

**ZONING REQUIREMENTS:**

THE FOLLOWING REQUIREMENTS ARE TAKEN FROM THE NEW BRITAIN TOWNSHIP ZONING ORDINANCE IN THE WS WATERSHED DISTRICT

EXISTING USES: A1 - GENERAL FARMING.  
PROPOSED USES: LOT 1 B1 SINGLE-FAMILY DETACHED DWELLING  
(2 AC. MAXIMUM ENVELOPE WITHIN CONSERVATION EASEMENT)  
LOT 2 B1 SINGLE-FAMILY DETACHED DWELLING

	REQUIRED		PROVIDED / PERMITTED	
	LOT 1	LOT 2	LOT 1	LOT 2
MINIMUM LOT AREA (SF)	80,000	1,541,274	84,640	
(ACRES)	1.84	35.38	1.94	
MINIMUM LOT WIDTH (FT)	175	250 (1)	260.18	
MINIMUM BUILDING ENVELOPE (FT)	10,000	87,120 (1)	31,315	
YARDS - MINIMUM				
FRONT (FT)	100	100	100	
SIDE (FT)	30	30	30	
REAR (FT)	60	N/A	60	
MAXIMUM BUILDING COVERAGE (%)	8%	N/A	N/A	
MAXIMUM BUILDING COVERAGE (SF) (1)	12%	N/A	N/A	
MAXIMUM IMPERVIOUS COVERAGE (%)	35	N/A	N/A	
MAXIMUM IMPERVIOUS COVERAGE (SF) (1)				
MAXIMUM BUILDING HEIGHT (FT) (4)				

FOOTNOTES:  
(1) ENVELOPE AREA AND LOT WIDTH ON LOT 1 IS BASED ON 2 ACRE MINIMAL PROTECTION AREA.

TO ALL WHOM THESE PRESENTS MAY COME I, WE, ANNA & AUBREY P. GILMORE SEND GREETINGS, KNOW YE THAT I, WE HAVE LAID OUT OR LANDS IN NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA., CERTAIN LOTS ACCORDING TO THIS PLAN, WHICH IS INTENDED TO BE FORTHWITH RECORDED, WITNESS MY, OUR HAND AND SEAL.

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUCKS: ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BEFORE ME THE SUBSCRIBER A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED BEFORE ANNA & AUBREY P. GILMORE

WHO ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF PROPERTY SHOWN HEREON, LOCATED NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PA. AND DESIRED THE SAME TO BE RECORDED.

NOTARY PUBLIC MY COMMISSION EXPIRES \_\_\_\_\_

APPROVED BY THE NEW BRITAIN TOWNSHIP BOARD OF SUPERVISORS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BOPC NO. \_\_\_\_\_ PROCESSED AND REVIEWED, REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE \_\_\_\_\_, 20\_\_\_\_

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN, PENNA. IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON \_\_\_\_\_, 20\_\_\_\_

RECORDER OF DEEDS

APPROVED BY THE NEW BRITAIN TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRMAN

REVIEWED BY THE NEW BRITAIN TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Twin Run Road  
West Mifflin, Pennsylvania  
15122 - 1078



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. #####

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES, INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50. GILMORE & ASSOCIATES, INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

