

OWNER'S CERTIFICATION OF INTENT
NAME OF INDIVIDUAL

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUCKS
ON THE _____ DAY OF _____ 20____
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC, PERSONALLY APPEARED _____ ROSE MARIE TECCE _____
WHO ACKNOWLEDGED THEMSELVES TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING PLAN,
AND WHO ACKNOWLEDGED THAT (THEY) ARE THE REGISTERED OWNERS OF THE DESIGNATED LAND, AND THAT
(HE/SHE/THEY) DESIRE THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.
WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____
(SEAL)

I, ROSE MARIE TECCE _____ HAVE LAID OUT UPON OUR LAND, SITUATE IN THE TOWNSHIP OF NEW BRITAIN, BUCKS
COUNTY, AND DESIRE THIS PLAN BE RECORDED.

NAME(S) OF OWNER(S)
BY:
ROSE MARIE TECCE, PROPERTY OWNER _____ (DATE)

TOWNSHIP ENGINEER'S REVIEW
REVIEWED BY THE TOWNSHIP ENGINEER THIS _____ DAY OF _____ 20____
SIGNATURE _____

TOWNSHIP BOARD OF SUPERVISORS APPROVAL
APPROVED BY THE SUPERVISORS OF NEW BRITAIN TOWNSHIP, THIS _____ DAY OF _____ 20____

CHAIRMAN _____

BUCKS COUNTY PLANNING COMMISSION
B.C.P.C. FILE # 12615
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE BUCKS COUNTY
PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE _____

RECORDER OF DEEDS NOTATION
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN BUCKS COUNTY, PENNSYLVANIA, IN
PLAN BOOK _____, PAGE _____ ON THE _____ DAY OF _____ 20____

PROFESSIONAL LAND SURVEYOR CERTIFICATION
I, Robert L. Showalter _____, SU-1117-A
(NAME OF PROFESSIONAL SURVEYOR) (REGISTRATION NUMBER)
DO HEREBY CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY MADE BY ME OR
UNDER MY SUPERVISION, THAT ALL PROPERTY CORNERS ARE EXISTING OR SET AS SHOWN
HEREON, THAT ALL GEOMETRIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR
TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000 OR BETTER.

PROFESSIONAL ENGINEER CERTIFICATION
I, Robert L. Showalter _____, PE-19566
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION
CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN
ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE
WITH THE ZONING ORDINANCE AND THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF NEW BRITAIN
TOWNSHIP AS LAST AMENDED.

STORMWATER MANAGEMENT SITE PLAN PROFESSIONAL ENGINEER CERTIFICATION
I, Robert L. Showalter _____, PE-19566
(NAME OF PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)
ON THIS DATE _____ DO HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN
STANDARDS AND CRITERIA OF THE NEW BRITAIN TOWNSHIP NESHAMINY CREEK WATERSHED ACT 167
STORMWATER MANAGEMENT ORDINANCE OR PLAN.

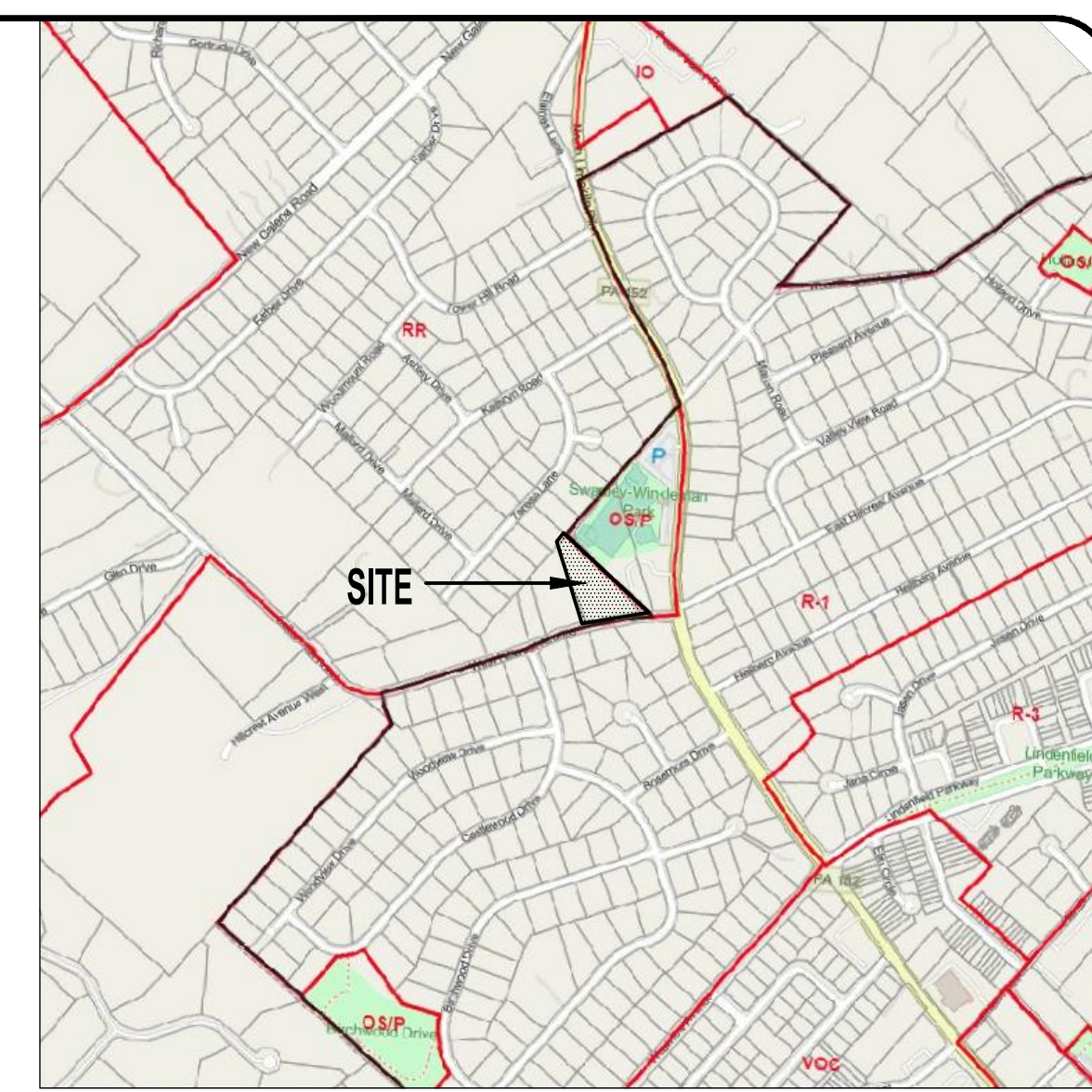
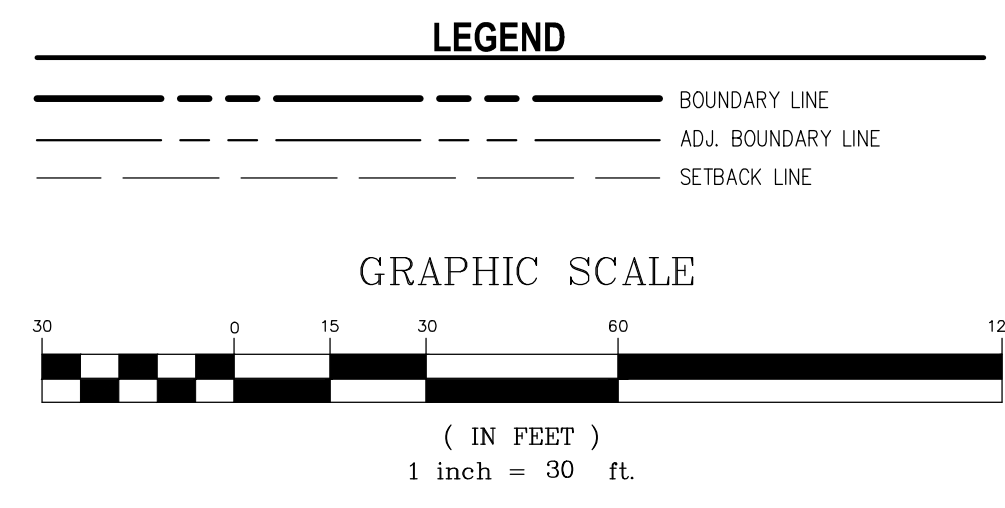
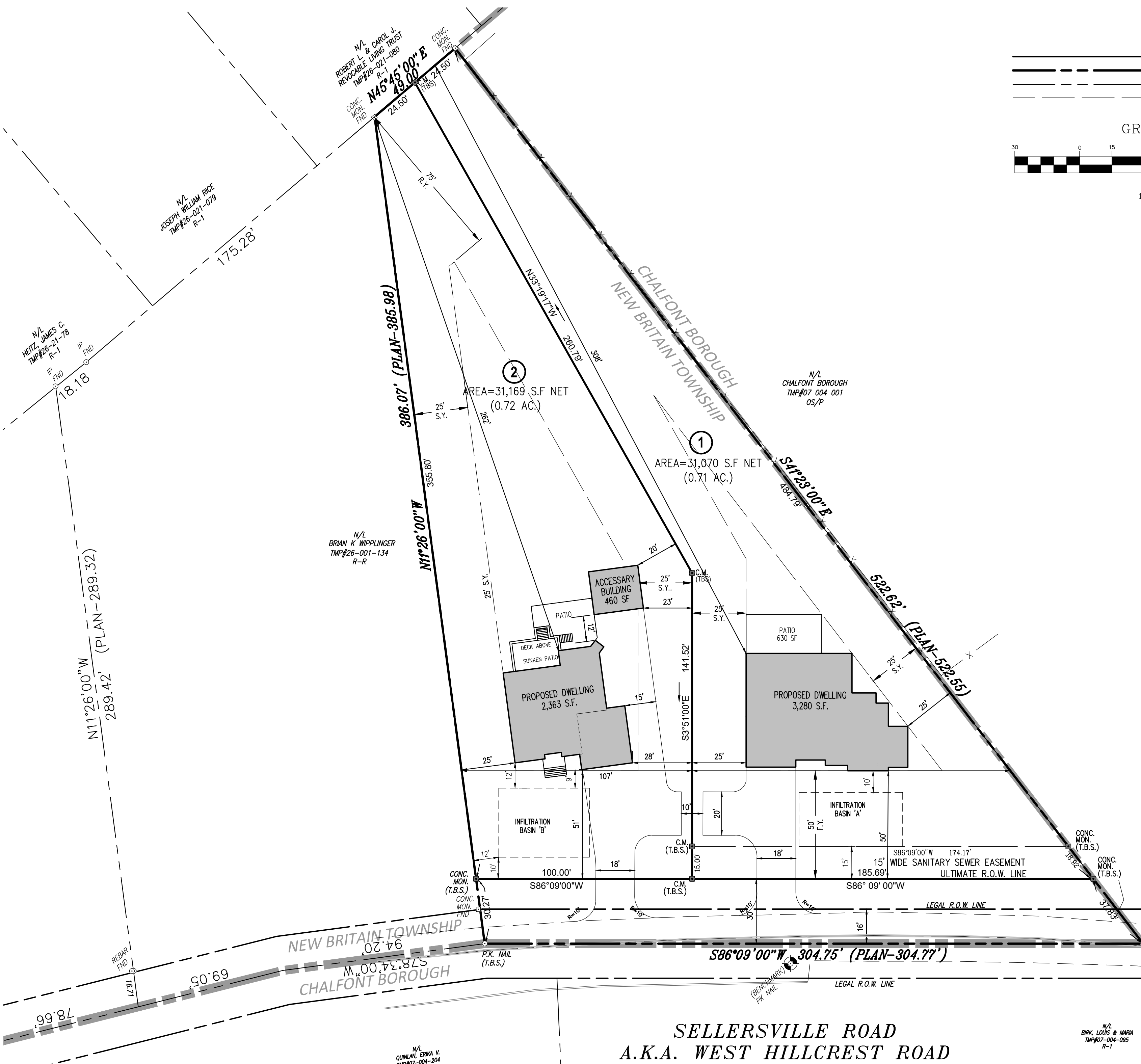
RESPONSIBLE PARTY CERTIFICATION:
"I, _____, ON THIS DATE, CERTIFY THE FOLLOWING:
1. ANY REVISION TO THE APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST BE
APPROVED BY NEW BRITAIN TOWNSHIP AND A REVISED EROSION & SEDIMENTATION CONTROL PLAN MUST
BE SUBMITTED TO THE BUCKS COUNTY CONSERVATION DISTRICT."
2. PERMANENT STABILIZATION, UNDER 25 PA CODE §102.22(A)(2), OF THE EARTH DISTURBANCE ACTIVITIES
HAS OCCURRED AND THE INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED
AND IMPLEMENTED PER §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL AND
PCSM REQUIREMENTS) HAS OCCURRED.

TITLE _____
SIGNATURE _____ DATE _____

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS
NOTICE FOR CONSTRUCTION PHASE AND 10
WORKING DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

- SHEET INDEX
1. MINOR SUBDIVISION PLAN
 2. EXISTING FEATURES & NATURAL RESOURCES PLAN
 3. GRADING AND UTILITY PLAN
 4. EROSION AND SEDIMENT CONTROL PLAN
 5. EROSION AND SEDIMENT CONTROL NOTES & DETAILS



OWNER/APPLICANT
ALBERTO & ROSE MARIE TECCE
3476 POND VIEW DRIVE
CHALFONT, PA. 18914

ZONING
ZONING DISTRICT: RR-RESIDENTIAL DISTRICT
USE: B1-SINGLE FAMILY (PERMITTED BY RIGHT)

TOTAL SITE AREA: 71,095 SF (1.632 AC.)
LESS UTIL. R.O.W.: 8,856 SF (0.203 AC.)
BASE SITE AREA: 62,239 SF (1.429 AC.)
LESS PROP. SAN ESMT: 2,699 SF (0.062 AC.)
RATIO BASE SITE AREA: 59,540 SF (1.367 AC.)

LOT SIZE: REQUIRED 43,560 SF (1 Ac.), PROPOSED LOT 1 31,070 SF (0.71 Ac.), PROPOSED LOT 2 31,169 SF (0.72 Ac.)

UNITS PROPOSED: 2

LOT WIDTH: 150 FT., 147 FT., 107 FT.
LOT DEPTH: 180 FT., 442 FT., 376 FT.

FRONT: 50 FT., 54 FT., 54 FT.
SIDE: 25 FT., 25 FT., 25 FT.
REAR: 75 FT., 282 FT., 234 FT.
BUILDING HEIGHT: 35 FT., <35 FT., <35 FT.
BLDG. COVERAGE: MAX. 15%, 12%, 9%

SITE LOT IMPERVIOUS COVER: 20%/25%, 18%, 22%
VARIANCE GRANTED: BUILDING ENVELOPE 5000 SF., 5946 SF., 6223 SF.

PUBLIC WATER AND SEWER PROPOSED (AVAILABLE IN SELLERSVILLE ROAD)

THE ZONING HEARING BOARD OF NEW BRITAIN TOWNSHIP GRANTED ON
DECEMBER 26, 2018 THE FOLLOWING VARIANCES:

SECTION 27-902.b TO PERMIT LOT 1 TO HAVE A LOT AREA OF 0.71 ACRES, AND TO PERMIT LOT 2 TO HAVE A LOT AREA OF 0.72 ACRES, WHERE THE REQUIRED MINIMUM LOT AREA IS 1 ACRE.

SECTION 27-2101 TO PERMIT A SINGLE FAMILY DETACHED DWELLING ON LOT 1 AND LOT 2, WHERE EACH PROPOSED LOT IS LESS THAN THE REQUIRED MINIMUM LOT SIZE.

SECTION 27-902.b TO PERMIT LOT 1 TO HAVE A LOT WIDTH AT THE FRONT BUILDING SETBACK LINE OF 147 FEET, AND TO PERMIT LOT 2 TO HAVE A LOT WIDTH OF 107 FEET AT THE FRONT BUILDING SETBACK LINE, WHERE THE REQUIRED MINIMUM LOT WIDTH AT THE FRONT BUILDING SETBACK LINE IS 150 FEET.

SECTION 27-201 TO PERMIT LOT 1 AND LOT 2 TO HAVE VARYING DISTANCES BETWEEN THE SIDE LOT LINES THAT ARE LESS THAN THE REQUIRED MINIMUM DISTANCE OF AT LEAST 60% OF THE REQUIRED MINIMUM LOT WIDTH, AS SHOWN ON THE DEFINITIVE PLAN MARKED AS EXHIBIT B-2.

