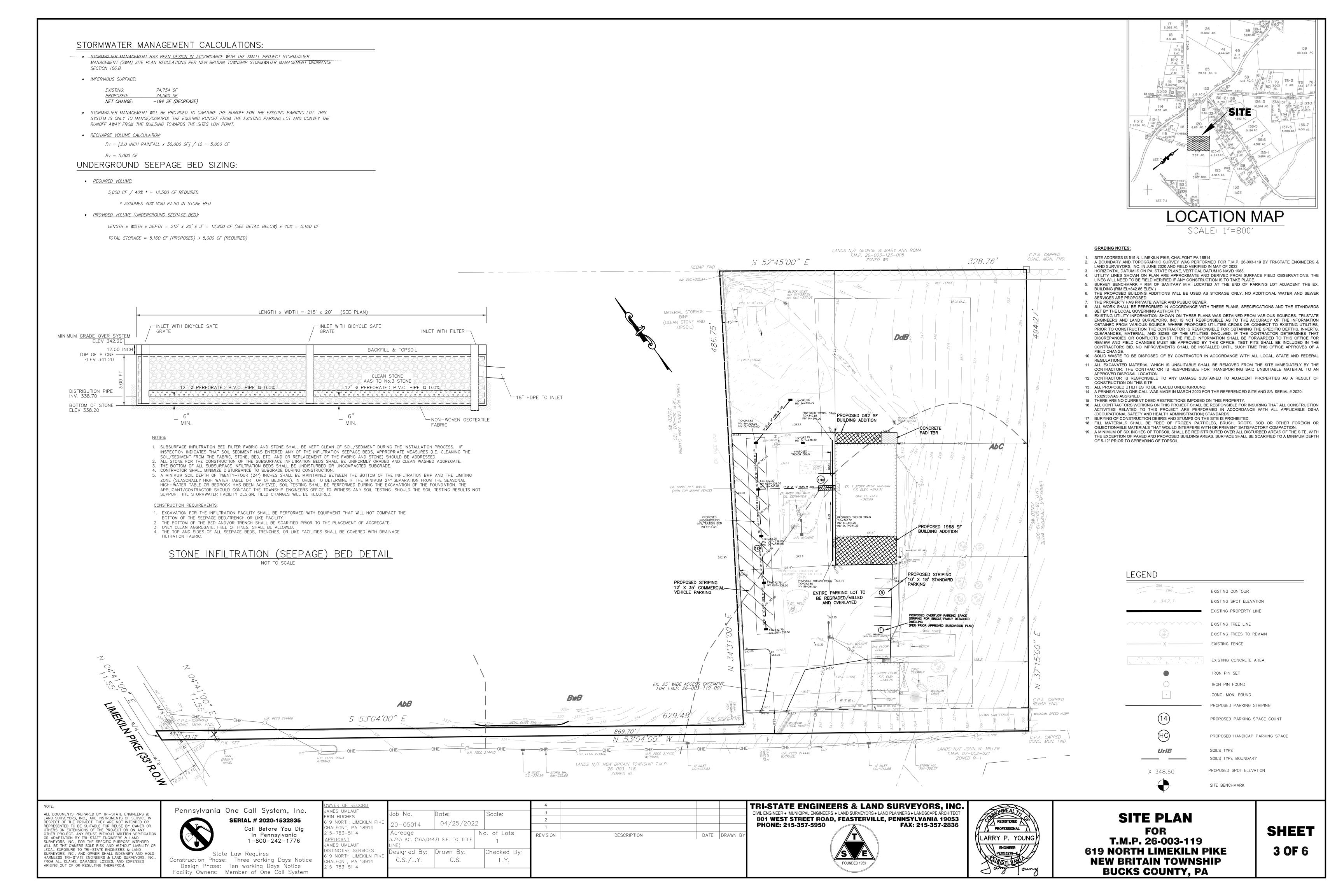
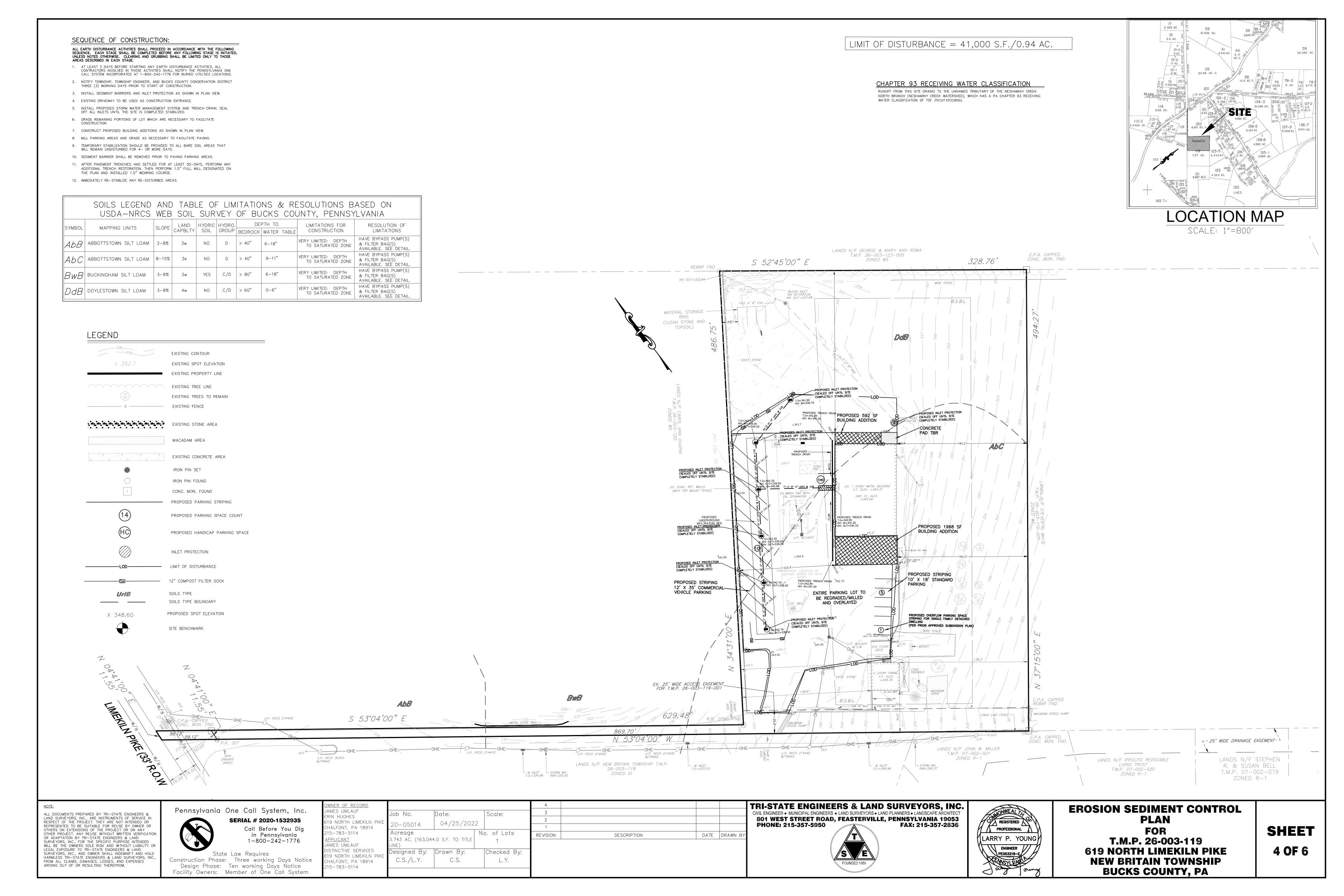
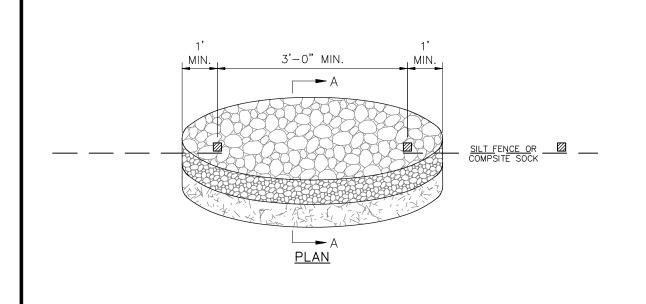
OWNERS CERTIFICATION OF INTENT COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUCKS ON THEDAY OF	ZONING TABLE ZONING DISTRICT: WS - WATERSHED DISTRICT EXISTING USE: B1 - SINGLE FAMILY DETACHED DWELLING (PERMITTED BY RIGHT) K5 - LANDSCAPE CONTRACTING (CONDITIONAL USE GRANTED OCTOBER 15TH, 20 L2 - OUTDOOR STORAGE/DISPLAY (ACCESSORY CONDITIONAL USE GRANTED JUL DESCRIPTION REQUIRED REQUIRED 26-003-119 MINIMUM LOT AREA (AC) 5 AC 3.743 AC (GROSS) 3 3.359 AC (NET)* MINIMUM LOT WIDTH AT BUILDING SETBACK LINE (FT) MINIMUM FRONT YARD (FT) MINIMUM FRONT YARD (FT) MINIMUM SIDE YARD (FT) MINIMUM REAR YARD (FT) MINIMUM REAR YARD (FT) MIN. ACCESSORY USE/STRUCTURE SIDE/REAR YARD SETBACK (FT) MAXIMUM IMPERVIOUS SURFACE RATIO(%) *-DENOTES EXISTING NON-CONFORMITY BASE SITE AREA CALCULATIONS	Y 20TH, 2020) - SIDEWALKS AND CONC PADS		26 28 2 AC 39 39-1-39
PROFESSIONAL SURVEYOR'S CERTIFICATION I,	GROSS SITE AREA SUBTRACT RIGHT OF WAYS AND EASEMENTS SUBTRACT LAND WHICH IS NOT CONTIGUOUS SUBTRACT LAND WHICH, IN A PREVIOUSLY APPROVED SUBDIVISION, WAS SET ASIDE, RESERVED, AND/OR RESTRICTED FOR OPEN SPACE, NATURAL RESOURCE PROTECTION AND/OR RECREATION PURPOSES. SUBTRACT LAND USED FOR ANOTHER USE BASE SITE AREA 3.418 ACRES	REBAR FND. S 52°45'00" E REBAR FND. S 52°45'00" E REBAR FND. TREE LINE MATERIAL STORAGE BINS (CLEAN STONE AND 15'-	23–005	 SITE TAX MAP PARCEL NUMBER T.M.P. 26-003-119. GROSS AREA= 3.743 ACRES/163,044.0 S.F. (TO TITLE LINE), NE AREA= 3.730 ACRES/162,467.0 S.F. (TO ULT. R.O.W. LINE). PLAN REFERENCES: DEEDS, TAX MAPS AND FILED MAP OF "MINOR SUBDIVISION PLAN", BY BOHLER ENGINEERING DATED MARCH 17, 2008, LAST REVISED MAY 25, 2010, RECORDED SEPTEMBER 23, 2010, AS PLAN BOOK 380, PAGE 19, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA. FILED MAP OF "PLAN OF SUBDIVISION BRIARWYCK", BY GEORGE B. STANBRIDGE ASSOCIATES, DATE NOVEMBER 5, 1987, LAST REVISED OCTOBER 18, 1988, RECORDED FEBRUARY 16, 1989, AS PLAN BOOK 25 PAGE 35, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO EASEMENTS AND DOCUMENTS. (RECORDED AND UNRECORDED). A BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED FOR T.M.P. 26-003-119 BY TRI-STATE ENGINEERS LAND SURVEYORS, INC. IN JUNE 2020 AND FIELD VERIFIED IN MAY OF 2022. HORIZONTAL DATUM IS ON PA. STATE PLANE, VERTICAL DATUM IS NAVD 1988.
	MINIMUM OPEN SPACE CALCULATION BASE SITE AREA 3.418 ACRES SUBTRACT OPEN SPACE RATIO 0 ACRES STANDARD MINIMUM OPEN SPACE 3.418 ACRES MINIMUM OPEN SPACE ACRES NET BUILDABLE SITE AREA BASE SITE AREA 3.418 ACRES SUBTRACT REQUIRED OPEN SPACE 0 ACRES	TOPSOIL) SEXIST. STONE LANDS N. M. TOPSOIL) LANDS N. M. TOPSOIL TOPSOIL SEXIST. STONE	484	 UTILITY LINES SHOWN ON PLAN ARE APPROXIMATE AND DERIVED FROM SURFACE FIELD OBSERVATIONS. THE LINES WILL NEED TO BE FIELD VERIFIED IF ANY CONSTRUCTION IS TO TAKE PLACE. SURVEY BENCHMARK = RIM OF SANITARY M.H. LOCATED AT THE END OF PARKING LOT ADJACENT THE E BUILDING (RIM EL=342.86 ELEV.) THE PROPERTY IS DESIGNATED AS ZONE X (AREAS TO BE DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLA AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP OF BUCKS COUNTY, PANEL 287 OF 532, MAP NUMBE 42017CO287K, EFFECTIVE MARCH 21, 2017. THE PROPOSED BUILDING ADDITIONS WILL BE USED AS STORAGE ONLY. NO ADDITIONAL WATER AND SEWE SERVICES ARE PROPOSED. THE PROPERTY HAS PRIVATE WATER AND PUBLIC SEWER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE STANDARD SET BY THE LOCAL GOVERNING AUTHORITY. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM VARIOUS SOURCES. TRI-STATENGINEERS AND LAND SURVEYORS, INC. IS NOT RESPONSIBLE AS TO THE ACCURACY OF THE INFORMATIC OBTAINED FROM VARIOUS SOURCE. WHERE PROPOSED UTILITIES CROSS OR CONNECT TO EXISTING UTILITIE PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SPECIFIC DEPTHS, INVERTING CLEARANCES, MATERIAL, AND SIZES OF THE UTILITIES INVOLVED. IF THE CONTRACTOR DETERMINES THAD DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR CONFLICTS EXIST, THE FIELD INFORMATION SHALL BE FORWARDED TO THIS OFFICE FOR DISCREPANCIES OR C
APPROVAL OF THE BUCKS COUNTY PLANNING COMMISSION BCPC No PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE CHAIRMAN, BUCKS COUNTY PLANNING COMMISSION EXECUTIVE DIRECTOR, BUCKS COUNTY PLANNING COMMISSION		PROPOSED 592 SF BUILDING ADDITION PROPOSED TRENCH DRAIN PROPOSED TRENCH DRAIN TRENCH DRAIN THE	BLOCK INLET INV. = 340.58 CONCRETE PAD TBR	REVIEW AND FIELD CHANGES MUST BE APPROVED BY THIS OFFICE. TEST PITS SHALL BE INCLUDED IN THE CONTRACTORS BID. NO IMPROVEMENTS SHALL BE INSTALLED UNTIL SUCH TIME THIS OFFICE APPROVES OF FIELD CHANGE. 14. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDER/REGULATIONS. 15. ALL EXCAVATED MATERIAL WHICH IS UNSUITABLE SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR TRANSPORTING SAID UNSUITABLE MATERIAL TO A APPROVED DISPOSAL LOCATION. 16. CONTRACTOR IS RESPONSIBLE TO ANY DAMAGE SUSTAINED TO ADJACENT PROPERTIES AS A RESULT OF CONSTRUCTION ON THIS SITE. 17. NO WETLANDS, OR WOODLANDS, EXISTS ON THIS PROPERTY. 18. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND. 19. A PENNSYLVANIA ONE-CALL WAS MADE IN MARCH 2021 FOR THE REFERENCED SITE AND S/N SERIAL # 2020-1532935WAS ASSIGNED. 20. THE LOT AREA IS LOCATED IN THE NESHAMINY CREEK STORMWATER MANAGEMENT DISTRICT (NORTH BRANC WHICH IS COVERED WITHIN THE NESHAMINY CREEK WATERSHED ACT 167 STORMWATER MANAGEMEN ORDINANCE. A STORMWATER MANAGEMENT FACILITY (BMP) WILL BE PROPOSED FOR THE STORMWATER RUNOR
CERTIFICATION FOR RECORDING RECORDED IN THE OFFICE OF RECORDER OF DEEDS AT DOYLESTOWN, PENNSYLVANIA IN PLAN BOOK PAGE ON THE DAY OF		EX. CONC. RET. WALLS (WITH TOP MOUNT FENCE) EX WASH PAD WITH OIL SEPARATOR PROPOSED UNDERGROUND INFILTRATION BED 20'X215'X4' U.P. W/LIGHT EX WASH PAD WITH OIL SEPARATOR GAR. FL. ELEV. =343.31 GAR. FL. ELEV. =343.30	PROPOSED 1968 SF BUILDING ADDITION	GENERATED BY THE PROPOSED IMPERVIOUS SURFACES. THE OWNER OF THE LOT WILL BE RESPONSIBLE FOR TH MAINTENANCE OF THE STORMWATER FACILITY PROPOSED ON THAT LOT. 21. THERE ARE NO CURRENT DEED RESTRICTIONS IMPOSED ON THIS PROPERTY. 22. APPLICANT ACKNOWLEDGES THAT APPROVAL MUST BE OBTAINED FROM THE BUCKS COUNTY CONSERVATION DISTRICT BEFORE EARTH MOVING ACTIVITIES CAN COMMENCE. 23. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSH (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS. 24. BURYING OF CONSTRUCTION DEBRIS AND STUMPS ON THE SITE IS PROHIBITED. 25. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OF OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT SATISFACTORY COMPACTION. 26. A MINIMUM OF SIX INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS. SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTOF 5-12" PRIOR TO SPREADING OF TOPSOIL. 27. THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER'S OFFICE A MINIMUM OF THREE (3) BUSINESS DAY PRIOR TO THE START OF CONSTRUCTION AND THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSE INFILTRATION BMP STORMWATER MANAGEMENT FACILITY.
LIST OF PLANS: 1 OF 6 WAIVER OF LAND DEVELOPMENT PLAN 2 OF 6 EXISTING FEATURES PLAN 3 OF 6 SITE PLAN 4 OF 6 EROSION & SEDIMENT CONTROL PLAN 5 OF 6 EROSION & SEDIMENT CONTROL DETAIL PLAN 6 OF 6 CONSTRUCTION DETAIL PLAN		PROPOSED STRIPING 12' X 35' COMMERCIAL VEHICLE PARKING ENTIRE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE PARKING LOT TO BE REGRADED/MILLED AND OVERLAYED L.P. WALIGHT ARE BUSINESS OF THE BUSINESS OF	PROPOSED STRIPING 10' X 18' STANDARD PARKING PROPOSED OVERFLOW PARKING SPACE STRIPING FOR SINGLE FAMILY DETACHED DWELLING (PER PRIOR APPROVED SUBDIVISION PLAN) WIRE FENCE	EXISTING PROPERTY LINE EXISTING TREE LINE EXISTING TREES TO REMAIN EXISTING FENCE EXISTING CONCRETE AREA
Z A A A A A A A A A A A A A	°04°00" E	629.48' R.R. SPIKE FND. MACADAM SPEED HUMP 869.70'	MACADAM INK MACADAM INK MACADAM INK C.P.A. CAPPED REBAR FND. CHAIN LINK FENCE MACADAM SPEED HUMP	IRON PIN SET IRON PIN FOUND CONC. MON. FOUND PROPOSED PARKING STRIPING PROPOSED PARKING SPACE COUNT PROPOSED HANDICAP PARKING SPACE
P.K. SET SIGN (PRIVATE DRIVE) OHE U.P. PECO 36303 W/TRANS.	OHE OHE U.P. PECO 21441D OHE OHD U.P. PECO 21442 LANDS N/F I T.G.=334.96 RIM=335.00	W/TRANS. NEW BRITAIN TOWNSHIP T.M.P. M INLET 26-003-118 ZONED 10 M INLET T.G.=337.53 T.G.=349.9		
NOTE: ALL DOCUMENTS PREPARED BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC., ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY TRI-STATE ENGINEERS & LAND SURVEYORS, INC., FOR THE SPECIFIC PURPOSE INTENDED WILL BE THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO TRI-STATE ENGINEERS & LAND SURVEYORS, INC., AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS TRI-STATE ENGINEERS & LAND SURVEYORS, INC., FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM. Pennsylvania One Call System, Inc. SERIAL # 2020-1532935 Call Before You Dig in Pennsylvania 1-800-242-1776 State Law Requires Construction Phase: Three working Days Notice Design Phase: Ten working Days Notice Facility Owners: Member of One Call System	Acreage 3.743 AC. (163,044.0 S.F. TO TITLE 1 LINE) Designed By: Drawn By: Checked By:	DESCRIPTION DATE DRAWN BY TRI-STATE ENGINEERS & LAND SURVEYORS • LAND SU	PLANNERS • LANDSCAPE ARCHITECT	AIVER OF LAND DEVELOPMENT PLAN FOR T.M.P. 26-003-119 619 NORTH LIMEKILN PIKE NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA

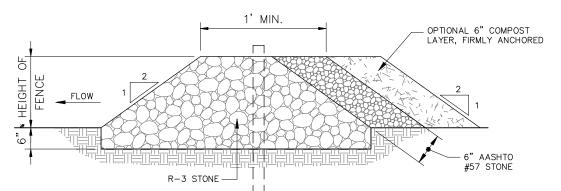
ZONING TABLE ZONING DISTRICT: WS - WATERSHED DISTRICT EXISTING USE: B1 - SINGLE FAMILY DETACHED DWELLING (PERMITTED BY RIGHT) K3/K6 - WAREHOUSE/TRUCK TERMINAL DESCRIPTION REQUIRED MINIMUM LOT AREA (AC) MINIMUM LOT AREA (AC) MINIMUM LOT WIDTH AT BUILDING SETBACK LINE (FT) MINIMUM FRONT YARD (FT) MINIMUM SIDE YARD (FT) MINIMUM SIDE YARD (FT) MINIMUM REAR YARD (FT) MINIMUM REAR YARD (FT) MINIMUM REAR YARD SETBACK (FT) MAXIMUM IMPERVIOUS SURFACE RATIO(%) *-DENOTES EXISTING NON-CONFORMITY	IMPERVIOUS SURFACE BREAKDOWNEX. T.M.P. 26-003-119- BUILDINGS7,439.0S.F MACADAM PAVING32,215.0S.F STONE AREAS29,289.0S.F SIDEWALKS AND CONC PADS4,310.0S.F RETAINING WALLS AND DECKS1,501.0S.F.TOTAL IMPERVIOUS74,754.0S.F.	EXISTING CONTOUR EXISTING SPOT ELEVATION EXISTING PROPERTY LINE EXISTING TREE LINE EXISTING TREES TO REMAIN EXISTING FENCE EXISTING STONE AREA MACADAM AND STONE AREA IRON PIN SET IRON PIN FOUND MON. FOUND	GENERAL NOTES: 1. SITE TAX MAP PARCEL NUMBER T.M.P. 26-003-119. GROSS AREA= 3.743 ACRES/163,044.0 S.F. (TO TITLE LINE), NE AREA= 3.730 ACRES/162,467.0 S.F. (TO ULT. R.O.W. LINE). 2. PLAN REFERENCES: DEEDS, TAX MAPS AND FILED MAP OF "MINOR SUBDIVISION PLAN", BY BOHLEI ENGINEERING, DATED MARCH 17, 2008, LAST REVISED MAY 25, 2010, RECORDED SEPTEMBER 23, 2010, AS PLAI BOOK 380, PAGE 19, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA. FILED MAP OF "PLAN OF SUBDIVISION BRIARWYCK", BY GEORGE B. STANBRIDGE ASSOCIATES, DATEI NOVEMBER 5, 1987, LAST REVISED OCTOBER 18, 1988, RECORDED FEBRULARY 16, 1989, AS PLAN BOOK 250, PAGI 35, IN THE BUCKS COUNTY OFFICE OF THE RECORDER OF DEEDS IN DOYLESTOWN, PA. 3. THS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORTAND IS SUBJECT TO EASEMENTS AND DOCUMENTS. (RECORDED AND UNRECORDED). 4. A BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED FOR T.M.P. 26-003-119 BY TRI-STATE ENGINEERS 1 LAND SURVEYORS, INC. IN JUNE 2020 AND FIELD VERIFIED IN MAY OF 2022. 5. HORIZONTAL DATUM IS ON PA. STATE PLANE, VERTICAL DATUM IS NAVD 1988. 6. UTILITY LINES SHOWN ON PLAN ARE APPROXIMATE AND DERIVED FROM SURFACE FIELD OBSERVATIONS. THI LINES WILL NEED TO BE FIELD VERIFIED IF ANY CONSTRUCTION IS TO TAKE PLACE. 7. THE SITE IS SERVICED BY PUBLIC SEWER AND PRIVATE WATER.	2 AC. 8 19-1
Natural Resource Tabulation (T.M.P. 26-003-119) Percent of Resource To be Protected Lands Protected Lands Protected Lands (Acres) Required (Acres)	STEEP SLOPES 8%-15% 15%-25% 25% OR GREATER	S 52°45'00" E	ANDS N/F CEORGE & MARY ANN ROMA E.M.P. 26-003-123-005 ZONEO WS 328.76' C.P.A. CAPPED CONC. MON. FND. 100 B.S.B.L. 100 B.S.B.L	SCALE: 1 -800
• GROSS SITE AREA • RIGHT OF WAYS AND EASEMENTS • RESTRICTED OPEN SPACE/NATURAL RESOURCE PROTECTION AND OR RECREATION AREA • LAND USED FOR ANOTHER USE BASE SITE AREA 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7		EX. 25' WIDE ACCESS EASEMENT FOR T.M.P. 26-003-119-001 138.8' 138.8' 869.70' N 53'04'00" W PEGO 214420 OHE U.P. PEGO 214430 OHE U.P. PEGO 21444D	WIRE FENCE U.P. WALGHT ONE ONE ONE DECK SIDE MALE STONE STONE	
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LEGEND