**GENERAL NOTES:**

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN JUNE OF 2022.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. OTHER RIGHTS TO PROPERTY MAY EXIST.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM. HORIZONTAL DATUM IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS), WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- REFERENCE PLANS:
  - TAX MAP FOR THE TOWNSHIP OF NEW BRITAIN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA.
  - PLAN ENTITLED "PROPERTY SURVEYED FOR ELMER S. KELLER, NEW BRITAIN TWP., BUCKS CO., PA", PREPARED BY G. MARVIN HENDRICKS, DATED MARCH 3, 1961.
  - PLAN ENTITLED "FINAL SUBDIVISION PLAN PREPARED FOR FOX POND SITUATED IN NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA" PREPARED BY VAN GLEEF ENGINEERING ASSOCIATES, DATED FEBRUARY 21, 1996 (LAST REVISED APRIL 8, 1997) AND RECORDED ON MAY 6, 1997 IN PLAN BOOK 287, PAGE 34.
  - PLAN ENTITLED "FINAL PLAN, PLAN OF PROPERTY OF JOHN M. & HELEN A. VINCK, NEW BRITAIN TWP., BUCKS CO., PA" PREPARED BY G. MARVIN HENDRICKS, DATED MAY 16, 1986 AND RECORDED ON NOVEMBER 25, 1986 IN PLAN BOOK 236, PAGE 74.
- DENOTES CONCRETE MONUMENT TO BE SET.
- AREA BETWEEN THE TITLE LINE AND THE ULTIMATE RIGHT-OF-WAY OF KING ROAD (T409) AND KELLER ROAD (T358) SHALL BE OFFERED FOR DEDICATION TO NEW BRITAIN TOWNSHIP.
- THIS PLAN HAS BEEN PREPARED ON THE BASIS OF SURVEYS PERFORMED BY GILMORE & ASSOCIATES, INC. ONLY THE VISIBLE LOCATIONS SHOWN SHALL BE CONSIDERED TRUE AND ACCURATE.
- SITE DEVELOPMENT ACTIVITIES ON ALL LOTS SHALL COMPLY WITH THE REQUIREMENTS OF ARTICLE XXIV, NATURAL RESOURCE PROTECTION STANDARDS OF THE ZONING ORDINANCE.
- CONFIGURATION OF THE MINIMAL PROTECTION AREA FOR LOT 1 SHALL BE IN COMPLIANCE WITH EXHIBIT "A" OF THE CONSERVATION EASEMENT AGREEMENT OF SALE EXECUTED WITH NEW BRITAIN TOWNSHIP.
- BUILDING SETBACK LINES AS SHOWN IS BASED ON MINIMUM YARD REQUIREMENTS PER THE WS ZONING DISTRICT. ANY FUTURE DEVELOPMENT OF THIS LOT WILL NECESSITATE A COMPLETE FIELD SURVEY OF THE LOT TO ASCERTAIN ALL NATURAL RESOURCE RESTRICTIONS WHICH MAY AFFECT THE ACTUAL BUILDABLE AREA/BUILDING ENVELOPE.
- LOTS 1 AND 2 ARE PROPOSED TO BE UNIMPROVED AT THIS TIME. NO WATER AND SEWER ARE PROPOSED FOR THESE LOTS AT THIS TIME.
- ANY PROPOSED WELLS ON NEW LOTS SHALL BE SUBJECT TO THE PROVISIONS OF THE TOWNSHIP'S WELL CONSTRUCTION STANDARDS; INCLUDING REQUIREMENTS FOR PERMITTING, WATER QUALITY TESTING AND WELL PRODUCTION CERTIFICATION. THESE REQUIREMENTS SHALL BE FULFILLED.
- NO PORTION OF THIS SUBDIVISION HAS BEEN APPROVED BY THE MUNICIPALITY OR THE APPROVING AGENCY FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND APPROVING AGENCY HAVE APPROVED ANY REQUIRED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION LOTS DESCRIBED HEREIN IN ACCORDANCE WITH THE SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF THE PROPOSED LOTS SHOULD CONTACT THE PADEP WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT TYPE OF SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.
- ALL PUBLIC IMPROVEMENTS ARE REQUESTED TO BE WAIVED.
- ANY DEVELOPER OF LOTS 1 OR 2 SHALL BE REQUIRED TO SUBMIT ZONING PERMIT PLANS DEMONSTRATING COMPLIANCE WITH ALL APPLICABLE TOWNSHIP REGULATIONS, INCLUDING, BUT NOT LIMITED TO STORMWATER MANAGEMENT PRIOR TO TOWNSHIP REVIEW OF BUILDING PERMIT PLANS.

I, TIMOTHY M. WALLACE PE092271 (NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)

DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF NEW BRITAIN TOWNSHIP AS LAST AMENDED.

SIGNATURE

I, DONALD RAPINSKI HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY OF I.P. 26-4-10 COMPLETED UNDER MY SUPERVISION IN JUNE 2022; THAT ALL THE MARKERS SHOWN HEREON ACTUALLY EXIST; THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.