SECTION 27-2103 TO ALLOW CONSTRUCTION OF THE SINGLE FAMILY DETACHED DWELLINGS IN AREAS OF LOT 1 AND LOT 2 WHERE SUCH LOT LACKS A REQUIRED MINIMUM LOT WIDTH AND/OR DISTANCE BETWEEN THE SIDE LOT LINES.

THE RELIEF GRANTED ABOVE IS SUBJECT TO THE FOLLOWING CONDITIONS:

1. THE PROPOSED TWO (2) LOT MINOR SUBDIVISION OF THE PROPERTY, AND THE RESULTING LAYOUT OF LOT 1 AND LOT 2, SHALL BE IN ACCORDANCE WITH DEFINITIVE PLAN MARKED AS EXHIBIT B-2, THE OTHER EVIDENCE, REPRESENTATIONS AND CREDIBLE TESTIMONY MADE AT THE HEARING.
2. THE DRIVEWAY LOCATIONS PROPOSED FOR LOT 1 AND LOT 2 AS SHOWN ON EXHIBIT B-2 ARE NOT DEFINITIVE, THE LOCATIONS OF THE DRIVEWAYS SHALL BE DETERMINED DURING THE MINOR SUBDIVISION REVIEW AND APPROVAL PROCESS.
3. FULL SCREEN PLANTINGS SHALL BE INSTALLED ON LOT 2 IN AN AREA TO CREATE SUFFICIENT BUFFER TO THE HOUSE ON THE ADJOINING WYPLINGER TRACT, THE EXTENT AND NATURE OF THIS BUFFER SHALL BE DETERMINED DURING THE MINOR SUBDIVISION REVIEW AND APPROVAL PROCESS.
4. THE DECISION DOES NOT WAIVE ANY REQUIREMENTS OF ANY OTHER APPLICABLE NEW BRITAIN TOWNSHIP ORDINANCE(S); AND THE PROPOSED USE AND/OR IMPROVEMENTS MUST MEET ALL OTHER APPLICABLE FEDERAL, STATE, COUNTY AND NEW BRITAIN TOWNSHIP REGULATIONS AND CODES.

WAIVERS GRANTED PER NEW BRITAIN TOWNSHIP RESOLUTION 2021-22 DATED SEPTEMBER 27, 2021:

1. SECTION 22-703.4.A(4) & 22-703.4.C - ALLOWING FOR A LOT DEPTH THAT IS APPROXIMATELY 3.5 TIMES ITS WIDTH FOR LOT 2
2. SECTION 22-704.2.A - ALLOWING A 15 FT WIDE UTILITY EASEMENT FOR A SANITARY SEWER LATERAL THROUGH LOT 1, CONDITIONED UPON CNBUSA APPROVING THE SIZE AND LOCATION OF THIS EASEMENT
3. SECTION 22-704.4 - ALLOWING THE DRIVEWAY FOR LOT 1 WITHIN THE 15 FT WIDE UTILITY EASEMENT
4. SECTION 22-705.3.A, C, & G - FROM ALL REQUIRED ROAD IMPROVEMENTS TO SELLERSVILLE ROAD; CONDITIONED UPON APPLICANT PROVIDING A FEE-IN-LIEU OF PURSUANT TO TOWNSHIP RESOLUTION 2007-12
5. SECTION 22-706.1 & 2 - FROM INSTALLING CURBING AND SIDEWALKS ALONG SELLERSVILLE ROAD; CONDITIONED UPON APPLICANT PROVIDING A FEE-IN-LIEU OF PURSUANT TO TOWNSHIP RESOLUTION 2007-12
6. SECTION 22-712.5(E) - ALLOWING A SIX INCH DIAMETER STORM PIPE FOR ROOF DRAINS
7. SECTION 22-713.4 - ALLOWING STREET TREES TO BE PLANTED ELSEWHERE ON SITE TO AVOID CONFLICTS WITH UTILITIES

IMPERVIOUS SURFACE NOTES:
1. THE ON-SITE STORMWATER FACILITIES HAVE BEEN DESIGNED TO MANAGE IMPERVIOUS SURFACES UP TO 25% OF THE RATIO BASE SITE AREA. ANY FUTURE IMPERVIOUS UP TO THE 25% MAXIMUM SHALL BE DIRECTED TO THE ON-LOT BASINS. THE DRIVEWAYS AS SHOWN ARE INTENDED TO BYPASS THE BASIN.

IMPERVIOUS SURFACE TABLE

	TOTAL PRE-DEV. IMP. (SF)	IMP. TO BE REMOVED (SF)	EXIST. IMP. TO REMAIN (SF)	PROPOSED LOT 1 IMP. (SF)	PROPOSED LOT 2 IMP. (SF)	TOTAL POST DEV. IMP. (SF)
HOUSE	1,606	1,606	0	3,280	2,363	5,643
EX. STONE DRIVE	1,113	1,113	0	0	0	0
SHED	103	103	0	0	460	460
PAVING	0	0	0	1,245	3,129	4,374
PATIO/STEPS/CONCRETE WALKS	0	0	0	630	853	1,483
TOTAL IMPERVIOUS AREA:	2,822	2,822	0	5,155	6,805	11,960
PROP. SANITARY EASEMENT:				2,699		
RATIO BASE SITE AREA:				28,371	31,169	59,540
TOTAL POST DEV. IMP. RATIO:				18%	22%	20%

- GENERAL NOTES:
1. PLAN SHEETS 1 - 5 OF 5 AS SHOWN IN THE SHEET INDEX SHALL BE CONSIDERED A PART OF THE APPROVED PLAN SET AS IF RECORDED WITH SAME.
 2. THE ULTIMATE RIGHT-OF-WAY ALONG SELLERSVILLE ROAD IS HEREBY OFFERED FOR DEDICATION TO NEW BRITAIN TOWNSHIP.
 3. A BLANKET EASEMENT OVER THE PROPERTY IS HEREBY OFFERED TO THE TOWNSHIP FOR ACCESS, INSPECTION, AND MAINTENANCE OF THE ON-SITE STORMWATER FACILITIES. THE INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON EACH LOT.
 4. THE APPLICANT IS REQUIRED TO MAINTAIN THE AREA OF THE CLEAR SIGHT TRIANGLES. THE TOWNSHIP HAS THE RIGHT TO ENTER AND PERFORM REQUIRED MAINTENANCE IN THE AREA IF DEEMED CRITICAL TO PUBLIC WELFARE. NO STRUCTURE, FENCE, PLANTING, OR OTHER OBSTRUCTION SHALL BE MAINTAINED BETWEEN A VERTICAL PLANE 2FT ABOVE CURB LEVEL AND A PLANE 7FT ABOVE CURB LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY WITHIN THE CLEAR SIGHT TRIANGLES SHOWN ON THIS PLAN. VEGETATION NOTED TO BE CLEARED WITHIN THE CLEAR SIGHT TRIANGLES SHALL BE REQUIRED TO BE REMOVED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR ANY LOT WITHIN THE SUBDIVISION.
 5. ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND SIMILAR INSTALLATIONS SHALL BE PLACED UNDER GROUND.
 6. ALL MONUMENTATION SHALL BE SET BY A PROFESSIONAL LAND SURVEYOR AND ARE TO BE SET PRIOR TO PLAN RECORDATION UNLESS THE COST FOR THIS WORK IS INCLUDED IN A FINANCIAL SECURITY AGREEMENT.
 7. INDIVIDUAL BUILDING PERMIT PLANS, STORMWATER DESIGN, AND EROSION AND SEDIMENT CONTROL PLANS SHALL BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO CONSTRUCTION OF EACH LOT.
 8. IN THE OPINION OF THE TOWNSHIP ENGINEER'S REPRESENTATIVE, ANY TREES, SHRUBS, OR GROUND COVER DAMAGED, KILLED, OR DISTURBED DURING OR AS A RESULT OF CONSTRUCTION SHOULD BE REPLACED ON AN EQUIVALENT CALIBER BASIS AND GUARANTEED FOR ONE YEAR.
 9. THIS PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN PER THE FOLLOWING FLOOD INSURANCE RATE MAPS (FIRM): BUCKS COUNTY, PENNSYLVANIA; MAP NUMBER: 42014C02286K, REVISED MARCH 21, 2017.
 10. BITUMINOUS PAVING MIXTURES SHALL NOT BE INSTALLED BETWEEN OCTOBER 31 AND APRIL 1, UNLESS PERMITTED BY THE TOWNSHIP ENGINEER. BITUMINOUS PAVING MIXTURES SHALL NOT BE PLACED WHEN SURFACES ARE WET OR WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT.
 11. INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE SANITARY SEWER LATERALS LOCATED OUTSIDE OF THE PUBLIC RIGHTS OF WAY AND WITHIN THE EASEMENT ON LOT 1. A 15 FT WIDE PRIVATE EASEMENT IS PROVIDED ON LOT 1 IN FAVOR OF LOT 2 FOR THE SANITARY LATERAL. MAINTENANCE RESPONSIBILITIES WILL BE IN ACCORDANCE WITH THE EASEMENT AGREEMENT BETWEEN THE INDIVIDUAL OWNERS OF LOTS 1 AND 2.
 12. AS-BUILT PLANS SHALL BE PROVIDED FOR ANY UNDERGROUND DETENTION BASIN TO VERIFY IT WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLAN PRIOR TO BACKFILLING OF THE BASIN.

PLAN NOTATION - THESE DOCUMENTS ARE ESPECIALLY PREPARED FOR THIS PROJECT AND ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE ON ANY EXTENSION OR MODIFICATION OF THIS PROJECT OR FOR ANY OTHER PROJECT. R. L. SHOWALTER & ASSOCIATES, INC. SHALL ONLY CERTIFY THOSE DOCUMENTS THAT CONTAIN A SEAL AND SIGNATURE. ANY REUSE OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF R. L. SHOWALTER & ASSOCIATES, INC. OR THEIR USE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY WERE PREPARED IS STRICTLY PROHIBITED. IF USED FOR OTHER THAN THIS PROJECT OR OTHER THAN THE PURPOSE FOR WHICH THEY WERE PREPARED, SUCH USE SHALL CONSTITUTE AN AGREEMENT BY THE PARTY USING THE DOCUMENTS AND THE CLIENT TO INDEMNIFY AND HOLD R. L. SHOWALTER & ASSOCIATES, INC. AND ITS SHAREHOLDERS, OFFICERS, DIRECTORS, PRINCIPALS AND EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING REASONABLE ATTORNEY'S FEES AND LITIGATION COSTS) ARISING AS THE RESULT OF SUCH USE, EXCEPTING ONLY THOSE DAMAGES, LIABILITIES AND COSTS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF R. L. SHOWALTER & ASSOCIATES, INC.

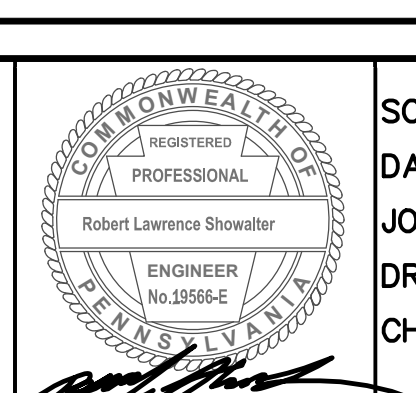
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REVISIONS

DATE	COMMENT
10/15/2021	PER 6/7/21 GILMORE & 8/6/21 CKS REVIEWS
9/23/2021	ADD BUFFER PLANTINGS PER ZHB

MINOR SUBDIVISION
PLAN
PRELIMINARY/FINAL

R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684



SCALE: 1"=30'
DATE: 04/21/2021
JOB NO.: 2014-039
DRAWN BY: JHS
CHECKED BY: RLS

SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA
PREPARED FOR:
ALBERTO TECCE
9 SELLERSVILLE RD.
CHALFONT, PA

SHEET
1 OF 5

SITE CAPACITY CALCULATIONS (§27-2402)

A. GROSS SITE AREA (GSA) 1.63 AC.
 B. BASE SITE AREA
 GROSS SITE AREA = 1.63 AC.
 ULTIMATE RIGHT-OF-WAY AREA = 0.20 AC.
 BASE SITE AREA = 1.43 AC.

C. LAND WITH RESOURCE RESTRICTIONS AND RESOURCE PROTECTION LAND.

Natural Resources	Protection Ratio	Area of Land in Resources (AC)	Resource Protection Land (Acres x Protection Ratio)	Acres of Land to be Disturbed (AC)	Acres of Land Allowed to be Disturbed (AC)
Watercourses	1.00	0.000	0.000	0.000	0.000
Riparian Buffer	1.00	0.000	0.000	0.000	0.000
Floodplain	1.00	0.000	0.000	0.000	0.000
Floodplain (Alluvial) Soils	1.00	0.000	0.000	0.000	0.000
Wetlands	1.00	0.000	0.000	0.000	0.000
Lakes or Ponds	1.00	0.000	0.000	0.000	0.000
Woodlands	0.80	0.378	0.302	0.015	0.076
Steep Slopes 8-15%	0.60	0.000	0.000	0.000	0.000
Steep Slopes 15-25%	0.70	0.000	0.000	0.000	0.000
Steep Slopes 25% or Greater	0.85	0.000	0.000	0.000	0.000
Total Land with Resource Protection			0.302		

D. MINIMUM OPEN SPACE
 BASE SITE AREA 1.43 AC.
 MULTIPLY BY MIN. OPEN SPACE RATIO N/A
 STANDARD MIN. OPEN SPACE N/A

E. DETERMINE REQUIRED OPEN SPACE
 THE REQUIRED OPEN SPACE IS THE TOTAL OF THE RESOURCE PROTECTION LAND WITH A 1.00 PROTECTION RATIO OR THE MINIMUM OPEN SPACE, WHICHEVER IS GREATER N/A

F. NET BUILDABLE SITE AREA
 BASE SITE AREA 1.43 AC.
 SUBTRACT RESOURCE PROTECTED LAND (W/1.00 PROTECTION RATIO) 0
 NET BUILDABLE SITE AREA (NBSA) 1.43 AC.