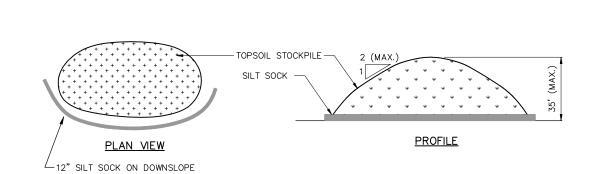




SECTION A-A

ROCK FILTER OUTLETS TO BE PROVIDED AT ALL EXISTING OR PROPOSED LOW POINTS AND ALL AREAS OF CONCENTRATED 2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLETS. 3. COMPOST LAYER IS REQUIRED IN ALL HQ AND EV WATERSHEDS.

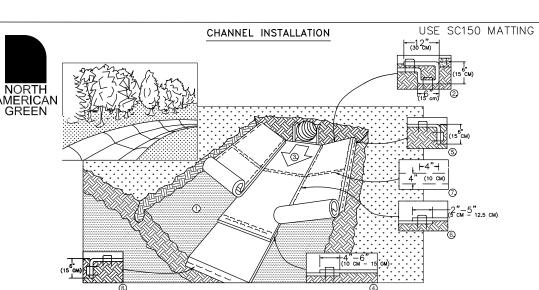
ROCK FILTER OUTLET DETAIL NOT TO SCALE



1. SILT SOCK MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES WHICH WILL BE IN PLACE FOR 20 DAYS OR MORE.

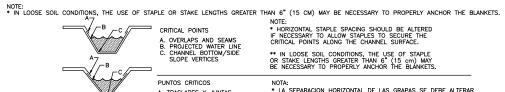
TOPSOIL STOCKPILE AREA DETAIL

2. STRIPPED TOPSOIL SHALL BE EXPORTED OFF SITE AND IMPORTED



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMMAPCT THE TRENCH AFTER STAPLING, APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE BLANKET. 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, "STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM -15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE BLANKETS.

5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. 6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM -12.5 CM) (DEPENDING ON BLANKET TYPE) AND STAPLED. 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL. 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



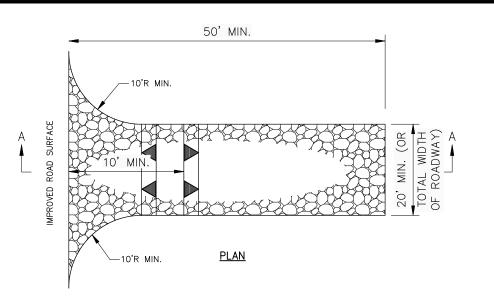
1. PREPARE EL SUELO DE COLOCAR LAS MANTAS, INCLUYENDO LA APLICASION DE CAL, FERTILIZANTE SEMILLA. NOTA: CUANDO ESTE USANDO CELL—O—SEED NO SIEMBRE EI AREA PREPARADA. CELL—O—SEED TIENE QUE INSTALARSE CON EL LADO DE PAPEL HACIA BABAIO.

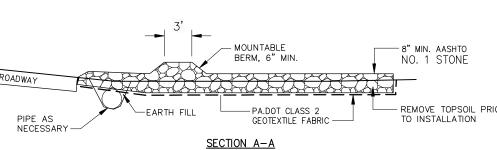
COMIENCE EN LA CABECERA DEL CANAL SLUETANDO LA MANTA EN UNA ZANAL DE E (15 CM) DE PROFUNDIDAD POR 6" (15 CM). DE ANCHO CON APROXIMADAMENTE 12" (30 CM) DE LA MANTA EXTENDIDA MAS ALLA DE LA PENDIENTE ALTA DE LA ZANIA. SUJETE RELLENE Y COMPACTE LA ZANIA DESPUES DEL ENCRAPE. RIECUE LA SEMILLA EN EL SUELO COMPACTADO Y DOBLE LAS 12" (30 CM) REMANENTES DE MANTA SOBRE LA SEMILLA Y EL SUELO COMPACTADO. ASEGURE LA MANTA SOBRE EL SUELO CON UNA LINEADE GRAPAS O ESTACAS APROXIMADAMENTE 12" (30 CM) UNA DE LA OTRA A TRAVES DEL ANCHO DE LA MANTA.

3. DESENDICLE LA MANTA DEL MEDIO EN EL FONDO DEL CANAL Y EN LA DIRECCION DEL FLUID DE AGUA CON EL LADO APROPIADO HACIA LA SUPERFICIE DEL SUELO.
TODAS LAS MANTAS DEBERAN ASEQURARSE A LA SUPERFICIE DEL SUELO POR MEDIO DE GRAPAS O ESTACAS EN LUGARESAPROPIADOS TAL Y COMO SE INDICA EN EL
PATRON GUIA DE ENGRAPADO, CUIANDO ESTE USANDO EL DOT SYSTEM[®]. LAS GRAPAS O ESTACAS EN ELUGARESAPROPIADOS TAL Y COMO SE INDICA EN EL
PATRON GUIA DE ENGRAPADO, CUIANDO ESTE USANDO EL DOT SYSTEM[®]. LAS GRAPAS O ESTACAS DEBEN COLOCARSE A TRAVES DE CADA UNO DE LOS PUNTOS CON
COLOR CORRESPONDIENTES AL PATRON DE ENGRAPADO APROPIADO.
4. COLOQUE LAS MANTAS CONSECUTIVAS BORDE SOBRE BORDE (TIPO ESCALONADO) CON UN TRASLAPE DE 4" — 6" (10 CM — 15 CM). USE UNA LINEA DOBLE DE GRAPAS
ESCALONADAS, SEPARADAS POR 4" (10 CM) Y CADA 4" (10 CM) SOBRE EL CENTRO PARA ASEGURAR LAS MANTAS. S. EN EL TOPE DE LAS DOS PENDIENTES LATÉRALES DEL CÀNAL, SE DEBE SUJETAR TODO EL LARGO DE LA ORILLA DE LAS MANTAS CON UNA LINEA DE GRAPAS O ESTAÇAS APROXIMADAMENTE CADA 12" (30 CM) UNA DE LA OTRA EN UNA ZANJA DE 6" (15 CM) DE PROFUNDIDAD POR 6" (15 CM) DE ANCHO. RELLENE Y COMPACTE LA ZANJA DESPUES DEL ENGRAPE.
6. LAS MANTAS ADYACENTES DEBEN TRASLAPARSE APROXIMADAMENTE DE 2" - 5" (5 CM- 12.5 CM) (DEPENDIENDO DEL TIPO DE. MANTA) Y ENGRAPPARSE.

7. EN APLICACIONES PARA CANALES DE FLUJO ALTO, SE RECOMIENDA DEJAR UNA RANURA PARA EL CHEQUEO DE LAS GRAPAS A INTERVALOS DE 30 A 40 PIES

(9 M - 12 M). USE UNA LINEA DOBLE DE PRAPAS ESCALONADAS, SEPARADAS POR 4" (10 CM) Y CADA 4" (10 CM) SOBRE EL CENTRO A TRAVES DE TODO EL ANCHO 8. LOS BORDES FINALES DE LAS MANTAS DEBEN SUJETARSE CON UNA LINEA DE GRAPAS O ESTACAS APROXIMADAMENTE CADA 12" 30 CM) UNA DE LA OTRA EN UNA ZANJA DE 6" (15 CM) DE PROFUNDIDAD POR 6" (15 CM) DE ANCHO. RELLENE Y COMPACTE DESPUES DEL ENGRAPADO. NOTA:
* EN CONDICIONES DE SUELTO, PUEDE QUE SE NECESITEN GRAPAS O ESTACAS DE MAS DE 6" (15 CM) DE LARGO PARA ASEGURAR LAS MANTAS CORRECTAMENTE.