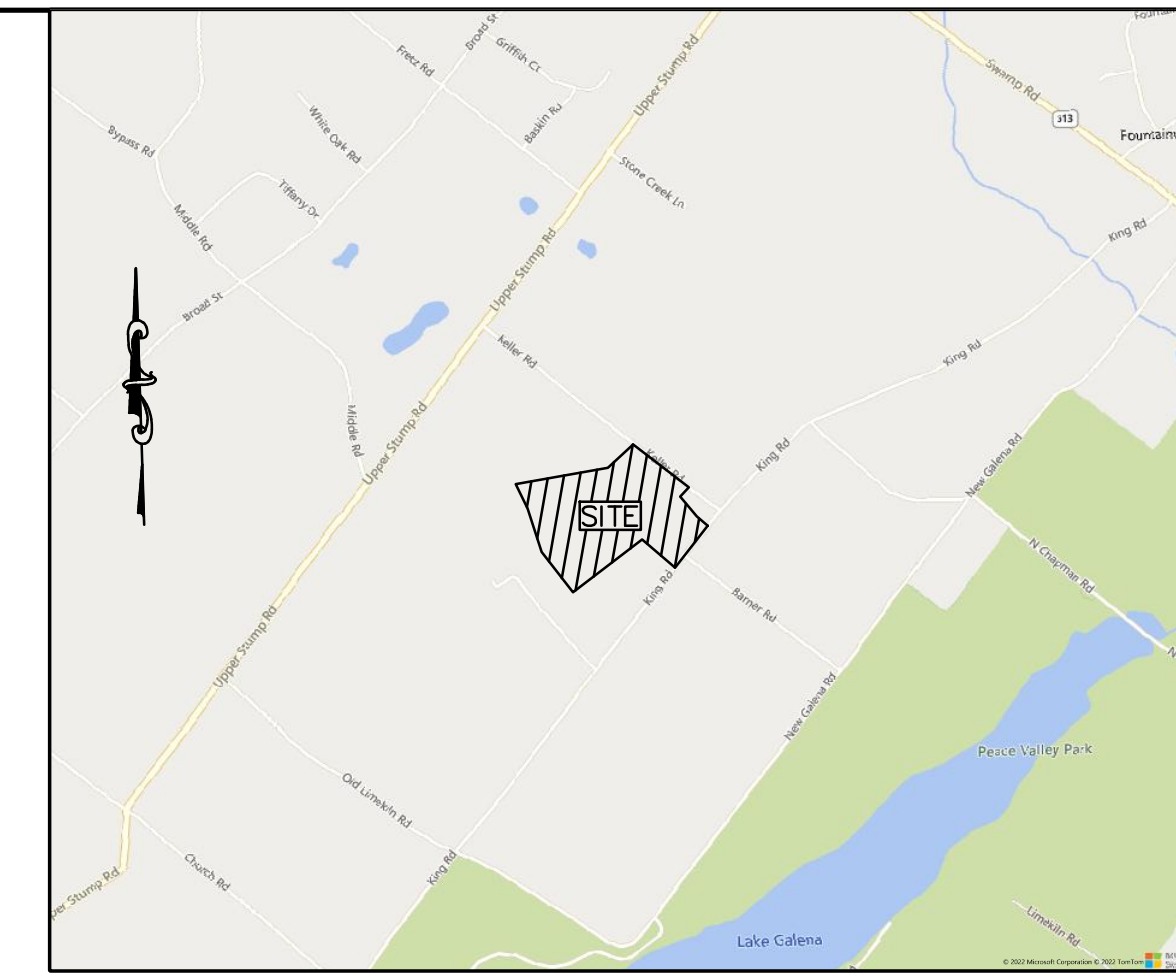
SIGNATURE

**LOT 2 ACCESS EASEMENT**

LABEL	BEARING	DISTANCE
A	N48°52'50"W	161.36'
B	N37°48'00"E	29.93'
C	S38°29'50"E	165.81'