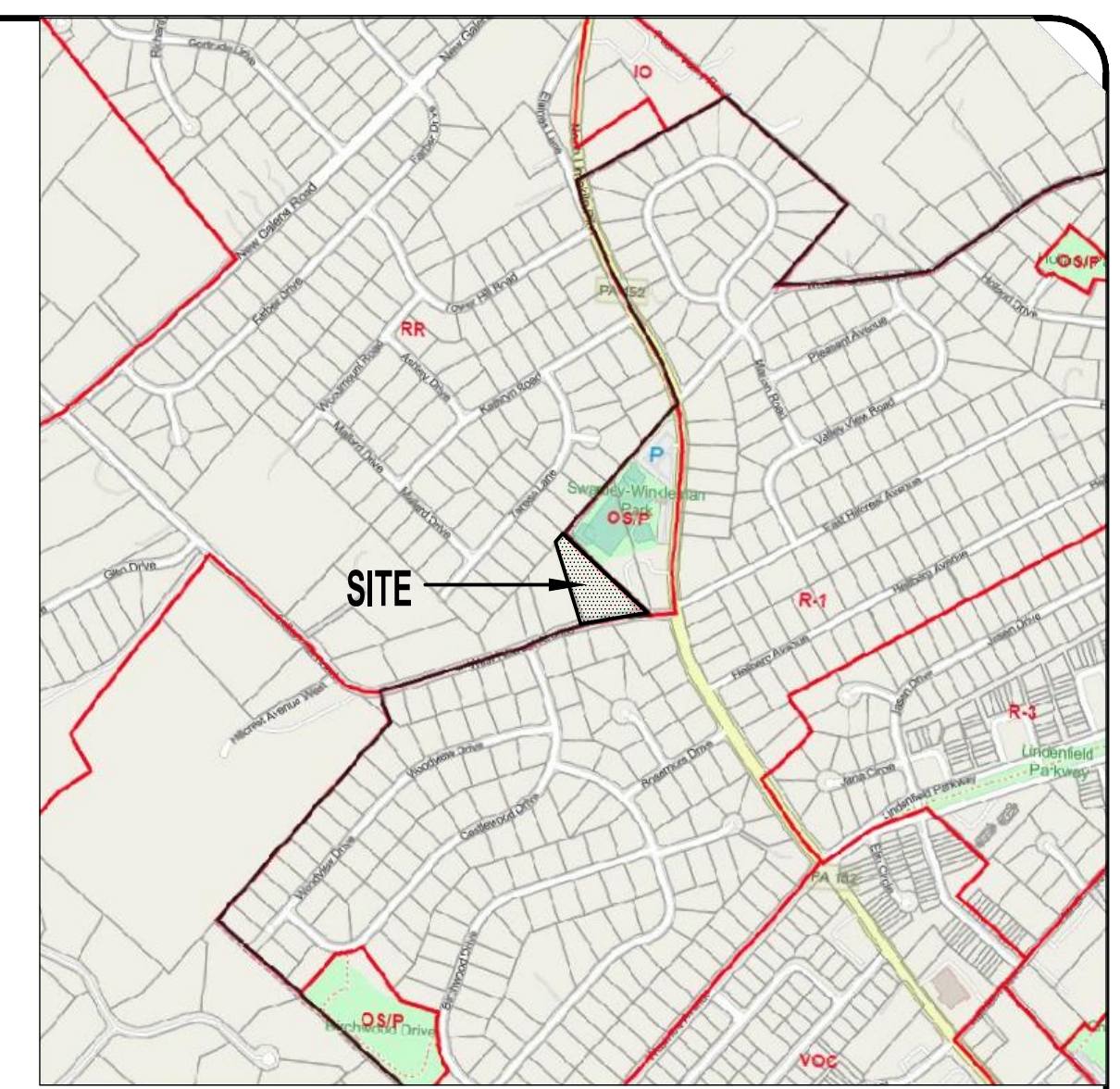
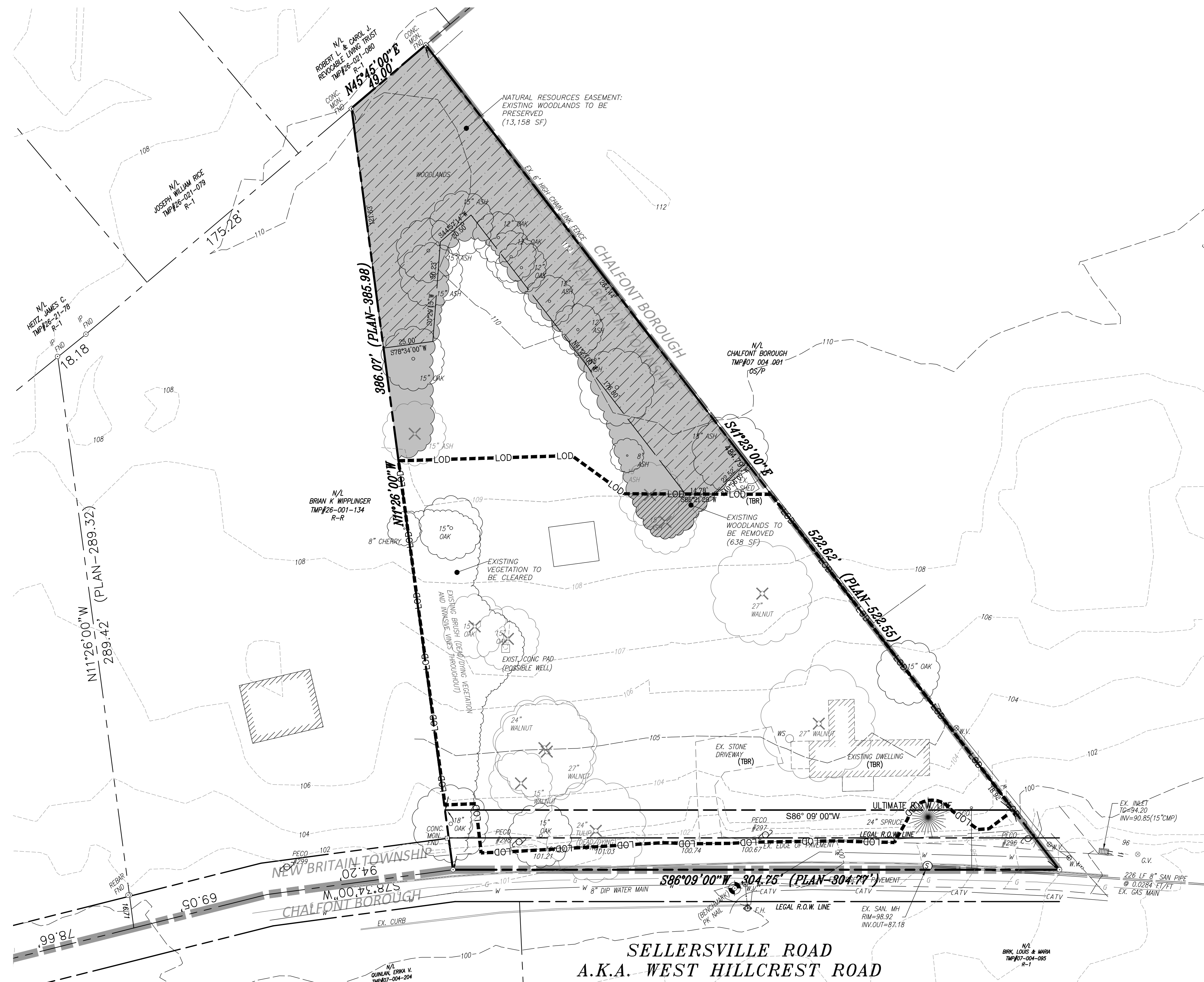
G. NUMBER OF DWELLING UNITS/LOTS
 NET BUILDABLE SITE AREA
 MULTIPLY BY MAX. DENSITY N/A
 NUMBER OF DWELLING UNITS PERMITTED = N/A UNITS/LOTS

H. IMPERVIOUS SURFACES
 RATIO BASE SITE AREA (BASE SITE AREA - SAN ESMT) 1.43 AC. - 0.06 = 1.37 AC.
 MULTIPLY BY MAX. IMPERVIOUS SURFACE RATIO X .20
 MAXIMUM PERMITTED IMPERVIOUS SURFACE 0.27 AC.
 PROPOSED IMPERVIOUS SURFACE AC.

- EXISTING WOODLANDS
- EXISTING WOODLANDS (TO BE REMOVED)
- NATURAL RESOURCES EASEMENT EXISTING WOODLANDS (TO BE PRESERVED)

LEGEND

	BOUNDARY LINE
	ADJ. BOUNDARY
	ROW (ULTIMATE & LEGAL)
	EXISTING CONTOUR MNR
	EXISTING CONTOUR MAR
	EXISTING SOILS
	IRON PIN FOUND
	CONC. MONUMENT FOUND
	EXISTING UTIL. POLE
	EXISTING WATER VALVE
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING INLET
	EXISTING TREE EXISTING
	EVERGREEN TREE
	EXISTING TREE (TBR)



OWNER/APPLICANT
 ALBERTO & ROSE MARIE TECCE
 3476 FOND VIEW DRIVE
 CHALFONT, PA. 18914

SITE ADDRESS
 9 SELLERSVILLE ROAD
 CHALFONT, PA. 18914
 TM# 26-001-133
 DEED BOOK/PAGE: 1592/0145

SURVEY NOTES:

- PROPERTY INFORMATION TAKEN FROM DEEDS OF RECORD.
- EXISTING FEATURES AND GRADING BASED ON AN ACTUAL FIELD SURVEY BY R. L. SHOWALTER & ASSOCIATES INC. DECEMBER, 2014.
- BENCHMARK BASED ON PK-NAIL SET IN SELLERSVILLE ROAD. ASSUMED ELEVATION = 100.00

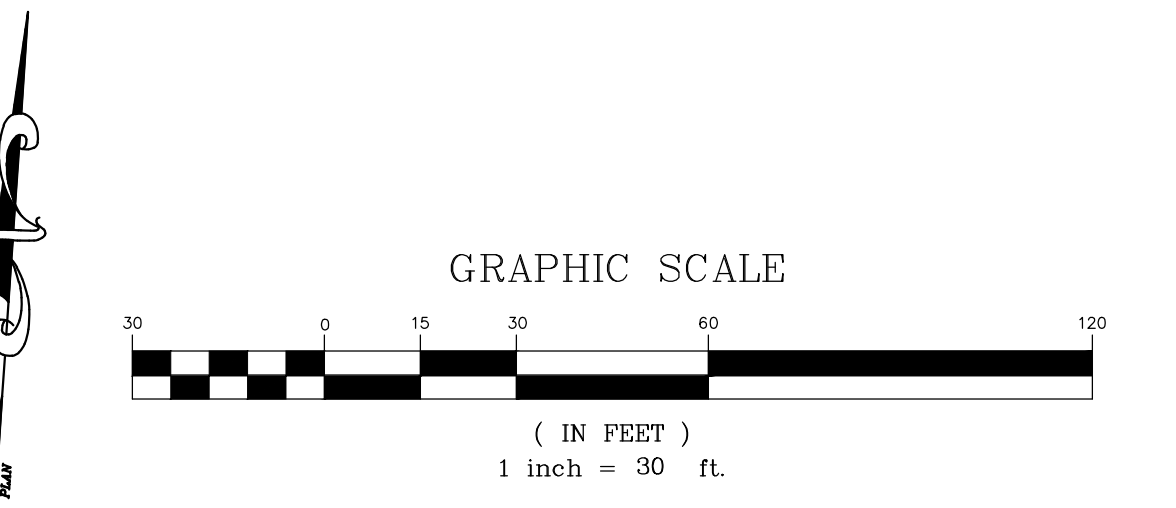
PA ONE CALL UTILITIES-NEW BRITAIN TOWNSHIP

USER NAME	ADDRESS	CONTACT	RESULTS
ONETUSA	1645 UPPER STATE RD DOY BOSTOWN PA. 18901	JOHN SCHMIDT jschmidt@onetusa.org	LINES MARKED
NEW BRITAIN TWP	207 PARK AVE. CHALFONT, PA. 18914	RYAN CRESSMAN RCRESSMAN@NEWBRITAIN.TOWNSHIP.ORG	CLEAR
COMCAST CABLE COMMUNICATIONS	55 INDUSTRIAL DR WYLAND, PA. 18974	KA THE BROWN	CLEAR
VERIZON PA	1050 VIRGINIA DR FORT WASHINGTON, PA. 19034	DARLENE LEPPER JOHNSON	PLAN RECEIVED
AQUA PA	762 W LANCASTER AVE BRYN MAWR, PA. 19010	STEVE PZZI spozz@aquamerica.com	PLAN RECEIVED
NEMIA	300 FORTY FOOT RD LANSDALE, PA. 19446	STEVE FRETZ SFRETZ@NEMIA.ORG	CLEAR
FORMERLY PRL TELECOM LLC	1060 HA ROEBB DR UNIT H ABERDEEN, MD. 21001	GEORGE HUSS GEORGE.HUSS@ZAYO.COM	CLEAR
PECO	450 S HENDERSON RD KING OF PRUSSIA, PA. 19406	NIKHIA SIMPKINS NSIMP@PECO.COM	PLANS RECEIVED

SOILS

SYMBOL	NAME	HSG	FARMLAND CLASSIFICATION
UgB	URBAN LAND-ABBOTTSTOWN COMPLEX 0-8% SLOPES	D	NOT PRIME FARMLAND

SOIL INFORMATION BASED ON USDA WEB SOIL SURVEY - SOIL SURVEY AREA OF BUCKS COUNTY, PENNSYLVANIA - SURVEY DATA VERSION 17, JUNE 4, 2020.



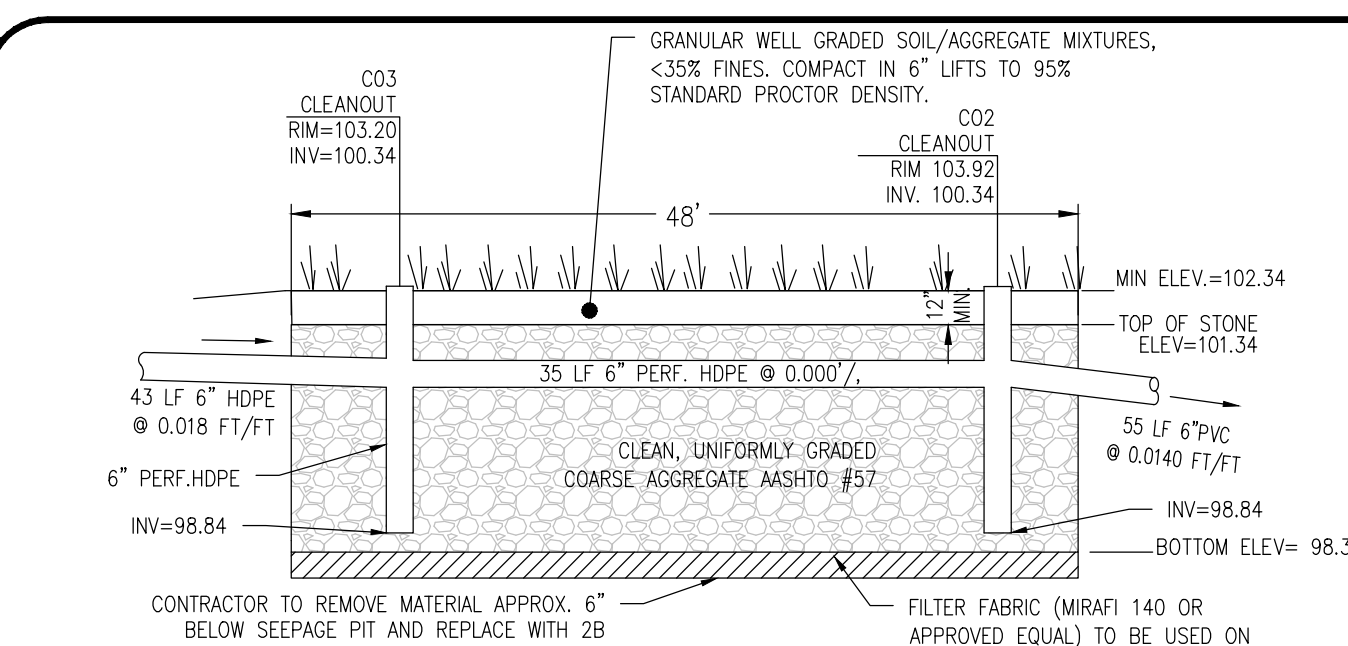
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776

ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 121, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW", (AMENDS PENNSYLVANIA ACT 287 AND REPLACES PENNSYLVANIA ACT 173). ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND LINES OF A USER, SUCH AS A PUBLIC UTILITY, HAS BEEN INCORPORATED HEREON PURSUANT TO SAID PENNSYLVANIA ACT 121. THIS INFORMATION HAS BEEN PROVIDED BY THE RESPECTIVE USERS IN RESPONSE TO THE PA ONE CALL SYSTEM REFERENCE SERIAL #2021031818, PER WEB TICKET ON 2-08-2021.
 SHOWALTER AND ASSOCIATES HAS NOT MADE AN INDEPENDENT DETERMINATION WITH RESPECT TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND SPECIFICALLY DISCLAIMS ANY WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF SUCH INFORMATION. ALL LOCATIONS OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

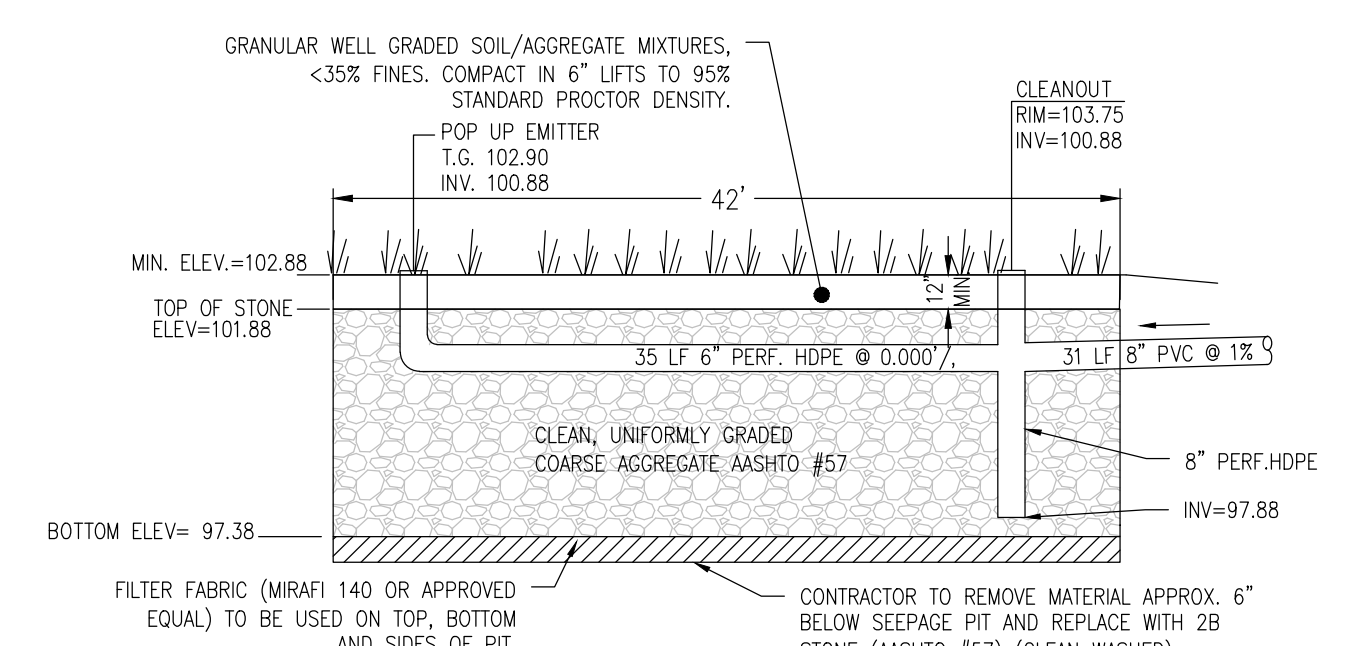
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REVISIONS	DATE	COMMENT
10/15/2021	PER 6/7/21 GILMORE & 8/6/21 CKS REVIEWS	
9/23/2021	ADD BUFFER PLANTINGS PER ZHB	