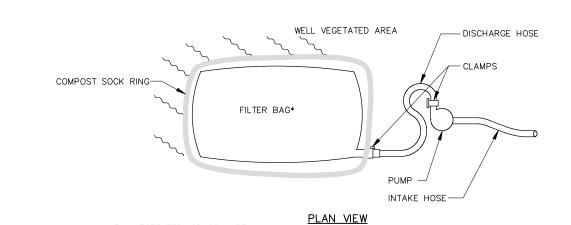


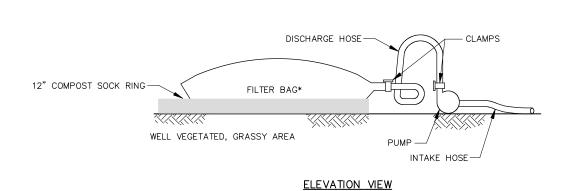
MOUNTABLE BERM SHOULD BE USED WHEREVER OPTIONAL CULVERT PIPE IS USED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE

SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50-FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS OR OTHER DRAINAGEWAYS IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE <u>DETAIL</u>

WELL VEGETATED, GRASSY AREA





1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED 'J' TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN

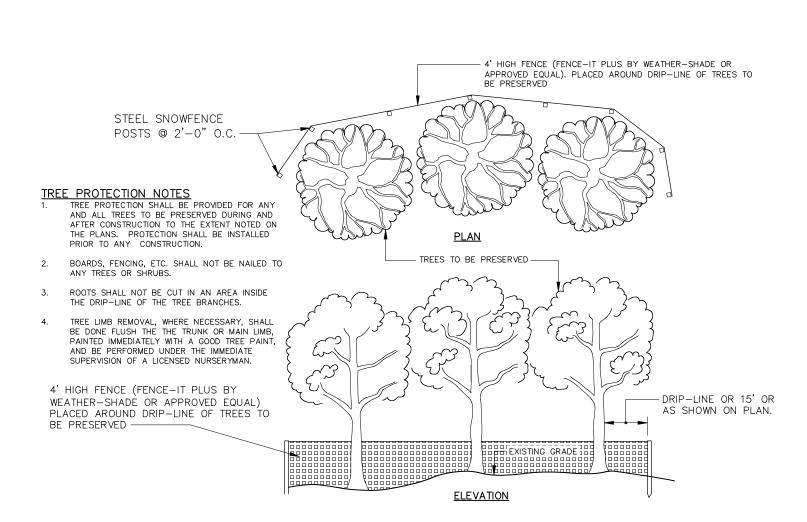
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FULL. 3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREAS, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.

4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. MANUFACTURER AND SECURET CLAMFED.

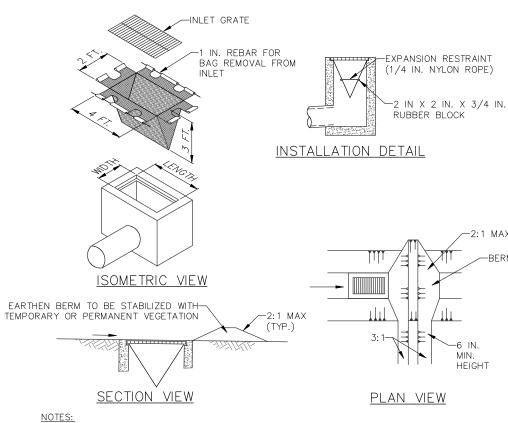
THE PUMP RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG NOT TO SCALE



TREE PROTECTION DETAIL NOT TO SCALE



MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS

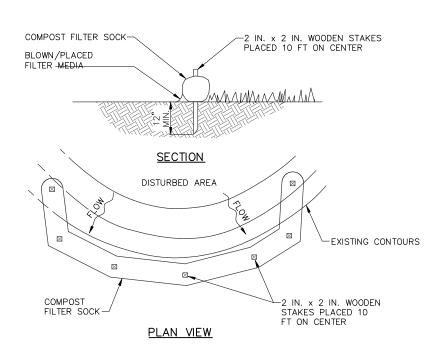
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 BS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS, ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

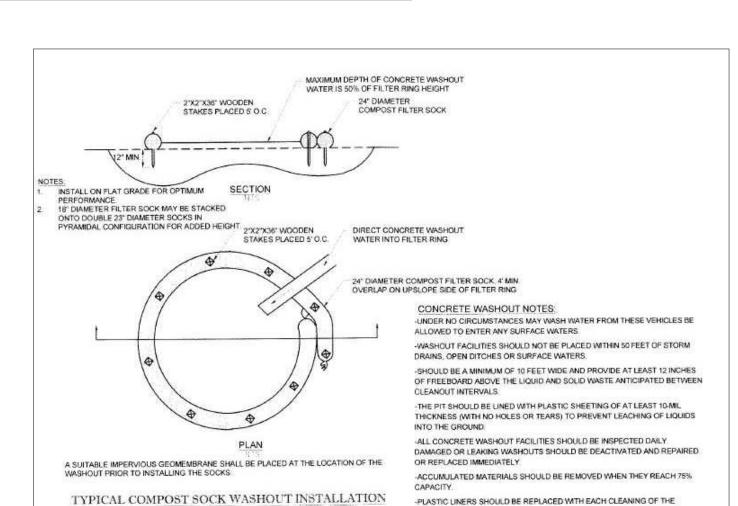


DESCRIPTION

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST FILL MATERIALS SHALL BE KILN DRIED WOOD CHIPS (SILTWORM) OR AND ABACT APROVED EQUAL COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



COMPOST FILTER SOCK CONCRETE WASHOUT DETAIL

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HALFONT, PA 18914

15-783-5114

IDate: |Scale: 04/25/2022 creage No. of Lots REVISION 743 AC. (163,044.0 S.F. TO TITLE esigned By: |Drawn By: |Checked By C.S. L.Y.

TRI-STATE ENGINEERS & LAND SURVEYORS, INC. CIVIL ENGINEER • MUNICIPAL ENGINEERS • LAND SURVEYORS • LAND PLANNERS • LANDSCAPE ARCHITECT 801 WEST STREET ROAD, FEASTERVILLE, PENNSYLVANIA 19053 PHONE: 215-357-5950 DATE DRAWN (



EROSION SEDIMENT CONTROL PLAN DETAILS T.M.P. 26-003-119 **619 NORTH LIMEKILN PIKE NEW BRITAIN TOWNSHIP**

BUCKS COUNTY, PA

SHEET 5 OF 6

TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN AREAS ON-SITE AS DIRECTED BY THE DEVELOPER.