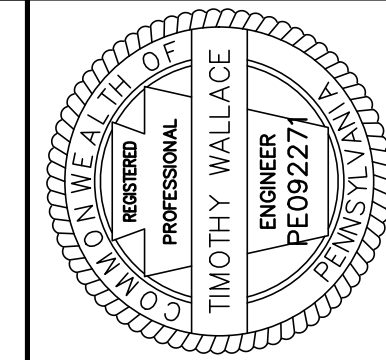
LOT 2 ACCESS EASEMENT DETAIL SCALE 1" = 50'



**LOCATION MAP**

SCALE: 1" = 2000'

**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES  
16 EAST BUTLER AVENUE SUITE 100, NEW BRITAIN, PA 17857 (717) 944-5300 www.gilmoreassoc.com  
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DATE: 8/1/22

NO.	ADDED BY	FEATURES	PLAN	DATE	TWO	BY
1	REV.					

MINOR SUBDIVISION PLAN  
**GILMORE MINOR SUBDIVISION**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA  
RECORD PLAN

**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES  
PROJECT NO.: 16-10028-01  
OWNERS INFO: ANNA & AUBREY GILMORE  
2075 SCHEITZS CHURCH RD  
QUAKERTOWN, PA 18951  
###-###-####

MUNICIPAL FILE NO.:	16-10028-01
TAX MAP PARCEL NO.:	26-004-010
TOTAL AREA:	38.12 AC
TOTAL LOTS:	2
DATE:	07/21/22
SCALE:	1"=100'
DRAWN BY:	TMW
CHECKED BY:	CK
SHEET NO.:	1 OF 2

C:\MUNICIPAL\2016\10028-01-NBT-Gilmore\_Conservation\_King\_Road\CAD\Survey\_Drawings\Production Drawings\1610028-01\_REC\_REG\_Layout: RECORD PLAN Plotted By: twallice, on Tue Aug 09, 2022 at 10:13am

**SITE CAPACITY CALCULATIONS**

1. SITE CAPACITY CALCULATION:

GROSS SITE AREA	38.12 ACRES
(-) ULTIMATE RIGHT-OF-WAY OF EXISTING STREETS	0.80 ACRES*
(-) EXISTING UTILITY RIGHT-OF-WAY AND EASEMENTS	0.00 ACRES
(-) LAND WHICH IS NOT CONTIGUOUS	0.00 ACRES
(-) LAND SET ASIDE, RESERVED OR RESTRICTED BY PREVIOUS SUBDIVISION	0.00 ACRES
(-) LAND FOR ANOTHER USE OR LOCATED IN ANOTHER ZONING DISTRICT	0.00 ACRES
BASE SITE AREA =	37.32 ACRES

\*KING ROAD ULT ROW OF 60 FT AND KELLER ROAD ULT ROW OF 50FT

2. RESOURCE PROTECTION LAND TABULATION:\*\*\*

NATURAL RESOURCES	PROTECTION RATIO	AREA OF RESOURCE	RESOURCE PROTECTION REQ'D	AREA PROTECTED
WATERCOURSES	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
RIPARIAN BUFFER	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
FLOODPLAIN	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
FLOODPLAIN (ALLUVIAL) SOILS	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
WETLANDS	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
LAKES OR PONDS	1.00	0.000 ACRES	0.000 ACRES	0.000 ACRES
WETLANDS MARGINS	0.80	0.000 ACRES	0.000 ACRES	0.000 ACRES
WOODLANDS	0.80	4.429 ACRES	3.543 ACRES	3.543 ACRES
STEEP SLOPES >25%	0.85	0.001 ACRES	0.001 ACRES	0.001 ACRES
STEEP SLOPES 15-25%	0.70	0.027* ACRES	0.019 ACRES*	0.019 ACRES*
STEEP SLOPES 8-15%	0.60	0.536* ACRES	0.322 ACRES*	0.322 ACRES*
AGRICULTURAL SOILS**	0.50	32.49 ACRES	16.245 ACRES	16.245 ACRES

TOTAL LAND W/ RESOURCE RESTRICTION	36.92 ACRES
TOTAL LAND W/ 1.0 PROTECTION RATIO RESOURCES	0.000 ACRES
TOTAL RESOURCE PROTECTION LAND REQUIRED	19.789 ACRES
TOTAL RESOURCE PROTECTION LAND PROVIDED	19.789 ACRES****
TOTAL DISTURBED RESOURCES	0.00 ACRES