<p>EXISTING FEATURES & NATURAL RESOURCES PLAN</p>	<p>R. L. Showalter & Associates, Inc. 116 East Butler Avenue Chalfont, PA 18914 (215) 822-2990 FAX (215) 822-5684</p>		<p>SCALE: 1"=30'</p>	<p>SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA</p>	<p>SHEET 2 OF 5</p>
			<p>DATE: 04/21/2021 JOB NO.: 2014-039 DRAWN BY: JHS CHECKED BY: RLB</p>		

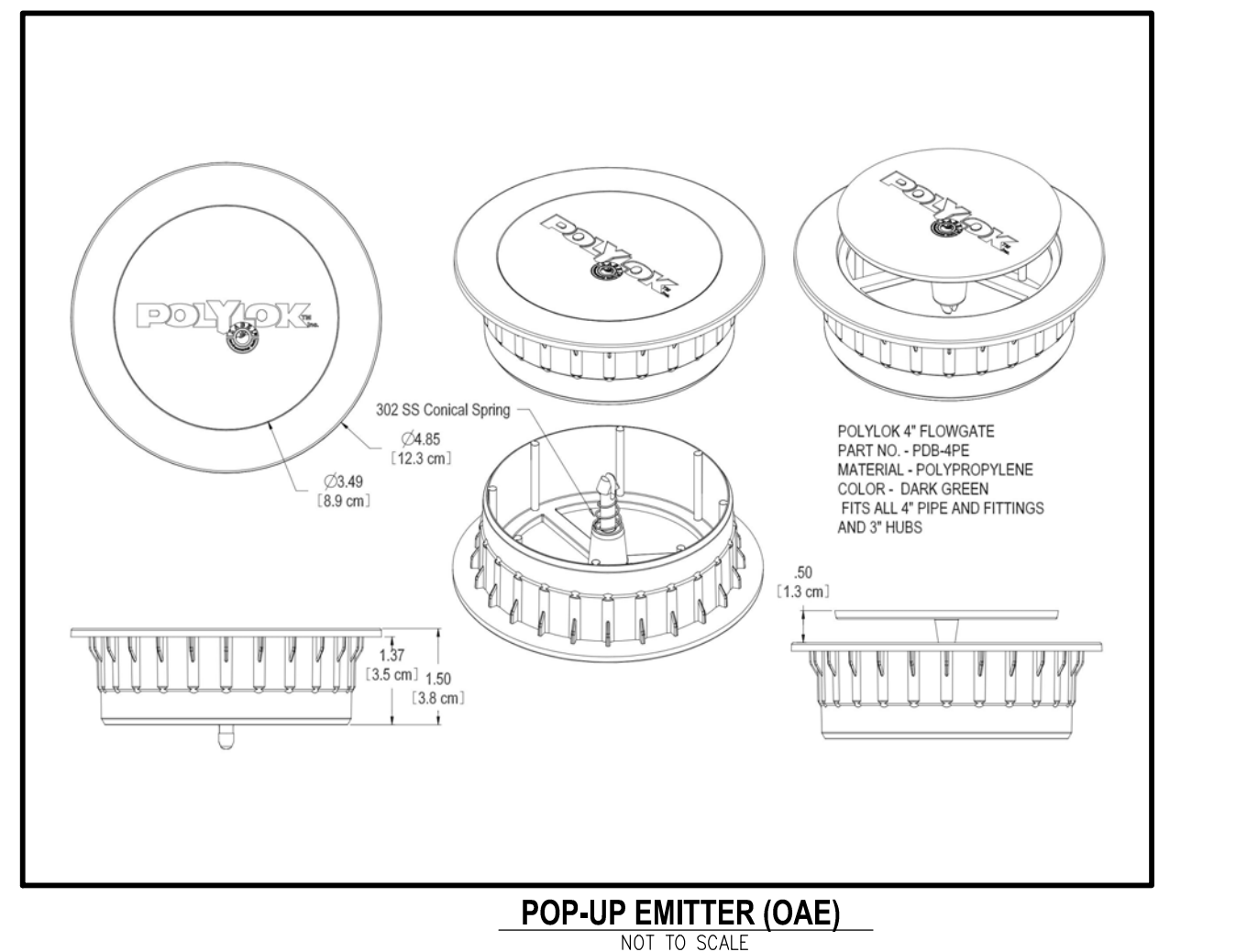


**25'X48'X3'
PROP. UNDERGROUND
INFILTRATION BASIN A**
NOT TO SCALE



**32'X42'X4.5'
PROP. UNDERGROUND
INFILTRATION BASIN B**
NOT TO SCALE

- SPECIFICATIONS FOR INFILTRATION BASINS:**
- STONE FOR INFILTRATION BEDS TO BE 1"-2" CLEAN WASHED STONE, UNIFORMLY GRADED, AND SHALL HAVE 40% Voids AS MEASURED BY ASTM-D29.
 - NON-WOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
 - GRAB TENSILE STRENGTH (ASTM-D4632), 120 LBS
 - MULLEN BURST STRENGTH (ASTM-D3786), 225 PSI
 - FLOW RATE (ASTM-D4491), 95 GAL./MIN./SQ.FT.
 - UV RESISTANCE AFTER 500 HOURS (ASTM-D4355), 70%
 - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED. ACCEPTABLE TYPES INCLUDE MIRAFI 140N, AMOCO 4547, AND GEOTEX 451.
 - PIPE SHALL BE CONTINUOUSLY PERFORATED, SMOOTH INTERIOR. HIGH-DENSITY POLYETHYLENE (HDPE) SHALL MEET AASHTO M252, TYPE S OR AASHTO M284, TYPE A. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 1001, PENNDOT SPECIFICATIONS, 1990 OR LATEST EDITION.
 - PRECAST CONCRETE INLETS MAY BE SUBSTITUTED FOR CAST-IN-PLACE STRUCTURES AND SHALL BE CONSTRUCTED AS SPECIFIED FOR CAST-IN-PLACE.
 - ALL PVC CATCH BASINS/CLEANOUTS/INLINE DRAINS SHALL HAVE H-10 OR H-20 RATED GRATES DEPENDING ON THEIR PLACEMENT (H-20 IF VEHICULAR LOADING).
 - PERMANENT TURF REINFORCEMENT MATTING SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' SPECIFICATIONS.
 - DURING CONSTRUCTION, THE BASIN BOTTOM AREA WILL BE OVER EXCAVATED BY SIX (6) INCHES TO ENSURE POSITIVE INFILTRATION. THE OVER EXCAVATION WILL BE ABLE TO BE COMPLETED AS THE BEDROCK MATERIAL IS RIPPLEABLE SHALE.



LONG-TERM OPERATION, MAINTENANCE, AND INSPECTION SCHEDULE FOR STORMWATER MANAGEMENT FACILITIES

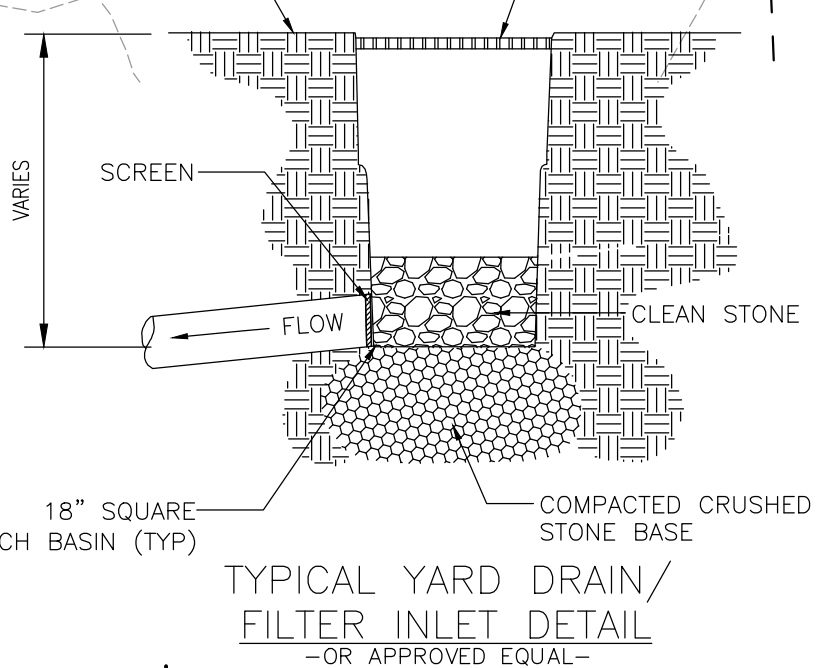
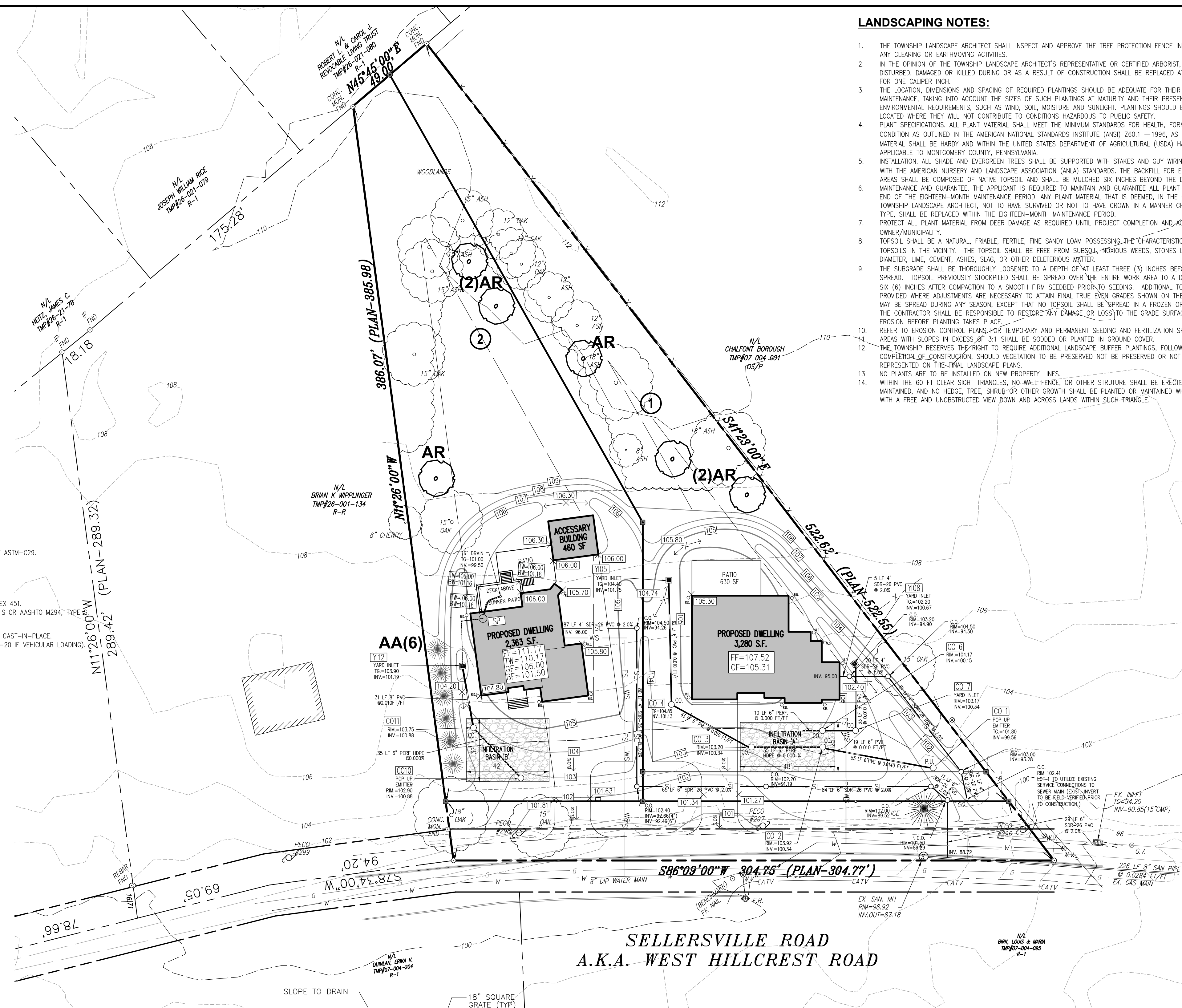
STORMWATER BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE
STORM SEWER INLETS, CLEANOUTS/PIPES	<ul style="list-style-type: none"> INLET GRATES SHOULD BE PULLED AND THE INSIDE OF THE INLET BOX SHOULD BE VISUALLY INSPECTED FOR SEDIMENT AND DEBRIS. ANY SEDIMENT FOUND SHOULD BE REMOVED AND ANY BLOCKAGE OF THE PIPES SHOULD BE FLUSHED WITH A GARDEN HOSE OR SIMILAR. 	<ul style="list-style-type: none"> INSPECT ANNUALLY AND AFTER EACH MAJOR RAINFALL EVENT
SEEDING AND MULCHING	<ul style="list-style-type: none"> SEED OR SOIL TO RESTORE DEAD OR DAMAGED GROUND COVER SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEEDED, AND MULCHED. 	<ul style="list-style-type: none"> ANNUAL MAINTENANCE AS NEEDED
VEGETATED CHANNELS/SWALES	<ul style="list-style-type: none"> INSPECT FOR EROSION AND DAMAGE TO VEGETATION. TRIM OR MOW VEGETATION TO CONTROL WEEDS AND INVASIVES RILLS AND GULLIES MAY BE FILLED WITH TOPSOIL, STABILIZED AND SEEDED. RESEED BARE AREAS. INSPECT FOR SEDIMENT ACCUMULATIONS AND DEBRIS AND REMOVE SEDIMENT AND DEBRIS WHEN TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. 	<ul style="list-style-type: none"> ANNUAL MAINTENANCE AS NEEDED MULCHING OR AERATION MAY BE REQUIRED
SEEPAGE PIT	<ul style="list-style-type: none"> REMOVE CLEANOUT CAPS OR INLET GRATES AND INSPECT FOR CLOGGING. REMOVE ACCUMULATED LEAVES, GRASS CLIPPINGS, TWIGS, SEDIMENT, AND OTHER DEBRIS AS REQUIRED TO KEEP THE DRAINAGE SYSTEM CLEAN. IF AFTER INSPECTION IT IS DETERMINED THAT SEDIMENT NEEDS TO BE REMOVED, INJECT SYSTEM WITH WATER, SUSPEND SILT, AND PUMP CHAMBER. INSPECT INFLOW AND OUTFLOW STRUCTURES FOR UNDERCUT OR ERODED AREAS, WEAR OR DAMAGE AND REPAIR AS NEEDED. 	<ul style="list-style-type: none"> INSPECT STRUCTURES QUARTERLY FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION, AND THEN ON A 6-MONTH BASIS THEREAFTER AND AFTER EACH MAJOR RAINFALL EVENT INSPECT/REPLACE STONE AND GEOTEXTILE EVERY 5 TO 7 YEARS AS NEEDED

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

REVISIONS

DATE	COMMENT
10/15/2021	PER 6/7/21 GILMORE & 8/6/21 CKS REVIEWS
9/23/2021	ADD BUFFER PLANTINGS PER ZHB



LANDSCAPING NOTES:

- THE TOWNSHIP LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE THE TREE PROTECTION FENCE INSTALLATION PRIOR TO ANY CLEARING OR EARTHMOVING ACTIVITIES.
- IN THE OPINION OF THE TOWNSHIP LANDSCAPE ARCHITECT'S REPRESENTATIVE OR CERTIFIED ARBORIST, ANY TREES DISTURBED, DAMAGED OR KILLED DURING OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED AT ONE CALIPER INCH FOR ONE CALIPER INCH.
- THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AT MATURITY AND THEIR PRESENT AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, MOISTURE AND SUNLIGHT. PLANTINGS SHOULD BE SELECTED AND LOCATED WHERE THEY WILL NOT CONTRIBUTE TO CONDITIONS HAZARDOUS TO PUBLIC SAFETY.
- PLANT SPECIFICATIONS. ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM, AND ROOT CONDITION AS OUTLINED IN THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - 1996, AS AMENDED. ALL PLANT MATERIAL SHALL BE HARDY AND WITHIN THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) HARDINESS ZONE 7a, APPLICABLE TO MONTGOMERY COUNTY, PENNSYLVANIA.
- INSTALLATION. ALL SHADE AND EVERGREEN TREES SHALL BE SUPPORTED WITH STAKES AND GUY WIRING IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS. THE BACKFILL FOR EXCAVATED PLANTING AREAS SHALL BE COMPOSED OF NATIVE TOPSOIL AND SHALL BE MULCHED SIX INCHES BEYOND THE DRIPLINE.
- MAINTENANCE AND GUARANTEE. THE APPLICANT IS REQUIRED TO MAINTAIN AND GUARANTEE ALL PLANT MATERIAL UNTIL THE END OF THE EIGHTEEN-MONTH MAINTENANCE PERIOD. ANY PLANT MATERIAL THAT IS DEEMED, IN THE OPINION OF THE TOWNSHIP LANDSCAPE ARCHITECT, NOT TO HAVE SURVIVED OR NOT TO HAVE GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE, SHALL BE REPLACED WITHIN THE EIGHTEEN-MONTH MAINTENANCE PERIOD.
- PROTECT ALL PLANT MATERIAL FROM DEER DAMAGE AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER/MUNICIPALITY.
- TOPSOIL SHALL BE A NATURAL, FRIABLE, FERTILE, FINE SANDY LOAM POSSESSING THE CHARACTERISTICS OF REPRESENTATIVE TOPSOILS IN THE VICINITY. THE TOPSOIL SHALL BE FREE FROM SUBSOIL, NOXIOUS WEEDS, STONES LARGER THAN 1" IN DIAMETER, LIME, CEMENT, ASHES, SLAG, OR OTHER DELETERIOUS MATTER.
- THE SUBGRADE SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF AT LEAST THREE (3) INCHES BEFORE TOPSOIL IS SPREAD. TOPSOIL PREVIOUSLY STOCKPILED SHALL BE SPREAD OVER THE ENTIRE WORK AREA TO A DEPTH OF AT LEAST SIX (6) INCHES AFTER COMPACTION TO A SMOOTH FIRM SEEDBED PRIOR TO SEEDING. ADDITIONAL TOPSOIL SHALL BE PROVIDED WHERE ADJUSTMENTS ARE NECESSARY TO ATTAIN FINAL TRUE EVEN GRADIES SHOWN ON THE DRAWINGS. TOPSOIL MAY BE SPREAD DURING ANY SEASON, EXCEPT THAT NO TOPSOIL SHALL BE SPREAD IN A FROZEN OR MUDDY CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGE OR LOSS TO THE GRADE SURFACE CAUSED BY EROSION BEFORE PLANTING TAKES PLACE.
- REFER TO EROSION CONTROL PLANS FOR TEMPORARY AND PERMANENT SEEDING AND FERTILIZATION SPECIFICATIONS.
- AREAS WITH SLOPES IN EXCESS OF 3:1 SHALL BE SOODED OR PLANTED IN GROUND COVER.
- THE TOWNSHIP RESERVES THE RIGHT TO REQUIRE ADDITIONAL LANDSCAPE BUFFER PLANTINGS, FOLLOWING SUBSTANTIAL COMPLETION OF CONSTRUCTION, SHOULD VEGETATION TO BE PRESERVED NOT BE PRESERVED OR NOT OTHERWISE BE AS REPRESENTED ON THE FINAL LANDSCAPE PLANS.
- NO PLANTS ARE TO BE INSTALLED ON NEW PROPERTY LINES.
- WITHIN THE 60 FT CLEAR SIGHT TRIANGLES, NO WALL FENCE, OR OTHER STRUCTURE SHALL BE ERRECTED, ALTERED OR MAINTAINED, AND NO HEDGE, TREE, SHRUB OR OTHER GROWTH SHALL BE PLANTED OR MAINTAINED WHICH SHALL INTERFERE WITH A FREE AND UNOBSTRUCTED VIEW DOWN AND ACROSS LANDS WITHIN SUCH TRIANGLE.

GRADING NOTES:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPICES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1%.
- EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL EARTH SLOPES AT 3:1 OR GREATER.

UTILITY NOTES:

- CONTRACTOR TO CONFIRM THE HORIZONTAL LOCATION AND VERTICAL ELEVATION OF UTILITIES BEING CROSSED OR CONNECTED INTO PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE INFORMED IN WRITING OF ANY DISCREPANCIES OR CLEARANCE ISSUES PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
- GAS, ELECTRIC, TELEPHONE AND CABLE TO BE DESIGNED BY RESPECTIVE PROVIDERS. DESIGN TO BE COORDINATED WITH CONTRACTOR.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
- ALL UNITS SHALL BE SERVED WITH PUBLIC WATER AND PUBLIC SANITARY SEWER. THE PROPOSED PUBLIC WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE NORTH PENN. WATER AUTHORITY AND CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWER AUTHORITY.
- NEW BRITAIN TOWNSHIP SHALL HAVE A BLANKET ACCESS EASEMENT OVER THE PROPERTY FOR MAINTENANCE AND REPAIR OF THE DETENTION BASIN AND STORMWATER DISCHARGE/CONVEYANCE AREAS.
- STEPS TO ACCESS THE OUTLET STRUCTURES, STORM MANHOLES AND INLETS SHALL BE PROVIDED FOR ANY STRUCTURE EXCEEDING 4 FEET IN DEPTH.
- ALL INLET GRATES IN PAVED AREAS SHALL BE BICYCLE SAFE GRATES.
- THE CHALFONT-NEW BRITAIN TOWNSHIP JOINT SEWER AUTHORITY SHALL BE PROVIDED WITH 48 HOURS ADVANCE NOTICE OF ANY CONSTRUCTION ON THE SANITARY SEWER SYSTEM. THE AUTHORITY REQUIRES THIS NOTICE TO SCHEDULE THE APPROPRIATE INSPECTIONS OF THE SEWER CONSTRUCTION.

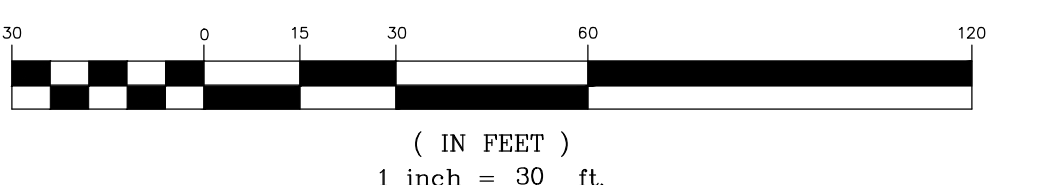
PLANTING SCHEDULE

BUFFER PLANTINGS	AMERICAN ARBORVITAE	6" HEIGHT MIN.	B&B	MATCH FORM
6" AR	AMERICAN ARBORVITAE	6" HEIGHT MIN.	B&B	MATCH FORM
STREET TREES (TO BE LOCATED ON-SITE)	RED MAPLE	3"-3 1/2" CAL. MIN.	B&B	MATCH FORM

LEGEND

- BOUNDARY LINE
- ADJ. BOUNDARY LINE
- SETBACK LINE
- EXISTING CONTOUR INTERVAL
- EXISTING CONTOUR INDEX
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING SANITARY LATERAL
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- EXISTING OVERHEAD ELECTRIC
- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- PROPOSED SANITARY LATERAL (6" PVC SDR26 @2% MIN)
- PROPOSED FIRE SERVICE 1"
- PROPOSED WATER SERVICE 1"
- EXISTING UTILITY POLE
- EXIST. WATER VALVE
- PROPOSED UTIL. POLE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING TREE
- EXISTING EVERGREEN TREE
- EXISTING TREE (TBR)

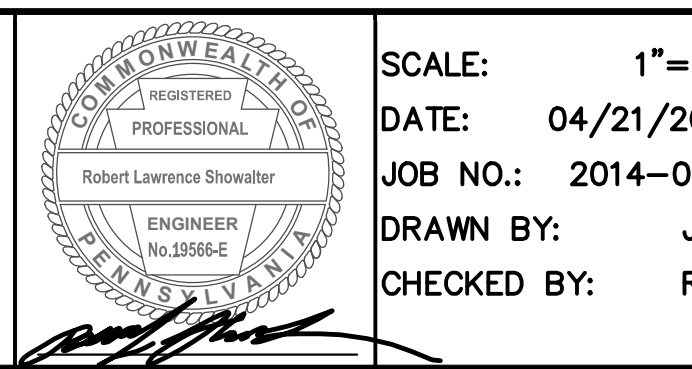
GRAPHIC SCALE



**SELLERSVILLE ROAD
A.K.A. WEST HILLCREST ROAD**

**GRADING & UTILITY
PLAN**

R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684



SCALE: 1"=30'
DATE: 04/21/2021
JOB NO.: 2014-039
DRAWN BY: JHS
CHECKED BY: RLS

SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA
PREPARED FOR:
ALBERTO TECCE
9 SELLERSVILLE RD.
CHALFONT, PA

SHEET
3 OF 5

SECTION 102.2(a) - SCOPE AND PURPOSE

1. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PREPARED AND COMPLETELY IMPLEMENTED.
2. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO LOCAL COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
3. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
4. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL COUNTY CONSERVATION DISTRICT.
5. OFF-SITE WASTE AND BORROW: THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES AND REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
6. ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
7. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
8. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE SITE AT ALL TIMES.
9. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

UTILITY LINE TRENCH EXCAVATION NOTES:

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUS CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
7. SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

1. E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
2. ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDED WITH PERMANENT SEED MIX AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) TEMPORARY SEED MIXTURE
 - ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.
 - ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (4) MULCH
 - ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
 - STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

SECTION 102.22(a) - PERMANENT SITE STABILIZATION

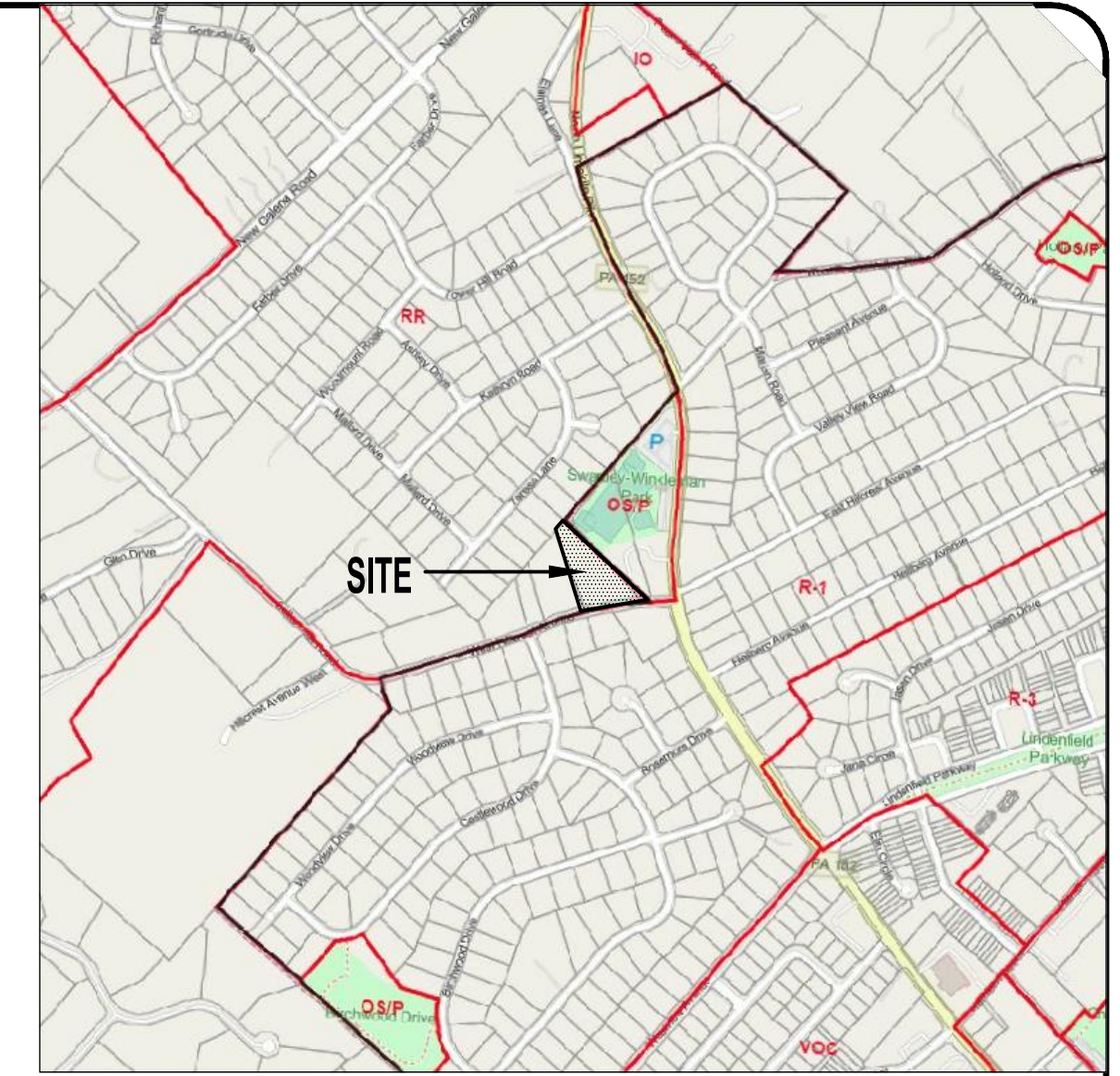
1. E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
3. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT P2CM BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
4. AREAS WHICH AREA TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
5. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O/RP SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REVEGETATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
7. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
8. MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING:
 - PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS:
 - (1) LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
 - FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)
 - IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:
 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - (3) PERMANENT SEED MIXTURE
 - IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102.
 - (A) ANNUAL RYEGRASS IS TO BE SEED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (B) TURF LAWN AND MOWED AREAS (SUNNY):
 - 60% KENTUCKY BLUEGRASS
 - 20% CREWINKS FESCUE
 - 20% PERENNIAL RYEGRASS
 - SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)
 - PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15
 - (C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%) EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:
 - CALCULATE PLS% FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS
 - DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63
 - THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
 - (4) MULCH
 - ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW. STRAW SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION WITH POLYMERIC OR GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. MULCH ON SLOPES OF 8% OR GREATER SHOULD BE HELD IN PLACE WITH NETTING OR EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
 - STRAW = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
 - (5) EROSION CONTROL BLANKET
 - ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HO OR EY WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.

SECTION 102.4(b)(5)(vii) - CONSTRUCTION SEQUENCE

1. UPON TEMPORARY CESSATION OF ALL EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.
2. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.