LL TREES. BRUSH AND OTHER VEGETATION WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. THE CONTRACTOR SHALL BI RESPONSIBLE TO OBTAIN PERMISSION AND REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES CAUSED BY FALLING OF TREES OR OTHER CLEARING AND GRUBBING OPERATIONS. GRUBBING SHALL BE CARRIED OUT WITHIN THE GRADE LINES OF THE SITE. DISPOSAL OF ALL CLEARED MATERIAL SHALL BE CARRIED OUT AT THE DIRECTION OF THE DEVELOPER. ALL TIMBER LOGS, STUMPS, ROOTS, BRUSH AND LEAVES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF.

THE SURFACE OF ALL EARTH AREAS SHALL BE FINISHED TO A REASONABLY SMOOTH COMPACT SURFACE ORDINARILY OBTAINED FROM THE BLADE GRADER OR SCRAPER OPERATIONS AND HARD OPERATIONS AROUND CONFINED AREAS AND STRUCTURES. THE SURFACE OF AREAS TO BE TOPSOILED SHALL BE FINISHED TO A LEVEL OF SIX (6) INCHES BELOW FINISH GRADE AS SHOWN ON THE DRAWINGS AND LEFT WITH A SMOOTHNESS SUITABLE FOR APPLICATION OF TOPSOIL. ROCK ENCOUNTERED DURING CONSTRUCTION TO BE EXCAVATED 12" BELOW FINAL GRADE AND REPLACED WITH 12" OF TOPSOIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXCESS MATERIALS FROM THE SITE.

TOPSOIL AND SEEDING PREVIOUSLY STOCKPILED SHALL BE EVENLY SPREAD OVER THE ENTIRE WORKED AREA TO A DEPTH OF AT LEAST SIX (6) INCHES AFTER

PREVIOUSLY STOCKPILED SHALL BE EVENLY SPREAD OVER THE ENTIRE WORKED AREA TO A DEPTH OF AT LEAST SIX (b) INCHES AFTER COMPACTION, TO A SMOOTH FIRM SEEDBED WITH A 200 LB/FT ROLLER, CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING ADDITIONAL TOPSOIL SHALL BE PROVIDED WHERE ADJUSTMENTS ARE NECESSARY TO ATTAIN FINAL TRUE EVEN GRADES SHOWN ON THE DRAWINGS. TOPSOIL MAY BE SPREAD DURING ANY SEASON, EXCEPT THAT NO TOPSOIL SHALL BE SPREAD IN A FROZEN OR MUDDY CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGE OR LOSS TO THE GRADE SURFACE CAUSED BY EROSION BEFORE PLANTING TAKES PLACE. THE TOPSOIL SHALL BE TESTED FOR ELEMENT AND LIMESTONE REQUIREMENTS BY THE PENNSYLVANIA STATE UNIVERSITY, SAMPLES TO BE PROCESSED THROUGH THE COUNTY AGRICULTURAL AGENT. COPIES OF FINDINGS SHALL BE FILED WITH THE TOWNSHIP ENGINEER.

LIMESTONE SHALL BE APPLIED ACCORDING TO TEST OR AT A RATE OF ONE TON OF GROUND LIMESTONE PER ACRE. OR EQUIVALENT PER ACRE (25 LB. PER 1,000 S.F.) AND AT THE TIME OF SEEDING WORK INTO THE SURFACE 1,000 LBS. OF 18-24-6 (N-P-K) OR EQUIVALENT PER ACRE. THE FERTILIZER SHALL CONTAIN THIRTY TO FORTY PERCENT NITROGEN DERIVED FROM NATURAL ORGANIC SOURCES. FERTILIZER SHALL BE COMPLETE AND DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINER WHICH SHALL BEAR THE MANUFACTURERS GUARANTEED STATEMENT OF ANALYSIS.

SOWN AT A RATE OF 2 LB./1000 S.F. (87 LBS/ACRE.) SEEDING SHALL OCCUR BETWEEN THE DATES OF APRIL 1 AND JUNE 15 OR JULY 25 TO SEPTEMBER 15. OF 1/2%. THE SEED MIXTURE SMALL BE KENTUCKY 31 TALL FESCUE AND REDTOP, PERCENT OF WEIGHT OF 88% AND 12% RESPECTIVELY, IF A TEMPORARY COVER IS TO BE ESTABLISHED 100% ANNUAL RYEGRASS SHALL BE APPLIED AT A RATE OF 40 LB. PER ACRE BETWEEN THE DATES OF MARCH 1 TO JUNE 15 AND AUGUST 15 TO SEPTEMBER 15. SUBSEQUENT TO THE TEMPORARY COVER THE ABOVE SPECIFIED PERMANENT COVER SHALL BE ESTABLISHED BY REWORKING THE TOPSOIL AND RESEEDING ACCORDING TO THE SPECIFIED PROCEDURE. SEED SHALL BE APPLIED UNIFORMLY ACCORDING TO THE RATES INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION. THE GRASS SEED SHALL BE COVERED WITH 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT.

GRASS SEED SHALL HAVE A MINIMUM PURITY OF 76%, MINIMUM GERMINATION OF 80% AND WEED CONTENT NOT EXCEEDING A MAXIMUM

% PURE LIVE SEED. 91/26
APPLICATION RATE: 40 LB./ACRE
FERTILIZER TYPE: 10-20-20
FERTILIZER APPLICATION RATE: 1000 LB./ACRE LIMING RATE: 1 TON/ACRE
MULCH TYPE: HAY/STRAW
MULCHING RATE: 3 TON/ACRE

TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS

SPECIES: KENTUCKY 31 TALL FESCUE(88%) & REDTOP(12%) % PURE LIVE SEED: 76% % PURE LIVE SEED: 76%
APPLICATION RATE: 87 LB./ACRE
FERTILIZER TYPE: 18-24-6
FERTILIZER APPLICATION RATE: 1000 LB./ACRE
LIMING RATE: 1_TON/ACRE
MULCH TYPE: HAY/STRAW
MULCHING RATE: 3_TON/ACRE
ANCHOR MATERIAL: WOOD CELLULOSE
ANCHORING METHOD: HYDROSEED
RATE OF ANCHOR MATERIAL APPLICATION: 160 LBS. PER 1000 S.Y.
SEEDING SEASON DATES: APRIL 1_TO JUNE 15; JULY 25_TO SEPTEMBER 15