- \* RESOURCES LOCATED WITHIN ANOTHER RESOURCE WITH A HIGHER PROTECTION RATIO WERE NOT INCLUDED IN THE TOTAL RESOURCE PROTECTION LAND.
- \*\* ALL SOILS LOCATED OUTSIDE OF WOODLANDS AREA ARE AGRICULTURAL SOILS.
- \*\*\* ALL AREAS ARE APPROXIMATE AND ARE BASED OFF OF LIDAR CONTOURS AND AERIAL PHOTOGRAPHY.
- \*\*\*\* RESOURCE DISTURBANCE BASED ON MAXIMUM DISTURBANCE PERMITTED

3. MINIMUM OPEN SPACE

BASE SITE AREA	37.32 ACRES
MINIMUM OPEN SPACE RATIO	N/A
STANDARD MINIMUM OPEN SPACE	N/A

4. RESOURCE PROTECTION LAND WITH 1.00 PROTECTION RATIO 0.0 ACRES

5. NET BUILDABLE SITE AREA

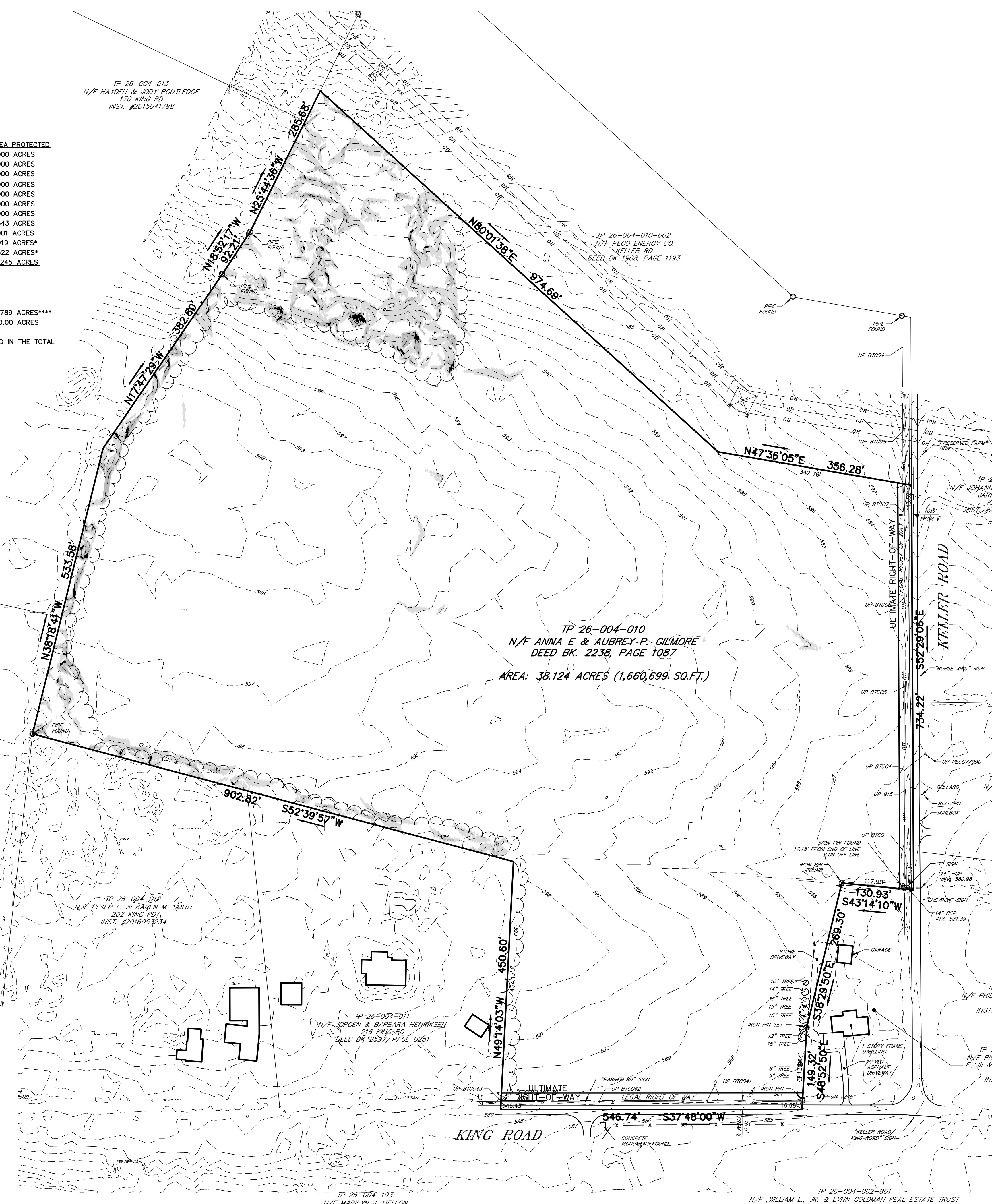
BASE SITE AREA	37.32 ACRES
SUBTRACT REQUIRED OPEN SPACE	- 0.0 ACRES
NET BUILDABLE SITE AREA	37.32 ACRES