THE PROPOSED IMPROVEMENTS CONTAINED HEREIN SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE

1. THE CONTRACTOR SHALL NOTIFY NEW BRITAIN TOWNSHIP, THE TOWNSHIP ENGINEER, DESIGN ENGINEER AND BCCD AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
2. STAKE OUT LIMIT OF DISTURBANCE TO DELINEATE AREA WHERE WORK IS PERMITTED PRIOR TO ANY E&S MEASURES BEING INSTALLED. IF AT ANY TIME DURING CONSTRUCTION THE LIMIT OF DISTURBANCE EXCEEDS 1 ACRE, AN NPDES PERMIT WILL BE REQUIRED.
3. INSTALL CONSTRUCTION FENCE AROUND THE UNDERGROUND INFILTRATION AREA.
4. INSTALL COMPOST FILTER SOCK/TREE PROTECTION/CONSTRUCTION ENTRANCE WHERE INDICATED ON THE PLAN.
5. STRIP TOPSOIL FROM AREA OF PROPOSED CONSTRUCTION.
6. ROUGH GRADE SITE AS INDICATED ON PLAN.
7. INSTALL STONE BASE FOR PROPOSED DRIVEWAY.
8. ** PRIOR TO VERTICAL CONSTRUCTION, A STABLE BASE WILL BE ESTABLISHED. **
9. INSTALL NEW BUILDING FOUNDATIONS AND PROPOSED HOUSES.
10. INSTALL UNDERGROUND UTILITIES.
11. INSTALL UNDERGROUND INFILTRATION BASIN AND ROOF DRAIN SYSTEM. BLOCK INLETS UNTIL FINAL STABILIZATION HAS OCCURRED. BASIN BOTTOM ELEVATIONS SHALL BE AS-BUILT PRIOR TO BACKFILLING WITH STONE.
12. COMPLETE FINAL GRADING OF SITE.
13. TEMPORARILY SEED ALL BARE EARTH AREAS. ADDITIONAL TOPSOIL TO BE ADDED IF REQUIRED.
14. REMOVE COMPOST FILTER SOCK/TREE PROTECTION FENCE AFTER APPROVAL BY BCCD AND UPSTREAM AREAS HAVE ACHIEVED 70% UNIFORM STABILIZATION.
15. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

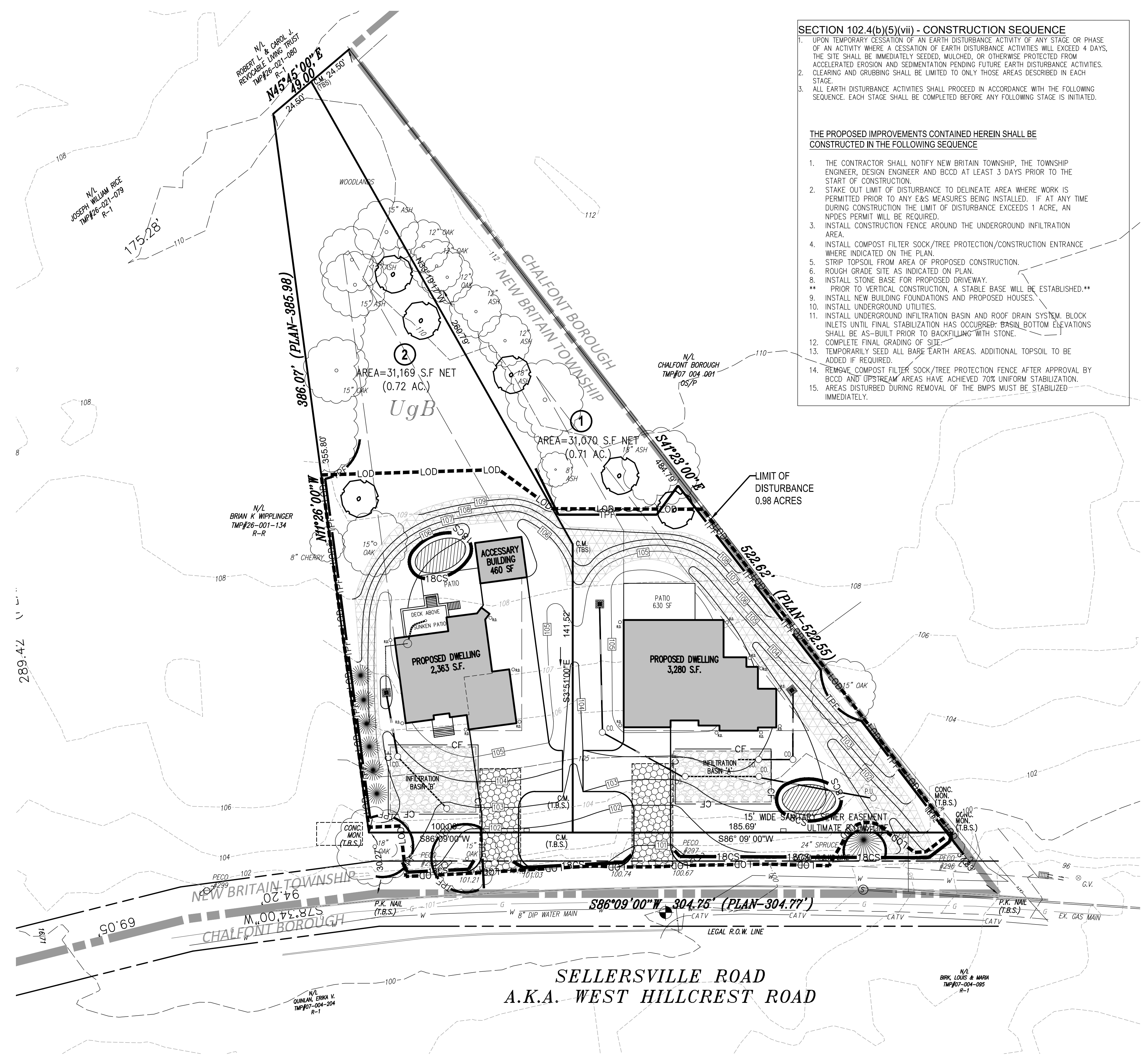
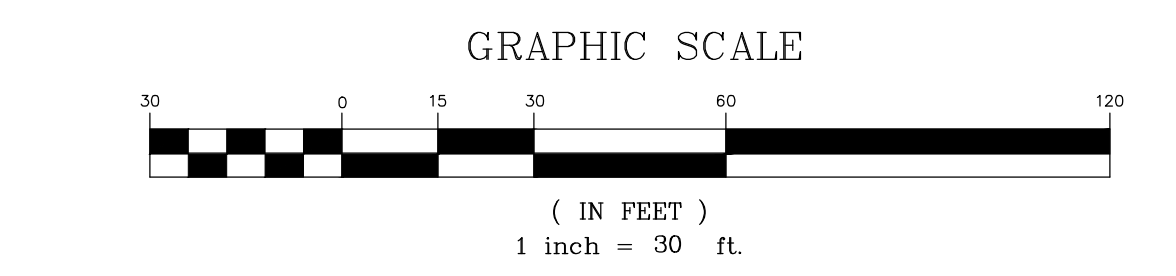
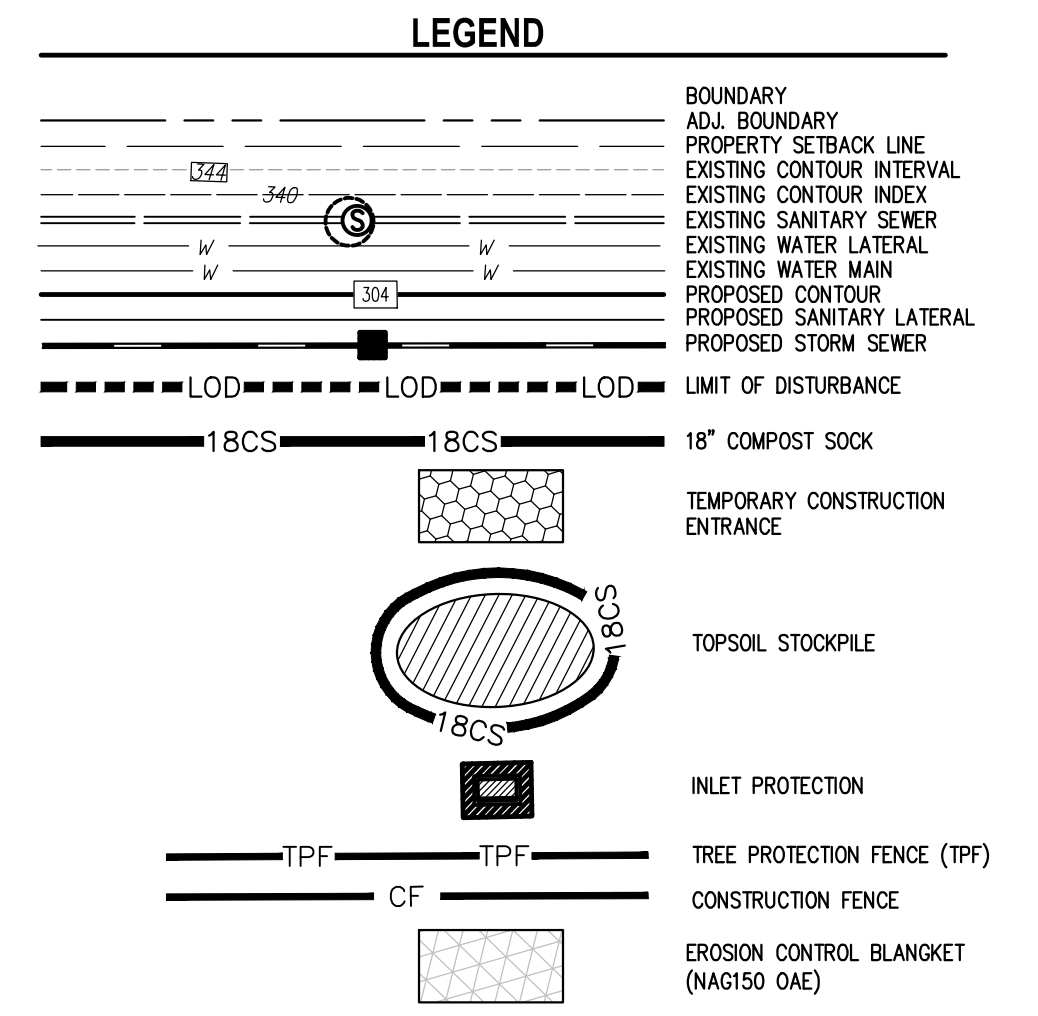


LOCATION MAP
SCALE 1" = 800'

OWNER/APPLICANT
ALBERTO & ROSE MARIE TECCE
3476 FORD VIEW DRIVE
CHALFONT, PA, 18914

SECTION 102.4(b)(5)(v) - SURFACE WATER CLASSIFICATION

THE SITE IS LOCATED WITHIN THE NESHAMMY CREEK WATERSHED. THE PROJECT'S RECEIVING WATERCOURSE IS AN UNNAMED TRIBUTARY TO THE NORTH BRANCH NESHAMMY CREEK. PER THE PENNSYLVANIA CODE, TITLE 25, CHAPTER 93 WATER QUALITY STANDARDS, THE RECEIVING WATERCOURSE HAS THE FOLLOWING STREAM DESIGNATION:
TSF - TROUT STOCKING FISHES
MF - MIGRATORY FISHES



**SELLERSVILLE ROAD
A.K.A. WEST HILLCREST ROAD**

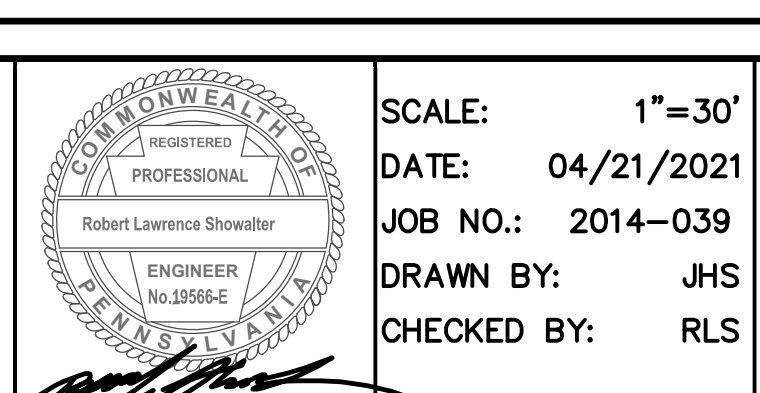
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

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REVISIONS	DATE	COMMENT
10/15/2021	PER 6/7/21 GILMORE & 8/6/21 CKS REVIEWS	
9/23/2021	ADD BUFFER PLANTINGS PER ZHB	