MULCH RATE

(A) MULCHING SEEDED AREAS. PLACE MULCH OF THE KIND INDICATED, IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETED. UNLESS OTHERWISE INDICATED, PLACE ONLY STRAW OR WOOD CELLULOSE OVER TOPSOILED AREAS. USE HAY, STRAW OR WOOD CELLULOSE IN OTHER AREAS, AS INDICATED OR SPECIFIED. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, PLACE HAY OR STRAW UNIFORMLY, IN A CONTINUOUS BLANKET, AT A MINIMUM RATE OF 1,200 POUNDS PER 1,000 SQUARE YARDS, OR AS OTHERWISE INDICATED. IF DIRECTED, INCREASE THE RATE OF APPLICATION, DEPENDING UPON THE MATERIAL USED, SEASON, SOIL CONDITIONS, OR METHOD OF APPLICATION. AN ACCEPTABLE MECHANICAL BLOWER MAY BE USED TO APPLY MULCH. MACHINES WHICH CUT MULCH INTO SHORT PIECES WILL NOT BE PERMITTED. ANCHOR WITH ACCEPTABLE MATERIALS AT THE FOLLOWING RATES:

EMULSIFIED ASPHALT, UNIFORMLY NOT LESS THAN 31 GALLONS PER 1,000 SQUARE YARDS. WOOD CELLULOSE, 160 POUNDS PER 1,000 SQUARE YARDS.

NONASPHALTIC EMULSION, 25 POUNDS PER 1,000 SQUARE YARDS.

BINDING TO ANY SUBSEQUENT DEVELOPER OR CORPORATION.

CHEMICAL MULCH BINDERS, AT MANUFACTURER'S RECOMMENDED RATES. USE CUTBACK ASPHALT IN PLACE OF EMULSIFIED ASPHALT DURING SUBFREEZING TEMPERATURES. INCORPORATE STRAW OVER TOPSOILED AREAS AND INTO THE SOIL, THEN SOW SEEDS AND ROLL, AS SPECIFIED IN SECTION 804. HYDRAULICALLY APPLY WOOD—CELLULOSE FIBER. IT MAY BE INCORPORATED AS AN INTEGRAL PART OF THE SLURRY AFTER THE SEED AND SOIL SUPPLEMENTS HAVE BEEN THOROUGHLY MIXED. APPLY UNIFORMLY AT THE RATE OF 320 POUNDS PER 1,000 SQUARE YARDS, UNLESS OTHERWISE INDICATED.

MULCH TEMPORARY SEEDED AREAS WITH HAY. (B) MULCHING PLANTED AREAS. UNIFORMLY AND CONTINUOUSLY MULCH PLANT BASINS, PLANT BEDS, OR OTHER AREAS, EXCEPT CROWNVETCH AND REFORESTATION PLANTINGS, TO A LOOSE DEPTH OF 3 INCHES, OR AS INDICATED. (C) MAINTENANCE. PROPERLY MAINTAIN MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. PROMPTLY REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED OR LOST DUE TO WIND, RAIN, FIRE OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES) AS DIRECTED.

AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF A SLOPE FAILURE OCCURS, ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE, REPLACE THE MULCH, AS DIRECTED.

MAINTENANCE

MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE FOR A PERIOD OF SIXTY DAYS PROVIDED THAT MAINTENANCE MAY FURTHER CONTINUE UNTIL THE CONTRACTOR HAS FULFILLED HIS RESPONSIBILITY TO PRODUCE A HEALTHY, THICK STAND OF GRASS, FREE OF WEEDS AND BARE SPOTS. MAINTENANCE SHALL CONSIST OF KEEPING GRASSED AREAS IN A HEALTHY GROWING CONDITION BY WEEDING, WATERING, MOWING, ROLLING, TRIMMING, AND BY ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. REPLANTING SHALL BE DONE AS FREQUENTLY AS NECESSARY TO PRODUCE A THICK CLOSE STAND OF GRASS. DAMAGED OR WASHED OUT AREAS SHALL BE PROMPTLY REPLANTED. SODDING SHALL BE PROVIDED WHERE AND TO THE EXTENT NECESSARY TO PREVENT GULLYING BY HEAVY CONCENTRATIONS OF WATER WHEREVER THEY MAY OCCUR

THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTINUED MAINTENANCE, CLEARING OF DEBRIS AND SILTATION DEPOSITS, THAT MAY OCCUR THROUGHOUT THE ENTIRE PERIOD OF DEVELOPMENT OF THE SUBJECT PROPERTY. THIS RESPONSIBILITY IS TRANSFERABLE AND ADDITIONAL OF THE SUBJECT PROPERTY.

STRIPPING AND GRUBBING

3. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE PERMITTEE AND COPERMITTEE SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY.
MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES AND MAINTAIN AND MAKE AVAILABLE TO THE BUCKS COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, RESEEDING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.

4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

BCCD E&S CONTROL PLAN STANDARD NOTES

SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

1. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

2. THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON-SITE SHALL ASSURE THAT THE APPROVED EROSION AND

5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE BUCKS COUNTY CONSERVATION DISTRICT.

6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

7. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

8. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64. EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION

9. A COPY OF THE APPROVED EROSION AND SEDIMENT POLLUTION CONTROL PLAN MUST BE AVAILABLE AT THE

10. EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S.

11. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY. 12 AT LEAST 7 DAYS BEFORE STARTING ANY FARTH DISTURBANCE ACTIVITIES. THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE BUCKS COUNTY CONSERVATION DISTRICT TO AN ON-

SITE MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS. 13. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND

GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE. 14 IMMEDIATELY AFTER FARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS. DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE

YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIO

STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

15. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING

DISTURBED AREAS WHICH ARE AT FINISH GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE

AND OTHER MOVEMENTS. TEMPORARY STABILIZATION AND PERMANENT STABILIZATION

16. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.

 $17. \ MULCH \ WITH \ MULCH \ CONTROL \ NETTING \ OR \ EROSION \ CONTROL \ BLANKETS \ MUST \ BE \ INSTALLED \ ON \ ALL \ SLOPES$

18. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. 19. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY.

MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

20. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES, AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL

21. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE

260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. 22. THE PROJECT'S RECEIVING WATERCOURSE IS PINE RUN TRIBUTARY OF THE NESHAMINY CREEK (DELAWARE

RIVER SOUTH WATERSHED), AND THE CHAPTER 93 CLASSIFICATION IS WWF, MF. 23. THE HOMEOWNER IS RESPONSIBLE FOR THE LONG TERM "OPERATION AND MAINTENANCE" OF THE BMP'S. 24. IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING 'ENVIRONMENTAL DUE DILIGENCE' AND DETERMINATION OF 'CLEAN FILL' WILL REST WITH THE

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH, THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE 'WATERS OF THE OMMONWEALTH' UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES EP-1A AND EP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FIL ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED

SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN MAT HAVE BEEN SUBSCIED TO A SPILL ON RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT <u>WWW.PACODE.COM</u>.