6. NUMBER OF DWELLING UNITS/LOTS

NET BUILDABLE SITE AREA	37.32 ACRES
MAXIMUM DENSITY	1.84 ACRES/D.U./LOT

7. IMPERVIOUS SURFACES

RATIO BASE SITE AREA	37.32 ACRES
MAXIMUM IMPERVIOUS SURFACE RATIO	12% PER LOT/SITE



**LOCATION MAP**

SCALE: 1" = 2000'

**LEGEND**

SYMBOL	DESCRIPTION
--- (dashed line)	EDGE OF PAVE LEGAL RIGHT-OF-WAY
--- (solid line)	PROPERTY LINE
--- (dashed line)	MAJOR CONTOURS
--- (dashed line)	MINOR CONTOURS
--- (dashed line)	TREE LINE
--- (dashed line)	STORM MANHOLE
--- (dashed line)	STORM LINE AND INLET
--- (dashed line)	OVERHEAD ELECTRIC LINE
--- (dashed line)	UNDERGROUND ELECTRIC LINE
--- (dashed line)	SANITARY MANHOLE
--- (dashed line)	GAS VALVE
--- (dashed line)	WATER METER
--- (dashed line)	SIGN
--- (dashed line)	UTILITY POLE
--- (dashed line)	FIRE HYDRANT
--- (dashed line)	ENDWALL
--- (dashed line)	IRON PIN FOUND
--- (dashed line)	CONCRETE MONUMENT FOUND

**SLOPE TABLE**

NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA	COLOR
1	8.00%	15.00%	56814.35 SF	[Color]
2	15.00%	25.00%	13079.10 SF	[Color]
3	25.00%	520.89%	1655.64 SF	[Color]

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**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

16 EAST BRITAIN AVENUE, SUITE 100, NEW BRITAIN, PA 17827 | P: 717.314.5300 | www.gilmore-inc.com

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**PROFESSIONAL ENGINEER**  
TIMOTHY WALLACE  
PE092271

DATE: 8/1/22

NO.	DATE	DESCRIPTION	TW	BY
1	08/01/22	ADDED EX. FEATURES PLAN		

MINOR SUBDIVISION PLAN  
**GILMORE MINOR SUBDIVISION**  
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

EXISTING FEATURES AND NATURAL RESOURCE PLAN

**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 16-10028-01

MUNICIPAL FILE NO.: 16-10028-01

TAX MAP PARCEL NO.: 26-004-010

TOTAL AREA: 38.12 AC. TOTAL LOTS: 2

DATE: 07/21/22 SCALE: 1"=100'

DRAWN BY: TW CHECKED BY: CK

SHEET NO.: 2 OF 2

C:\MUNICIPAL\2016\2016-10028-01-NBT\_Gilmore\_Conservation\_King\_Road\CAD\Survey\_Drawings\Production Drawings\1610028-01\_Site Capacity.dwg Layout: EXISTING FEATURES AND NATURAL RESOURCE PLAN Plotted By: twelloce, on Tue Aug 09, 2022 at: 10:12:20am