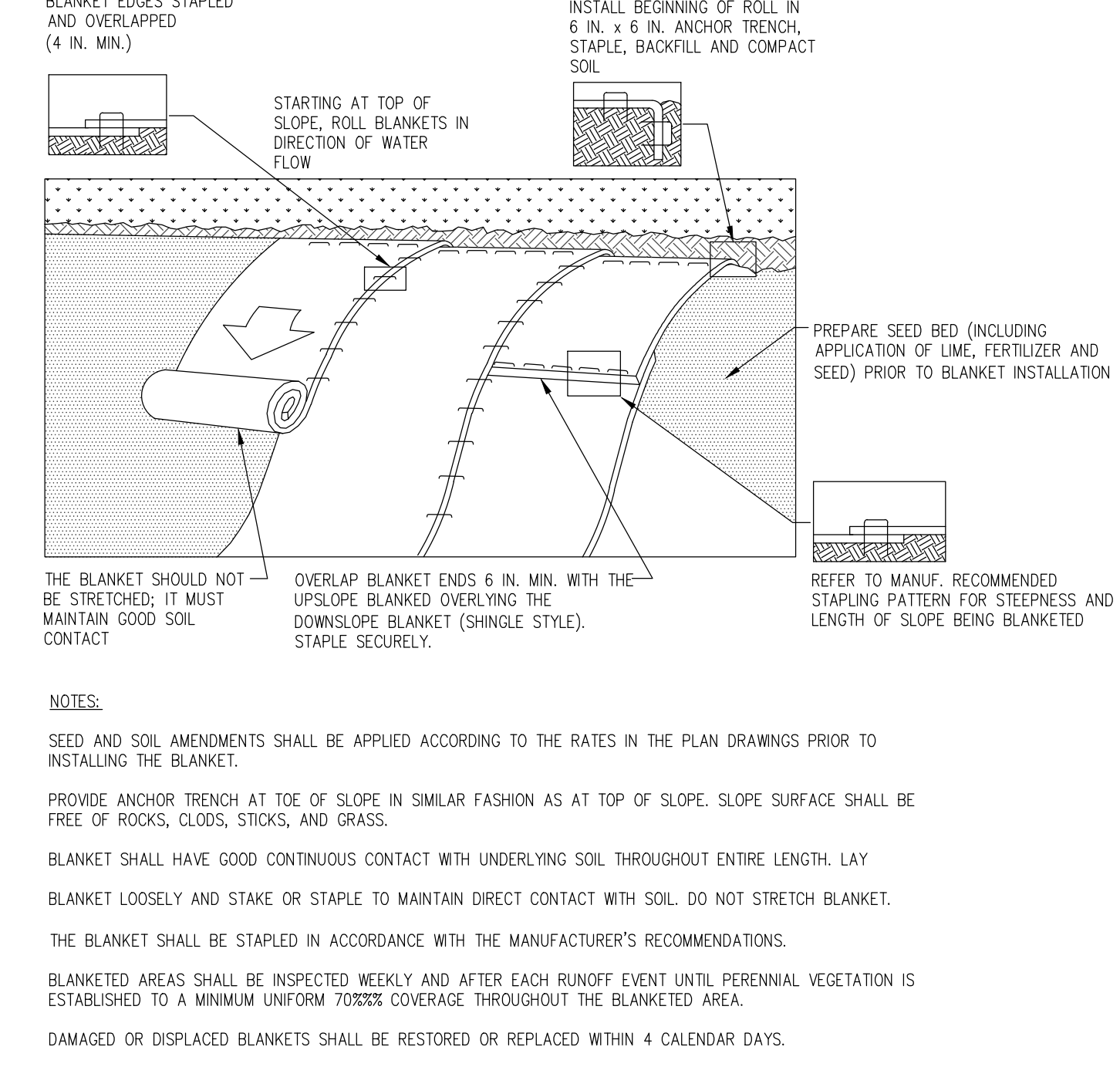
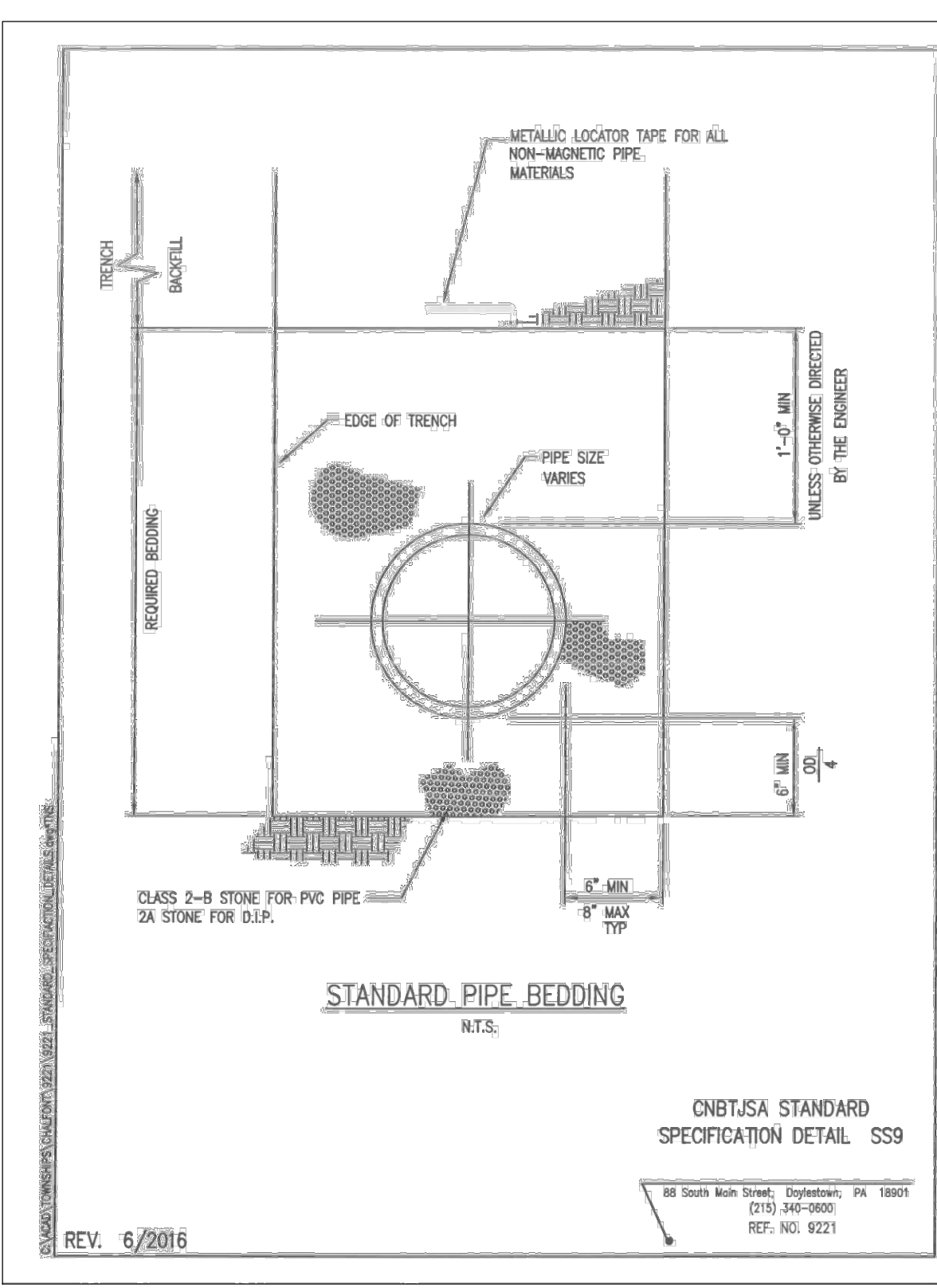
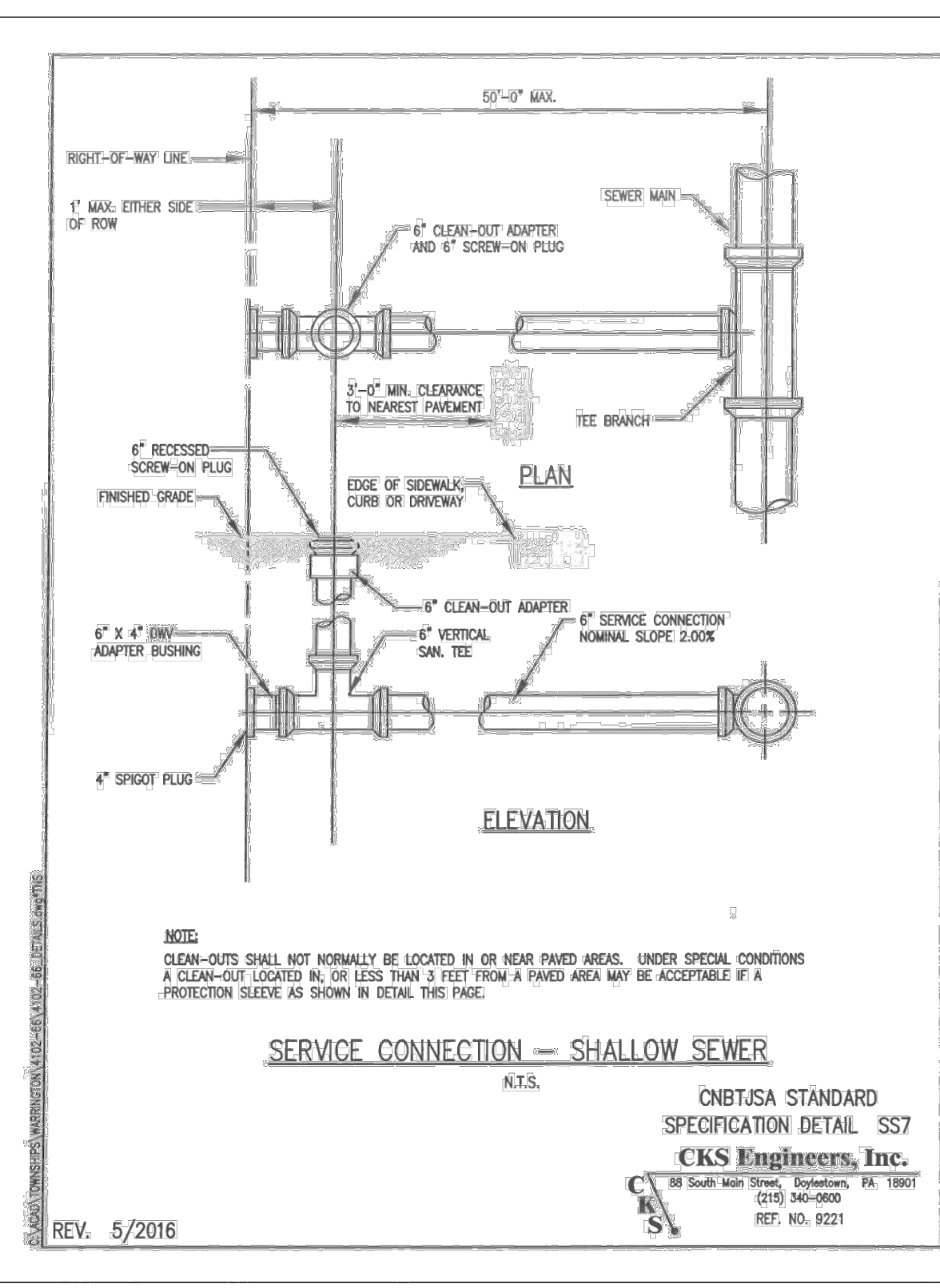
EROSION & SEDIMENT CONTROL PLAN

R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684
• Engineering • Planning • Surveying •

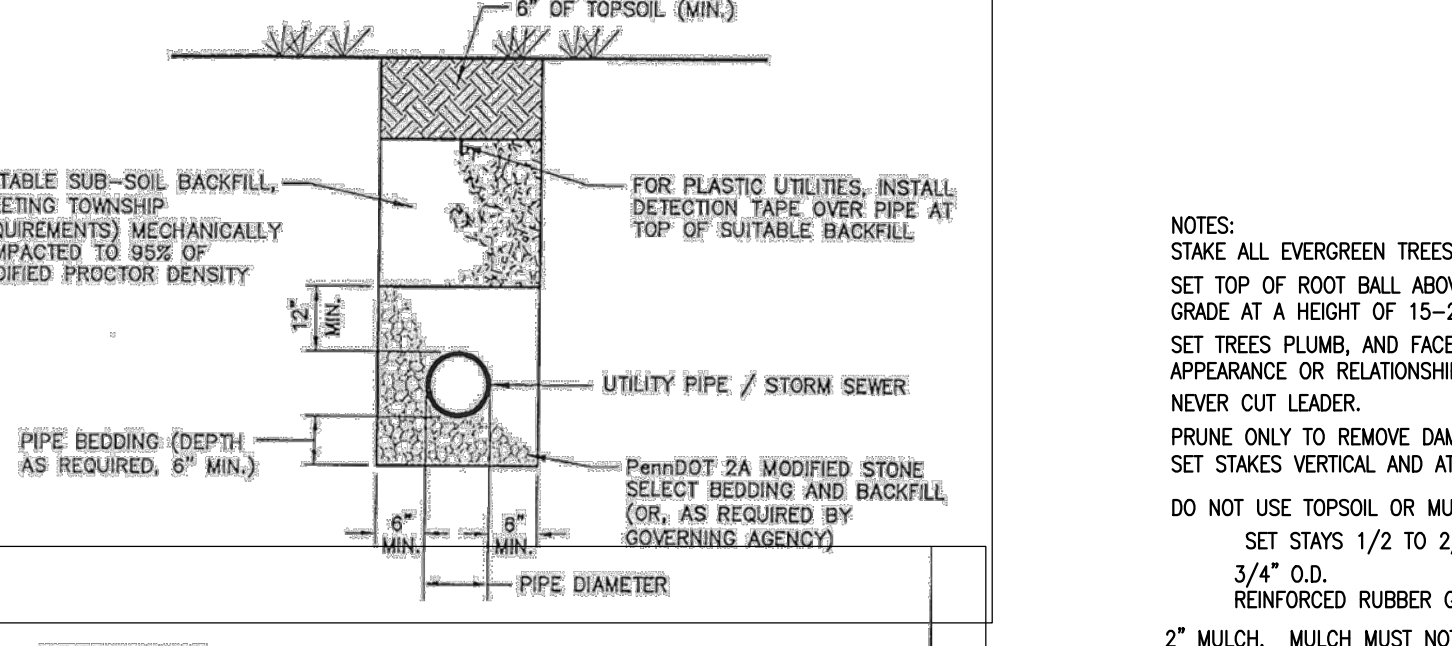


SCALE: 1"=30'
DATE: 04/21/2021
JOB NO.: 2014-039
DRAWN BY: JHS
CHECKED BY: RLS
SITUATE: NEW BRITAIN TOWNSHIP
BUCKS COUNTY, PA
PREPARED FOR:
ALBERTO TECCE
9 SELLERSVILLE RD.
CHALFONT, PA

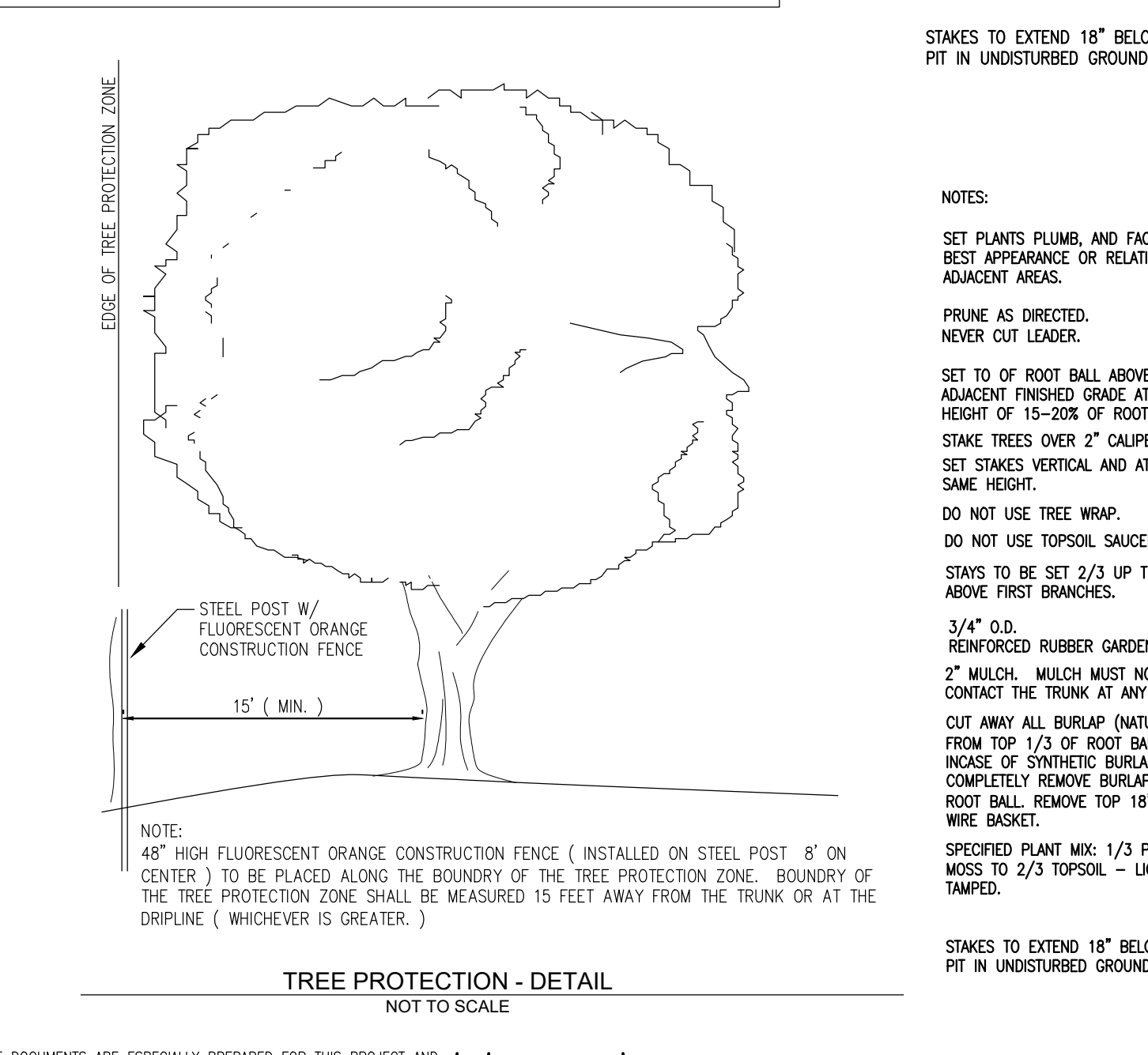
SHEET
4 of 5



STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



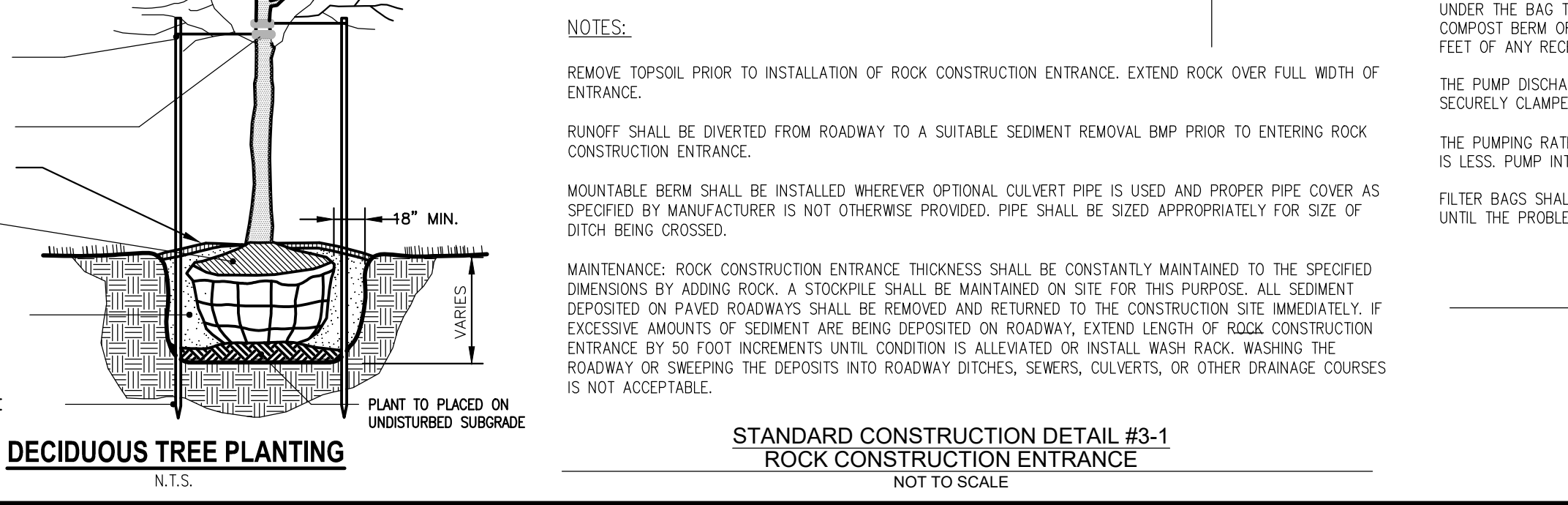
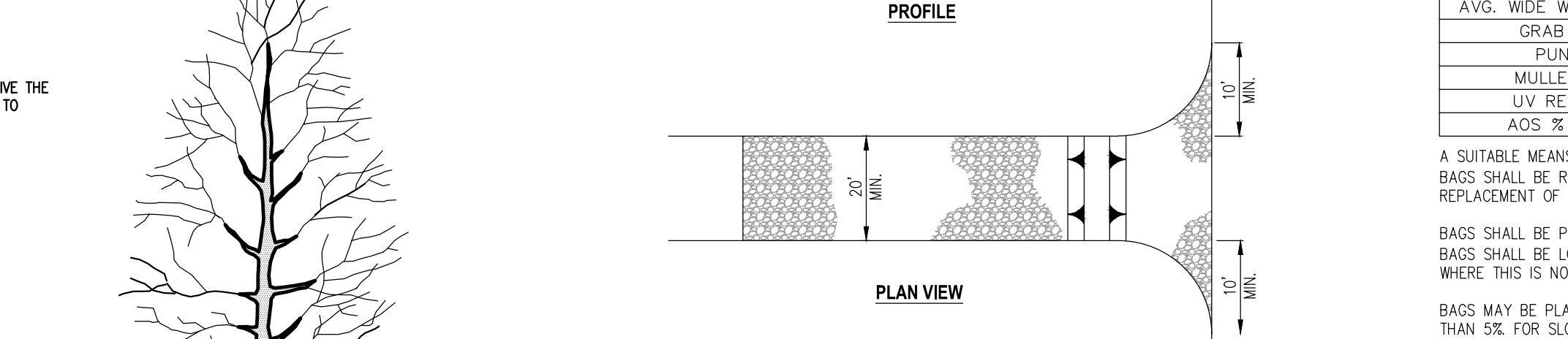
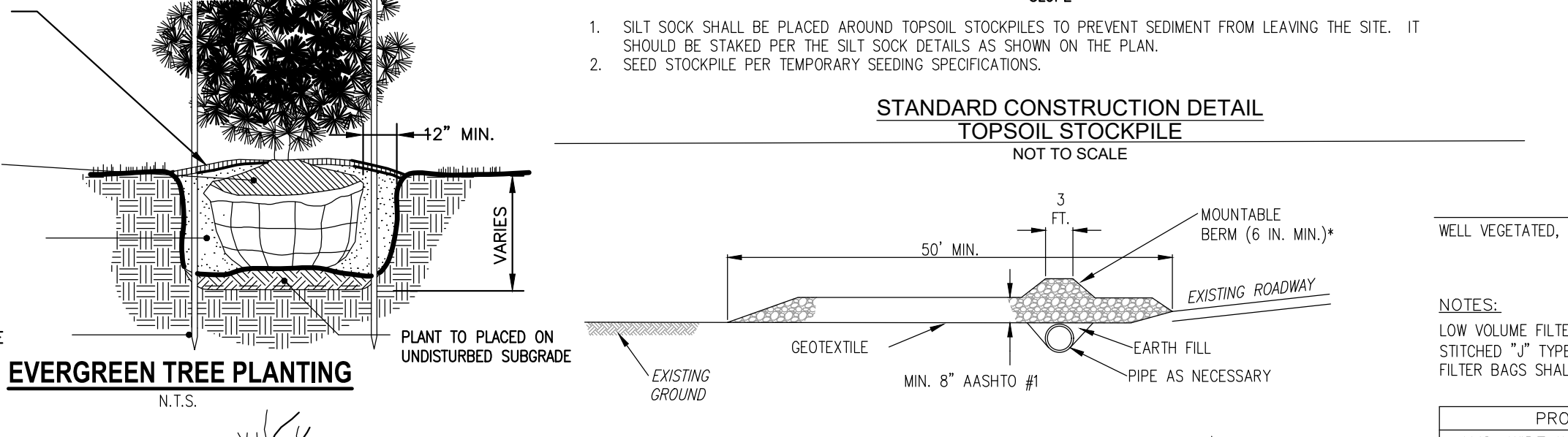
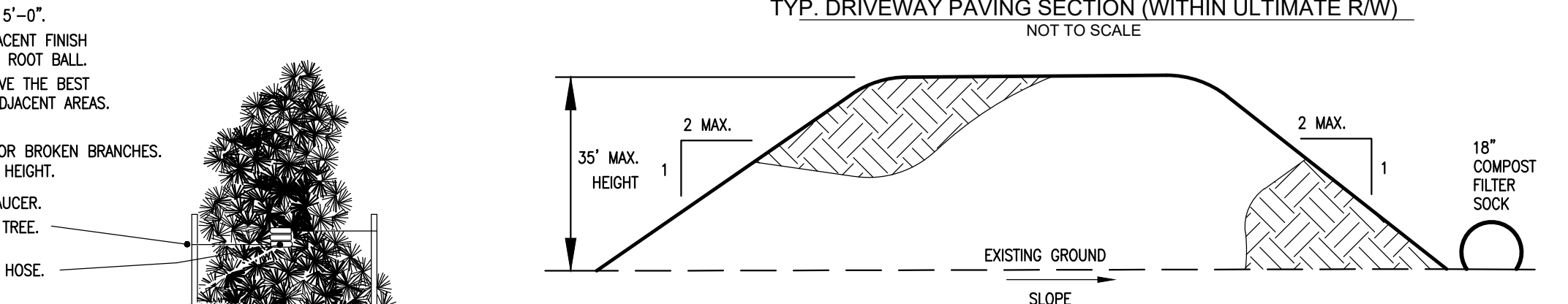
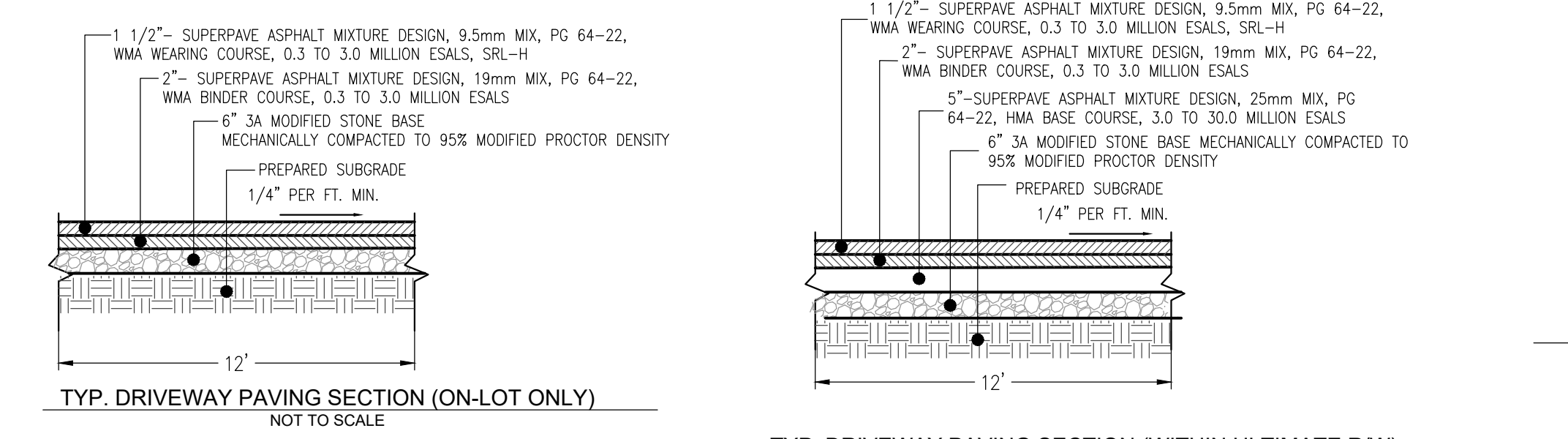
STORM SEWER & UTILITY TRENCH RESTORATION WITHIN PERVIOUS AREAS DETAIL
NEW BRITAIN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA
GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
88 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901-9106 • (215) 543-4300
DATE: 5/22/09 LAST REVISED: N.T.S. SCALE: N.T.S. DRAWING No: 6 OF 17



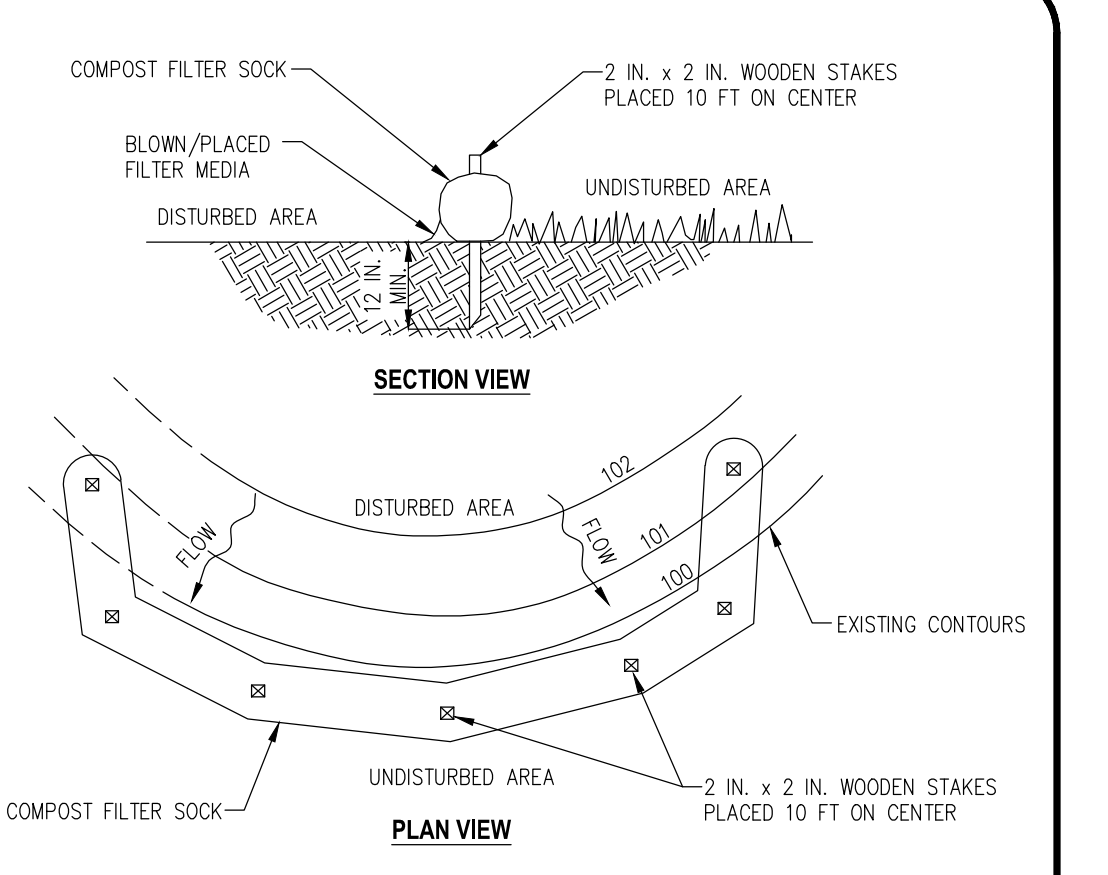
TREE PROTECTION - DETAIL
NOT TO SCALE

SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

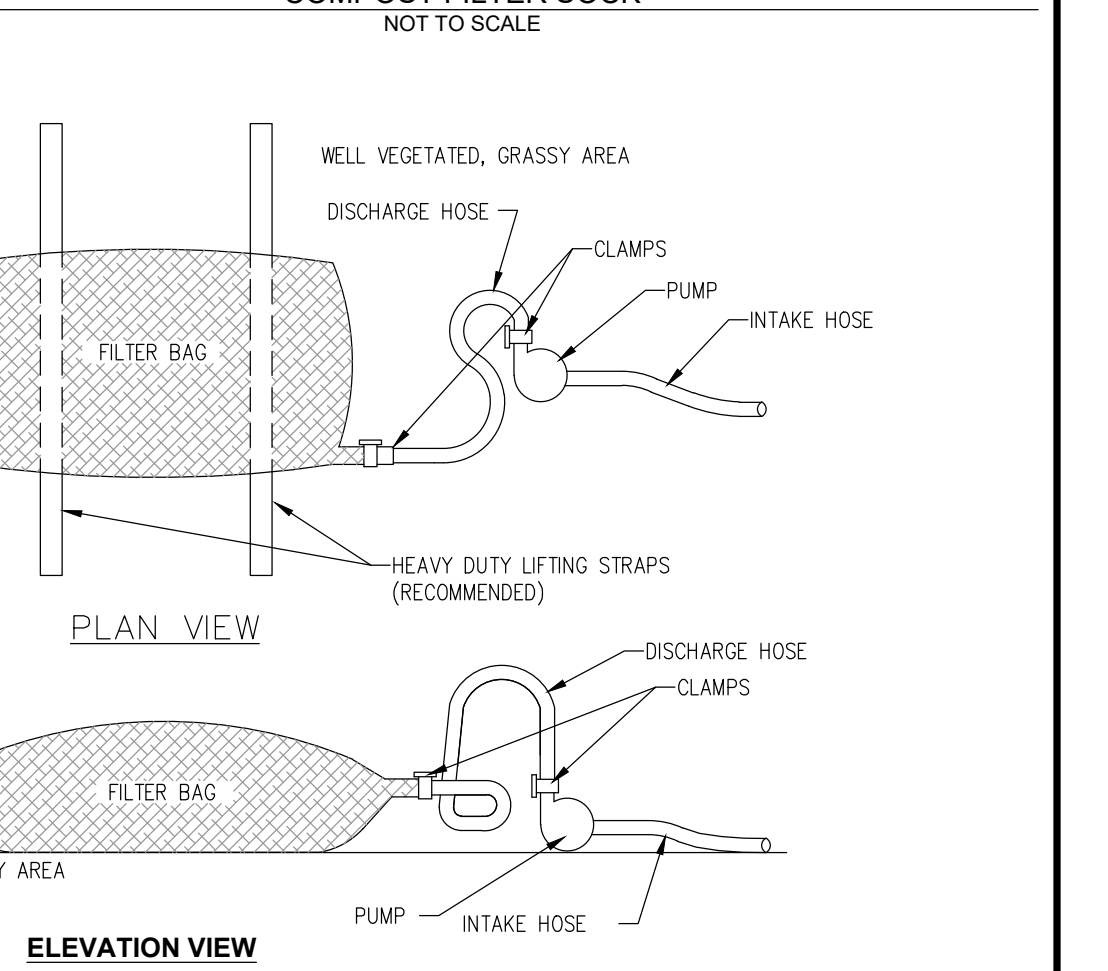
E&S BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE	ADDITIONAL SPECIFICATIONS
ROCK CONSTRUCTION ENTRANCE	<ul style="list-style-type: none"> MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS REMOVE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS/SIDEWALKS IMMEDIATELY UPON DISCOVERY IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 	<ul style="list-style-type: none"> INSPECT DAILY 	<ul style="list-style-type: none"> IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLICK CONDITIONS ON TRAVELED ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATISFACTION OF THE TOWNSHIP. ALL SEDIMENT LADEN WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN ADEQUATE FILTER CONTROL, SUCH AS A WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER COURSE. REMOVAL OF MUD OR DEBRIS FROM THE HIGHWAY SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR AND/OR DEVELOPER. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED TO BE INSTALLED UPON FAILURE OF SILT FENCE DUE TO CONCENTRATED FLOW DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS
PUMPED WATER FILTER BAG	<ul style="list-style-type: none"> REPLACE BAGS WHEN THEY BECOME 1/2 FULL OF SEDIMENT 	<ul style="list-style-type: none"> INSPECT BAGS DAILY 	
ROCK FILTER OUTLET	<ul style="list-style-type: none"> SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET. 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT 	
COMPOST FILTER SOCK	<ul style="list-style-type: none"> SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT 	
SEEDING AND MULCHING	<ul style="list-style-type: none"> SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEDED, AND MULCHED. PROMPTLY REAPPLY MULCH MATERIALS, WHICH BECOME DISLODGED OR LOST, DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES, AS DIRECTED. 	<ul style="list-style-type: none"> PROPERLY MAINTAIN SEEDED AND MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. REFER TO TEMPORARY AND PERMANENT SEEDED SPECIFICATIONS FOR ADDITIONAL DETAIL 	
EROSION CONTROL BLANKET	<ul style="list-style-type: none"> DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS. 	<ul style="list-style-type: none"> INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. 	<ul style="list-style-type: none"> AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED.



STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #3-1
PUMPED WATER FILTER BAG
NOT TO SCALE

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL
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REVISIONS	DATE	COMMENT
10/15/2021	PER 6/7/21 GILMORE & 8/6/21 CKS REVIEWS	
9/23/2021	ADD BUFFER PLANTINGS PER ZHB	

EROSION & SEDIMENT CONTROL & CONSTRUCTION DETAILS

R. L. Showalter & Associates, Inc.
116 East Butler Avenue
Chalfont, PA 18914
(215) 822-2990
FAX (215) 822-5684

SCALE: 1"=30'	SITUATE: NEW BRITAIN TOWNSHIP BUCKS COUNTY, PA	SHEET
DATE: 04/21/2021	PREPARED FOR: ALBERTO TECCE	5 OF 5
JOB NO.: 2014-039	9 SELLERSVILLE RD. CHALFONT, PA	
DRAWN BY: JHS		
CHECKED BY: RLS		